

CORPORATION OF THE CITY OF NEW WESTMINSTER
HERITAGE REVITALIZATION AGREEMENT (HOLY TRINITY CATHEDRAL)

BYLAW NO. 8089, 2022

A Bylaw to enter into a Heritage Revitalization Agreement under Section 610
of the *Local Government Act*

WHEREAS the City of New Westminster and the owner of Holy Trinity Cathedral property located at 514 Carnarvon Street, New Westminster, British Columbia wish to enter into a Heritage Revitalization Agreement in respect of that property;

NOW THEREFORE, the Council of the City of New Westminster enacts as follows:

Citation

1. This Bylaw may be cited as “Heritage Revitalization Agreement (Holy Trinity Cathedral) Bylaw No. 8089, 2022”.

Heritage Revitalization Agreement

2. The City of New Westminster is authorized to enter into a Heritage Revitalization Agreement under section 610 of the *Local Government Act* with the registered owner of the Holy Trinity Cathedral property located at 514 Carnarvon Street, New Westminster, British Columbia, and legally described as PID: 008-186-430 Parcel “One” Victoria Gardens Reference Plan 74708 in the form attached as **Schedule A**.
3. The Mayor and City Clerk are authorized to execute and deliver such Heritage Revitalization Agreement on behalf of the City of New Westminster.

READ A FIRST TIME this ____ day of _____, 2022.

READ A SECOND TIME this ____ day of _____, 2022.

PUBLIC HEARING held this ____ day of _____, 2022.

READ A THIRD TIME this ____ day of _____, 2022.

ADOPTED this ____ day of _____, 202__.

Mayor J. Cote

Jaqueline Killawee, City Clerk

SCHEDULE A

HERITAGE REVITALIZATION AGREEMENT (HOLY TRINITY CATHEDRAL)

THIS AGREEMENT dated for reference June 2, 2022 is

BETWEEN:

THE HOLY TRINITY PARISH OF NEW WESTMINSTER B.C., 514 Carnarvon Street, New Westminster, British Columbia, V3L 1C4

(the “**Owner**”)

AND:

THE CORPORATION OF THE CITY OF NEW WESTMINSTER, City Hall, 511 Royal Avenue, New Westminster, British Columbia, V3L 1H9

(the “**City**”)

WHEREAS:

- A. The Owner is the registered owner in fee simple of the lands and all improvements located at 514 Carnarvon Street, New Westminster, British Columbia, and legally described as PID 008-186-430, Parcel “One” Victoria Gardens Reference Plan 74708 (the “**Land**”).
- B. The Owner intends to apply to the City’s Approving Officer for approval of a subdivision plan to divide the Land into two separate parcels, generally as shown on the site plan (the “**Site Plan**”) attached as Appendix 1 and identified as “**Sub-District A**” and “**Sub-District B**”.
- C. There is a building currently situated on the Land known as the Holy Trinity Cathedral (the “**Heritage Cathedral**”), which building is located within Sub-District B and is listed in the City’s Heritage Register.
- D. The City and the Owner agree that the Heritage Cathedral has heritage value and should be conserved, restored and properly maintained.
- E. The Owner wishes to make certain alterations and restorations to the Heritage Cathedral, including seismic upgrading (the “**Seismic Upgrade**”) in accordance with plans prepared by Structural Solutions Engineering Inc. and dated January 21, 2020 a copy of which is

Appendix 2 (the “**Seismic Upgrade Plans**”), and restoration and rehabilitation work (the “**Conservation Work**”) in accordance with the heritage conservation plan prepared by Donald Luxton and Associates and dated October 2021 a copy of which is attached as **Appendix 3** (the “**Conservation Plan**”).

- F. The Owner wishes to develop within Sub-District A a multi-storey building of complementary design containing 285 residential dwellings, including 271 strata-titled ownership units and 14 secured market rental units, as well as underground vehicle parking spaces, a new parish hall, and public amenity space including an outdoor plaza and pedestrian access corridor with elevator (collectively the “**Mixed Use Building**”).
- G. It is intended that HTC Foundation will use its profits (revenue in excess of costs) to support the ongoing maintenance and operations of the Heritage Cathedral.
- H. The proposed subdivision and development of residential housing units on the Land are not permitted by City of New Westminster Zoning Bylaw No. 6680, 2001.
- I. Section 610 of the *Local Government Act* authorizes a local government to enter into a Heritage Revitalization Agreement with the owner of heritage property, which may, among other things, vary or supplement the provisions of a land use bylaw or permit under Part 14 or Part 15 of the *Local Government Act*.
- J. The Owner and the City wish to enter into this Heritage Revitalization Agreement and the City has adopted a bylaw authorizing the City to do so.
- K. The Owner wishes to also confirm the designation of the Heritage Cathedral as protected heritage property under section 611 of the *Local Government Act*.

THIS AGREEMENT is evidence that in consideration of the sum of ten dollars (\$10.00) now paid by each party to the other and for other good and valuable consideration (the receipt of which each party hereby acknowledges) the Owner and the City each covenant with the other pursuant to Section 610 of the *Local Government Act* as follows:

Seismic Upgrade to Heritage Cathedral

1. **Commencement** - After registration of this agreement, the Owner shall commence and undertake to completion the Seismic Upgrade in accordance with the Seismic Upgrade Plans attached as Appendix 2, for clarity, commencement of the Seismic Upgrade includes preparation of plans and permit processing.
2. **Professional Oversight** - The Owner shall, throughout the course of the Seismic Upgrade, engage a member of the Association of Professional Engineers and Geoscientists of British Columbia (the “**Structural Engineer**”) to oversee the Seismic Upgrade.

The Owner shall cause the Structural Engineer to:

- (a) prior to commencement of the Seismic Upgrade, and at any time during the course of the Seismic Upgrade that a Structural Engineer has been engaged in substitution for a Structural Engineer previously engaged by the Owner, provide to the City an executed and sealed Confirmation of Commitment in the form attached as **Appendix 4**;
 - (b) supervise the Seismic Upgrade and ensure substantial compliance of the Seismic Upgrade work with the Seismic Upgrade Plans;
 - (c) provide regular reports to the City's Director of Climate Action, Planning and Development on the progress of the Seismic Upgrade;
 - (d) upon substantial completion of the Seismic Upgrade, provide to the City an executed and sealed Certification of Compliance in the form attached as **Appendix 5**; and
 - (e) notify the City within one business day if the Structural Engineer's engagement by the Owner is terminated for any reason.
3. **Minor Revisions** - The Owner may request approval from the Director of Climate Action, Planning and Development, at the Director's sole discretion, for minor revisions to the Seismic Upgrade Plans if such revisions are recommended in writing to the Owner by the Structural Engineer during the course of the work; for this purpose, minor revisions do not alter character defining elements on the interior or exterior of the Heritage Cathedral as described in the building's Statement of Significance in the Conservation Plan (Appendix 3).
4. **Completion** - The Owner shall, within five years following the date of registration of this agreement, complete the Seismic Upgrade and provide a Certificate of Compliance to the City in respect of the Seismic Upgrade.

Conservation Work to Heritage Cathedral

- 5. The Owner shall complete the Conservation Work described in the Conservation Plan prepared by Don Luxton, dated October 2021 attached as Appendix 3 and the design plans and specifications prepared by Jonathan Ehling Architect Inc. , dated February 26, 2019, a copy of which is attached hereto as **Appendix 6** (the "**Cathedral Design Plans**"), full-size copies of which plans and specifications are on file at the New Westminster City Hall.
- 6. The Owner shall undertake the Conservation Work in accordance with generally accepted heritage conservation practices. If any conflict or ambiguity arises in the interpretation of the Conservation Plan, or with respect to any City approved minor revisions, the parties agree that the ambiguity shall be resolved having regard to the Standards and Guidelines for the Conservation of Historic Places in Canada, 2nd edition, published by Parks Canada in 2010.

7. **Heritage Professional** – The Owner shall throughout the course of the Conservation Work engage a member of the Architectural Institute of British Columbia or the Canadian Association of Heritage Professionals with specialization in Building or Planning (the “**Heritage Professional**”) to oversee the Conservation Work.

The Owner shall cause the Heritage Professional to:

- (a) prior to commencement of the Conservation Work, and at any time during the course of the Conservation Work that a Heritage Professional has been engaged in in substitution for a Heritage Professional previously engaged by the Owner, provide to the City an executed and sealed Confirmation of Commitment in the form attached as Appendix 4 and, if the Heritage Professional is a member of the Canadian Association of Heritage Professionals, the Heritage Professional shall provide evidence of their membership and specialization when submitting such executed and sealed Confirmation of Commitment;
 - (b) provide regular reports to the City’s Climate Action, Planning and Development Department, on the progress of the Conservation Work;
 - (c) upon substantial completion of the Conservation Work, provide to the City an executed and sealed Certification of Compliance in the form attached as Appendix 5; and
 - (d) notify the City within one business day if the Heritage Professional’s engagement by the Owner is terminated for any reason.
8. **Minor Revisions** - During the course of completing the Conservation Work, the Owner may propose to the City’s Director of Climate Action, Planning and Development minor revisions to the Conservation Plan if such revisions are recommended in writing to the Owner by the Heritage Professional, and the Director may approve such minor revisions at their sole discretion.
9. **Completion** - The Owner shall complete the Conservation Work within five years following the date of registration of this Agreement.

Damage to or Destruction of Heritage Cathedral

10. After the completion of the Seismic Upgrade and Conservation Work:
- (a) if the Heritage Cathedral is damaged, the Owner shall restore and repair the Heritage Cathedral to the same condition and appearance that existed before the damage occurred;
 - (b) if, in the opinion of the City, the Heritage Cathedral is completely destroyed, the Owner shall construct a replica, using equivalent contemporary materials if

necessary, of the Heritage Cathedral that complies with the Conservation Plan and with City of New Westminster Zoning Bylaw No. 6680, 2001, as varied and supplemented by this Agreement; and

- (c) the Owner shall use its best efforts to commence and complete any restoration of and repairs to the Heritage Cathedral, or the construction of a replica, with reasonable dispatch.

Heritage Designation of Heritage Cathedral

11. The Owner irrevocably:
 - (a) agrees to the designation of the Heritage Cathedral exterior as protected heritage property under section 611 of the *Local Government Act*;
 - (b) waives its right to compensation under section 613 of the *Local Government Act*; and
 - (c) releases the City from any obligation to compensate the Owner under that section.
12. Except for completion of the Seismic Upgrade and the Conservation Work in accordance with this Agreement, the Owner shall not at any time alter the exterior appearance of the Heritage Cathedral, except as permitted by a heritage alteration permit under Part 15 of the *Local Government Act*.

Ongoing Maintenance of Heritage Cathedral Post Restoration

13. **Maintenance** -Following the completion of the Seismic Upgrade and Conservation Work, the Owner shall maintain the Heritage Cathedral in good repair in accordance with the Conservation Plan in Appendix 3 and the maintenance standards set out in City of New Westminster Heritage Properties Minimum Maintenance Standards Bylaw No. 7971, 2018, as amended or replaced from time to time, and, in the event that Bylaw No. 7971 is repealed and not replaced, the Owner shall continue to maintain the building to the standards that applied under Bylaw No. 7971 immediately prior to its repeal.
14. **Maintenance Funding** - The Owner shall perform or cause to be performed the on-going maintenance work and operations as identified in accordance with the maintenance plan detailed in the Conservation Plan (Appendix 3), and the City may in its discretion but not more than once per calendar year, require the Owner to provide documentary evidence of such maintenance and expenditure. If in any calendar year the Owner's maintenance expenditures do not, in the reasonable opinion of the City's Director of Climate Action, Planning and Development comply with this requirement, the City may, in lieu of or in addition to enforcing the Heritage Properties Minimum Maintenance Standards Bylaw

No. 7971, require the Owner to contribute the amount of any shortfall in expenditures towards the maintenance of the Heritage Cathedral.

If Sub-District A is subdivided by deposit of an air space plan under Part 9 of the *Land Title Act* and in compliance with section 23, the requirements of this section and section 16 shall not apply to Sub-District A except for the parcel containing the parish hall portion of the Mixed Use Building.

Construction and Use of Mixed Use Building

15. The Owner shall construct the Mixed Use Building in strict accordance with Zoning Bylaw No. 6680, 2001 as varied and supplemented by this Agreement, and such development permits as the City may issue pursuant to the *Local Government Act* or the *New Westminster Redevelopment Act* and in accordance with the Mixed Use Building plans, a copy of which is attached as Appendix 8 (the “**Mixed Use Building Design Plans**”) and the Site Plan (Appendix 1).
16. The Owner agrees that the City may, notwithstanding that such a permit may be issuable under the City’s zoning and building regulations and the BC Building Code, withhold a development permit or building permit for the Mixed Use Building if plans submitted with the application for the development permit or the building permit, as the case may be, are not in accordance with the Mixed Use Building Design Plans, and may withhold a permit or inspection to occupy the Mixed Use Building or any portion thereof if the work completed is not in accordance with the Mixed Use Building Design Plans. In this Agreement, a reference to development permit shall include special development permits under the *New Westminster Redevelopment Act*.
17. The Owner shall commence and complete all actions required for the completion of the Mixed Use Building and related amenities, including the plaza, pedestrian access corridor, stairs and elevator, within six years following the date of the registration of the this Agreement.
18. Following completion of the construction of the Mixed Use Building, in accordance with this Agreement, the Owner shall not alter the unit count, total floor space, interior layout or exterior appearance of the Mixed Use Building, except as permitted by the City.

Restrictions on Timing of Mixed Use Building Construction and Occupancy & Sub-District A Subdivision

19. **Construction** - Construction of the Mixed Use Building on the Land shall be subject to the following restrictions and requirements and the Owner shall observe and comply with, and be subject to, all of the following requirements and restrictions:
 - (a) No above grade construction of the Mixed Use Building shall begin on the Land, and the City may refuse to issue a building permit for any such above-grade work,

until and unless the City has issued a building permit for the construction of the Seismic Upgrade and the Owner has commenced the Seismic Upgrade as such commencement is clarified in Section 1.

- (b) The Owner shall proceed with and complete the Seismic Upgrade and Conservation Work prior to or concurrently with the construction of the Mixed Use Building and complete the Seismic Upgrade and Conservation Work prior to or concurrently with the completion of the Mixed Use Building.
 - (c) The Owner shall cause the Structural Engineer, in respect of the Seismic Upgrade, and the Heritage Professional, in respect of the Conservation Work, to provide a written report to the City, in a form and with such details as may be required by the City's Director of Climate Action, Planning and Development, describing the status of completion of the Seismic Upgrade and the Conservation Work, within 14 days following such work reaching each of the 25%, 50% and 75% completion states. In addition, the Owner shall cause the Structural Engineer or the Heritage Professional to advise the Director of completion status promptly following a request from the Director from time to time.
 - (d) Owner shall complete the Seismic Upgrade before the Owner books with the City for either the final fire-stop inspection of the Mixed Use Building or for insulation inspection above the 23rd floor of the Mixed Use Building and the Owner shall not apply for such inspections and the City may refuse to conduct such inspections until the Seismic Upgrade is complete and the requirements of paragraphs (i), (ii) and (iii) of the next section with respect to the Seismic Upgrade only have been satisfied.
20. **Subdivision** - Sub-District A shall not be subdivided by any means, including by deposit of an air space parcel plan under Part 9 of the **Land Title Act** or by deposit of a strata plan of any kind under the *Strata Property Act*, and the City's approving officer may refuse to approve any such subdivision, until and unless: (i) the Owner has provided a Certificate of Compliance to the City in respect of the Seismic Upgrade and the Conservation Work, (ii) the City has completed a satisfactory heritage inspection, and (iii) the City's Director of Climate Action, Planning and Development has confirmed in writing that they are satisfied that the Seismic Upgrade and Conservation Work have been completed.
21. **Occupancy** - The Mixed Use Building shall not be occupied or used for any purpose, and the City may refuse to issue an occupancy permit for the Mixed Use Building, until and unless: (i) the Owner has provided a Certificate of Compliance to the City in respect of the Seismic Upgrade and the Conservation Work, (ii) the City has completed a satisfactory heritage inspection, and (iii) the City's Director of Climate Action, Planning and Development has confirmed in writing that they are satisfied that the Seismic Upgrade and Conservation Work have been completed.

Inspection

22. Upon request by the City, the Owner shall cause its Structural Engineer or Heritage Professional to advise the City's Director of Climate Action, Planning and Development of the status of the Seismic Upgrade or the Conservation Work, as the case may be, and, without limiting the City's power of inspection conferred by statute and in addition to such powers, the City shall be entitled at all reasonable times and from time to time to enter onto the Land for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner.

General

23. **Owner Expense** - The Owner shall comply with this Agreement, and perform its obligations under this Agreement, at its own expense.
24. **Zoning** – The City of New Westminster Zoning Bylaw No. 6680, 2001 is varied and supplemented in its application to the Lands as set out in **Appendix 7**.
25. **Permits Required** - Prior to commencement of the Seismic Upgrade, the Conservation Work, and construction of the Mixed Use Building, the Owner shall obtain from the City all necessary permits and licenses, including but not limited to development permit, heritage alteration permit, building permit, and tree permit. Nothing in this Agreement relieves the Owner from having to obtain any permits from the City to do anything required or permitted by this Agreement.
26. **Subdivision** - Nothing in this Agreement commits the Approving Officer to approve the proposed subdivision plan as generally shown on the Site Plan (Appendix 1).
27. **Signage** - The Owner shall at the Owner's sole expense, erect on the Land and keep erected throughout the course of the Seismic Upgrade and Conservation Work, a sign of sufficient size and visibility to effectively notify contractors and tradespersons entering onto the Land that the work involves protected heritage property and is being carried out for heritage conservation purposes.
28. **Conformity with City Bylaws** - The Owner acknowledges and agrees that, except as expressly varied by this Agreement, any development or use of the Land, including any preservation, rehabilitation, restoration and repairs done with respect to the Heritage Cathedral, must comply with all applicable bylaws of the City.
29. **Statutory Authority Retained** - Nothing in this Agreement shall limit, impair, fetter or derogate from the statutory powers of the City, all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled.

30. **Business Day** – In this Agreement, “business day” means a day other than a Saturday, Sunday or statutory holiday in British Columbia.

Enforcement of Agreement

31. The Owner acknowledges that it is an offence under Section 621(1)(c) of the *Local Government Act* to alter the Land or the Heritage Cathedral in contravention of this Agreement, punishable (as of the date of registration of this Agreement) by a fine of up to \$50,000.00 or imprisonment for a term of up to 2 years, or both.
32. The Owner acknowledges that it is an offence under Section 621(1)(b) of the *Local Government Act* to fail to comply with the requirements and conditions of any heritage alteration permit issued to the Owner pursuant to this Agreement and Section 617 of the *Local Government Act*, punishable in the manner described in the preceding section.
33. The Owner acknowledges that, if the Owner alters the Land or the Heritage Cathedral in contravention of this Agreement, the City may apply to the British Columbia Supreme Court for:
- (a) an order that the Owner restore the Land or the Heritage Cathedral, or both, to their condition before the contravention;
 - (b) an order that the Owner undertake compensatory conservation work on the Land or the Heritage Cathedral, or both;
 - (c) an order requiring the Owner to take other measures specified by the Court to ameliorate the effects of the contravention; and
 - (d) an order authorizing the City to perform any and all such work at the expense of the Owner.
34. The Owner acknowledges that if the City undertakes work to satisfy the terms, requirements or conditions of any heritage alteration permit issued to the Owner pursuant to this Agreement upon the Owner’s failure to do so, the City may add the cost of the work and any incidental expenses to the taxes payable with respect to the Land, or may recover the cost from any security that the Owner has provided to the City to guarantee the performance of the terms, requirements or conditions of the permit, or both.
35. The Owner acknowledges that the City may file a notice on title to the Land in the Land Title Office if the terms or conditions of this Agreement have been contravened.
36. The City may notify the Owner in writing of any alleged breach of this Agreement and the Owner shall have that reasonable time specified in the notice to remedy the breach. In

the event that the Owner fails to remedy the breach within the time specified, the City may enforce this Agreement by:

- (a) seeking an order for specific performance of the Agreement;
- (b) any other means specified in this Agreement; or
- (c) any means specified in the *Community Charter* or the *Local Government Act*,

and the City's resort to any remedy for a breach of this Agreement does not limit its right to resort to any other remedy available at law or in equity.

Indemnity

37. The Owner hereby releases, indemnifies, and saves the City, its officers, employees, elected officials, agents and assigns harmless from and against any and all actions, causes of action, losses, damages, costs, claims, debts and demands whatsoever by any person, arising out of or in any way due to the existence or effect of any of the restrictions or requirements in this Agreement, or the breach or non-performance by the Owner of any term or provision of this Agreement, or by reason of any work or action of the Owner in performance of its obligations under this Agreement or by reason of any wrongful act or omission, default, or negligence of the Owner.

38. In no case shall the City be liable or responsible in any way for:

- (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that be suffered or sustained by the Owner or by any other person who may be on the Land; or
- (b) any loss or damage of any nature whatsoever, howsoever caused to the Land, or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements in this Agreement, wrongful or negligent failure or omission by the Owner to comply with the restrictions and requirements in this Agreement or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements in this Agreement or with any other term, condition, or provision of this Agreement.

No Waiver

39. No restrictions, requirements, or other provisions of this Agreement shall be deemed to have been waived by the City unless a written waiver signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default, nor any previous

written waiver, shall be taken to operate as a waiver by the City of any subsequent default or in any way defeat or affect the rights and remedies of the City.

Headings

40. The headings in this Agreement are inserted for convenience only and shall not affect the interpretation of this Agreement or any of its provisions.

Appendices

41. All Appendices to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

42. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Interpretation

43. In this Agreement, "Owner" shall mean all registered owners of the Land or subsequent registered owners of the Land, as the context requires or permits.

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Successors Bound

44. All restrictions, rights and liabilities herein imposed upon or given to the respective parties shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date written above.

Signed, sealed and delivered by the)
authorized signatories of The Holy Trinity)
Parish of New Westminster B.C. in the)
presence of:)

Name)

Address)

Occupation)

(as to both signatures))

**THE HOLY TRINITY PARISH OF NEW
WESTMINSTER B.C.** by its authorized
signatories:

The Venerable Dr. Richard Leggett,
Archdeacon of Westminster and Vicar of
the Parish

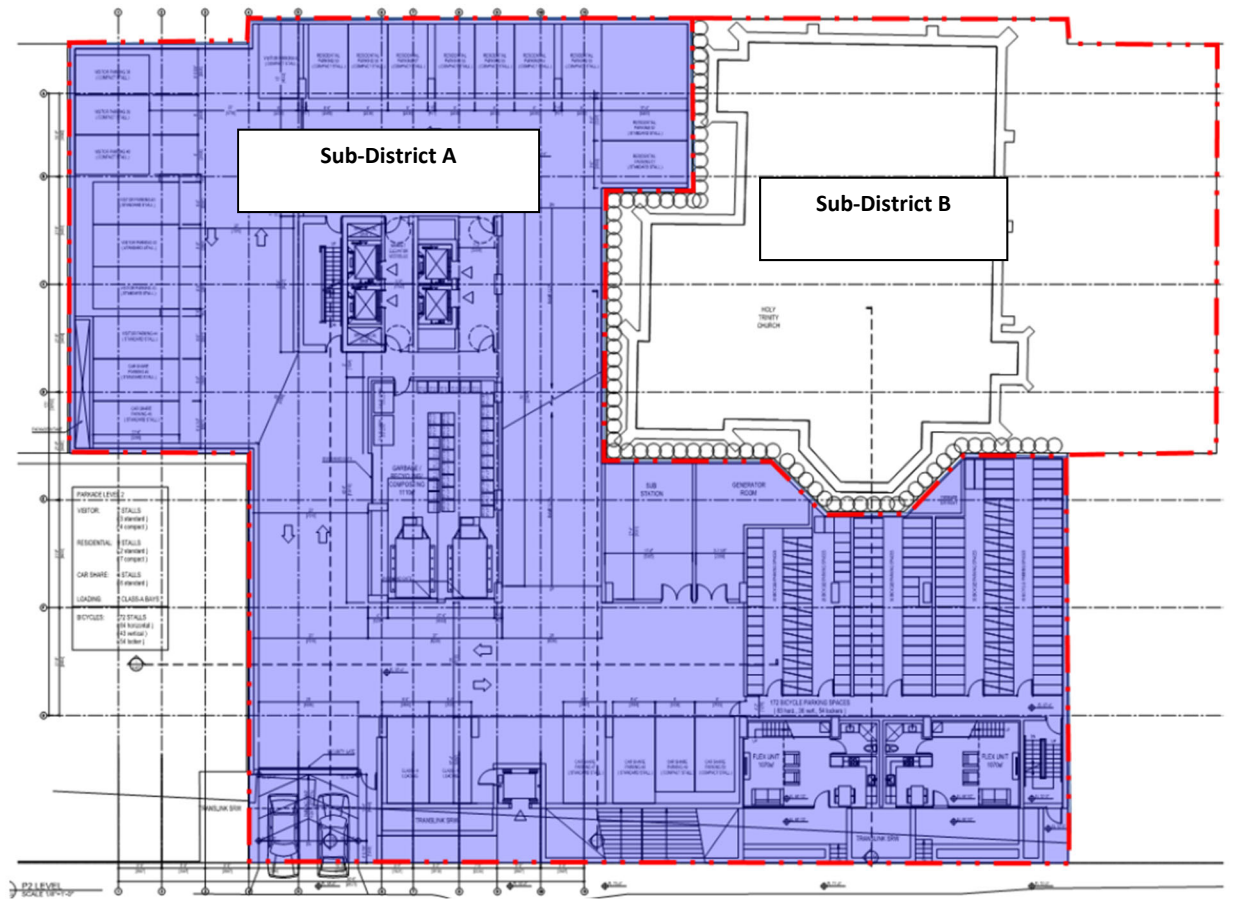
Carla Jones, Bishop's Warden

CORPORATION OF THE CITY OF NEW WESTMINSTER
by its authorized signatories:

Mayor J. Cote

Jacqueline Killawee, City Clerk

APPENDIX 1



APPENDIX 2

Seismic Upgrade Plans

GENERAL

READ ALL CONSULTANTS' DRAWINGS, SPECIFICATIONS AND MANUFACTURERS' PRODUCT INFORMATION IN CONJUNCTION WITH THESE DRAWINGS. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS FOR ALL PRODUCTS. CHECK AND VERIFY DIMENSIONS ON ALL DOCUMENTS PRIOR TO COMMENCING WORK. NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES FOR CLARIFICATION.

THESE DRAWINGS SHOW ONLY THE COMPLETED NEW STRUCTURE. THE CONTRACTOR SHALL PROVIDE BRACING AND SHORING FOR STABILITY OF THE STRUCTURE AND EXCAVATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY AT THE JOB SITE AND SHALL FOLLOW ALL WORKERS' COMPENSATION BOARD OF B.C. REGULATIONS.

ALL BUILDING CODES AND REFERENCE MATERIALS SHALL BE THE LATEST EDITIONS ACCEPTED BY THE AUTHORITY HAVING JURISDICTION.

EXISTING STRUCTURES

THE CONTRACTOR SHALL VERIFY ALL RELEVANT EXISTING DIMENSIONS REQUIRED TO EXECUTE THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND THE ENGINEER FOR CLARIFICATION PRIOR TO CONSTRUCTION.

ANY DAMAGE TO THE EXISTING ADJACENT BUILDINGS CAUSED BY THE CONSTRUCTION ACTIVITY SHALL BE REPAIRED AND MADE GOOD BY THE CONTRACTOR, AT HIS OWN COST, TO THE SATISFACTION OF THE ARCHITECT.

THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION AND DESIGN OF SHORING AND BRACING WITHIN THE WORKING AREA AND SHALL OBTAIN THE NECESSARY DESIGN OF SHORING AND UNDERPINNING SHALL BE PERFORMED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN BRITISH COLUMBIA.

DESIGN LOADS AND CODES (BCBC)

THE STRUCTURE IS DESIGNED TO THE FOLLOWING CODE REFERENCES AND STANDARDS. THE CONTRACTOR SHALL VERIFY THE APPLICABILITY OF THE CODES AND TEMPORARY SUPPORT/SHORING OF THE STRUCTURE DURING THE CONSTRUCTION PROCESS.

- B.C. BUILDING CODE 2018
- CANADIAN NATIONAL BUILDING CODE (NBC)
- CONCRETE TO CAN/CSA A23.3
- STEEL TO CAN/CSA 16
- MASONRY TO CAN/CSA S304.1

SPECIFIED UNIFORM LOADS (UNLO, ON PLANS, PER PSF)	LIVE LOAD	SUPERIMPOSED DEAD LOAD
ROOF (SNOW $a=8$ Ss + S)	2.0 (4)	0.5 (10)
IMPORTANCE	I_s (US) = 1.0 I_s (SLS) = 0.9 2.3 (48)	
RAIN COMPONENT S_r	0.2 (4)	
TYPICAL FLOOR (W/O TOPPING)	4.8 (100)	0.75 (15)

SUPERIMPOSED DEAD LOADS INCLUDE ITEMS SUCH AS FINISHES, CONCRETE TOPPING, INSULATION, ROOFING, MECHANICAL AND ELECTRICAL FIXTURES.

AUD SLIDING AND DRIFTING SNOW LOADS TO THE NOTED BASE SNOW LOAD, (WHERE APPLICABLE TO PART 4 OF THE BUILDING CODE)

SEISMIC LOAD PARAMETERS	$R_s = 1.5$ $I_E = 1.0$	$R_o = 1.3$
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ASSUMED SOIL CLASS	SITE CLASS "C"
Ss (0.2)	=0.800
Ss (0.3)	=0.704
Ss (1.0)	=0.401
Ss (1.5)	=0.300
Ss (5.0)	=0.077
Ss (10.0)	=0.027
Pss	=0.247
Pss	=0.522
HOURLY WIND PRESSURES	
q_1 (WS) = 1.0	=0.44 kPa
I_w (SLS) = 0.75	

FOUNDATIONS

FOUNDATIONAL DESIGN IS BASED ON THE RECOMMENDATIONS STATED IN THE GEOTECHNICAL REPORT FILE: 15088 DATED: JULY 26, 2017 BY: GEOPACIFIC. THE CONTRACTOR SHALL REFER TO THIS REPORT FOR ALL GEOTECHNICAL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO: BEARING CAPACITY, EXCAVATION, SHORING, UNDERPINNING, BACKFILLING, SUBGRADE AND FILL MATERIALS AND FROST PROTECTION.

A FACTORED BEARING CAPACITY OF 525KPa (11000PSF) FOR STRIP AND PAD FOOTINGS IS USED FOR THE DESIGN OF THE FOUNDATION. AN SLS LIMIT OF 350 KPa (7700PSF) IS USED FOR THE DESIGN OF FOUNDATIONS, THE BEARING SURFACE AND FACTORED BEARING PRESSURE SHALL BE REVIEWED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO FOOTING CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY IF THE SOIL BEARING CAPACITY IS LESS THAN THAT ASSUMED.

REQUIRED DESIGN LOADS FOR MICRO FILES IS AS NOTED ON PLANS.

CENTRE FOOTINGS BENEATH WALLS AND COLUMNS UNLO.

WALLS UNTIL:
UNLESS NOTED OTHERWISE DO NOT BACKFILL AGAINST RETAINING AND BASEMENT WALLS UNTIL:
- THE CONCRETE HAS CURED FOR 14 DAYS MINIMUM AND HAS REACHED 100% OF SPECIFIED STRENGTH AND,
- THE SLAB ON GRADE ON THE LOWER SIDE HAS CURED FOR 7 DAYS AND,
- AND THE CONCRETE HAS CURED FOR 7 DAYS MINIMUM

FIELD REVIEW

THE PURPOSE OF THE ENGINEER'S FIELD REVIEW IS TO OBSERVE WHETHER THE CONTRACTOR'S WORK IS BEING CARRIED OUT IN GENERAL CONFORMITY WITH THE STRUCTURAL DOCUMENTS.

THE FOLLOWING STRUCTURAL ELEMENTS REQUIRE FIELD REVIEW BY THE ENGINEER PRIOR TO CONCANEANT:

- REINFORCING STEEL FOR CONCRETE
- WOOD FRAMING
- STRUCTURAL STEEL

ALL WORK SHALL BE COMPLETE AND THOROUGHLY INSPECTED BY THE CONTRACTOR TO ENSURE THE WORK CONFORMS TO THE CONSTRUCTION DOCUMENTS PRIOR TO REQUESTING FIELD REVIEW. PROVIDE A MINIMUM OF 24 HOURS ADVANCE NOTICE AND SAFE ACCESS FOR THE ENGINEER TO PERFORM THE FIELD REVIEW. THE STRUCTURE SHALL REMAIN CLEARLY EXPOSED.

CONCRETE REINFORCEMENT

CODE REFERENCE AND CONFORMANCE:

- DEFORMED BARS TO CSA G30.18 (P=400MPa)
- WELDED WIRE MESH TO CSA G30.5
- EPOXY COATING TO ASTM A775

ALL REINFORCING SHALL BE NEW, CLEAN, CORROSION FREE AND UNDAMAGED. USE WELDEABLE GRADE WHERE REINFORCEMENT WILL BE WELDED AND FOR CONCRETE SHEARWALLS WITH DUCTILITY "R" GREATER THAN 2. DO NOT WELD REINFORCING OR USE MECHANICAL REBAR COUPLERS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.

THE CONTRACTOR SHALL PROVIDE REINFORCING FOR ALL CONCRETE ELEMENTS SHOWN ON ALL DRAWINGS AND SPECIFICATIONS AND CARRYING BARS FOR REBAR PLACEMENT IN ADDITION TO THE REINFORCING SHOWN ON THE STRUCTURAL DOCUMENTS.

ALL REINFORCING SHALL BE ACCURATELY PLACED, CHAINED AND SECURELY TIED TO RESTRICT DISPLACEMENT AND TO MAINTAIN THE SPECIFIED CONCRETE COVER DURING CONSTRUCTION.

CHAIRS SHALL BE OF NON-CORRODING MATERIAL WHERE THE CONCRETE SURFACES ARE EXPOSED TO VIEW; TO THE EXTERIOR ENVIRONMENT OR TO CORROSIVE ENVIRONMENTS. ALL OTHER CHAIRS MAY BE PLASTIC COATED.

SUPPLY AND PLACE EPOXY COATED REBAR AS SHOWN ON THE STRUCTURAL DRAWINGS IN CONFORMITY WITH AND WHERE REQUIRED BY CAN/CSA-5413. USE ONLY PLASTIC CHAIRS AND PLASTIC COATED WIRE TIES IN CONTACT WITH EPOXY COATED REBAR. FIELD APPLY EPOXY PER MANUFACTURERS RECOMMENDATION WHERE EPOXY COATING ON REBAR IS DAMAGED.

UNLO, SLAB ON GRADE SHALL BE REINFORCED WITH A MINIMUM OF 10M@600MM EACH WAY PLACED AT MID-DEPTH OR WITH STEEL REINFORCEMENT TO 0.2% OF CROSS SECTIONAL AREA IN TWO PERPENDICULAR DIRECTIONS.

ALL SUSPENDED SLABS AND WALLS SHALL BE REINFORCED IN TWO PERPENDICULAR DIRECTIONS WITH PRINCIPAL REINFORCING AS SHOWN ON THE DRAWINGS AND REINFORCING SCHEDULE BELOW. WHERE PRINCIPAL REINFORCING IS NOT INDICATED ON THE DRAWINGS REINFORCE SLABS AND WALLS WITH THE MINIMUM REQUIREMENTS IN TWO PERPENDICULAR DIRECTIONS PER SCHEDULE BELOW.

SLAB THICKNESS	REINFORCING
125 (5")	10M@400 (16")
150 (6")	10M@325 (13") OR 15M@450 (18")
175 (7")	10M@250 (10") OR 15M@500 (20")
200 (8")	10M@200 (8") OR 15M@400 (16")
225 (9")	15M@400 (16")
250 (10")	15M@375 (15")
275 (11")	15M@325 (11")
300 (12")	

FOR OTHER SUSPENDED SLAB DEPTHS THE AREA OF STEEL REINFORCING SHALL BE 0.2% OF THE SLAB CROSS SECTIONAL AREA AND SPACED NO MORE THAN 500MM MINIMUM 3 TIMES THE SLAB THICKNESS MAX.

MINIMUM WALL REINFORCING:

WALL THICKNESS	REINFORCING
150 (6")	VERT. 15M@450 (18") CENTERED & HOR. 10M@300 (12") CENTERED
200 (8")	VERT. 15M@450 (18") CENTERED & HOR. 15M@500 (20") EACH FACE
250 (10")	VERT. 15M@500 (20") EACH FACE & HOR. 15M@500 (20") EACH FACE
300 (12")	VERT. 15M@500 (20") EACH FACE & HOR. 15M@500 (20") EACH FACE

FOR OTHER WALL THICKNESSES THE MINIMUM AREA OF VERTICAL AND HORIZONTAL STEEL REINFORCING SHALL BE 0.15% AND 0.2% OF THE WALL CROSS SECTIONAL AREA RESPECTIVELY. SPACE REBAR NO MORE THAN 500MM NOR 3 TIMES THE SLAB THICKNESS MAX. EXCEPT FOR EXTERIOR BASEMENT WALLS AND RETAINING WALLS, PLACE HALF OF THE REBAR AREA ON EACH WALL FACE IN EACH DIRECTION.

STRUCTURAL COMPOSITE LUMBER

- ACCEPTABLE STRUCTURAL COMPOSITE LUMBER PRODUCTS INCLUDE:
- TIE ENGINEERED JOIST (ENGINEERED BY SUPPLIER)
 - LVL LAMINATED STRAND LUMBER (LSE THIRSTERSTRAND)
 - LVL LAMINATED VENER LUMBER (LSE VMS MICROGLAM, GANG-GLAM 2.0E OR TECLAM 2.0E)
 - FSL PARALLEL STRAND LUMBER (2.0E VS PARALLAM)

HANDLE AND STORE MATERIAL IN DRY VENTILATED CONDITION PER MANUFACTURER'S RECOMMENDATIONS.

REFER TO THE MANUFACTURER'S RECOMMENDATIONS FOR MULTI-LAMINATE CONSTRUCTION AND RESTRICTIONS ON HOLE CUTTING AND DRILLING APPLICATIONS UNLESS TREATED AND SEALED TO THE APPROVAL OF THE MANUFACTURER.

ENGINEERED FLOOR JOISTS AND BEAMS SHALL BE DESIGNED BY THE SUPPLIER'S PROFESSIONAL ENGINEER FOR THE LOADING SHOWN ON THE DRAWINGS WITH PROVISIONS FOR DEFLECTION. THE CONTRACTOR SHALL VERIFY THE DESIGN WITH DRAWINGS FOR REVIEW. SEE GENERAL NOTES UNDER SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.

LIVE AND TOTAL DEFLECTION SHALL NOT BE MORE THAN L/600 AND L/300 RESPECTIVELY FOR FLOOR SYSTEMS. LIVE AND TOTAL DEFLECTION SHALL NOT BE MORE THAN L/480 AND L/300 FOR ROOF SYSTEMS.

ALL SPLICE LENGTHS SHALL BE FULL TENSION SPLICES UNLO. SPLICE LENGTHS ARE AS FOLLOWS:

REBAR	CONC. SPLICE	25 MPa	30 MPa	35 MPa	40 MPa	45 MPa
10M	350 (14")	480 (18")	480 (18")	480 (18")	480 (18")	480 (18")
15M	500 (20")	600 (24")	600 (24")	600 (24")	600 (24")	600 (24")
20M	600 (24")	750 (30")	750 (30")	750 (30")	750 (30")	750 (30")
25M	750 (30")	1200 (48")	1200 (48")	1200 (48")	1200 (48")	1200 (48")
30M	900 (36")	1400 (56")	1400 (56")	1400 (56")	1400 (56")	1400 (56")
35M	1050 (42")	1700 (68")	1700 (68")	1700 (68")	1700 (68")	1700 (68")

INCREASE SPLICE LENGTHS BY FACTOR OF 1.3 FOR HORIZONTAL BARS WITH 300MM (12") OR MORE CONCRETE BELOW REBAR BEING SPLICED.

INCREASE SPLICE LENGTH BY FACTOR OF 1.7 FOR EPOXY COATED HORIZONTAL BARS WITH 300MM (12") OR MORE CONCRETE BELOW REBAR AND BY FACTOR OF 1.5 FOR EPOXY COATED VERTICAL BARS WITH LESS THAN 300MM (12") OF CONCRETE BELOW REBAR BEING SPLICED.

UNLO. STRIP FOOTINGS SHALL BE REINFORCED WITH A MINIMUM OF 2-15M CONTINUOUS BARS OR WITH STEEL EQUIVALENT TO 0.2% OF FOOTING CROSS SECTIONAL AREA. PAD FOOTINGS SHALL BE REINFORCED WITH A MINIMUM STEEL REQUIREMENTS IN TWO PERPENDICULAR DIRECTIONS PER SCHEDULE BELOW. HOOKED DOWELS TO MATCH COLUM AND WITH HOOK PLACED ON THE BOTTOM. SPLICE LENGTH ABOVE POUR AND WITH HOOK PLACED ON THE BOTTOM REINFORCING MAT.

UNLO. SLAB ON GRADE SHALL BE REINFORCED WITH A MINIMUM OF 10M@600MM EACH WAY PLACED AT MID-DEPTH OR WITH STEEL REINFORCEMENT TO 0.2% OF CROSS SECTIONAL AREA IN TWO PERPENDICULAR DIRECTIONS.

ALL SUSPENDED SLABS AND WALLS SHALL BE REINFORCED IN TWO PERPENDICULAR DIRECTIONS WITH PRINCIPAL REINFORCING AS SHOWN ON THE DRAWINGS AND REINFORCING SCHEDULE BELOW. WHERE PRINCIPAL REINFORCING IS NOT INDICATED ON THE DRAWINGS REINFORCE SLABS AND WALLS WITH THE MINIMUM REQUIREMENTS IN TWO PERPENDICULAR DIRECTIONS PER SCHEDULE BELOW.

MINIMUM SUSPENDED SLAB REINFORCING IN TWO PERPENDICULAR DIRECTIONS:

SLAB THICKNESS	REINFORCING
125 (5")	10M@400 (16")
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FOR OTHER SUSPENDED SLAB DEPTHS THE AREA OF STEEL REINFORCING SHALL BE 0.2% OF THE SLAB CROSS SECTIONAL AREA AND SPACED NO MORE THAN 500MM MINIMUM 3 TIMES THE SLAB THICKNESS MAX.

MINIMUM WALL REINFORCING:

WALL THICKNESS	REINFORCING
150 (6")	VERT. 15M@450 (18") CENTERED & HOR. 10M@300 (12") CENTERED
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300 (12")	VERT. 15M@500 (20") EACH FACE & HOR. 15M@500 (20") EACH FACE

FOR OTHER WALL THICKNESSES THE MINIMUM AREA OF VERTICAL AND HORIZONTAL STEEL REINFORCING SHALL BE 0.15% AND 0.2% OF THE WALL CROSS SECTIONAL AREA RESPECTIVELY. SPACE REBAR NO MORE THAN 500MM NOR 3 TIMES THE SLAB THICKNESS MAX. EXCEPT FOR EXTERIOR BASEMENT WALLS AND RETAINING WALLS, PLACE HALF OF THE REBAR AREA ON EACH WALL FACE IN EACH DIRECTION.

WOOD FRAME

CODE REFERENCES AND CONFORMANCE:

- ALL WOOD AND FRAMING MATERIALS CSA-846
- ALL DIMENSIONAL LUMBER TO NLGA, GRADING RULES
- ALL DIMENSIONAL LUMBER TO CSA STANDARD 0151
- ALL DIMENSIONAL LUMBER TO CSA STANDARD 834
- LAG SCREWS TO CSA STANDARD 834
- NAILS AND SPIKES TO CSA STANDARD B11
- MISC. STEEL HARDWARE TO CAN/CSA 9402 (P=300MPa YIELD STRENGTH) UNLESS NOTED OTHERWISE.

LUMBER GRADE SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

STRUCTURAL ELEMENT	LUMBER GRADE
JOIST & RAFTERS	ENGINEERED JOIST
STUDS AND BUILT-UP POSTS	K.D. SPF NO.2 OR BETTER
POSTS AND BEAMS	STRUCTURAL COMPOSITE LUMBER
SHEATHING	D-FIR PLYWOOD

STORE ALL FRAMING MATERIAL IN DRY, WELL VENTED CONDITION. RAISE FRAMING MATERIAL OFF THE GROUND WITH CUBBING.

ISOLATE ALL TIMBER FROM CONCRETE AND MASONRY SURFACES WITH PEEL AND STICK OR OTHER APPROVED MATERIAL.

BUILT-UP (BU) MEMBERS SHALL CONSIST OF MINIMUM 2 PLYS OF DIMENSIONAL LUMBER WITH MINIMUM 1/4" (6MM) FULL DETAIL. HEADERS SHALL BE MINIMUM 2-3X62X35 (2-2X10) BUILT-UP BEAM.

SUPPORT POINT LOADS FROM BEAMS, HEADERS, GIRDER TRUSSES AND POSTS WITH SOILD OR BUILT-UP MEMBERS ACROSS THE FULL AREA OF THE SUPPORTED MEMBER. CARRY SUPPORT DOWN TO CONCRETE FOUNDATIONS. FULLY BLOCK ALL JOIST SPACES INLINE WITH THE SUPPORTS.

USE MINIMUM DOUBLE BEARING STUDS FOR BEAMS AND HEADERS WITH SPANS GREATER THAN 2400MM (8'-0").

"2B+1K" INDICATES 2 BEARING STUDS + 1 KING STUD.

INSTALL DOUBLE JOISTS UNDER NON-LOAD BEARING PARTITIONS PARALLEL TO THE JOIST.

INSTALL CROSS-BRACING/BLOCKING AT MAXIMUM 2100MM (7'-0") ON CENTRE FOR JOIST PARTS ARE GREATER THAN 100MM (10'-0") OR REFER TO SUPPLIERS DETAILS FOR ENGINEERED LUMBER.

USE JOIST HANGERS WITH MINIMUM 6.8 kN (1500 LBS) CAPACITY FOR ALL FLUSH FRAMING. UNLO. ON PLANS.

FASTEN SILL PLATES TO CONCRETE FOUNDATIONS WITH MINIMUM 16MM (5/8") LONG (5/8"x100") LAST-INPLACE ANCHORS AT 1200MM (4'-0") ON CENTRE PLUS ONE ADDITIONAL ANCHOR AT WALL ENDS. EDGE OF OPENINGS, WALL INTERSECTIONS AND CORNERS. USE MINIMUM 3 ANCHOR RODS PER WALL SEGMENT. SEE PLANS FOR ADDITIONAL ANCHORS FOR SHEARWALLS.

WHERE STUD WALLS ABUT CONCRETE, FASTEN END OF WALL TO CONCRETE WITH 18MM (5/8") ANCHORS AT 900MM (3'-0") ON CENTRE THROUGH A DOUBLE STUD.

SHEATHING FOR EXTERIOR WALLS AND SHEARWALLS SHALL BE MINIMUM 12MM (1/2") THICK (UNLO.). DRILL ADEQUATE HOLES THROUGH EXTERIOR WALLS FOR VENTILATION. FASTEN WITH MINIMUM 2x2" COMMON NAILS AT 150MM (6") ON CENTRE ALONG SIDES AND TOP AND BOTTOM EDGES. (1/2" ALONG INTERMEDIATE FRAMING UNLO.). ALSO REFER TO SHEARWALL SCHEDULE.

SHEATHING FOR ROOFS SHALL BE MINIMUM 16MM (5/8") THICK (UNLO.) WITH 2-1/2" COMMON NAILS AND FOR FLOORS SHALL BE 19MM (3/4") THICK (UNLO.) WITH 2x2" COMMON NAILS. NAIL SPACING SHALL BE MINIMUM 100MM (4") ALONG PANEL EDGES, 300MM (12") ALONG INTERMEDIATE FRAMING UNLO. ALSO REFER TO DIAPHRAGM SCHEDULE.

BLOCK PANEL EDGES WITH MINIMUM 38X89 (2X4) WHERE NOTED ON PLANS. NAIL SHEATHING ALONG DRAG LINES TO SHEARWALLS, EXTERIOR WALLS AND BEAMS IN LINE WITH THESE WALLS WITH 3" COMMON NAILS AT 100MM (4") ON CENTRE MINIMUM.

ALL NAIL FASTENERS SHALL BE COMMON ROUND STEEL WIRE NAILS. THE USE OF POWER DRIVEN NAILS (P-NAILS) IS PERMITTED ONLY IF THEY ARE OF EQUAL DIAMETER AND LENGTH. SEE NAIL SPECIFICATION DETAIL FOR SIZE.

NAIL LENGTH	DIAMETER	
	IMPERIAL (IN)	METRIC (mm)
2 7/8" (80)	0.128	3.25
3" (100)	0.144	3.66
3 7/8" (160)	0.16	4.06
4"	0.192	4.88
5"	0.232	5.89
6"	0.276	7.01

STANDARD STEEL HARDWARE AND CUSTOM STEEL CONNECTIONS EXPOSED TO VIEW SHALL BE HOT-DIPPED GALVANIZED. USE SIMPSON STRONG TIE, MCA OR EQUIVALENT HARDWARE.

ALL FASTENERS/HARDWARE IN CONTACT W/ TREATED WOOD ARE TO BE DOUBLE HO GALV. (G185) (INCLUDING NAILS) OR STAINLESS STEEL TYP.

STRUCTURAL AND MISCELLANEOUS STEEL

FABRICATION, ERECTION, STRUCTURAL DESIGN AND DETAILING OF ALL STRUCTURAL STEEL AND CONNECTIONS SHALL COMPLY WITH CAN-S16.

SUBMIT SHOP DRAWINGS (4 SETS UNLO.) FOR STEEL FABRICATIONS TO THE ENGINEER AND ARCHITECT FOR REVIEW PRIOR TO FABRICATION. ALL SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER AND ARCHITECT. ALL STEEL SHALL BE GRADE 50, UNLESS NOTED OTHERWISE. ALL STEEL SHALL BE SEALED FOR CONNECTION DESIGN BY THE FABRICATOR'S PROFESSIONAL ENGINEER REGISTERED IN B.C.

UNLESS NOTED OTHERWISE, ALL STRUCTURAL STEEL CONNECTIONS SHALL BE DESIGNED BY THE FABRICATOR FOR ONE HALF THE SHEAR CAPACITY OF BEAMS AND ONE HALF THE TENSILE CAPACITY OF COLUMNS. ALL STEEL SHALL BE GRADE 50, UNLESS NOTED OTHERWISE. ALL STEEL SHALL BE SEALED FOR CONNECTION DESIGN BY THE FABRICATOR'S PROFESSIONAL ENGINEER REGISTERED IN B.C.

THE PROFESSIONAL ENGINEER SEALING THE SHOP DRAWINGS SHALL BE RESPONSIBLE FOR THE DESIGN AND DETAILING OF THE CONNECTIONS. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND DETAILING OF THE CONNECTIONS. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND DETAILING OF THE CONNECTIONS. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND DETAILING OF THE CONNECTIONS.

WELDING SHALL CONFORM TO CSA W59 AND SHALL BE PERFORMED BY CERTIFIED WELDERS. ALL WELDING SHALL BE DONE IN ACCORDANCE WITH THE WELDING CODE OF PRACTICE. ALL WELDING SHALL BE DONE IN ACCORDANCE WITH THE WELDING CODE OF PRACTICE. ALL WELDING SHALL BE DONE IN ACCORDANCE WITH THE WELDING CODE OF PRACTICE.

THE GENERAL REQUIREMENTS FOR STRUCTURAL STEEL SHALL CONFORM TO CAN-S462.02 AND TO CAN-S462.01 FOR QUALITY.

GRADES OF MATERIAL (UNLO.):	
HOLLOW STRUCTURAL SECTIONS (HSS)	350W, CLASS C
STRUCTURAL PIPE	ASTM A51 (240 MPa)
STEEL AND MISC. METAL	ASTM A325
BOLTS, NUTS AND WASHERS (STEEL TO STEEL)	ASTM A307
ANCHOR BOLTS	E48XX (490 MPa)
WELDS	CISC/CPMIA 1-73A
SHOP PRIMER	(INTERIOR) (EXTERIOR) CONFORMING TO CGSB 1-G-40-400

UNLESS NOTED OTHERWISE APPLY ONE COAT OF SHOP PRIMER TO ALL STEEL WORK. PROVIDE WELDABLE PRIMER WHERE APPLICABLE.

PROVIDE 4.8MM (3/16") THICK STEEL CAP PLATE WITH SEAL WELD ALL AROUND AT THE END OF PIPES, TUBES AND HSS UNLO. ON ACCEPTED OTHERWISE BY THE ENGINEER.

ALL MEMBERS DESIGNATED AS DIAPHRAGM CHORD MEMBERS AND ALL PERIMETER EDGE ANGLES SHALL BE CONNECTED BY FULL STRENGTH GROOVE WELDS OR BY FULL STRENGTH SPICE PLATES ON EACH LEG TO FORM CONTINUOUS COMPRESSION AND TENSION MEMBERS.

UNLESS NOTED OTHERWISE ALL EDGES OF METAL DECKING SHALL BE SUPPORTED BY EDGE ANGLES FASTENED TO MAIN STRUCTURAL MEMBERS. ROOF ANGLE: L75x75x6, FLOOR ANGLE: L100x100x6.

UNLESS NOTED OTHERWISE ALL BEAMS SHALL HAVE ONE 10MM (3/8") FULL-HEIGHT STIFFENER PLATES ON EACH SIDE OF THE WEB, CENTRED OVER THE COLUMN.

BOLTS, WELDS, AND BURNED OR SCRATCHED SURFACES SHALL BE TOUCHED UP WITH SHOP PRIMER AT COMPLETION OF ERECTION.

GALVANIZING OF STRUCTURAL MEMBERS AND PLATE MATERIAL SHALL BE IN ACCORDANCE WITH ASTM A123, ASTM A153 AND RELATED STANDARDS. G210 MINIMUM COATING (610G/M2).

STRUCTURAL SOLUTIONS

engineering inc.

601 - 625 FIFTH AVE.
NEW WESTMINSTER, BC V3M 1X4
604 594 1082
www.ssc4bc

ABBREVIATION

ADDL	-ADDITIONAL	JST	-JOIST
ALT	-ALTERNATE	KD	-KILN DRIED
B.L.L	-BOTTOM LOWER LAYER	LG	-LONG
BU	-BUILT UP	L	-LOAD
BRG	-BEARING	L.V.	-LENGTH VARIES
BTR	-BETTER	LVL	-LAMINATED STRAND LUMBER
BTWN	-BETWEEN	LVL	-LAMINATED VENER LUMBER
C/W	-COMPLETE WITH	MAX	-MAXIMUM
CANT.	-CANTILEVERED	MF	-FACTORED MOMENT
C	-CENTRE	MIN	-MINIMUM
CL of ϵ	-CENTRE LINE	N.S.	-NEAR SIDE
CONC.	-CONCRETE	N.S.TUD	-NAIL STUD
CONT.	-CONTINUOUS	O/F	-OUTSIDE FACE
CSK	-CONTINUOUS	P/T	-PRESSURE TREATED
D.S.	-DRAG STRUT	PL of ϵ	-POST TENSIONED
db	-BAR DIAMETER	PL	-PLATE
dp	-DEEP	PSL	-PARALLEL STRAND LUMBER
E.E.	-EACH END	RS	-ROUGH SAWN LUMBER
E.C.	-EACH FACE	S.D.L.	-SUPERIMPOSED DEAD LOAD
E.W.	-EACH WAY	S.O.G.	-SLAB ON GRADE
ELEV.	-ELEVATION	S.S.	-STAINLESS STEEL
EX	-EXISTING	STRG	-STRUT
EXT	-EXTENSION	STRG	-STRUTTED
F.A.C.	-FAIR FACE	T.B.G	-TOP & BOTTOM
F.S.	-FAIR SIDE	T.L.L	-TOP LOWER LAYER
FDN	-FOUNDATION	T.P.	-TOP OF
GL	-GLULAM	THK	-THICK
H	-HOOK	TJ	-TIE JOIST (OWIS)
H1E	-HOOK ONE END	TYP.	-TYPICAL
H2E	-HOOK TWO ENDS	UNLO.	-UNLESS NOTED OTHERWISE
HDR	-HEADER	U/S	-UNDERSIDE
HG	-HIGH	VERT	-VERTICAL
HOR	-HORIZONTAL	W/	-WITH
I	-INSIDE	W/O	-WITHOUT
INT	-INTERIOR	WD.	-WIDE

[illegible]

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www.ssej.ca

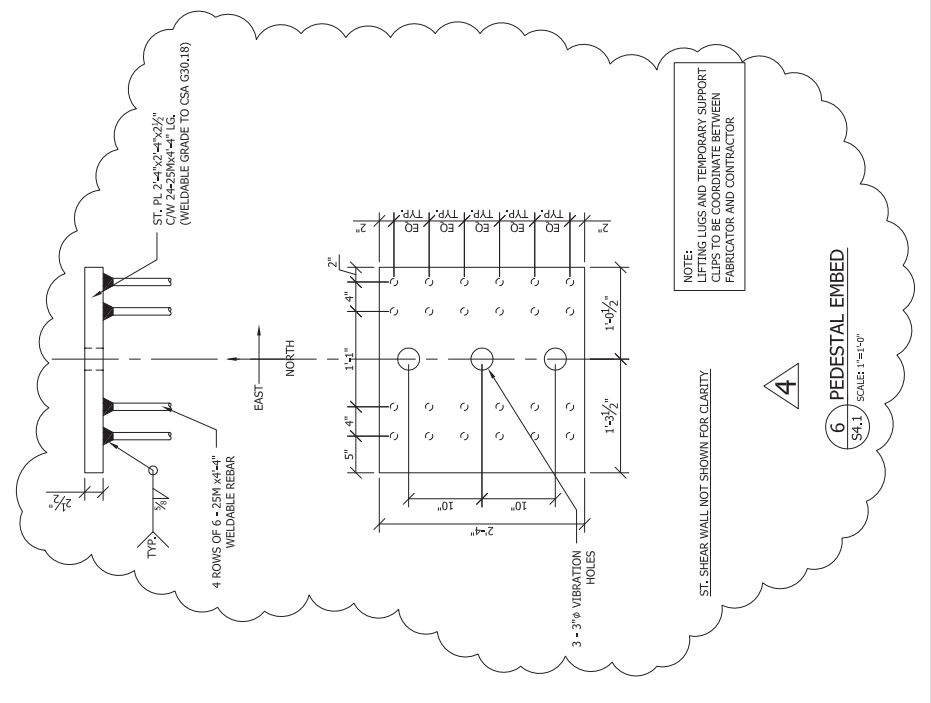
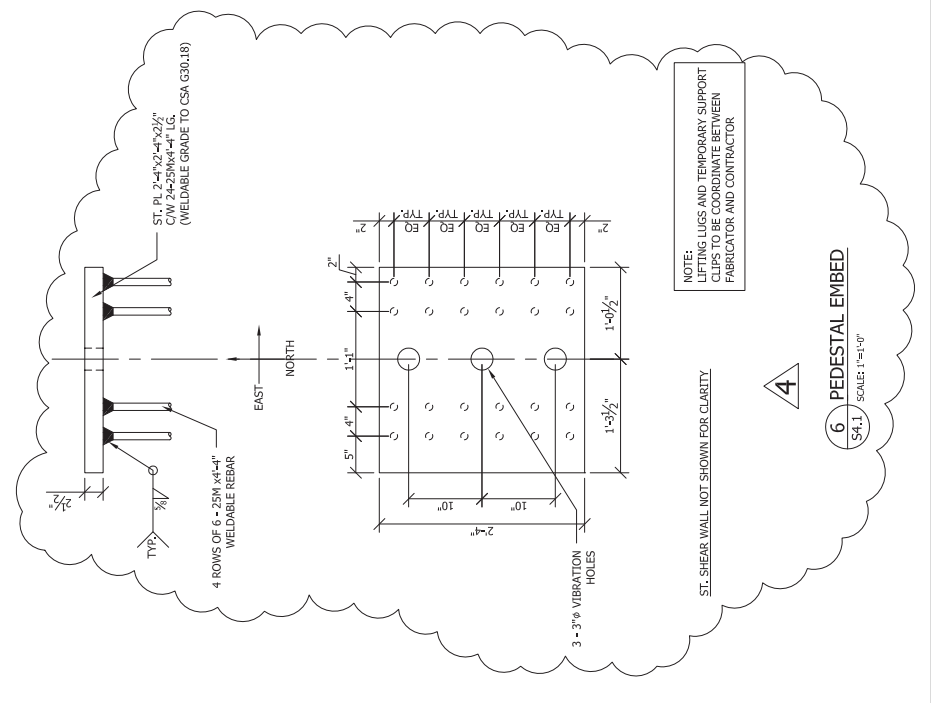
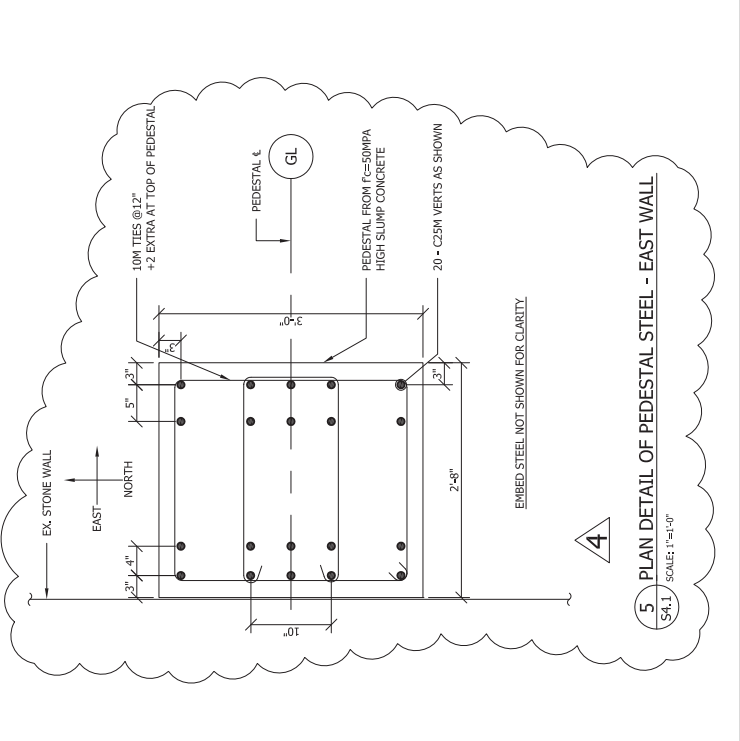
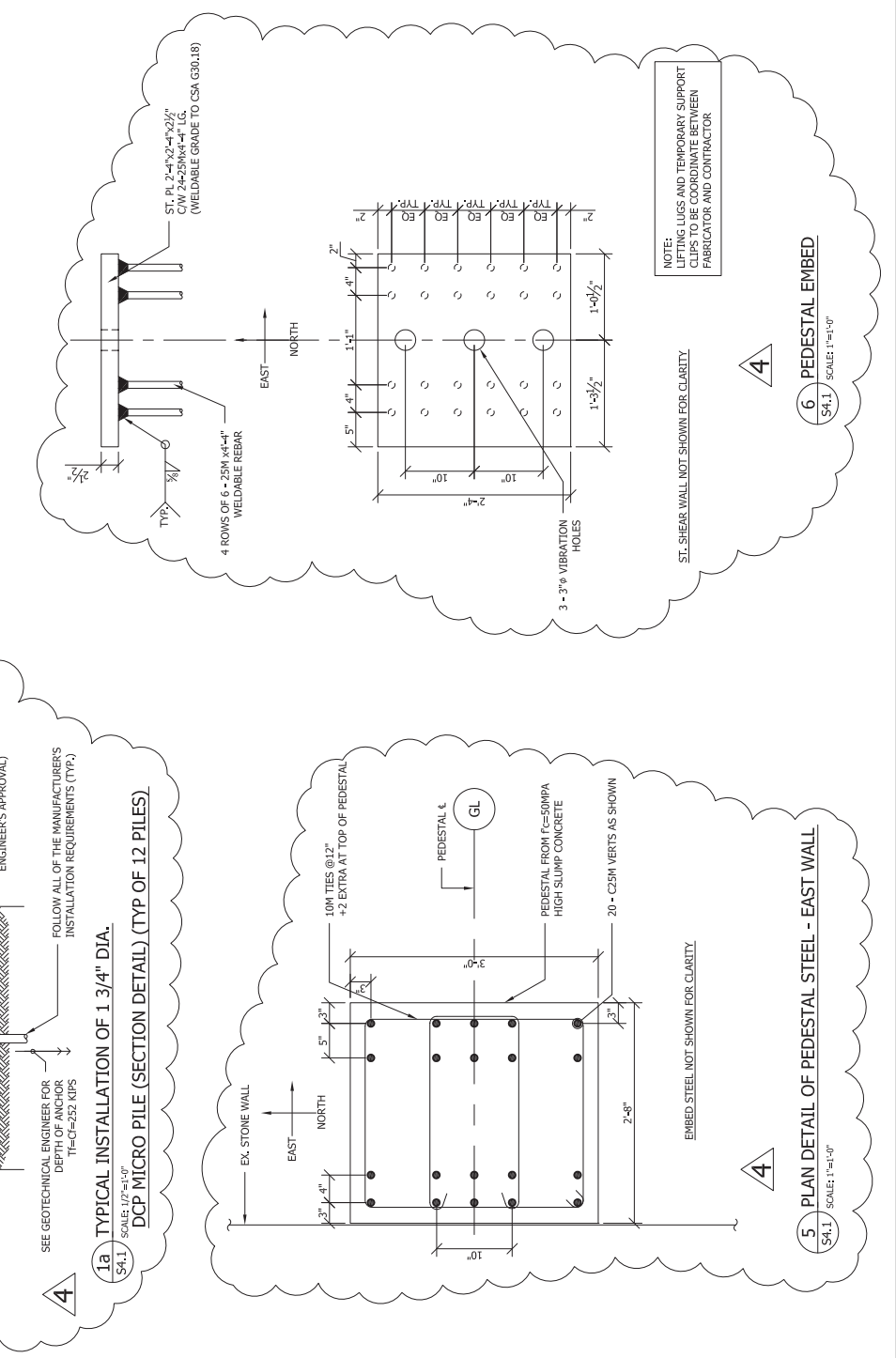
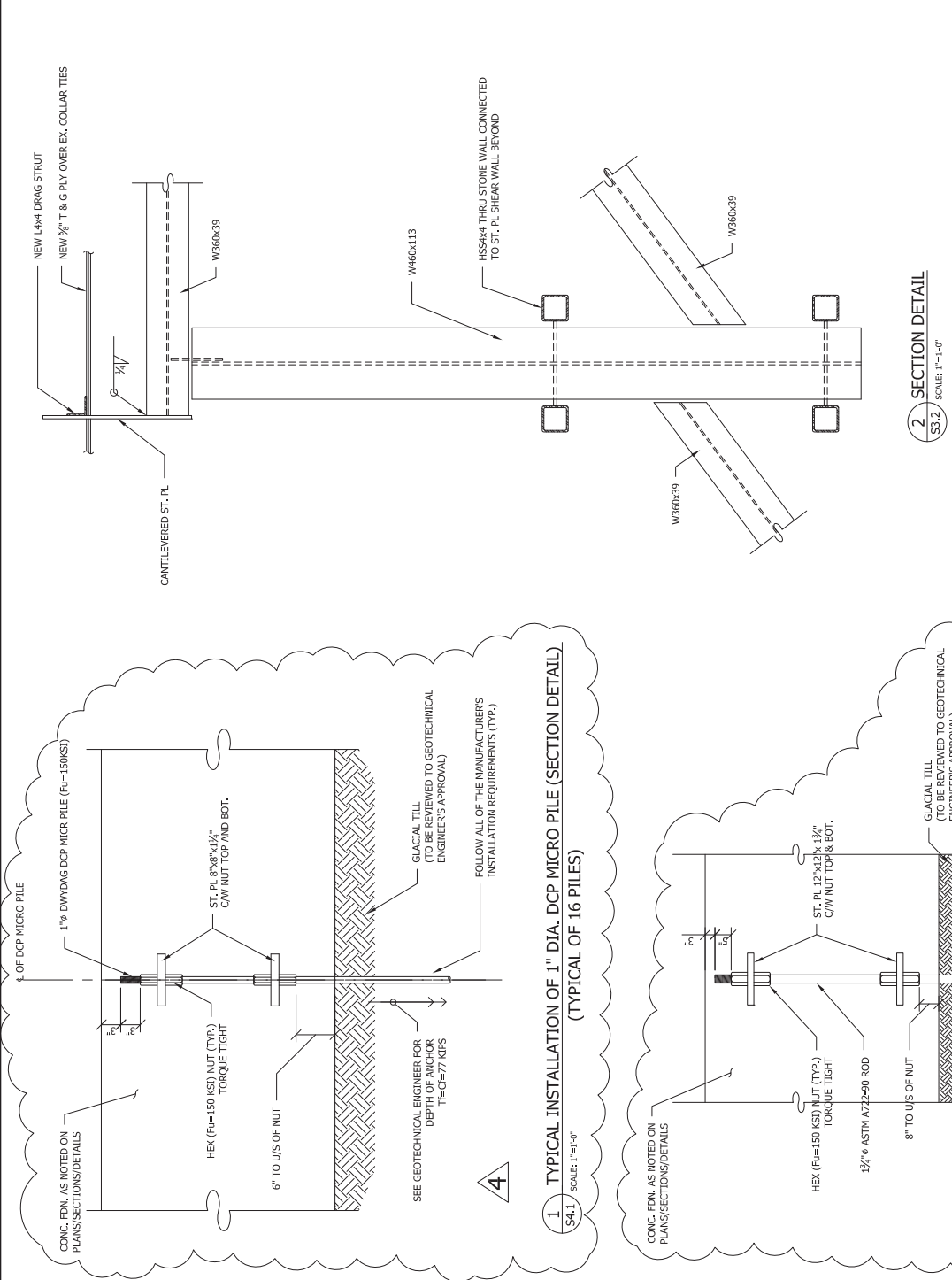
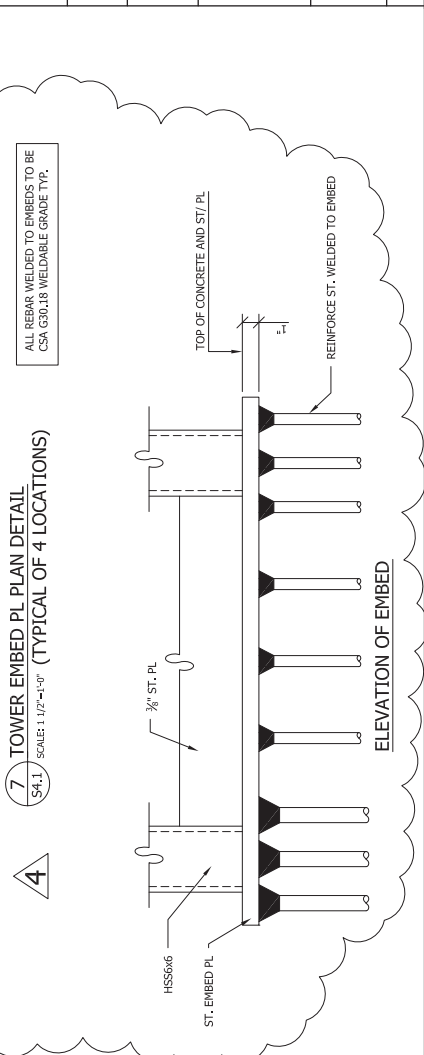
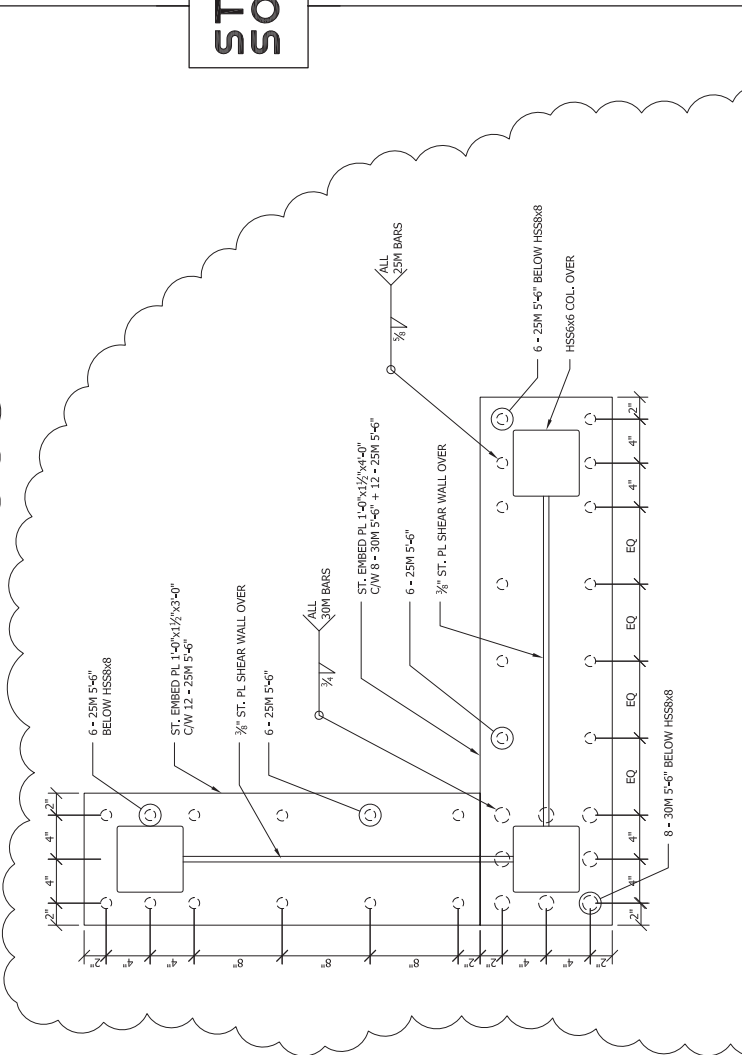
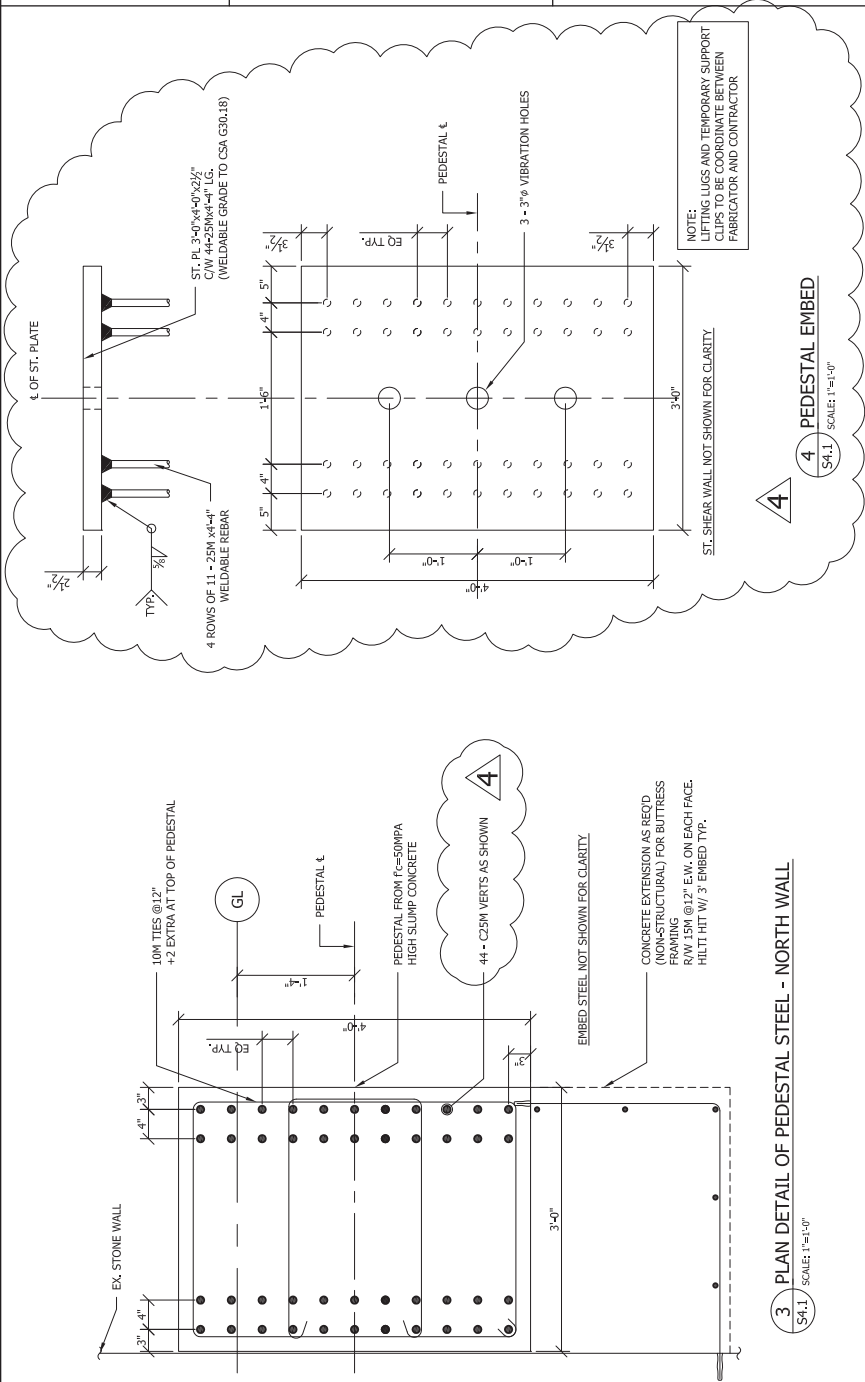
PROJECT NUMBER: K1214

CIVIL ADDRESS:
514 CARNARVON ST.,
NEW WESTMINSTER, BC.

PROJECT:
HOLY TRINITY CATHEDRAL
60% SEISMIC UPGRADE

DRAWING TITLE:
DETAILS / SECTIONS

DRAWING: S4.1



APPENDIX 3

Conservation Plan

APPENDIX 4

CONFIRMATION OF COMMITMENT BY STRUCTURAL ENGINEER OR HERITAGE PROFESSIONAL

Date: _____

City of New Westminster
511 Royal Avenue
New Westminster, B.C. V3L 1H9

Attention: Director of Climate Action, Planning and Development

Re: Heritage Revitalization Agreement for Holy Trinity Cathedral, 514 Carnarvon Street

The undersigned hereby undertakes to be responsible for field reviews of the construction carried out at the captioned address for compliance with the requirements of [strike out inapplicable] Appendix 2 Seismic Upgrade/Appendix 3 Conservation Work of the Heritage Revitalization Agreement applicable to the property, which the undersigned acknowledges having received and reviewed, and undertakes to notify the City of New Westminster in writing within one business day if the undersigned's contract for field review is terminated at any time during construction. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

Name

Address

Signature and Seal

Telephone No.

APPENDIX 5

CERTIFICATION OF COMPLIANCE FROM STRUCTURAL ENGINEER OR HERITAGE PROFESSIONAL

Date: _____

City of New Westminster
511 Royal Avenue
New Westminster, B.C. V3L 1H9

Attention: Director of Climate Action, Planning and Development

Re: Heritage Revitalization Agreement for Holy Trinity Cathedral, 514 Carnarvon Street

I hereby give assurance that I have fulfilled my obligations for field review as indicated in my letter to the City of New Westminster dated _____ in relation to the captioned property, and that the work complies in all material respects with the requirements of [strike out inapplicable] Appendix 2/Appendix 3 of the Heritage Revitalization Agreement referred to in that letter. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

Name

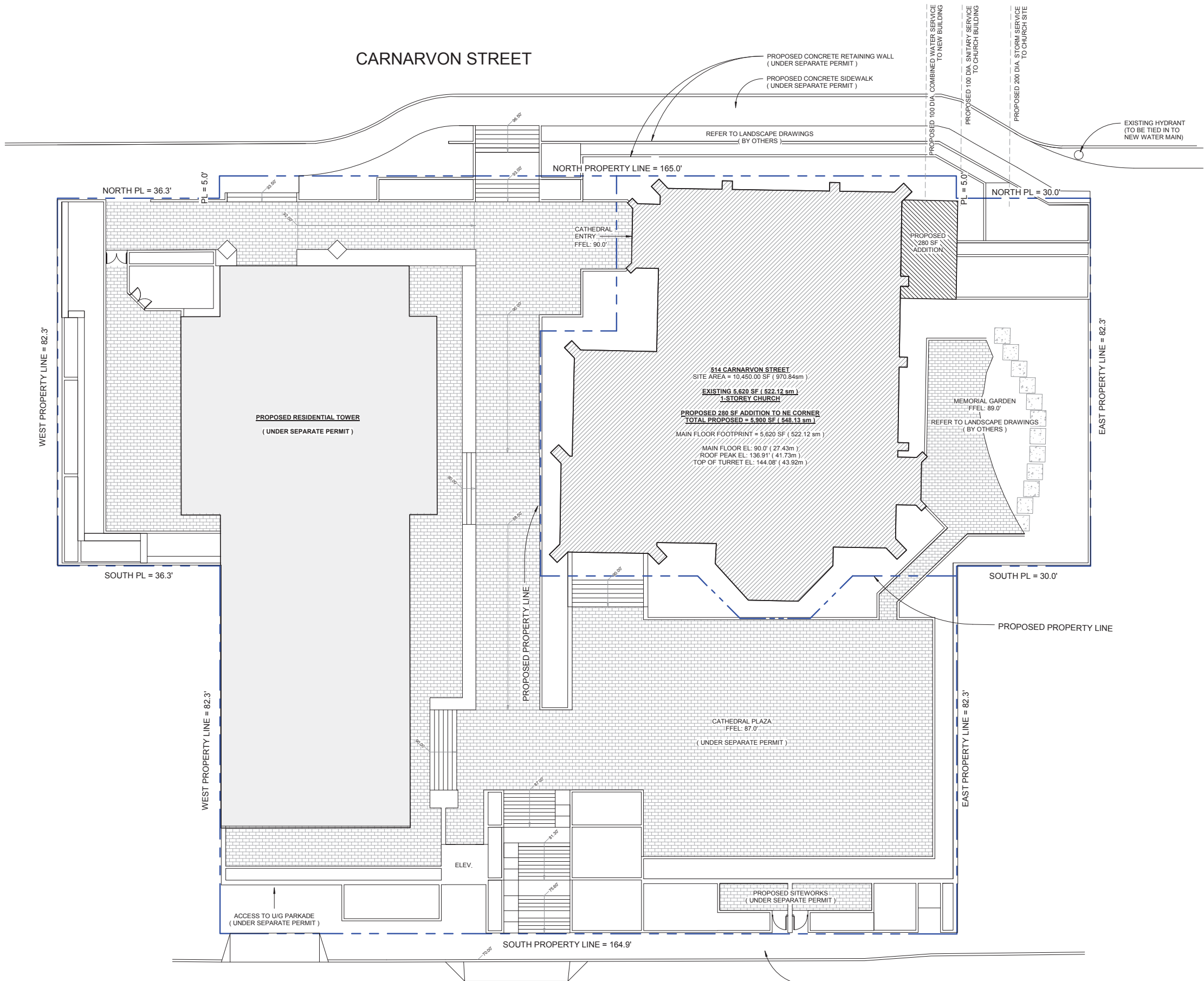
Address

Signature and Seal

Telephone No.

APPENDIX 6

CATHEDRAL DESIGN PLANS



Civic Address: 514 CARNARVON STREET
NEW WESTMINSTER, BC V3L 1C4

Legal Description: NWD, PLAN NWP74708, PARCEL ONE,
GROUP 1, VICTORIA GARDENS

PID: 008-186-430
Folio: 01288000

ZONING: P-1

SITE AREA = 10,450.00 SF (970.84sm)

EXISTING BUILDING DESCRIBE:
SINGLE-STOREY HISTORIC HOLY TRINITY CATHEDRAL, HRA, OCP, SDP
APPLICATIONS & ON THE HERITAGE REGISTRAR.
ASSEMBLY CLASSIFICATION.

EXISTING COMBUSTIBLE CONSTRUCTION, WOOD INTERNAL
STRUCTURE c/w EXTERIOR STONE WALLS.
PROPOSED INTERIOR RENOVATIONS, SEISMIC UPGRADE AND
RESTORATION OF THE EXTERIOR OF THE CATHEDRAL.
PROTECT CATHEDRAL AND PROVIDE NEW PARISH SPACE INCLUDING
PUBLICLY ACCESSIBLE PLAZA.

BUILDING IS FACING CARNARVON STREET.

PROPOSED HERITAGE DESIGNATION BYLAW PROVIDING LONG-TERM
LEGAL PROTECTION OF THE CATHEDRAL.

PROJECT TEAM

GENERAL CONTRACTOR :
CONWEST (514 CARNARVON) LP

#250 - 1311 Kootenay Street
Vancouver, BC V5K 4Y3
d 604.294.5067
c 778.953.6838

CONTACT:
LUKE NEWMAN, project manager
luke.newman@conwest.com

ARCHITECT :
JONATHAN EHRLING ARCHITECT INC.

200 - 829 West 15th Street
North Vancouver, BC V7P 1M5
t 604.770.1380
c 604.230.1780

CONTACT:
JONATHAN EHRLING, Architect AIBC
jonathan.ehrling.architect@gmail.com

STRUCTURAL ENGINEER :
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ARCHITECTURAL DRAWING LIST:

- A1.0 - PROPOSED SITE PLAN
- A2.0 - EXISTING FLOOR PLAN
- A2.1 - PROPOSED FLOOR PLAN
- A2.2 - PROPOSED BUILDING ROOF PLAN (RENOVATED)
- A2.3 - PROPOSED REFLECTED CEILING PLAN
- A2.4 - PROPOSED DEMOLITION PLAN
- A3.0 - PROPOSED BUILDING ELEVATIONS (EAST / NORTH)
- A3.1 - PROPOSED BUILDING ELEVATIONS (WEST / SOUTH)
- A4.0 - PROPOSED BUILDING SECTION AA
- A4.1 - PROPOSED BUILDING SECTION BB
- A4.2 - PROPOSED BUILDING SECTION CC
- A4.3 - PROPOSED BUILDING SECTION DD
- A5.0 - PROPOSED WASHROOM ADDITION
- A5.1 - PROPOSED PIER DETAILS
- A5.1 - PROPOSED WASHROOM ADDITION DETAILS



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	CLIENT REVIEW	AUG. 9, 2016

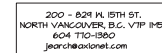
Rev. No. R e v i s i o n Date

**PROPOSED SITE
PLAN**

Scale: 3/32" = 1'-0"

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	CLIENT REVIEW	OCT. 2, 20
Rev. No.	Revision	Date

BUILDING
FLOOR PLAN
(EXISTING)

Scale: $1/4" = 1' - 0"$ U.N.O.

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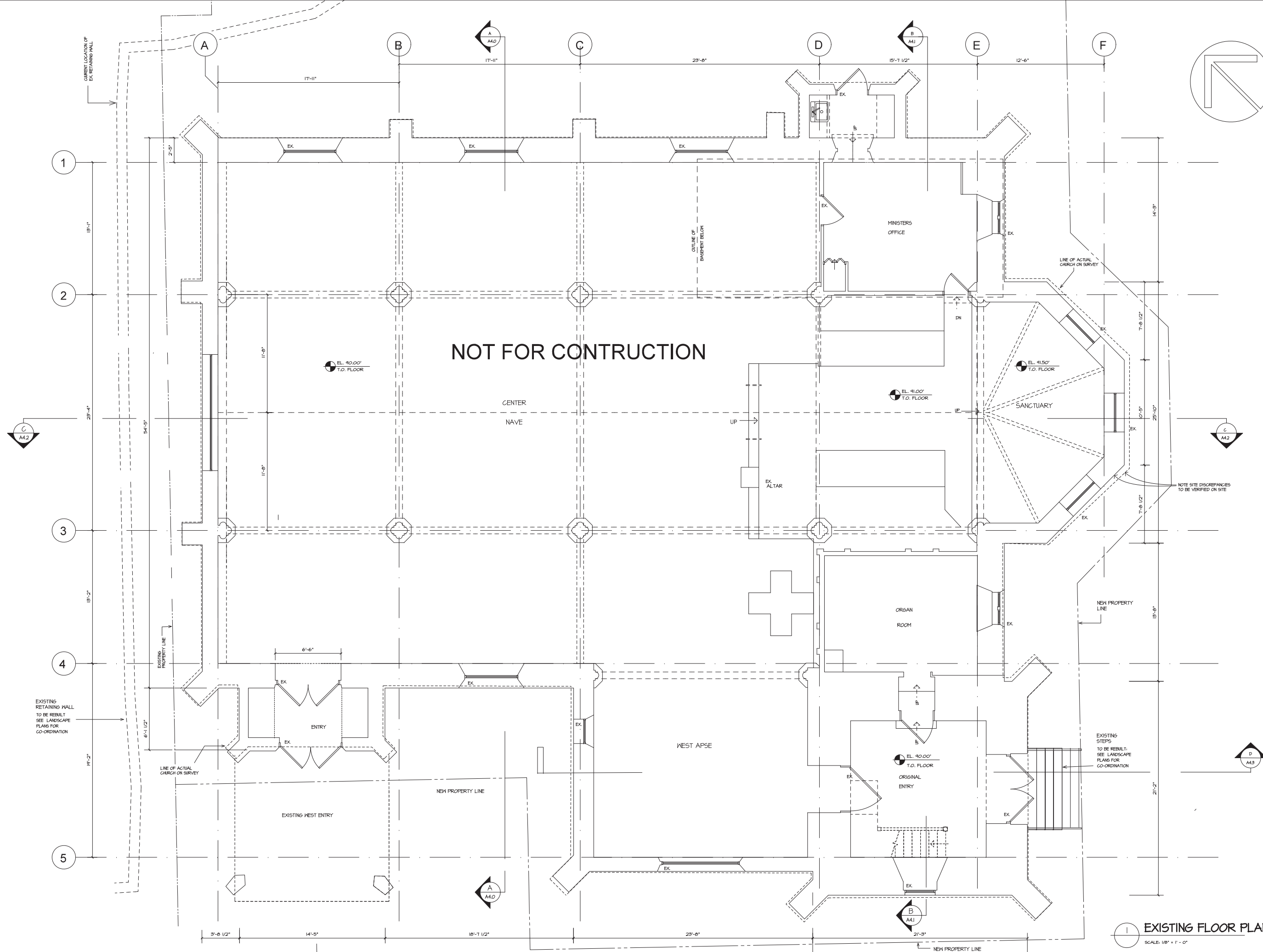
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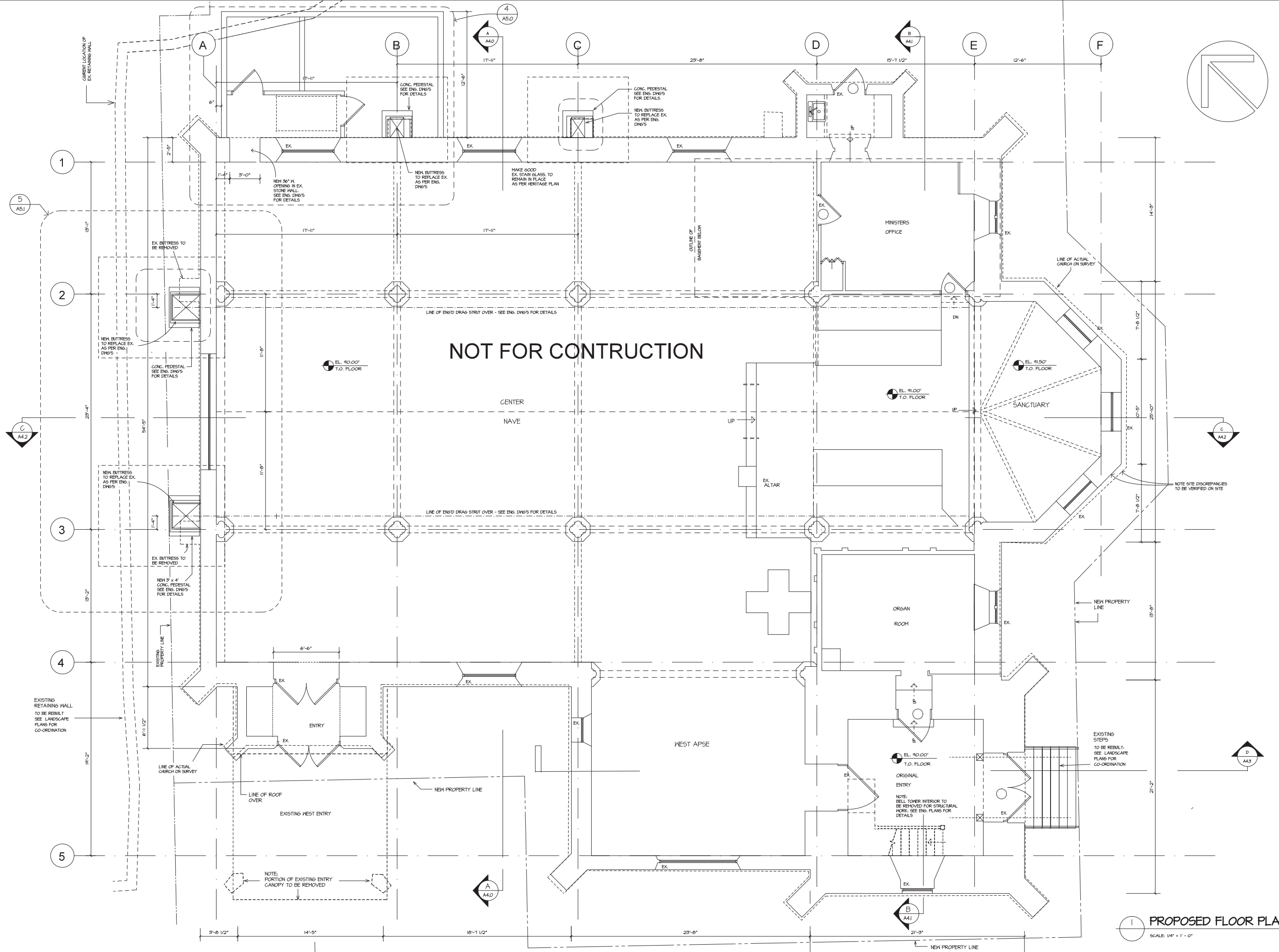
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	CLIENT REVIEW	OCT. 12, 2018
Rev. No.	Revision	Date

BUILDING
FLOOR PLAN
(PROPOSED)

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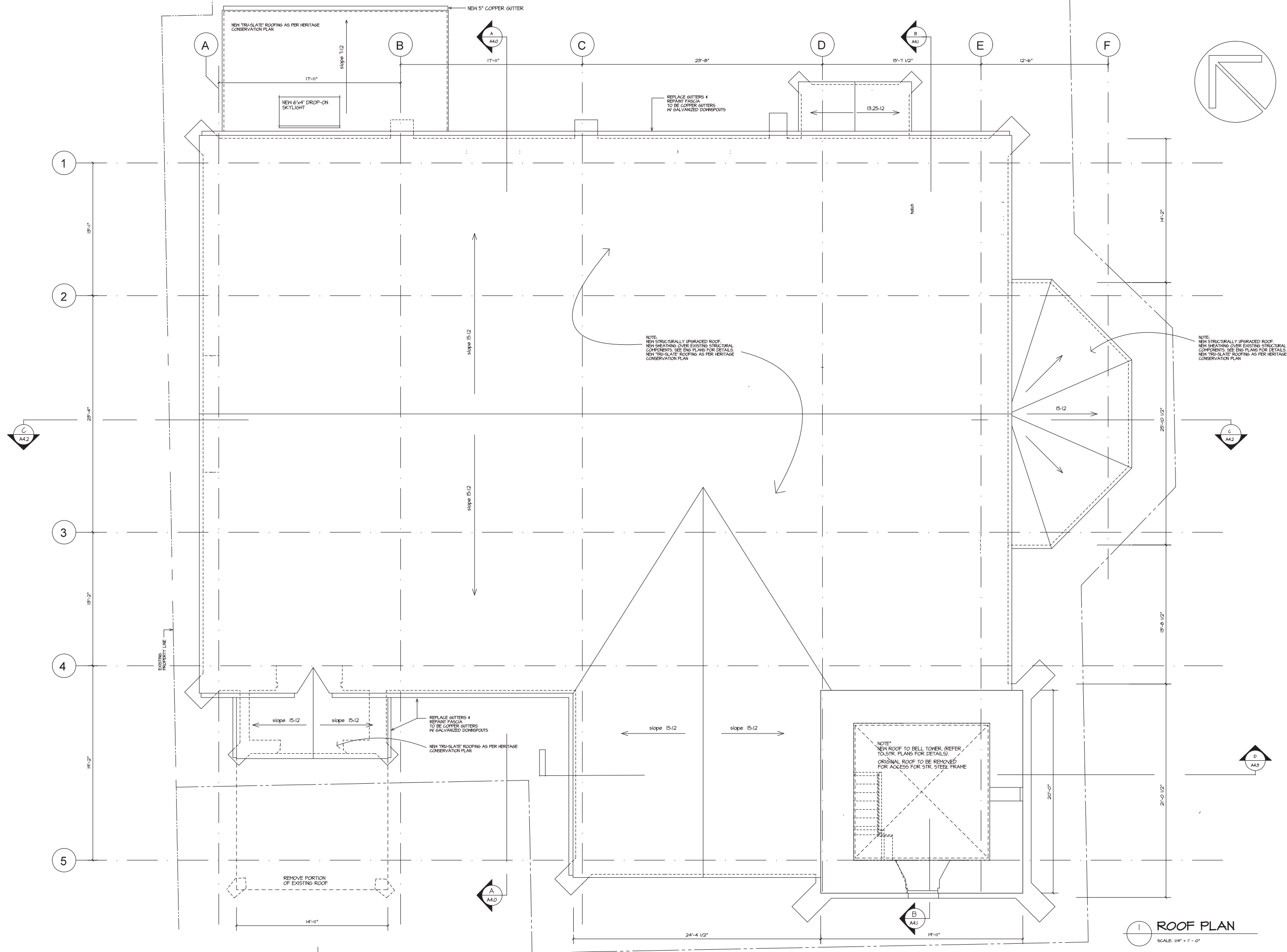
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BUILDING
ROOF PLAN
(RENOVATED)

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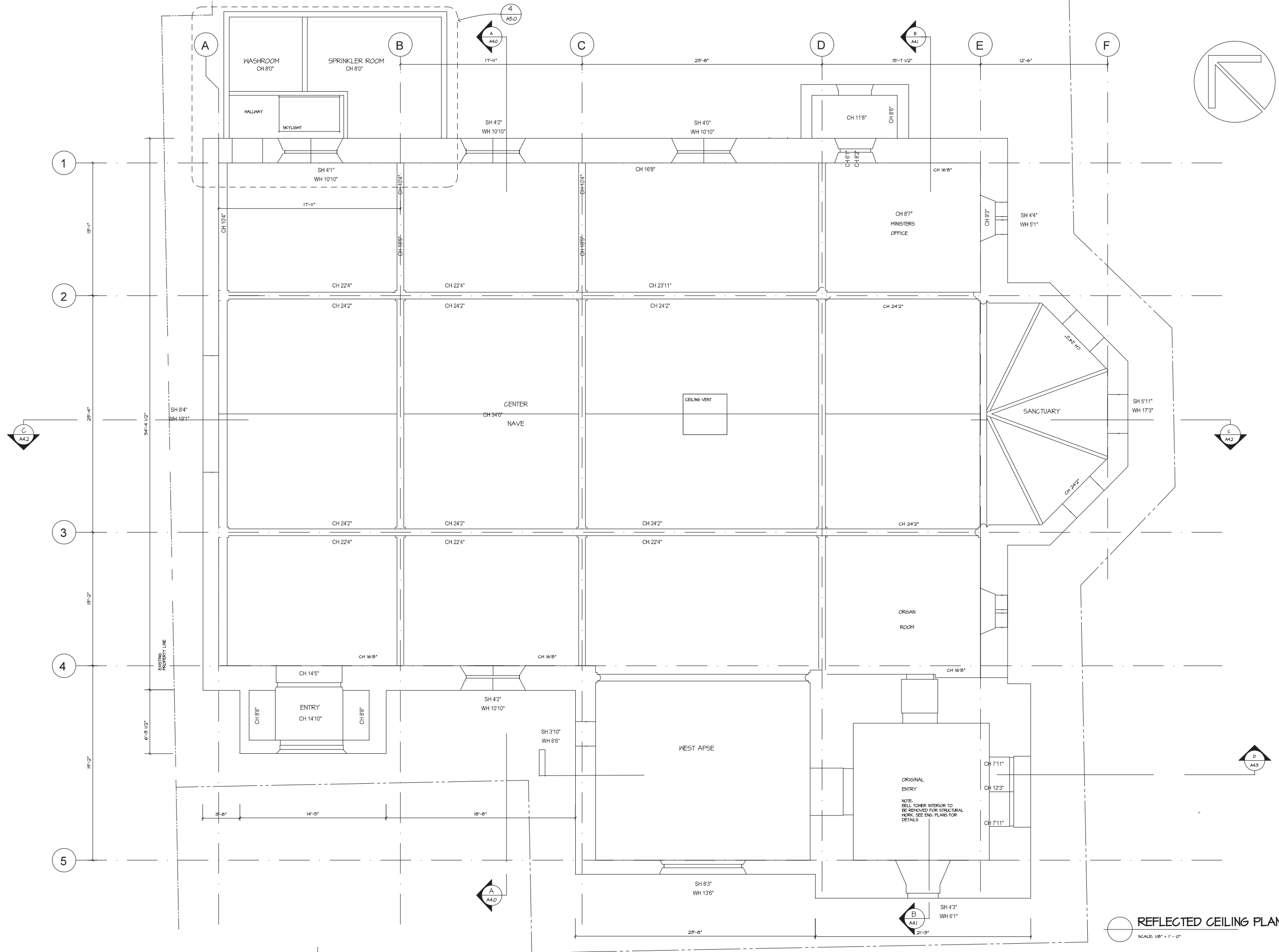
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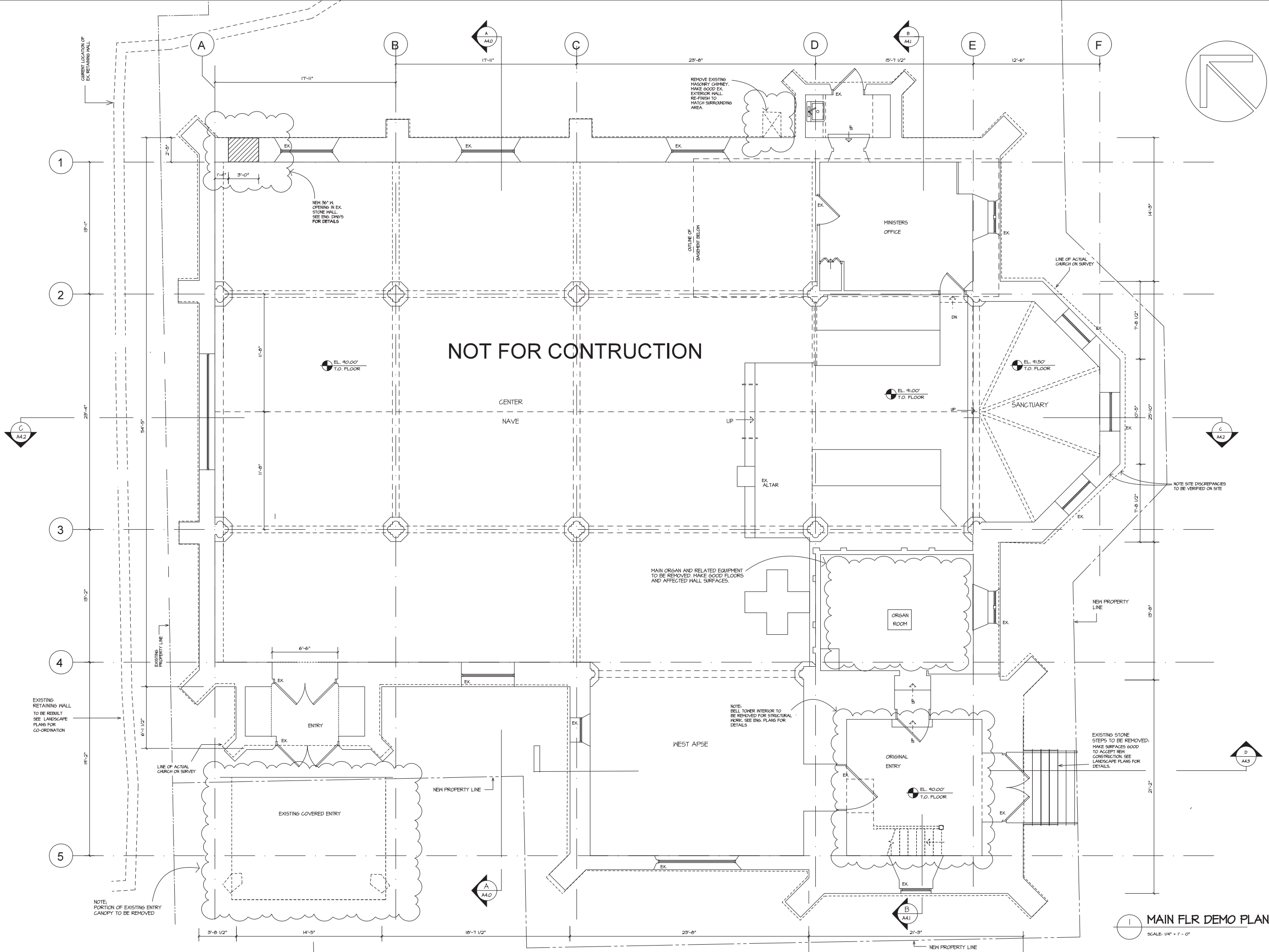
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Scale: 1/4" = 1' - 0" U.N.O.

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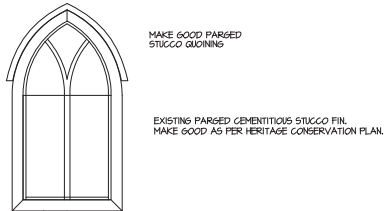
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a	Revision	Dec. 1

Revision	Date
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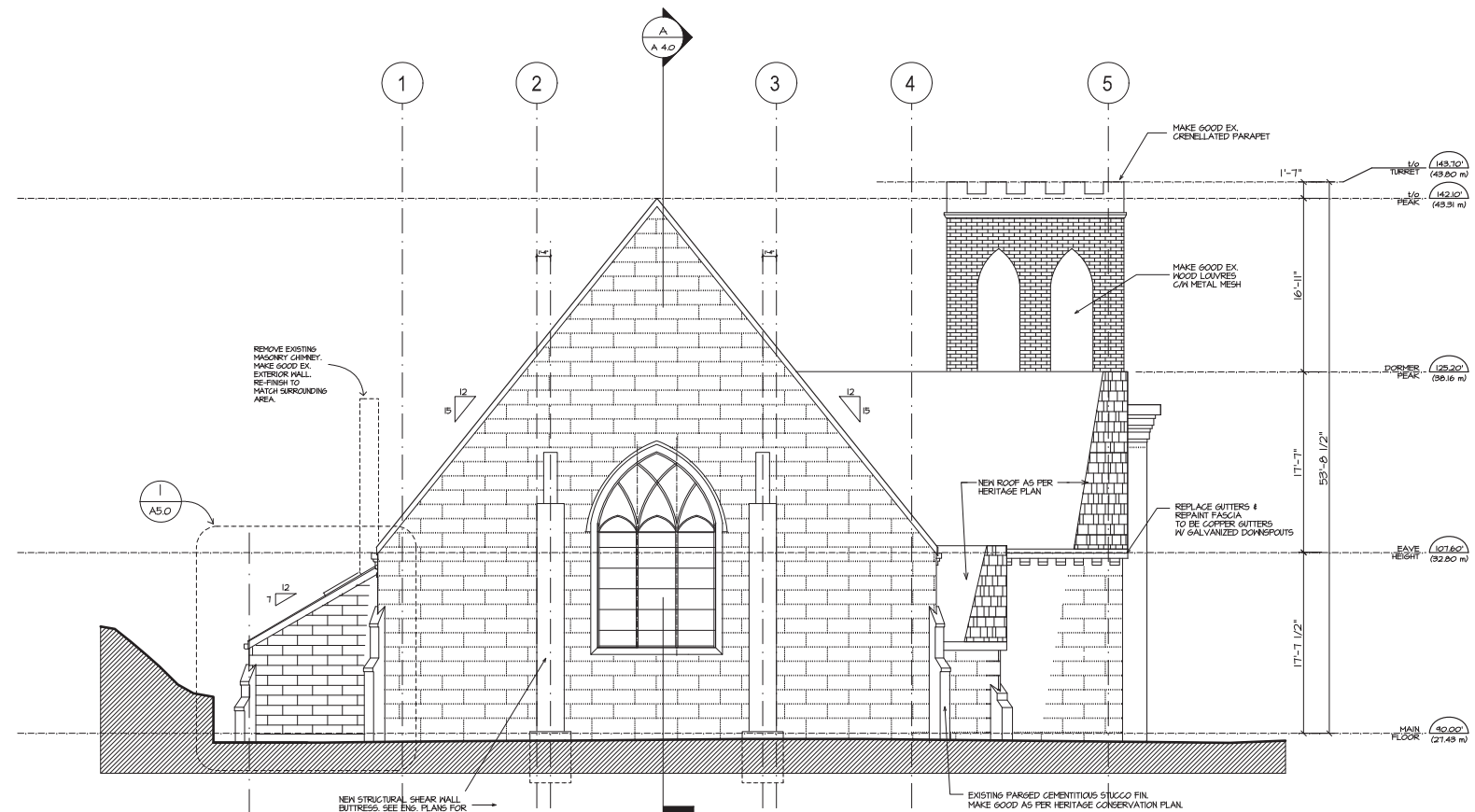
RENOVATED
BUILDING
ELEVATIONS

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TYP. STAINGLASSED WINDOW



2 NORTH ELEVATION
SCALE: 1/8" = 1' - 0"

SCALE: 1/8" = 1' - 0"



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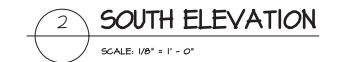
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BUDGET PRICING JAN. 21, 2011

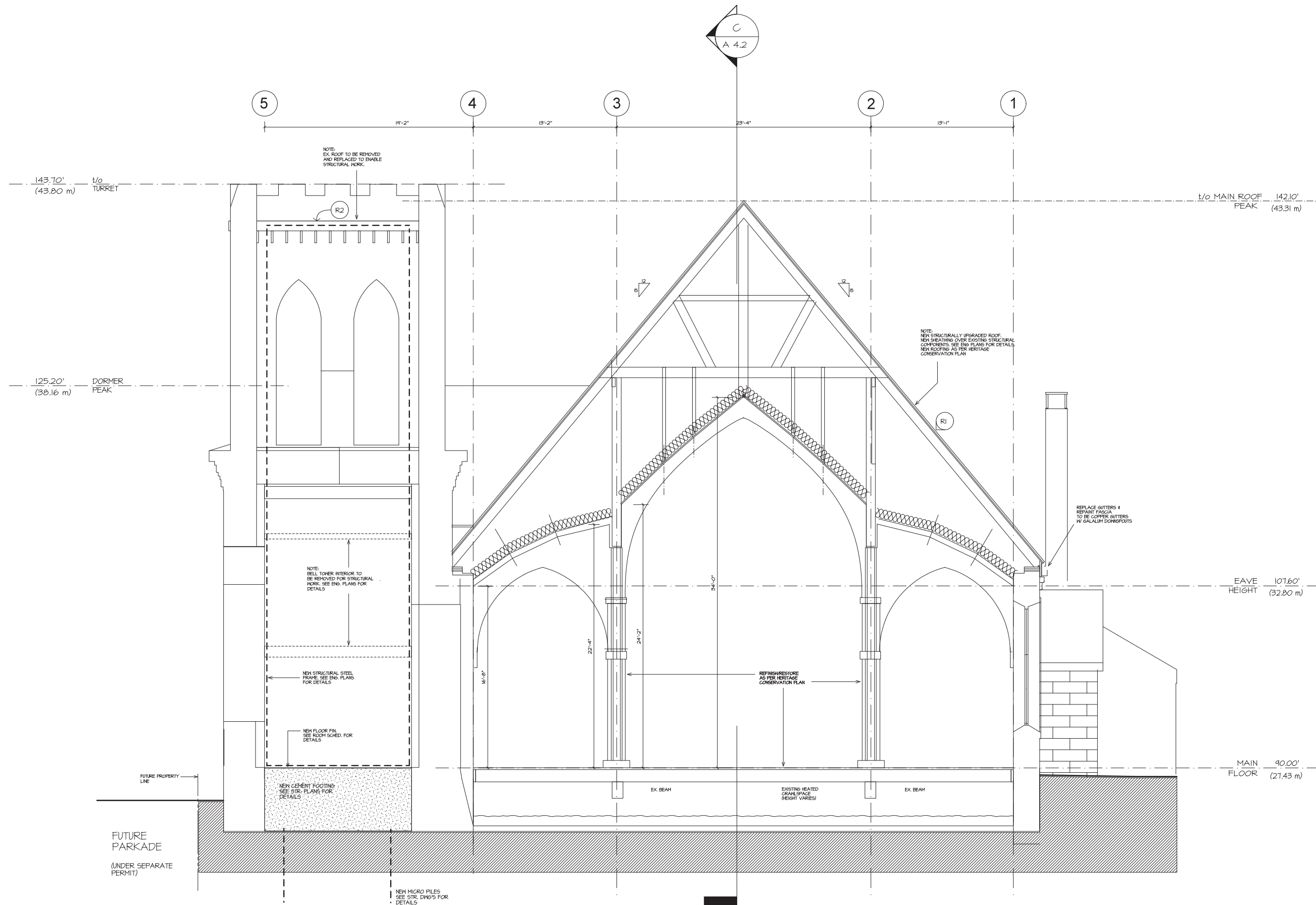
CLIENT REVIEW OCT. 12, 2010

Rev. Revision Date

**BUILDING
SECTION BB**

Scale: 1/4" = 1' - 0" UNO.

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Sheet Number:
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SECTION BB
SCALE: 1/8" = 1' - 0"

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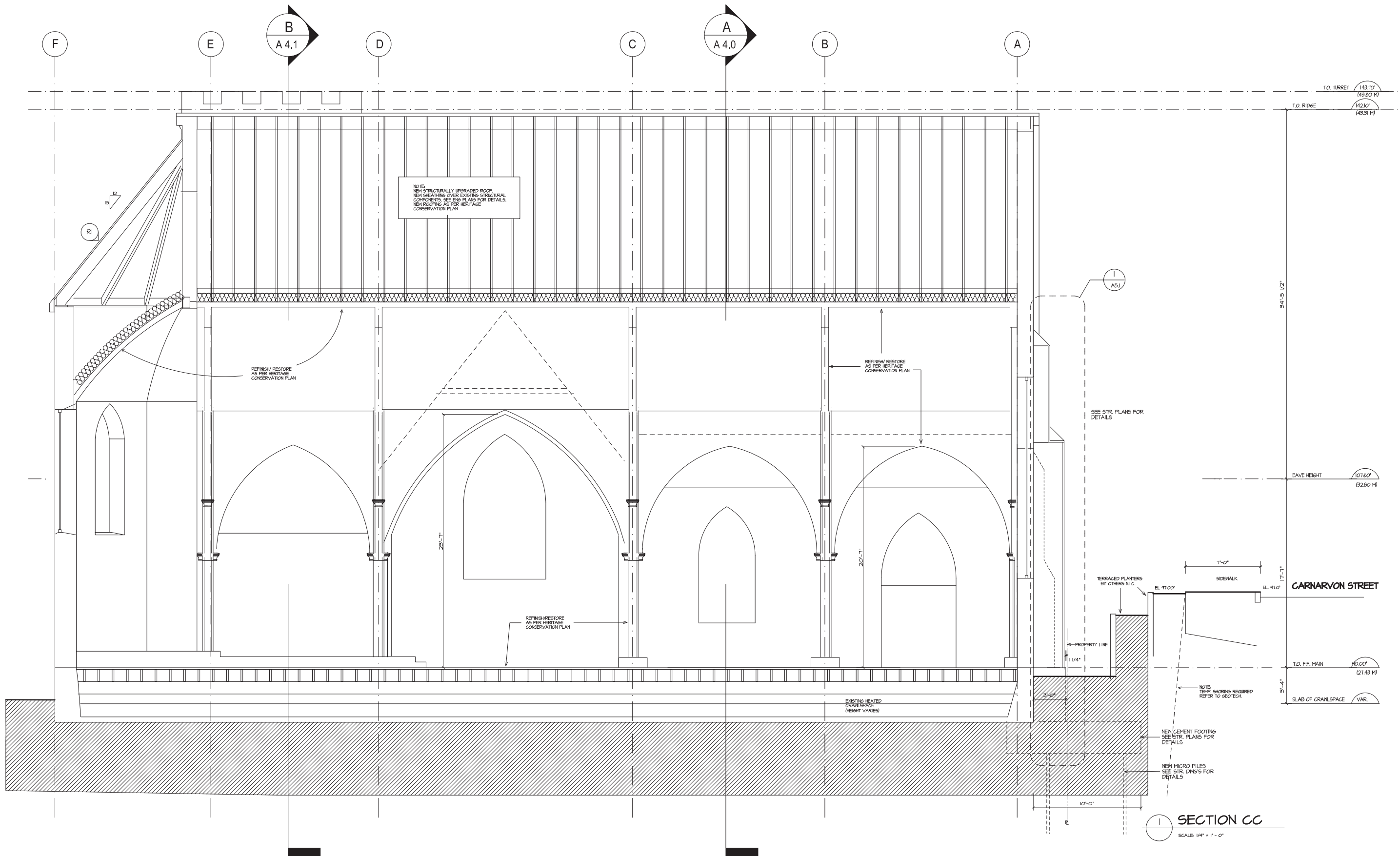
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BUILDING
SECTION CC

scale: 1/4" = 1' - 0" U.N.O.

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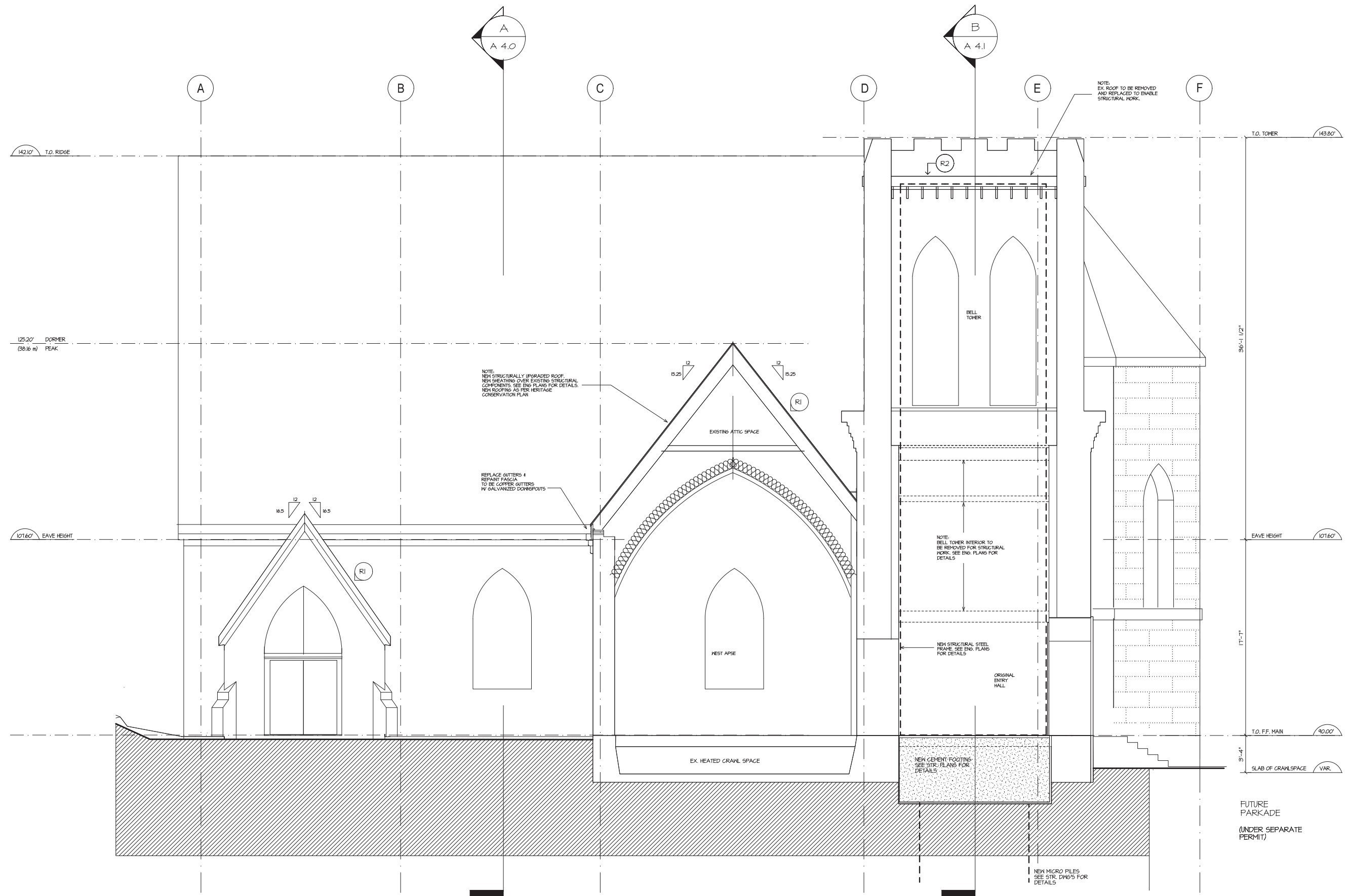
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BUILDING
SECTION DD

Scale: 1/4" = 1' - 0" U.N.O.

Job No.	Sheet Number:
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Drawn: JPE	A 4.3
Checked:	



SECTION DD

SCALE: 1/4" = 1' - 0"

Architectural floor plan of a building section, showing a Hall, Washroom, Sprinkler Room, and various structural details. The plan includes dimensions, room labels, and notes about material reuse and new openings.

Dimensions:

- Overall width: 13'-4"
- Overall height: 17'-11"
- Room dimensions: 4'-3" (Hall), 8'-3" (Washroom), 14'-3" (Sprinkler Room), 12'-6" (Hall/Sprinkler Room interface).
- Other dimensions: 2'-5" (Hall), 3'-2 1/2" (Washroom), 11'-6" (Washroom/Sprinkler Room interface), 6" (Washroom/Sprinkler Room interface).

Rooms and Features:

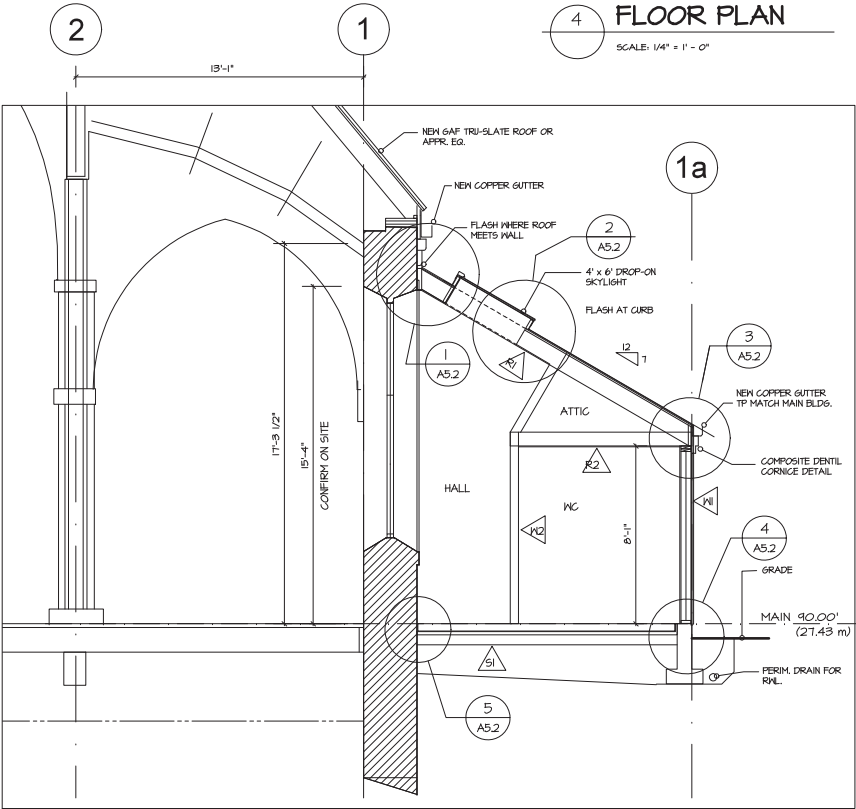
- HALL:** Contains a "skylight over" and a "NEW OPENING IN WALL: SEE STR. PLANS FOR DETAILS".
- WASHROOM:** Contains a toilet, sink, and mirror.
- SPRINKLER ROOM:** Contains a "NEW STEEL SHEAR WALL PAINT FIN." and a "ELEC. PANEL".

Notes:

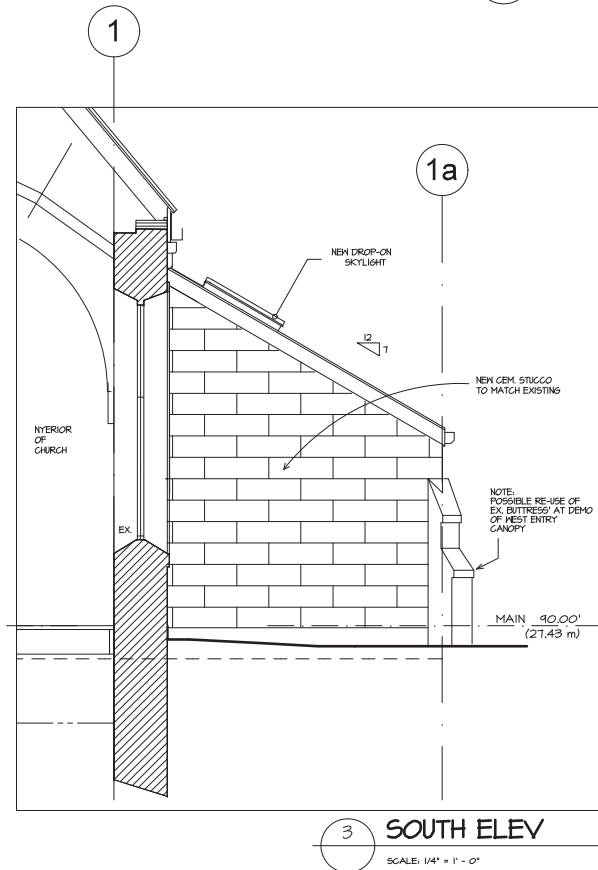
- NOTE: POSSIBLE RE-USE OF EX. BUTTRESS⁵ AT DEMO OF WEST ENTRY CANOPY
- NOTE: POSSIBLE RE-USE OF EX. BUTTRESS⁵ AT DEMO OF WEST ENTRY CANOPY

Other Labels:

- 2, 1, 1a (Top)
- A, B, C (Right)
- EE (Left)
- 306B, D1, D2 (Interior details)
- 1/2, 1/4, 1/8 (Structural details)



4 FLOOR PLAN
SCALE: 1/4" = 1' - 0"



3 SOUTH ELEV
SCALE: 1/4" = 1' - 0"

[illegible]



HERITAGE RESTORATION

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Jan 19	Final	Date

Scale: $1/8" = 1' - 0"$

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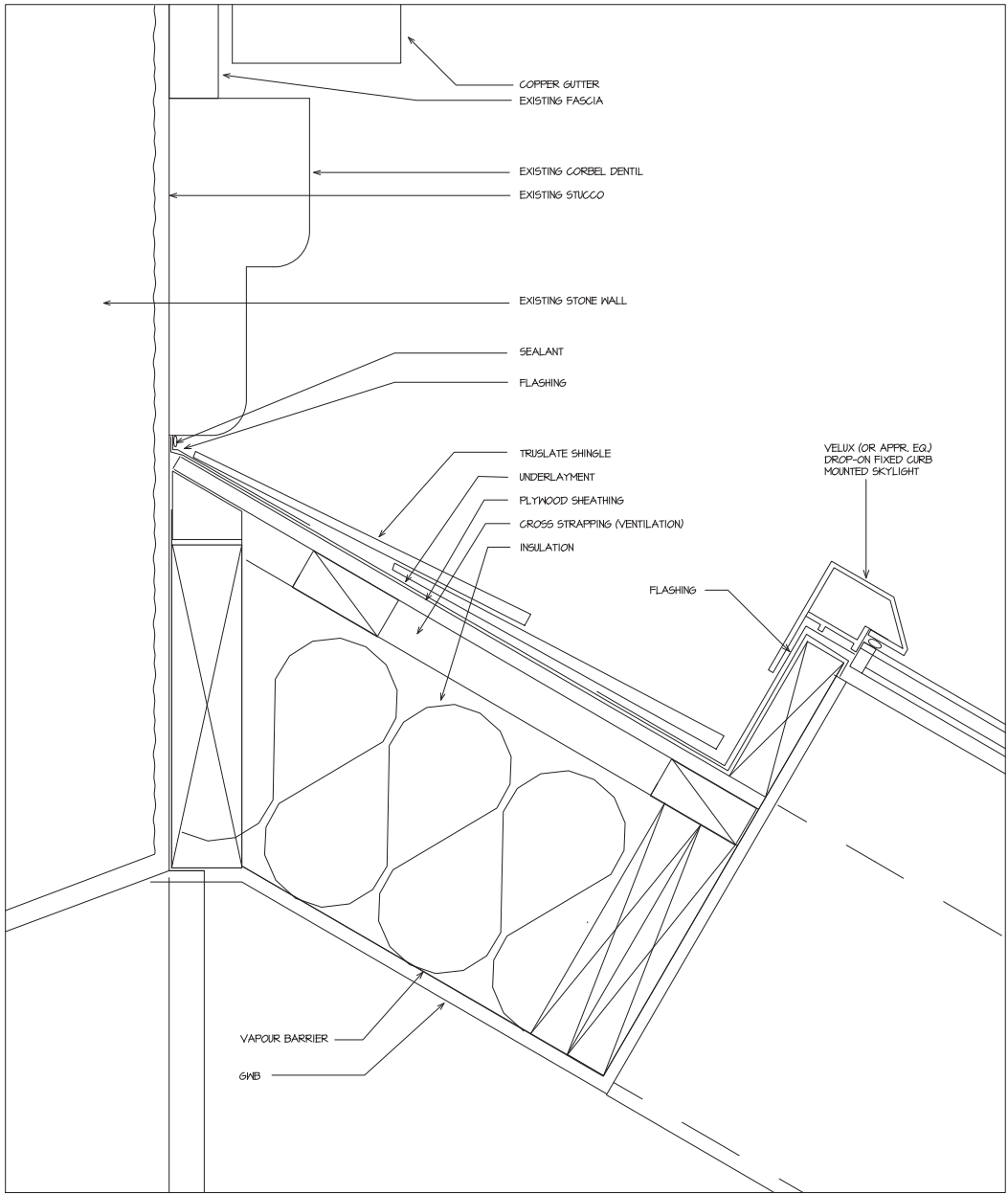
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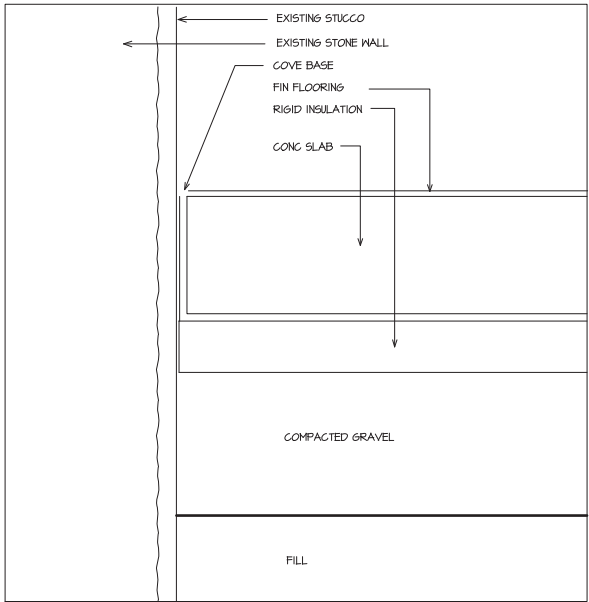
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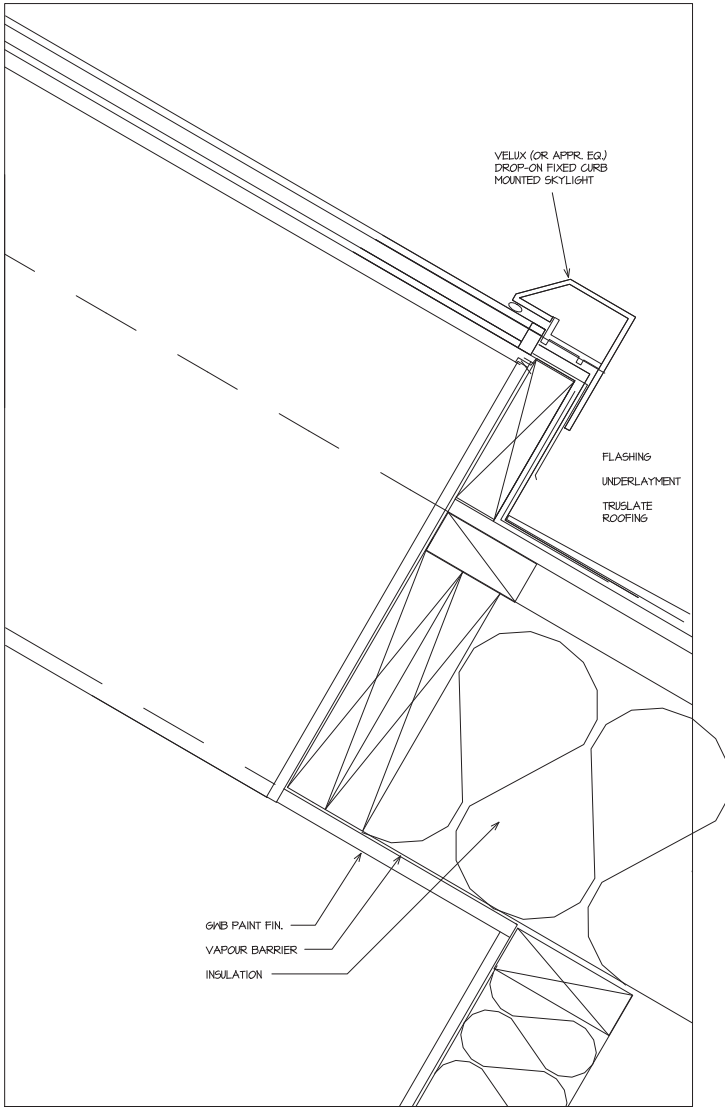
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SCALE: 3" = 1' - 0"

ROOF TO WALL



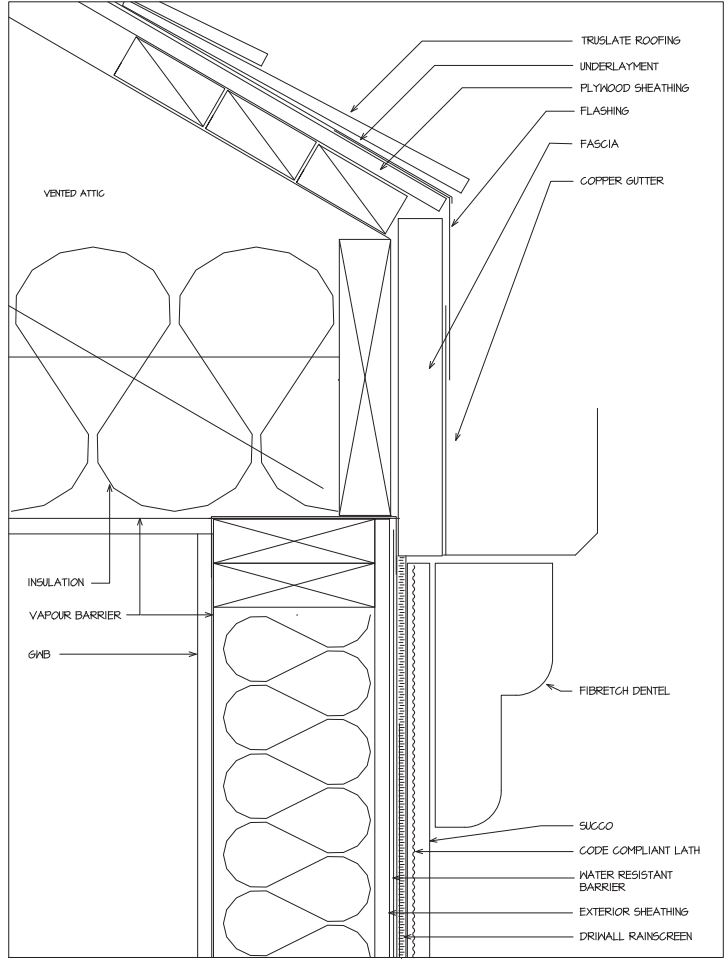
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SCALE: 3" = 1' - 0"

SLAB TO WALL



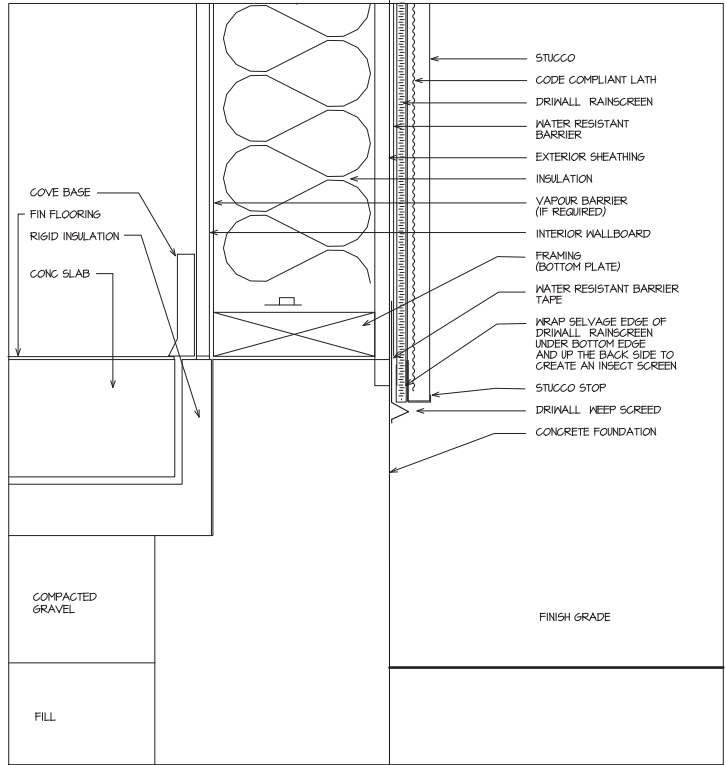
2
AS.O
SCALE: 3" = 1' - 0"

SKYLIGHT TO ROOF



3
AS.O
SCALE: 3" = 1' - 0"

ROOF TO WALL



4
AS.O
SCALE: 3" = 1' - 0"

WALL TO FND'N



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**WASHROOM
ADDITION
DETAILS**

Scale: 1/8" = 1' - 0"

Job No.	Sheet Number:
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APPENDIX 7

LAND USE AND DEVELOPMENT REGULATIONS

Intent

- HRA . 1 The intent of these land use and development regulations is to permit an existing place of worship and allow the development of a new high rise development with ground-level parish hall and accessory church-related uses, residential (market rental and condominium), and public plaza space, elevator, and pedestrian corridor.

Land Use and Development Sub-Districts

- HRA . 2 The Land Use and Development Regulations include two sub-districts A and B as indicated on the map attached to Heritage Revitalization Agreement Bylaw No. 8089, 2022 as Appendix 1.

Definitions

- HRA . 3 All uses in these regulations will have the same meaning as per the City of New Westminster Zoning Bylaw, unless otherwise defined in this zone.
- HRA . 4 **DROP-IN CENTRE PROVIDING MEALS** means a building or portion of a building which provides drop-in space and meals to persons who are non-residents of the building on two or less days of the week.
- HRA . 5 **TEMPORARY SPECIAL EVENTS** means community gatherings within the parish hall or plaza space, which includes activities, such as but not limited to, flea markets, craft fairs, outdoor markets. Such events are only permitted on a temporary or special occasion basis.

Permitted Principal and Accessory Uses

- HRA . 6 The following principal and accessory uses are permitted as outlined for each of the sub-districts. For uses accompanied by a checkmark, there are additional Conditions of Use contained within these regulations.

Permitted Principal Uses (Sub-District A)	Use Specific Regulations
<i>Businesses and professional offices limited to administration of non-profit and religious organizations;</i>	
<i>Child Care;</i>	✓
<i>Multiple unit residential use;</i>	
<i>Places of Worship;</i>	
<i>Public Assembly;</i>	
<i>Self-Improvement Schools;</i>	
<i>Temporary Special Events;</i>	
<i>Uses accessory to a Place of Worship use on Sub-District B;</i>	
<i>Drop-in Centre Providing Meals;</i>	

Permitted Accessory Uses (Sub-District A)	Use Specific Regulations
<i>Uses accessory to any permitted principal uses;</i>	
<i>Home based businesses;</i>	✓

Permitted Principal Uses (Sub-District B)	Use Specific Regulations
<i>Places of Worship;</i>	
<i>Public Assembly;</i>	
<i>Childcare;</i>	✓

Permitted Accessory Uses (Sub-District B)	Use Specific Regulations
<i>Uses accessory to any permitted principal uses;</i>	

Conditions of Use

- HRA .7 Child care in accordance with Section 170.13 of the City of New Westminster Zoning Bylaw, as amended.
- HRA .8 Home Based Businesses in accordance with Section 190.28 of the City of New Westminster Zoning Bylaw, as amended.

Density

- HRA .9 The maximum net floor area in Sub-District A shall not exceed 20,587 square metres (221,597 square feet).
- HRA .10 The maximum gross floor area in Sub-District B shall not exceed 627 square metres (6,750 square feet).

Principal Building Envelope

- HRA .11 All *principal buildings and structures* shall be sized and sited according to the following:

Regulation	Sub-District A	Sub-District B
Minimum Setback North (Carnarvon Street)	1.5 metres (5 feet)	No setback required.
Minimum Setback West	2.4 metres (8 feet)	0.3 metres (1 foot)
Minimum Setback East	0.7 metre (2.5 feet)	8.2 metres (27 feet)

Minimum Setback South	No setback required.	0.3 metres (1 foot)
Maximum Building Height	97.6 metres (320 feet)	20 metres (65.61 feet)
Maximum Floorplate Size	760 square metres (8,181 square feet) above the fourth storey.	N/A
Maximum Site Coverage at grade	28%	65%

Off-Street Parking and Loading Requirements

- HRA .12 Off-street automobile parking shall be provided in accordance with the Off-Street Parking Regulation section of the City of New Westminster Zoning Bylaw, except for the following:
- a) 165 residential parking spaces shall be required;
 - b) 11 visitor parking spaces shall be required;
 - c) 12 parking spaces for the use of the cathedral and parish hall shall be provided; and
 - d) 8 parking spaces which shall be shared between visitor parking and the cathedral and parish hall shall be provided; and
 - e) 1 carshare space shall be provided;
- HRA .13 Bicycle parking shall be provided in accordance with the Off-Street Bicycle Parking Regulation section of the City of New Westminster Zoning Bylaw.
- HRA .14 Off-street loading shall be provided in accordance with the Off-Street Loading Regulation section of the City of New Westminster Zoning Bylaw, except for the following:
- a) One off-street loading space shall be provided.

APPENDIX 8
Mixed Use Building Design Plans

HOLY TRINITY CATHEDRAL TOWER

514 CARNARVON STREET, NEW WESTMINSTER

ISSUED FOR HERITAGE REVITALIZATION AGREEMENT, MAY 2022

DRAWING LIST

ARCHITECTURAL

- A 000

Cover
- A 001

Data
- A 002

Data
- A 003

Data
- A 004

Data
- A 005

Subdivision Plan
- A 100

Context Plan
- A 101

Survey
- A 102

Civil Key Plan
- A 103

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- A 401

Sections



PROJECT TEAM

CLIENT	DEVELOPMENT PARTNER	ARCHITECT	HERITAGE CONSULTANT	LANDSCAPE ARCHITECT	STRUCTURAL	ELECTRICAL	MECHANICAL	CODE	TRAFFIC	CIVIL	ENVELOPE
Holy Trinity Anglican Cathedral 514 Carnarvon St New Westminster, BC V3L 1C4	Conwest Developments Ltd. 401-1930 Pandora St, Vancouver BC V5L 0C7	Frاند Architecture 970 Homer St, Vancouver BC V6B 2W7	Donald Luxton and Associates Inc. 1030-470 Granville Street Vancouver, BC V6C 1V5	Durante Kreuk Landscape architects 102 - 1637 West 5th Avenue Vancouver, BC V6J 1N5	Glottman-Simpson 1661 West 5th Avenue, Vancouver, BC V6J 1N5	Nemetz Electrical 2009 West 4th Avenue Vancouver, BC V6J 1N3	MCW Group Suite 1400, 1111 West Georgia Street Vancouver, BC V6E 4M3	CT Engineering #800 - 1901 Rosser Avenue Burnaby, BC V5C 6R6	Bunt & Associates Suite 1550 1050 West Pender St, Vancouver, BC V8W 1G2	Core Group 320- 8988 Fraserton Court, Burnaby, BC V5J 5H8	Morrison Hershfield 4321 Still Creek Dr #310, Burnaby, BC V5C 6S7
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Project North: 											
Draw by: Author											
Reviewed by: Checker											
Date: 08/17/21											
Plot Date: 2022-05-31 3:12:04 PM											
Graphic Scale:											
Scale: 1 : 1											
Project No.: 22102											
Drawing No.: A 000											

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Notes

1	2022-05-06	HERITAGE REVITALIZATION AGREEMENT
2	2022-03-17	AKC SUBMISSION RESPONSE
3	2022-10-29	

No.	Date	Description
-----	------	-------------

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

514 Carnarvon St
Client: Conwest

Sheet Title:	Cover
--------------	-------

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Reviewed by:	Checker
Date:	08/17/21
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Graphic Scale:

Scale: 1 : 1

Project No.:

22102

Drawing No.:

A 000

PROJECT DATA SUMMARY			
CIVIC ADDRESS	514 CARNARVON ST		
LEGAL ADDRESS	PARCEL 1, VICTORIA GARDENS REFERENCE PLAN 74708		
EXISTING ZONING	P1- PUBLIC AND INSTITUTIONAL DISTRICTS (LOW RISE)		
<u>SITE AREA</u>	m2	SF	
SITE A (TOWER)	2,133.1	22,960	
SITE B (CHURCH)	972.5	10,468	
COMBINED	3,105.6	33,428	
<u>LOT COVERAGE:</u>			
SITE A (TOWER)	25.27%		
SITE B (CHURCH)	62.72%		
COMBINED	17.36%		
<u>GROSS AREA PROPOSED</u>	m2	SF	
TOWER	21,285.0	229117.3	
CHURCH	610.0	6566.2	
COMBINED	21,895.0	235683.5	
<u>NET AREA (FSR AREA)</u>	m2	SF	
TOWER	19,543.0	210365.4	
CHURCH	528.5	5688.9	
COMBINED	20,071.5	216054.9	
<u>FSR</u>			
SITE A (TOWER)	9.16		
SITE B (CHURCH)	0.6		
COMBINED	6.5		
<u>BUILDING HEIGHT (m)</u>	Proposed	Storeys	
TOWER	92.7m	30	
CHURCH	19.1m	1	
TOTAL UNITS	285	100%	
Residential Units	171	60%	
Adaptable Single Units	37	12.98%	40.00%
Adaptable Family Units	77	27.02%	
PARKING COUNT	Proposed	Required	
Residential	Market Rental	155	314
	Secured Market Rental	10	10
	Visitor	11	30
	Residential total	176	354
Church	12	25	
Car Share	Church/Visitor shared	8	
	1		
Total	197	379	
% Parking Reduction	47%		
LOADING	Proposed	Required	
Type A	1	1	
LONG TERM BICYCLE COUNT	Proposed	Required	
	358	357	1.25*Unit 6.6developmen t
SHORT TERM BICYCLE COUNT AT GRADE	12	12	6/1500 sqm

Parking Schedule	
Level P1 1/2	
Church	Standard
Residential	Small
Level P1 1/2: 14	2
Level P1	
Church/Visitor	Accessible
Church/Visitor	Small
Church/Visitor	Standard
Visitor	Small
Visitor	Standard
Level P1: 14	1
Level P2 1/2	
CarShare	Standard
Residential	Standard
Visitor	Standard
Level P2 1/2: 13	5

Parking Schedule	
Level P3	
Residential	Small
Residential	Standard
Level P3: 44	15
Level P4	
Residential	Small
Residential	Standard
Level P4: 46	31
Level P5	
Residential	Small
Residential	Standard
Level P5: 48	12
Grand total: 197	36

Parking Stial Type Schedule		
Parking Use	Type	Count
CarShare	Standard	1
Church	Standard	12
Church/Visitor	Accessible	2
Church/Visitor	Small	4
Church/Visitor	Standard	2
Residential	Accessible	6
Residential	Small	54
Residential	Standard	105
Visitor	Small	5
Visitor	Standard	6
Grand total: 197		197

Long Term Bicycle Spaces	
Level P1 1/2	
Vertical	51
Locker	40
Horizontal	3
Level P1 1/2: 94	
Level P1	
Vertical	8
Horizontal	8
Level P1: 16	
Level P2 1/2	
Vertical	52
Locker	43
Horizontal	6
Level P2 1/2: 101	

Level P2	
Vertical	1
Vertical	3
Locker	13
Horizontal	12
Level P2: 29	
Level P3	
Vertical	35
Locker	25
Horizontal	19
Level P3: 79	
Level P4	
Vertical	9
Horizontal	26
Level P4: 39	4
Grand total: 358	

Long Term Bicycle Space Types		
Count	Use	Assembly Code
159	<varies>	Vertical
121	Tower	Locker
74	Tower	Horizontal
4	Tower	<varies>
Grand total: 358		

Short Term Bicycle Spaces		
Level	Use	Count
Level 1	Church	6
Level 1	Tower	6
5 spaces for each 1500 sqm		
5 spaces for dwelling units 20 or more		

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Notes

ACOUSTIC REPORT (25 Jan, 2019) : DESIGN ASSUMPTIONS	
Building Envelope:	Proposed
OITC >/= 25 windows	Glazing: 3-13-3
OITC >/= 25 sliding doors	Glazing: 5-13-5
All windows and doors will be specified to meet A3 performance rating for	
Air Tightness found in CSA standard CAN/CSA-A440-08	

1	2022-05-06	REVIEW: ENVIRONMENTAL AGENT
2	2022-03-17	AKC SUBMISSION RESPONSE
1	2021-10-19	AKC SUBMISSION

No.	Issue	Description
-----	-------	-------------

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

Sheet Title:
Data

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Reviewed by:	Checker	
Date:	09/17/21	
Plot Date:	2022-06-01 3:46:47 PM	

Graphic Scale:

Scale:	1 : 1	Drawing No.:
Project No.:	22102	A 001

Notes

3	2022-05-08	HERITAGE EVALUATION AGREEMENT
1	2021-10-29	AKS SUBMISSION

No.	Date	Description
-----	------	-------------

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Camanvon St

Sheet Title:
Data

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Reviewed by: Checker	
Date: 10/04/21	
Plot Date: 2022-05-31 3:12:11 PM	

Graphic Scale:

Scale: 1 : 1	Drawing No:
Project No: 22102	A 002

RESIDENTIAL UNIT SUMMARY	
UNIT MIX	

UNIT TYPE	LEVEL	A1	A2	A3	A4	B1	B2	B3	B4	B5	B6	B7	B8	C1	C2	C3	C4	C5	C6	C7	D1	D2	D3	D4	D5	NO. UNITS
USE	LEVEL	STUDIO	STUDIO	STUDIO	ADP	ADP	BD+DEN	ADP	1BD	1BD	1BD	1BD	1BD	1BD	2BD	2BD	2BD	JR.2 BD	2BD	ADP	2BD	3BD	3BD	3BD	3BD	NO. UNITS
	LEVEL	STUDIO	STUDIO	STUDIO	ADP	ADP	BD+DEN	ADP	1BD	1BD	1BD	1BD	1BD	1BD	2BD	2BD	2BD	JR.2 BD	2BD	ADP	2BD	3BD	3BD	3BD	3BD	
MARKET CONDO	Mech. Roof																									
	Level 29																									
	Level 28	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 27	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 26	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 25	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 24	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 23	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 22	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 21	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 20	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 19	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 18	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 17	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 16	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 15	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 14	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 13	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 12	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 11	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 10	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 9	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	Level 8	1	1			1	1	1	1					1	1	1	1	1		1	1	1	1	1	1	11
	SECURED MARKET RENTAL	Level 7	1	1			1	1	1	1	1				1	1	1	1				1	1			
Level 6		1	1			1	1	1	1	1				1	1	1	1				1	1				11
Level 5		1	1			1	1	1	1	1				1	1	1	1				1	1				11
Level 4											1	1	1						1							7
PARISH HALL AND OFFICES	Level 3										1	1	1						1							7
	Level 2																									
TOTAL		24	24	2	2	24	24	24	24	3	2	2	2	24	24	24	24	2	1	1	22	5	1	1	1	285
		8.42%	8.42%			8.42%		8.42%	8.42%					8.42%			8.42%			0.35%			0.35%			60%
ADP				0.70%	0.70%		8.42%			1.05%	0.70%	0.70%	0.70%		8.42%	7.72%		0.70%	0.35%		7.72%	1.75%			0.35%	40%
																										114

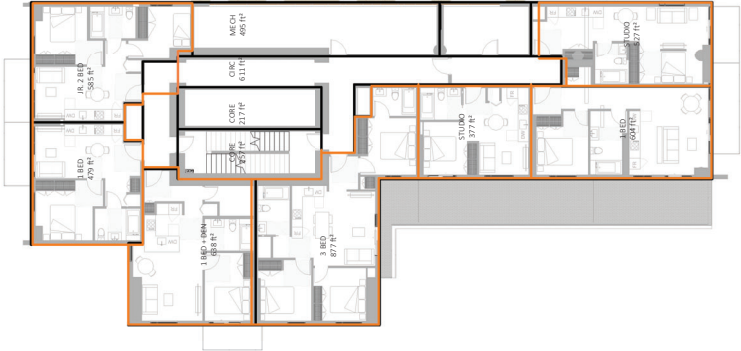
ADAPTABLE UNIT SUMMARY

	STUDIO	STUDIO ADAPTABLE	1 BD	1 BD ADAPTABLE	1 BR+ DEN	1 BD+ DEN ADAPTABLE	JR 2BD	JR 2BD ADAPTABLE	2 BD	2 BD ADAPTABLE	2 BD + DEN	2 BD + DEN ADAPTABLE	3 BD	3 BD ADAPTABLE	TOTAL
	UNIT TOTALS														
MARKET CONDOS	48	0	48	24	24	3	25	0	24	46	0	1	2	26	271
	% Unit Type	0%	18%	9%	9%	1%	9%	0%	9%	17%	0%	0%	1%	10%	37%
% Totals		18%	37%						35%	46%			10%		

SECURED MARKET RENTAL	UNIT TOTALS		0	4	0	0	4	0	2	0	2	0	0	2	14
	% Unit Type		0%	29%	0%	0%	29%	0%	14%	0%	14%	0%	0%	14%	100%
	% Total Rental		29%		43%			14%			14%				
															29%

TOTAL	UNIT TOTALS	48	4	48	28	24	5	25	2	24	46	0	1	2	28	285
	% Unit Type	17%	1%	17%	10%	8%	2%	9%	1%	8%	16%	0%	0%	1%	10%	40%
	% Totals	18%	37%			34%			45%			11%				

ADAPTABLE UNITS



1 Level 3 to 4 Adaptable Units
(secured market rental)

2 Level 5 to 7 Adaptable Units

3 Level 8-28 Adaptable Units

4 Level 29 Adaptable Units

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Notes

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client:

Conwest

Sheet Title:

Data

3

2022-05-30

MEETINGS: DRAFTING/REVISIONS

2

2022-03-17

AKC SUBMISSION RESPONSE

1

2022-10-29

AKC SUBMISSION

No.

Date

Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client:

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Project North:

Reviewed by:

Checker

Date:

09/17/21

Plot Date:

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As Indicated

Drawing No.:

22102

Project No.:

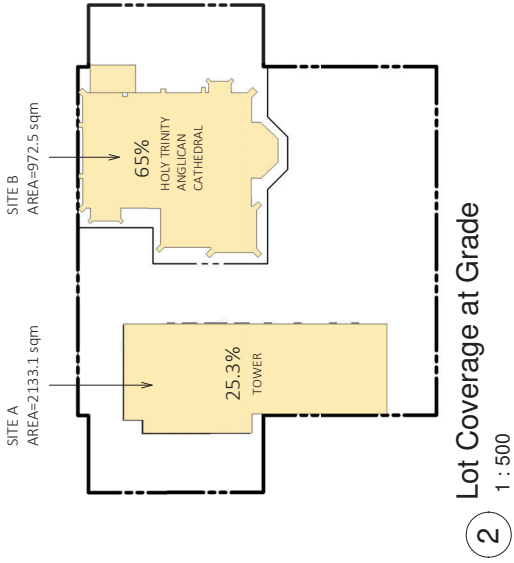
A 003

SITE A: TOWER BUILDING AREAS (m2)										
FSR= NET FSR AREA/SITE A = 9.59										
TOTAL GROSS		EXCLUSIONS			TOTAL					NET
FLOOR	FLOOR AREA	ADAPTABLE UNITS EXCLUSIONS		RESIDENTIAL AMENITY EXCLUSION	EXCLUSION AREA	CHURCH PARISH HALL	MECH & SERVICE	FSR AREA		
		1BR UNITS	FAMILY UNITS							
Mech. Roof	88	0.0	0.0	0	0	0	88	88		88
Level 30	374	0.0	0.0	308	308	0	4	4		66
Level 29	753	0.0	11.2	0	11	0	4	4		742
Level 28	753	1.9	8.4	0	10	0	4	4		743
Level 27	753	1.9	8.4	0	10	0	4	4		743
Level 26	753	1.9	8.4	0	10	0	4	4		743
Level 25	753	1.9	8.4	0	10	0	4	4		743
Level 24	753	1.9	8.4	0	10	0	4	4		743
Level 23	753	1.9	8.4	0	10	0	4	4		743
Level 22	753	1.9	8.4	0	10	0	4	4		743
Level 21	753	1.9	8.4	0	10	0	4	4		743
Level 20	753	1.9	8.4	0	10	0	4	4		743
Level 19	753	1.9	8.4	0	10	0	4	4		743
Level 18	753	1.9	8.4	0	10	0	4	4		743
Level 17	753	1.9	8.4	0	10	0	4	4		743
Level 16	753	1.9	8.4	0	10	0	4	4		743
Level 15	753	1.9	8.4	0	10	0	4	4		743
Level 14	753	1.9	8.4	0	10	0	4	4		743
Level 13	753	1.9	8.4	0	10	0	4	4		743
Level 12	753	1.9	8.4	0	10	0	4	4		743
Level 11	753	1.9	8.4	0	10	0	4	4		743
Level 10	753	1.9	8.4	0	10	0	4	4		743
Level 9	753	1.9	8.4	0	10	0	4	4		743
Level 8	753	1.9	8.4	0	10	0	4	4		743
Level 7	714	3.7	5.6	0	9	0	4	4		705
Level 6	714	3.7	5.6	0	9	0	4	4		705
Level 5	714	3.7	5.6	0	9	0	4	4		705
Level 4	547	9.3	5.6	0	15	0	67	67		532
Level 3	547	9.3	5.6	0	15	0	67	67		532
Level 2	500	0.0	0.0	135	135	282	2	2		365
Level 1	539	0.0	0.0	121	121	328	0	0		418
P1	0	0.0	0.0	0	0	0	0	0		0
P2	0	0.0	0.0	0	0	0	0	0		0
P3	0	0.0	0.0	0	0	0	0	0		0
P4	0	0.0	0.0	0	0	0	0	0		0
P5	0	0.0	0.0	0	0	0	0	0		0
TOTAL (m2)	21,303	68.5	215.6	564	848	610	328	328		20,455
TOTAL (sf)	229,311	737.1	2,321	6071.0	9,129	6,566	3,531	3,531		220,182
TOTAL	TOTAL GROSS	ADAPTABLE UNITS EXCLUSIONS		RESIDENTIAL AMENITY EXCLUSION	TOTAL	CHURCH PARISH HALL	MECHANICAL	NET		

Adaptable Units Exclusion: 1.85 sm per 1 Bed Unit, 2.80 sm per family unit (2-3 bedroom)

SITE B: CHURCH BUILDING AREAS (m2)				
FSR= NET FSR AREA/SITE B = 0.54				
FLOOR	GROSS FLOOR AREA	EXCLUSION AREA	FSR AREA	
LEVEL 1	625	0	625	

TOWER SETBACKS		CHURCH SETBACKS	
NORTH (CARNARVON STREET)	2.0m	NO SETBACK	
SOUTH (CLARKSON STREET)	2.9m	0.8m	
WEST SIDE YARD	3.1m	0.6m	
EAST SIDE YARD	3.2m	9.2m	



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Notes

3	2022-05-06	REBURY ENVIRONMENTAL AGREEMENT
2	2022-03-17	ARC SUBMISSION RESPONSE
1	2021-10-09	ARC SUBMISSION

No. Date Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

Sheet Title:

Data

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Draw by: MB

Reviewed by: Checker

Date: 03/03/22

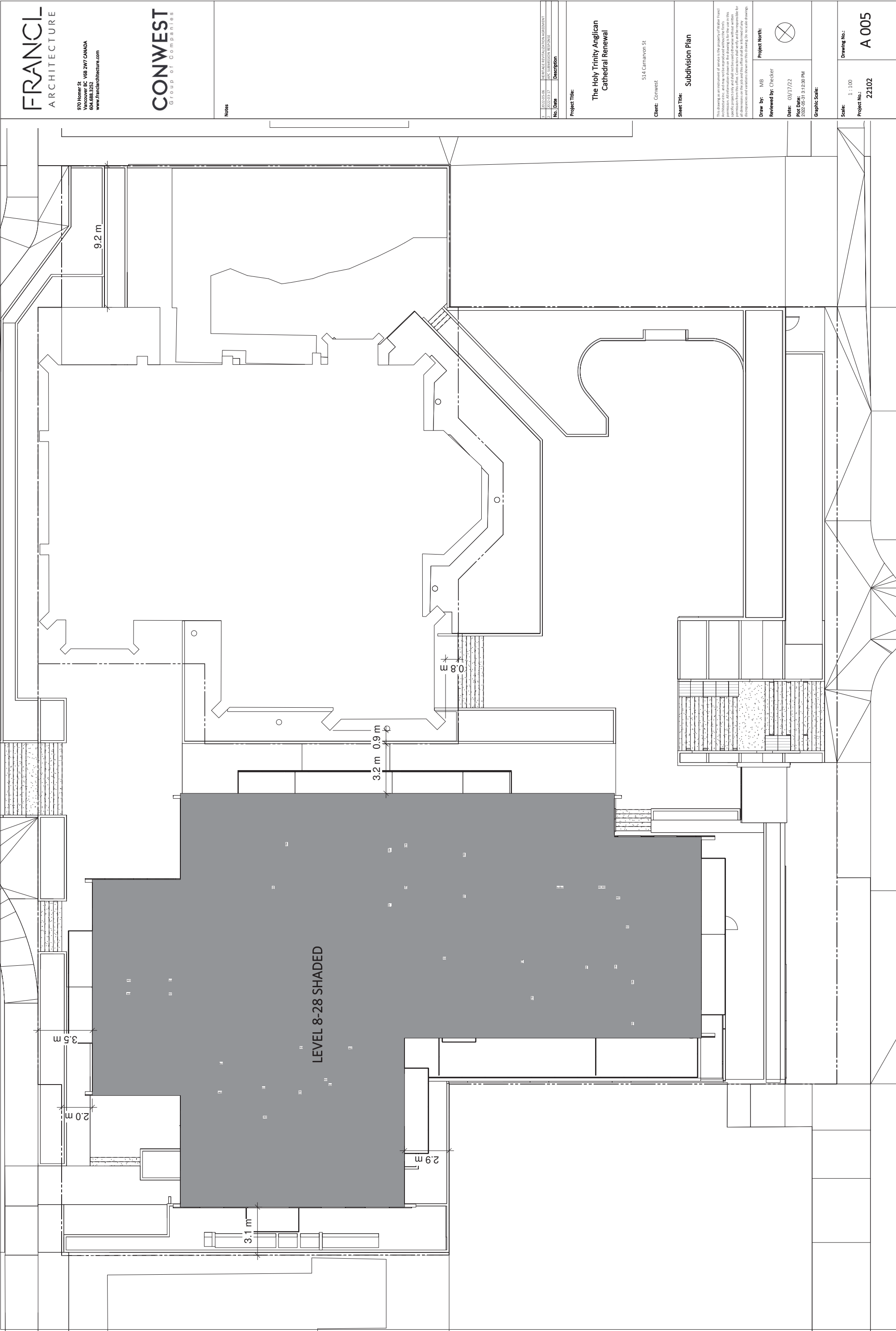
Plot Date: 2022-05-31 3:12:28 PM

Graphic Scale:

Scale: As Indicated

Project No.: 22102

Drawing No.: A 004



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Notes

1	2022-05-08	HERITAGE EVALUATION AGREEMENT
2	2022-05-17	ARC SUBMISSION RESPONSE
No.		Date
		Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

Sheet Title:
Subdivision Plan

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Draw by: MB
Reviewed by: Checker
Project North:
⊗

Date: 03/17/22
Plot Date: 2022-05-31 3:12:30 PM

Graphic Scale:

Scale: 1:100
Drawing No:

Project No.: 22102

A 005

Notes

3	2022-05-08	HERITAGE EVALUATION AGREEMENT
1	2021-10-09	AKC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

Sheet Title:
Context Plan

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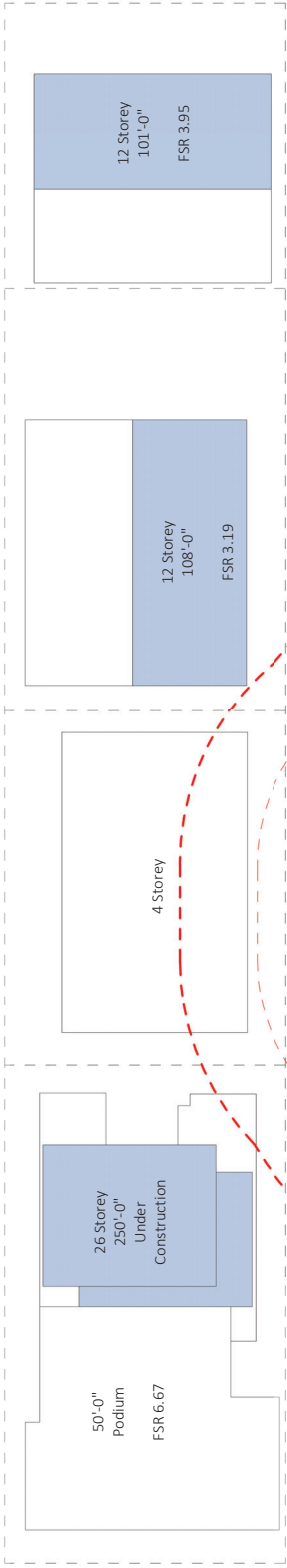
Draw by: KC
Reviewed by: Checker
Date: 09/17/21
Plot Date: 2022-05-31 3:12:34 PM



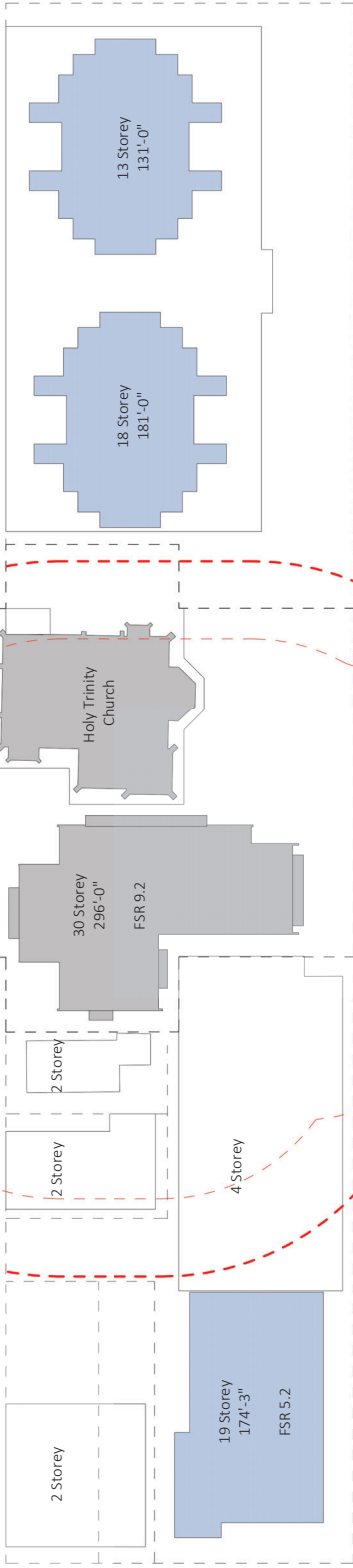
Graphic Scale:

Scale: 1"=500'
Project No.: 22102
Drawing No.: A 100

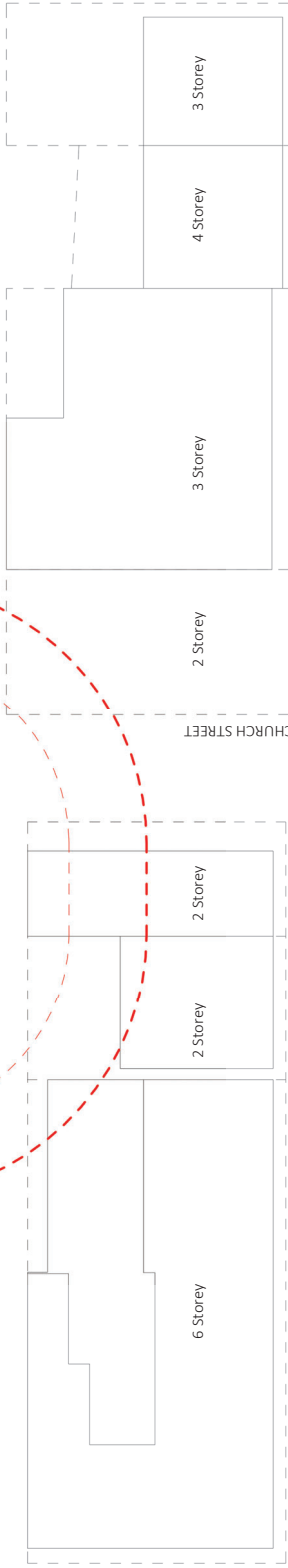
VICTORIA STREET



CARNARVON STREET



CLARKSON STREET



COLUMBIA STREET

FOURTH STREET

SIXTH STREET

125'-0" TOWER
SEPARATION PROVIDED

88'-6" MINIMUM TOWER
SEPERATION

2022-05-06	HERITAGE REVITALIZATION AGREEMENT
2022-03-17	APC SUBMISSION RESPONSE
2021-10-19	APC SUBMISSION
o. Date	Description

APC SUBMISSION	
No.	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

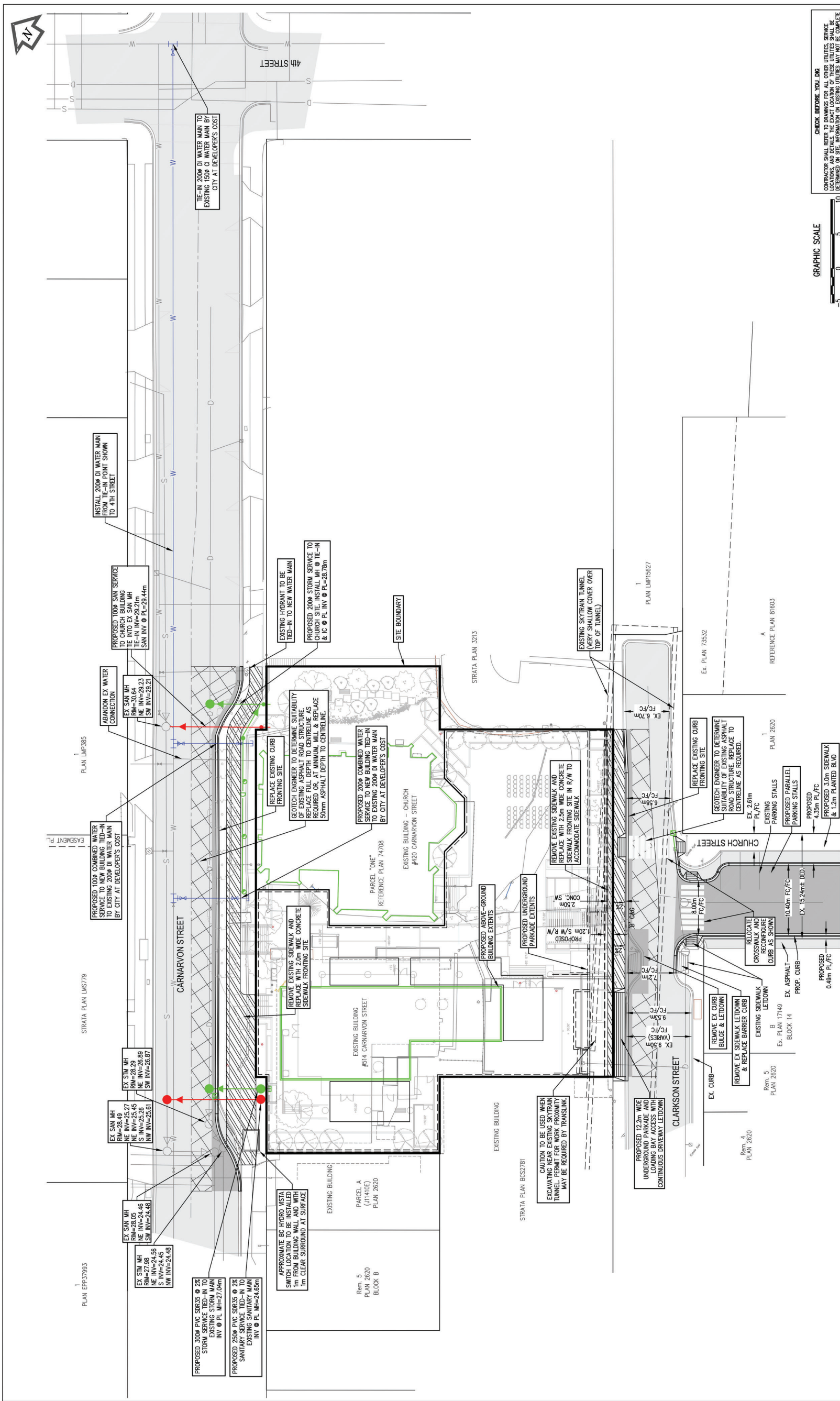
Sheet Title: Civil Key Plan

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Draw by: Author Reviewed by: Checker	Project North:
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Date: 10/15/21
Lot Date: 022-05-31 3:12:38 PM

Scale:	Drawing No.:
Project No.:	A 102
22102	



CHECK BEFORE YOU DIG

CONTRACTOR SHALL REFER TO DRAWINGS FOR ALL OTHER UTILITIES, SERVICE LOCATIONS, AND DETAILS. THE EXACT LOCATION OF THESE UTILITIES SHALL BE DETERMINED ON SITE. INFORMATION ON EXISTING UTILITIES MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING UTILITIES AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS.

Drawn	S.R.	Sheet	ym/ld
Checked	C.N.	OF -	2002/05/20
Designed	S.R.	Scale	
		H = 1:250	V = N/A
Checked	C.N.	Drawing No.	Rev.
City Project No.			
PRJ-00		1 OF 1	4
Project No.	1966		

The Corporation of the City of New Westminster	Date	
Received		
Checked		
Approved		CITY ENGINEER

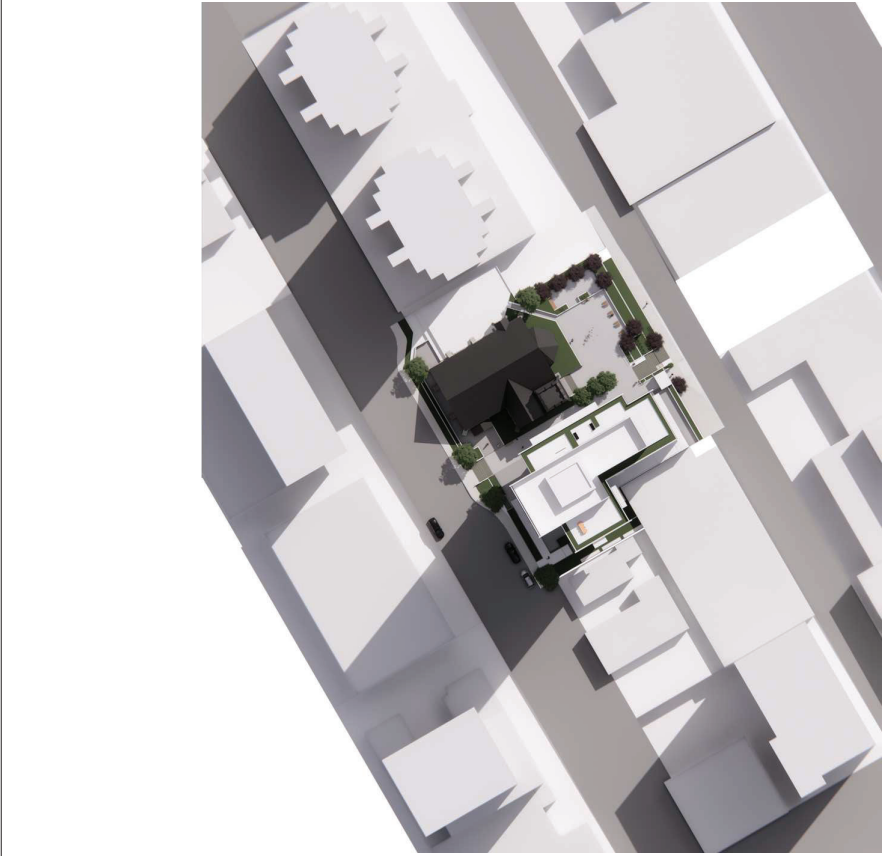
CoreGroup
CONSULTANTS

LAND DEVELOPMENT SERVICES
320-9888 FRASERTON COURT
BURNABY, BC V5J 5H8
tel. (604)299 0605 fax. (604)299 0629
Permit. to Practice No. 1001017 (BC)

CLIENT

CONWEST
GROUP OF COMPANIES
#250 - 1311 KOOTENAY ST.
VANCOUVER, BC V5K 4Y3
tel. 604-294-5067

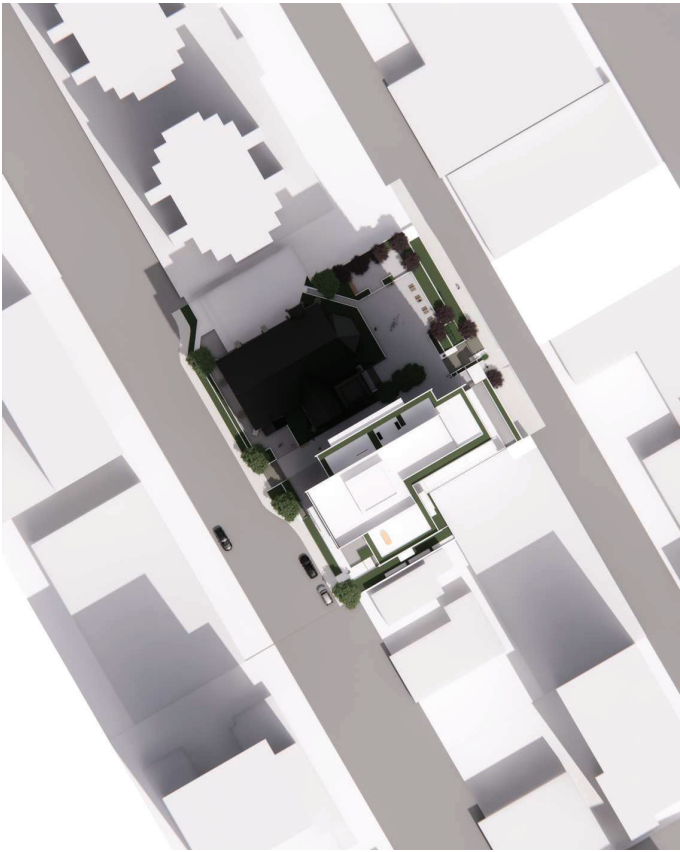
existing		proposed		BENCHMARK ELEVATIONS ARE DERIVED FROM OCM SECTION OF COLUMBIA STREET AND CHURCH STREET. ELEVATION = 13.841 METRES; GEODETIC DATUM (VD285VAD)	No.	y/m/d	By	App.
_____	_____	_____	_____					
_____	_____	_____	_____		4	2022/05/26	REUSED PER CITY COMMENTS	C.N.
_____	_____	_____	_____		3	2022/03/09	PRELIMINARY	C.N.
_____	_____	_____	_____		2	2021/11/03	PRELIMINARY	C.N.
_____	_____	_____	_____		1	2021/10/07	PRELIMINARY	C.N.
_____	_____	_____	_____		0	2019/02/12	PRELIMINARY	C.N.
_____	_____	_____	_____					
_____	_____	_____	_____					
_____	_____	_____	_____					
_____	_____	_____	_____					
_____	_____	_____	_____					



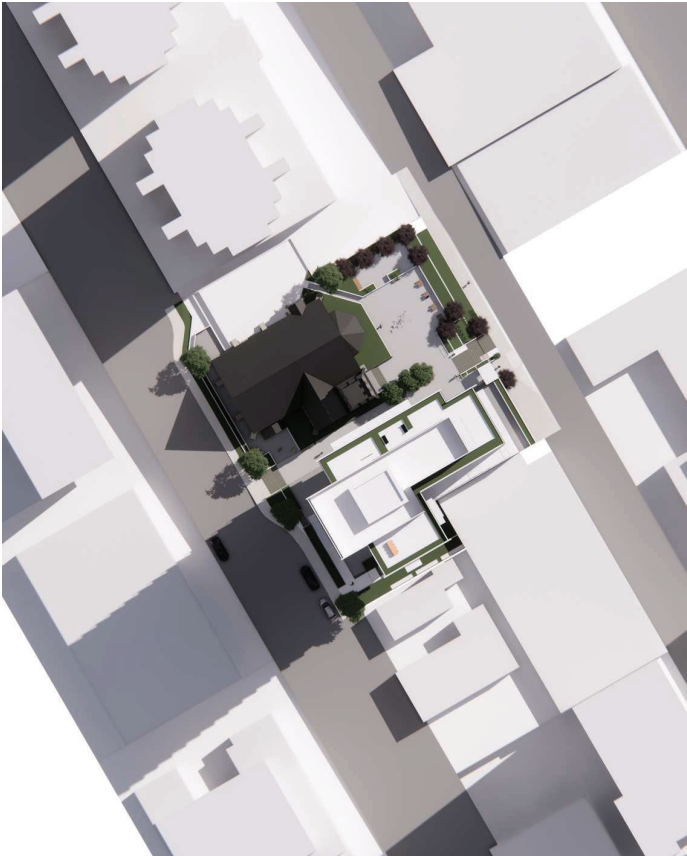
June 21st 10.00 am



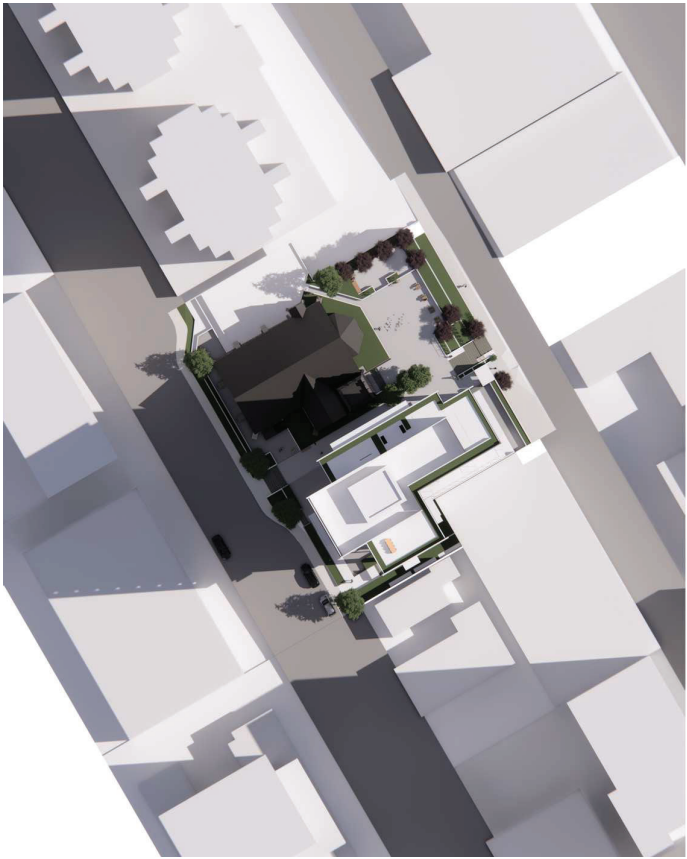
June 21st 12.00 pm



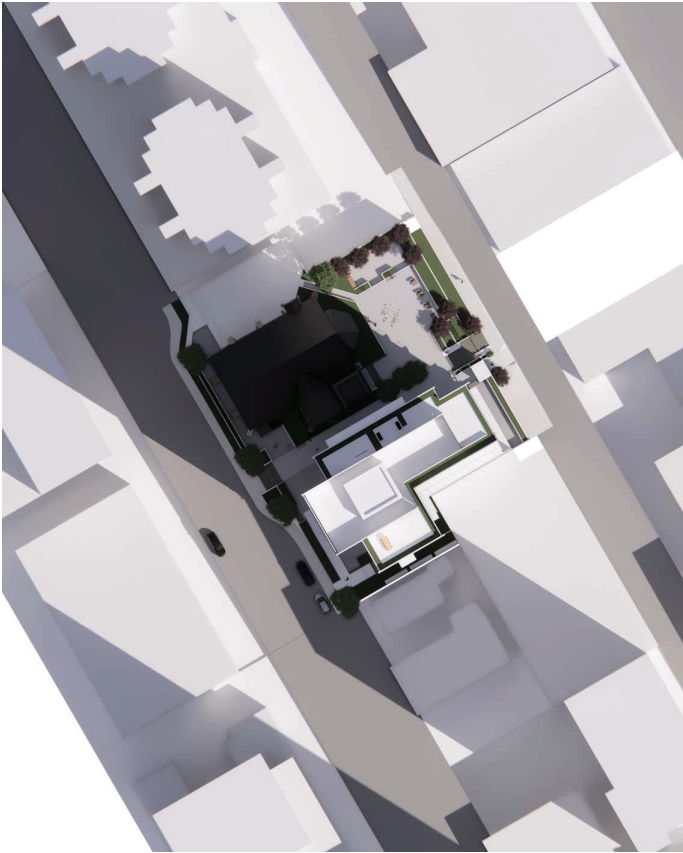
June 21st 2.00 pm



March/September 21st 10.00 am



March/September 21st 12.00 pm



March/September 21st 2.00 pm



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604.688.3252
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Notes

3	2022-05-06	HERITAGE EVALUATION AGREEMENT
2	2022-03-17	ARC SUBMISSION RESPONSE
1	2022-10-09	ARC SUBMISSION

No. Date Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

514 Carnarvon St
Client: Convest

Sheet Title:
Rendering

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Drawn by: MB	Project North:
Reviewed by: Checker	
Date: 09/27/21	
Plot Date: 2022-05-31 3:12:41 PM	

Graphic Scale:

Pedestrian Corridor from Carnarvon

Scale:	Drawing No.:
Project No.: 22102	A 104



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Notes

1	2022-05-06	INITIALS	ENVIRONMENTAL AGREEMENT
2	2022-05-17	AKC	SUBMISSION RESPONSE
3	2022-10-09	AKC	SUBMISSION

No.	Date	Description
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Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

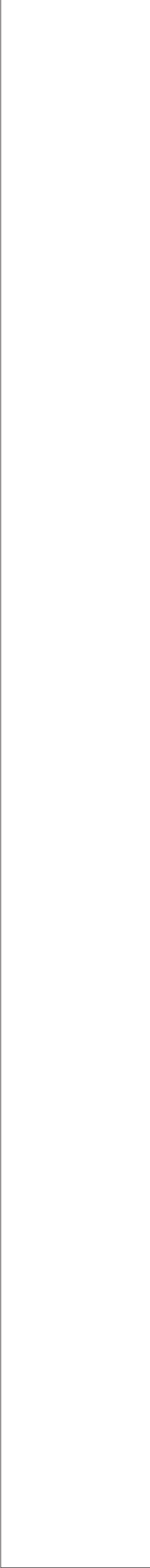
Sheet Title:
Rendering

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Drawn by: MB	Project North:
Reviewed by: Checker	
Date: 09/17/21	
Plot Date: 2022-05-31 3:33:35 PM	

Graphic Scale:

Scale:	Drawing No:
Project No: 22102	A 105



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Notes

1	2022-05-06	HERITAGE EVALUATION AGREEMENT
2	2022-03-17	ARC SUBMITTAL RESPONSE

No.	Date	Description
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Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Camarvon St

Sheet Title: Rendering

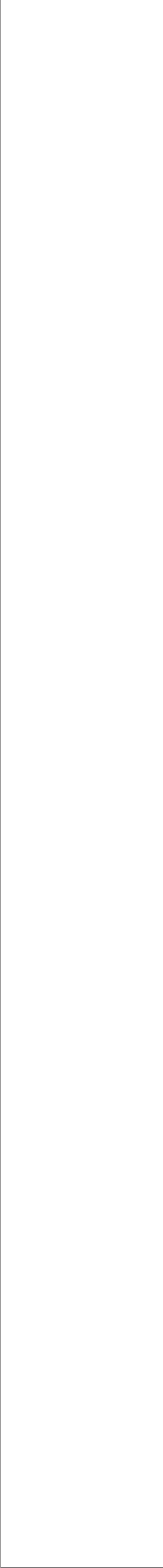
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Draw by: MB	Project North:
Reviewed by: Checker	
Date: 10/18/21	
Plot Date: 2022-05-31 3:12:43 PM	

Graphic Scale:

Parish Hall

Scale:	Drawing No:
Project No: 22102	A 106



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Notes

3	2022-05-06	HERITAGE EVALUATION AGREEMENT
1	2021-10-09	AKC SUBMISSION

No.	Date	Description
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Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

Sheet Title:
Rendering

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Draw by: MB	Project North:
Reviewed by: Checker	
Date: 10/18/21	
Plot Date: 2022-05-31 3:12:45 PM	

Graphic Scale:

Scale:	Drawing No:
Project No.: 22102	A 107

Notes

3	2022-05-08	HERITAGE EVALUATION AGREEMENT
1	2021-10-09	ARC SUBMISSION

No.	Date	Description
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Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

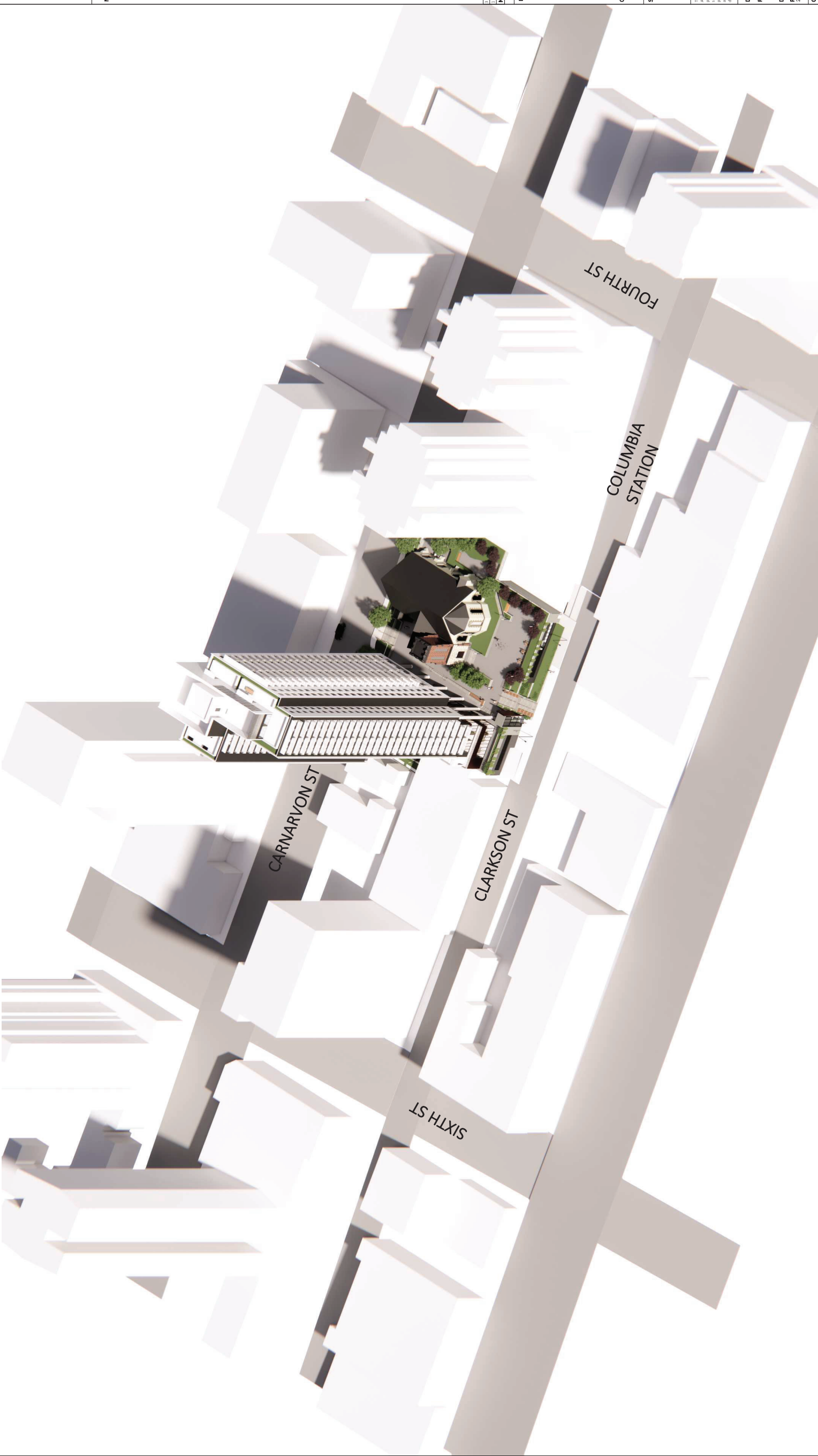
Sheet Title: Aerial View

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Draw by: MB	Project North:
Reviewed by: Checker	
Date: 09/27/21	
Plot Date: 2022-05-31 3:12:46 PM	

Graphic Scale:

Scale:	Drawing No.:
Project No.: 22102	A 108



Notes

3	2022-05-06	HERITAGE EVALUATION AGREEMENT
2	2022-03-17	ARC SUBMISSION RESPONSE
1	2021-10-29	ARC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Carnarvon St

Sheet Title:
Site Plan

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Draw by: Author
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 3:18:36 PM

Project North:
⊗

Graphic Scale:

Scale: 1:150
Project No.: 22102
Drawing No.: A 150



Notes

2022-05-06	HERITAGE REVITALIZATION AGREEMENT
2022-03-17	APC SUBMISSION RESPONSE
2021-10-19	APC SUBMISSION
o. Date	Description

o. Date	Description
2021-10-19	APC SUBMISSION

Project Title:

**The Holy Trinity Anglican
Cathedral Renewal**

Client: Conwest
514 Carnarvon St

Sheet Title: Floor Plan- P5

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Drawn by:	KC	Project North:
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Reviewed by: Checker

ate: 08/17/21

lot Date: 022-05-31 3:18:41 PM

Graphic Scale:

Drawn by:	KC	Project North:
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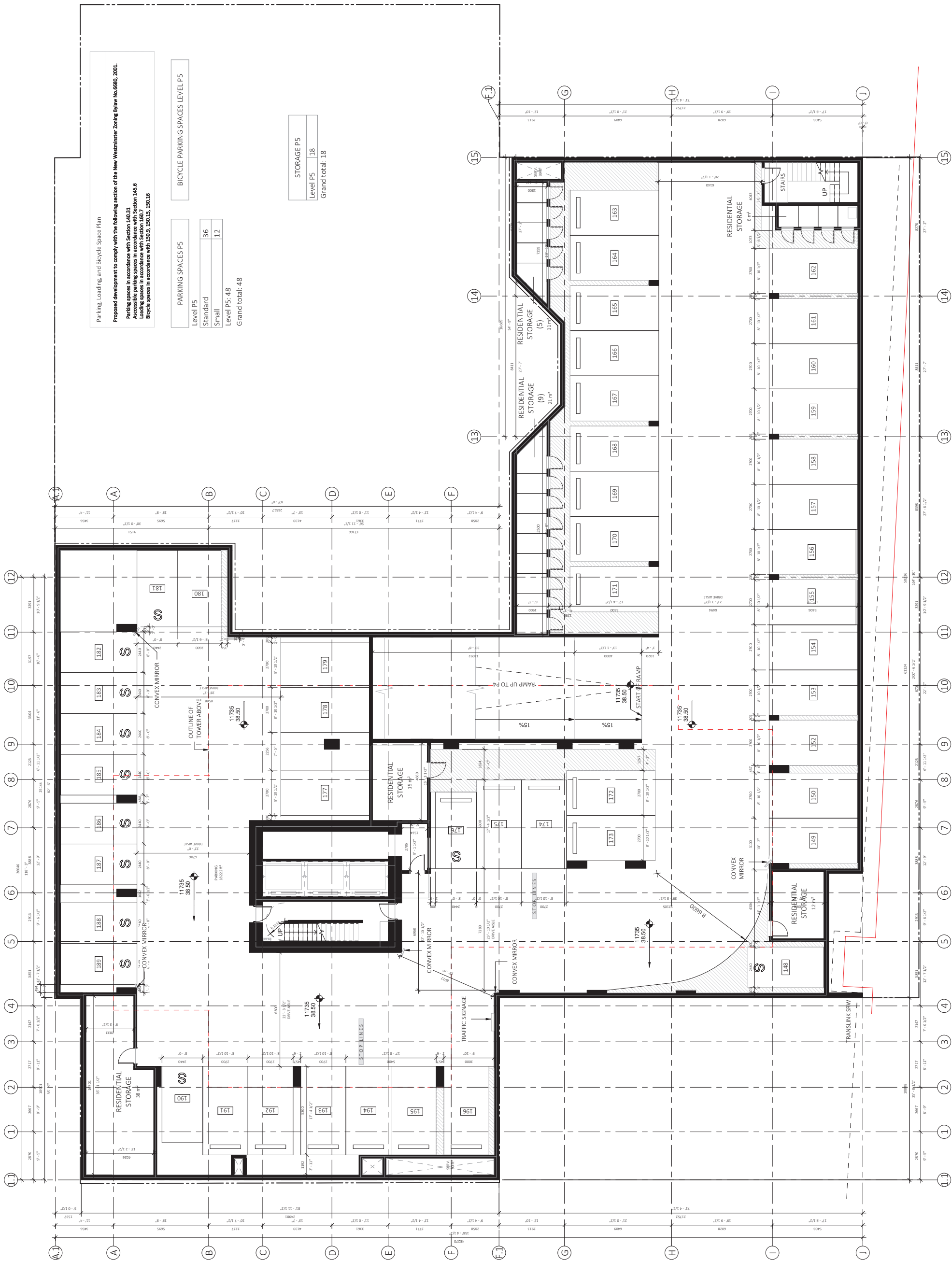
scale:	Drawing No.:
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As indicated

Project No.:

scale:	Drawing No.:
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A C A



Notes

	2022-05-06	HERITAGE REVITALIZATION AGREEMENT
	2022-03-17	APC SUBMISSION RESPONSE
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest

514 Carnarvon St

Sheet Title:
Floor Plan- P4

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Draw by: Author
Reviewed by: Checker

Date: 11/25/21

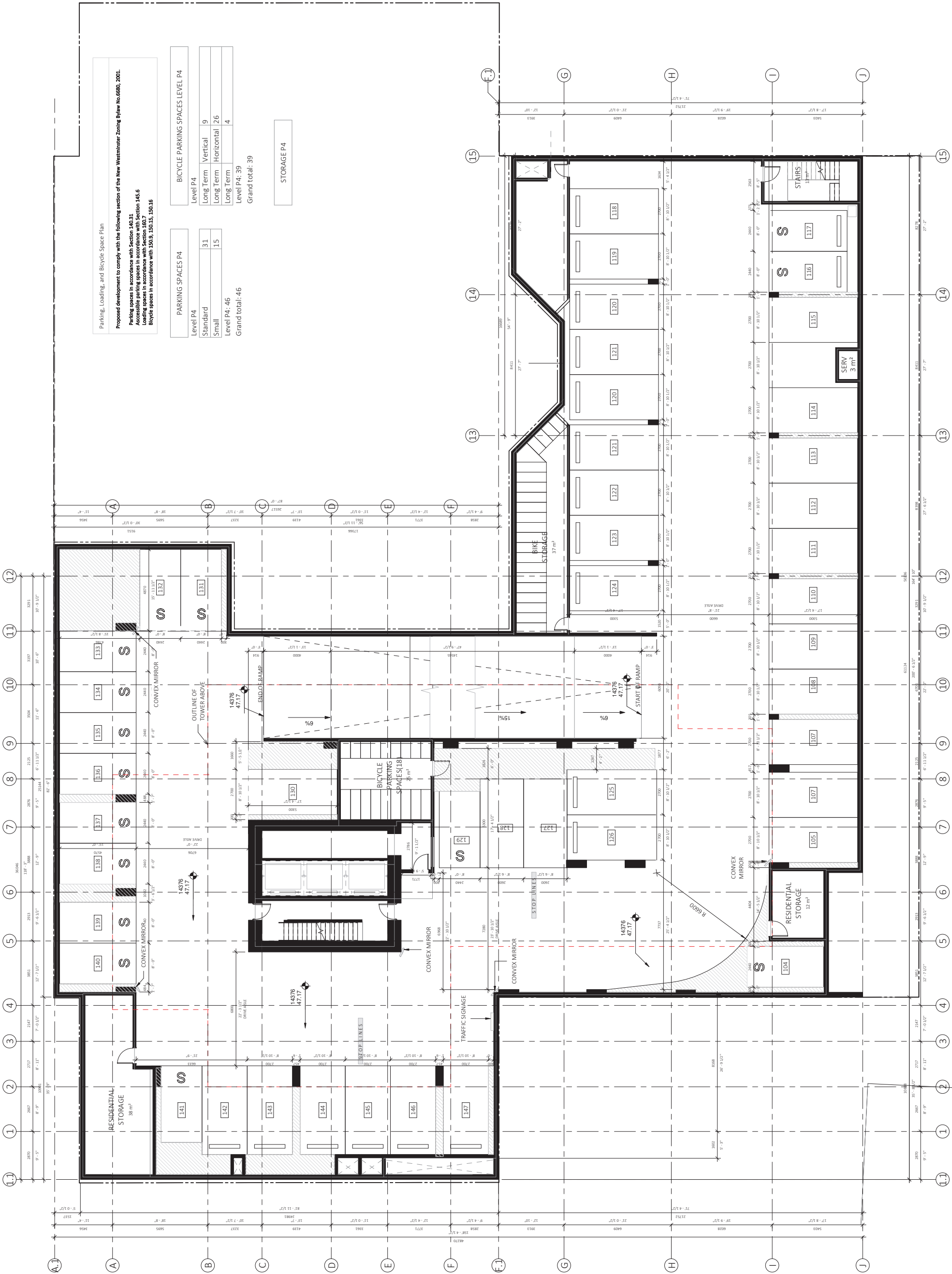
Plot Date:
2022-05-31 3:18:45 PM

Graphic Scale:

Scale: As Indicated

Project No.: 22102

Drawing No.: A 202



Parking, Loading, and Bicycle Space Plan

Proposed development to comply with the following section of the New Westminster Zoning Bylaw No.6680, 2001.

Parking spaces in accordance with Section 140.31

Accessible parking spaces in accordance with Section 145.6

Bicycle spaces in accordance with 150.4, 150.4.5, 150.4.6

PARKING SPACES P4

Level P4	
Standard	31
Small	15

Level P4: 46

Grand total: 46

BICYCLE PARKING SPACES LEVEL P4

Level P4	
Long Term	9
Long Term	26
Long Term	4

Level P4: 39

Grand total: 39

STORAGE P4

Notes

3	2022-05-06	HERITAGE EVALUATION AGREEMENT
2	2022-03-17	ARC SUBMISSION RESPONSE
1	2021-10-09	ARC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest

514 Camarvon St

Sheet Title:
Floor Plan-P3

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Draw by: KC

Reviewed by: Checker

Date: 08/17/21

Plot Date: 2022-05-31 3:18:50 PM

Graphic Scale:

Scale: As Indicated

Project No.: 22102

Drawing No.: A 203

Parking, Loading, and Bicycle Space Plan

Proposed development to comply with the following section of the New Westminster Zoning Bylaw No.6680, 2001.

Parking spaces in accordance with Section 140.31

Accessible parking spaces in accordance with Section 145.6

Loading spaces in accordance with Section 160.7

Bicycle spaces in accordance with 150.9, 150.15, 150.16

PARKING SPACES P3	
Level P3	
Standard	29
Small	15

Long Term	Vertical	35
Long Term	Locker	25
Long Term	Horizontal	19

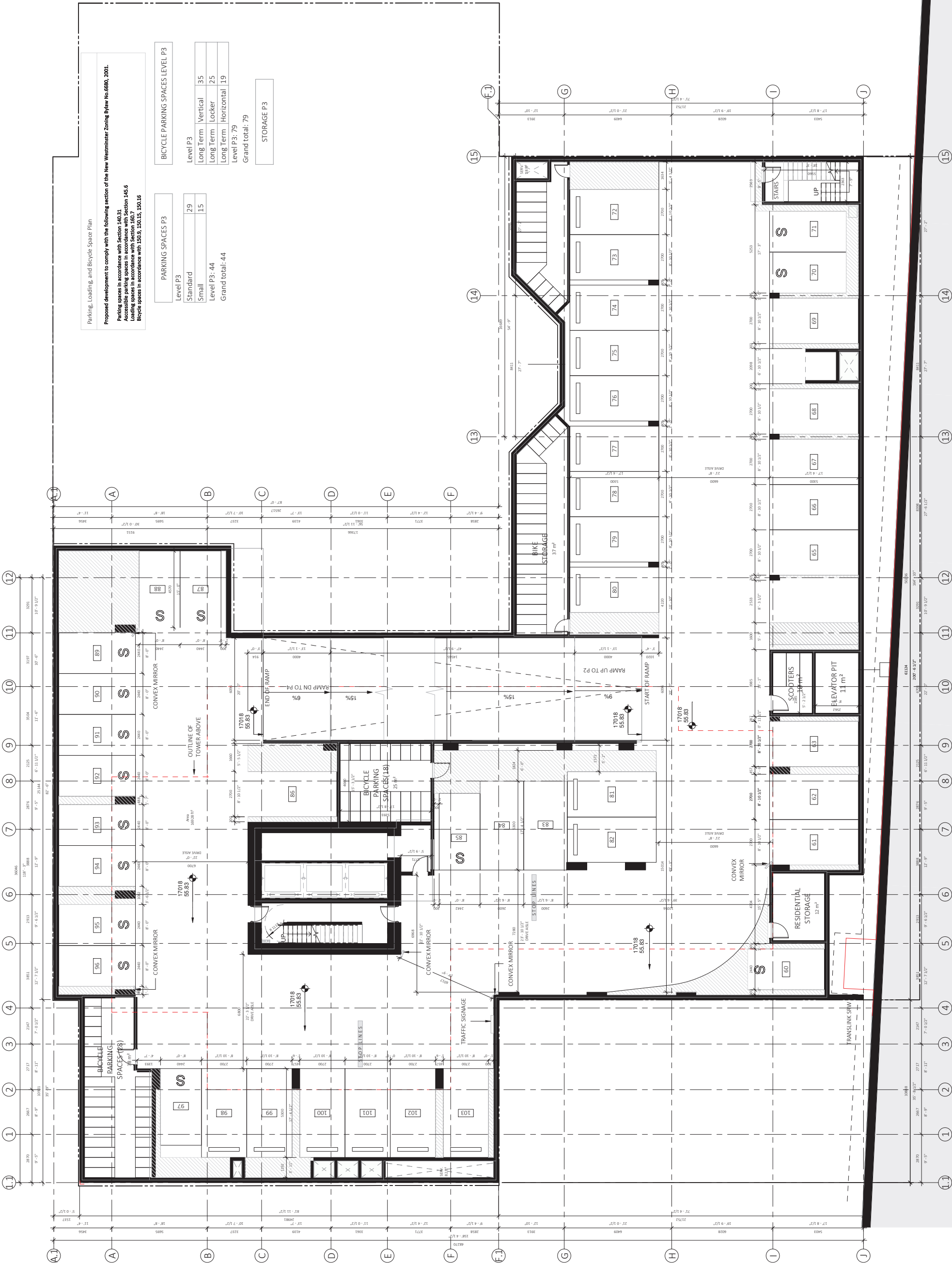
Level P3: 79	
Grand total: 79	

STORAGE P3	
------------	--

Level P3		
Long Term	Vertical	35
Long Term	Locker	25
Long Term	Horizontal	19

Level P3: 79	
Grand total: 79	

STORAGE P3	
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No.	Date	Description
	2022-05-06	HEBET AGE REVITALIZATION AGREEMENT
	2022-03-17	APC SUBMISSION RESPONSE
	2021-10-19	APC SUBMISSION

Project Title:

**The Holy Trinity Anglican
Cathedral Renewal**

Client: Conwest
514 Carnarvon St

Sheet Title: Floor Plan- P2

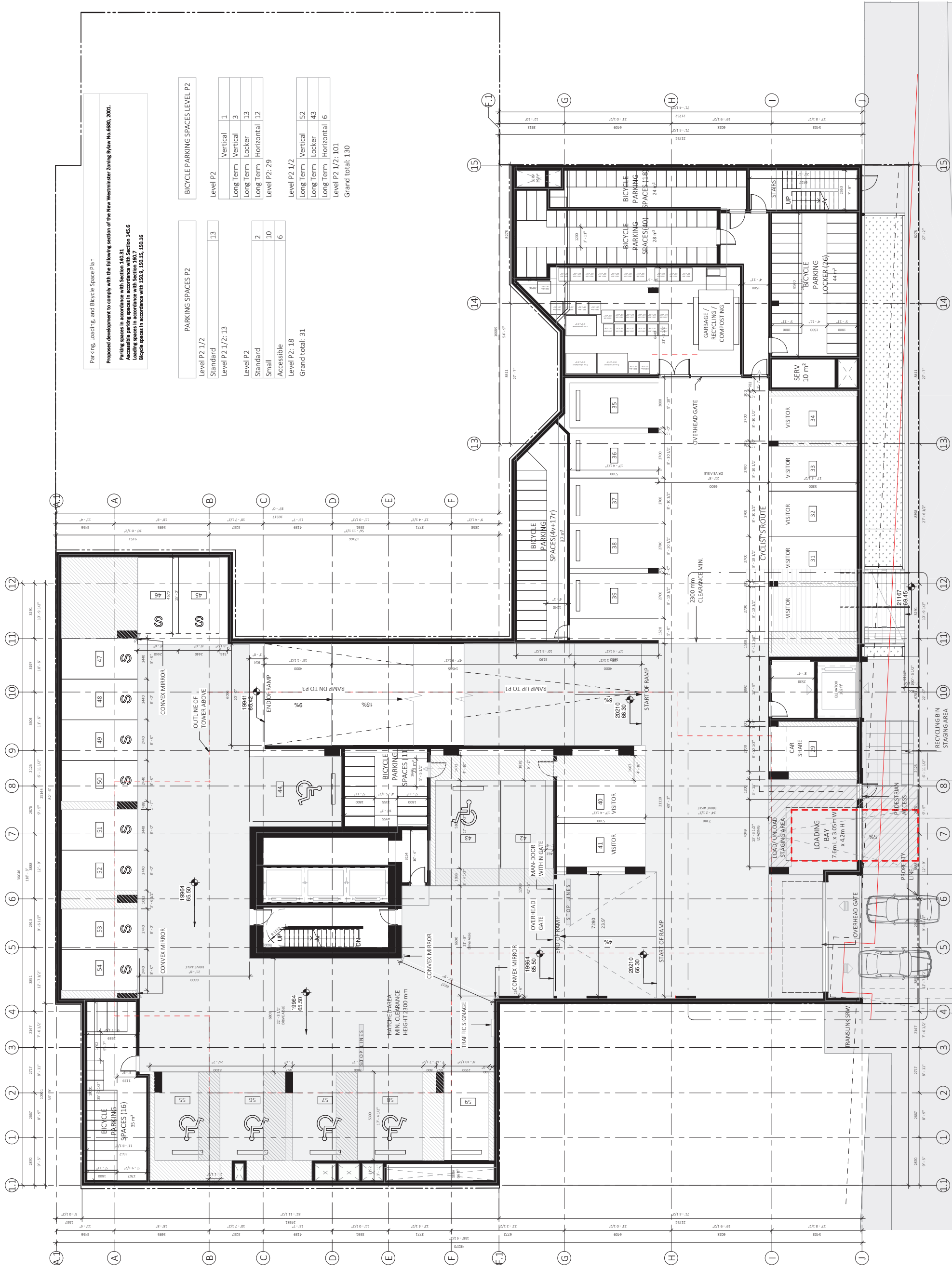
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Draw by: KC
Reviewed by: Checker

Plot Date: 2022-05-31 3:18:55 PM

Graphic Scale:

Scale: As indicated Project No.: 22102	Drawing No.: A 204
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Notes

1	2022-05-06	HERITAGE EVALUATION AGREEMENT
2	2022-03-17	ARC SUBMISSION RESPONSE
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Cameron St

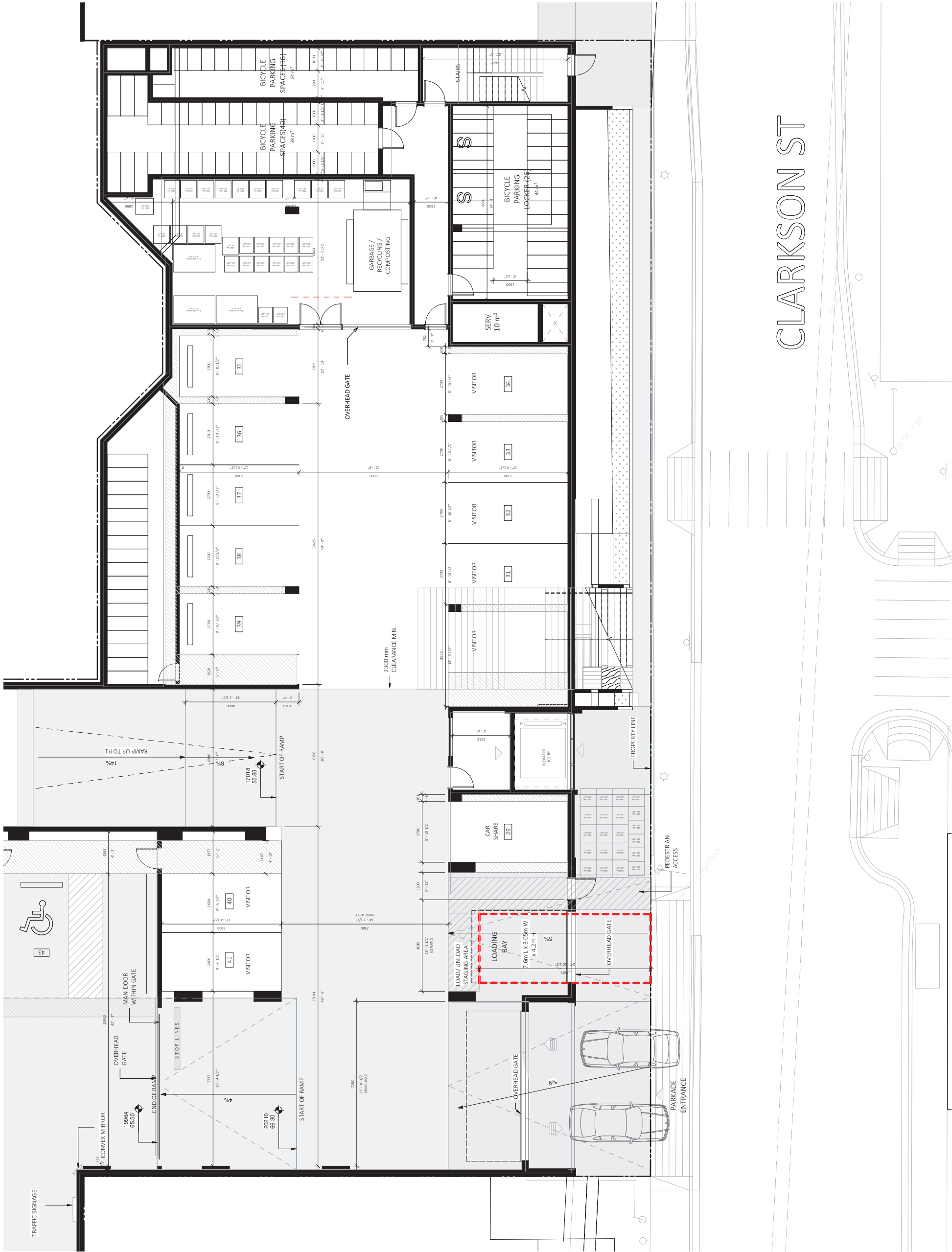
Sheet Title:
Floor Plan- P2- Parkade Entrance

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Reviewed by:	Checker	
Date:	11/08/21	
Plot Date:	2022-05-31 3:18:57 PM	

Graphic Scale:

Scale:	1: 75	Drawing No.:
Project No.:	22102	A 204.1



Notes

1	2022-05-06	REVISION: INITIAL DESIGN AGREEMENT
2	2022-05-17	AKC SUBMISSION RESPONSE
3	2022-10-20	AKC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Camanov St

Sheet Title:
Floor Plan- P1

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Draw by: KC
Reviewed by: Checker

Date: 08/17/21
Plot Date: 2022-05-31 3:19:02 PM

Graphic Scale:

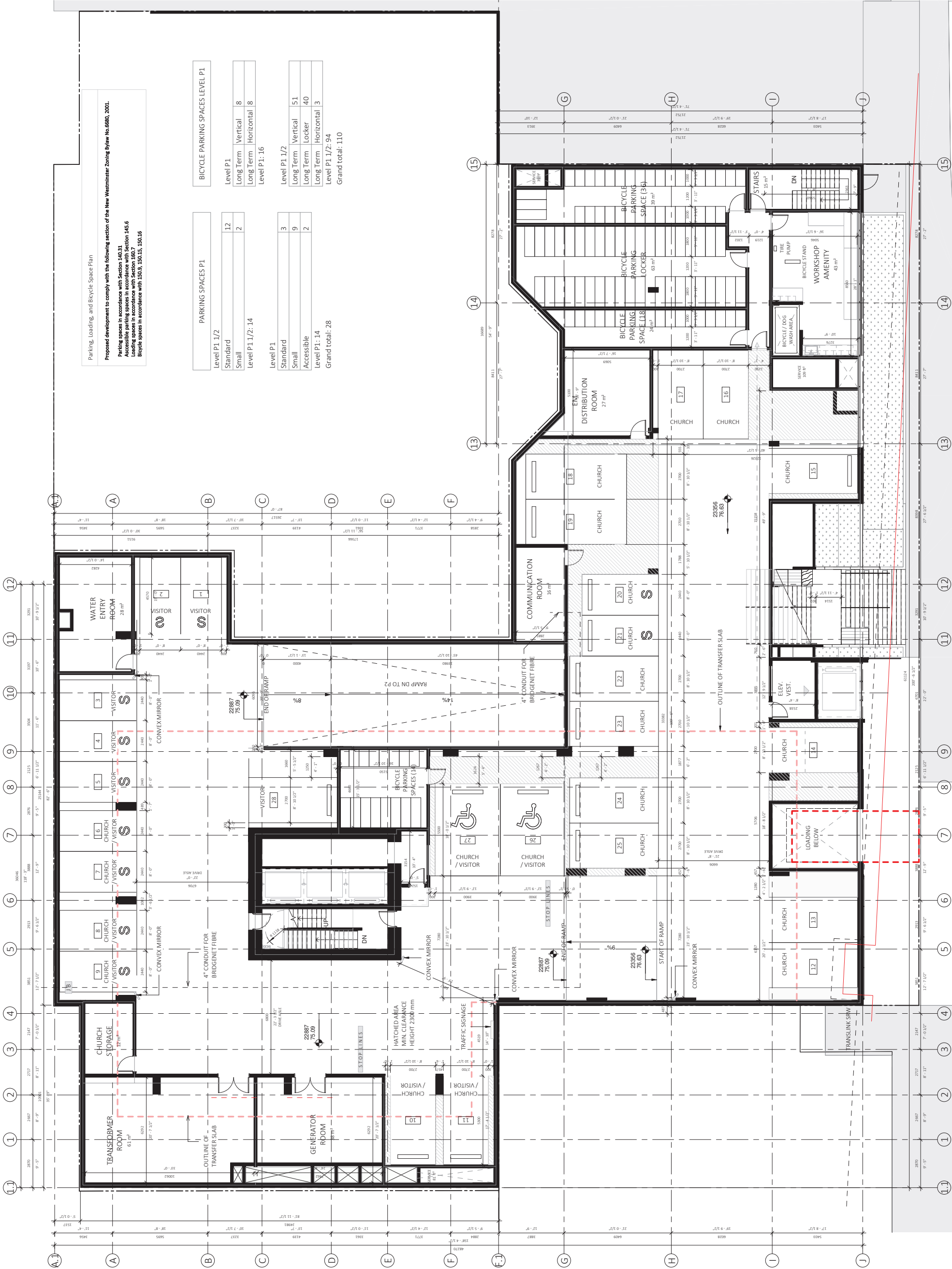
Scale: As Indicated
Drawing No.: 22102
Project No.: A 205

Parking, Loading, and Bicycle Space Plan

Proposed development to comply with the following section of the New Westminster Zoning Bylaw No.6680, 2001.
Parking spaces in accordance with Section 140.31
Accessible parking spaces in accordance with Section 145.6
Loading spaces in accordance with Section 160.7
Bicycle spaces in accordance with 150.9, 150.15, 150.16

PARKING SPACES P1		
Level P1 1/2	Standard	12
Small		2
Level P1 1/2: 14		
Level P1		
Standard		3
Small		9
Accessible		2
Level P1: 14		
Grand total: 28		

BICYCLE PARKING SPACES LEVEL P1		
Level P1	Vertical	8
Long Term	Horizontal	8
Level P1: 16		
Level P1 1/2		
Long Term	Vertical	51
Long Term	Locker	40
Horizontal		3
Level P1 1/2: 94		
Grand total: 110		



Notes

3	2022-05-08	RE-BYLINE DRAFTING AGREEMENT
2	2022-03-31	AKC SUBMISSION RESPONSE
1	2021-10-31	AKC SUBMISSION

No. Date Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Camanov St

Sheet Title:
Floor Plan- Level 1

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Draw by: KC
Reviewed by: Checker

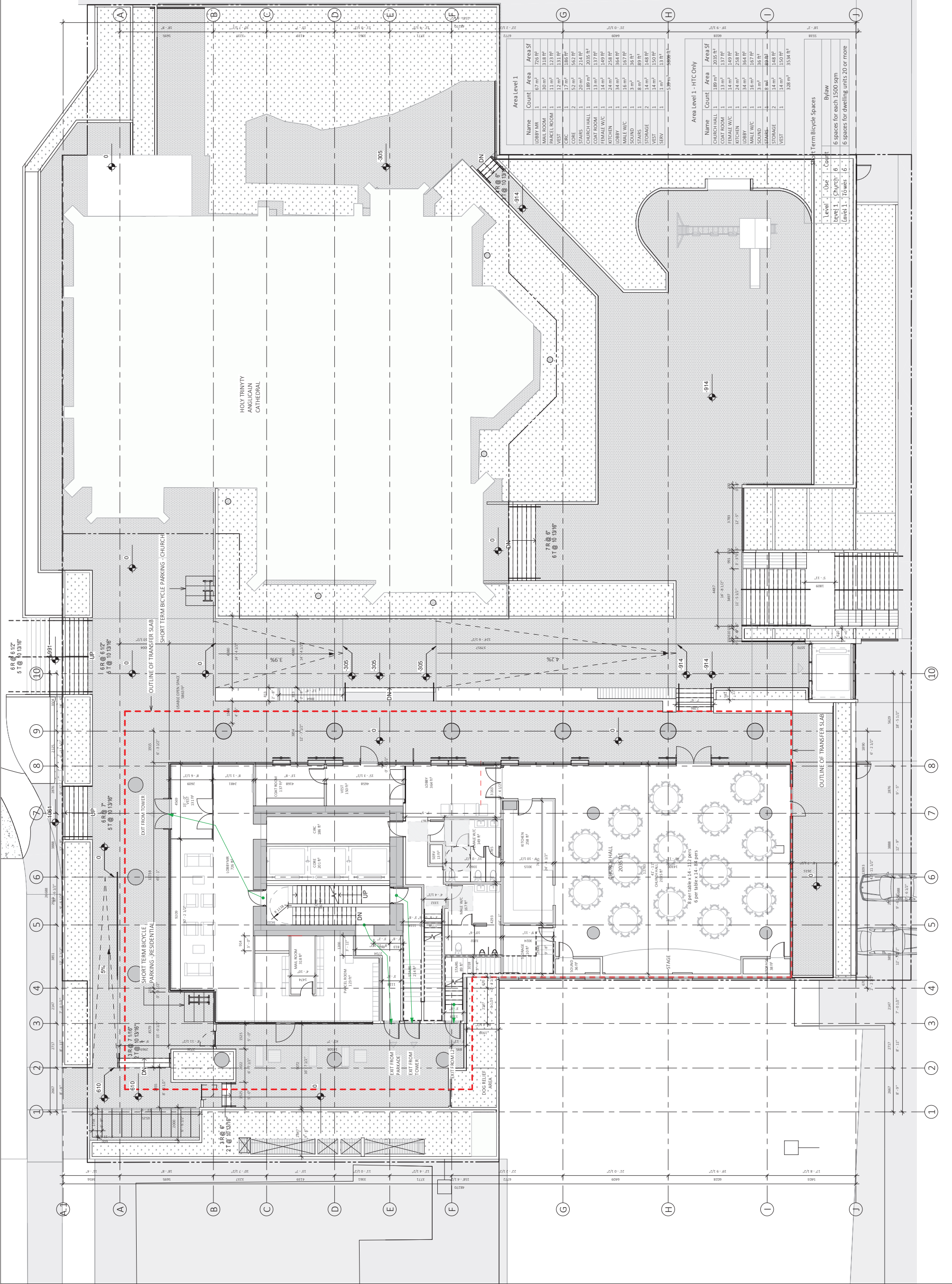
Date: 08/17/21
Plot Date: 2022-05-31 3:18:09 PM

Graphic Scale:

Scale: 1" = 100'

Project No.: 22102

A 206



	2022-05-06	HERITAGE REVITALIZATION AGREEMENT
	2021-10-19	APC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican Cathedral Renewal

Client: Conwest

Sheet Title: Floor Plan- Level 2

Area Level 2Area Level 2 - HTC Only

Name	Count	Area ft ²
BOARD ROOM	1	33 m ²
END OF TRIP FACILITY	1	8 m ²
LOUNGE	1	51 m ²
POOL	2	540 ft ²
RECEPTION	2	77 m ²
OFFICE	22	233 ft ²
RECEPTION	1	242 ft ²
STAIRS	13	138 ft ²
STORAGE	1	23 m ²
STORAGE/IAU	1	252 ft ²
STORAGE/INDRY/VANITOR	1	15 m ²
UNIVERSAL	1	69 ft ²
UNIVERSAL AREA	1	12 m ²
WAITING	1	127 ft ²

Notes

No.	Date	Description
1	2022-10-28	AKC SUBMISSION

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest

514 Camanvon St

Sheet Title:
Floor Plan- Level 3

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Draw by: XZ
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 3:18:19 PM



Graphic Scale:

Scale: 1:100

Drawing No:

Project No:

A 208

HOLY TRINITY
ANGLICAN
CATHEDRAL

Area Level 3-4			
Name	Count	Area	Area Sf
CIRC	1	57 m²	611 ft²
CORE	2	44 m²	473 ft²
1 BED	2	101 m²	1083 ft²
1 BED + DEN	1	59 m²	638 ft²
3 BED	1	81 m²	877 ft²
JR. 2 BED	1	54 m²	585 ft²
STUDIO	2	84 m²	904 ft²
HTC MECH	1	17 m²	181 ft²
MECH	1	46 m²	495 ft²
SERV	2	4 m²	44 ft²
		547 m²	5890 ft²

Area Level 3-4 Units				
Unit Number	Name	Adaptability	Area	Area Sf
1	STUDIO	Adaptable	49 m²	527 ft²
2	1 BED	Adaptable	56 m²	604 ft²
3	STUDIO	Adaptable	35 m²	377 ft²
4	3 BED	Adaptable	87 m²	81 ft²
5	1 BED + DEN	Adaptable	59 m²	638 ft²
6	1 BED	Adaptable	45 m²	479 ft²
7	JR. 2 BED	Adaptable	54 m²	585 ft²

2022-05-06	HERITAGE REVITALIZATION AGREEMENT
2021-10-19	APC SUBMISSION
o. Date	Description

Project Title:

**The Holy Trinity Anglican
Cathedral Renewal**

Client: Conwest
514 Carnarvon St

Sheet Title: Floor Plan- Level 4

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Draw by: XZ
 Reviewed by: Checker
 Date: 10/12/21
 Plot Date: 02-05-31 3:19:23 PM

Scale:	1 : 100
Project No.:	22102
Drawing No.:	A 209

Notes

3	2022-05-06	HERITAGE EVALUATION AGREEMENT
1	2021-10-09	AKC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

514 Camarvon St
Client: Convest

Sheet Title:
Floor Plan- Level 5

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Draw by: XZ
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 3:19:28 PM



Graphic Scale:

Scale: 1:100
Project No.: 22102
Drawing No.: A 210

Area Level 5-7			
Name	Count	Area	Area Sf
CBC	3	60 m²	643 ft²
CORE	2	43 m²	467 ft²
1 BED	4	176 m²	1895 ft²
1 BED + DEN	2	115 m²	1239 ft²
2 BED	2	142 m²	1531 ft²
3 BED	1	81 m²	875 ft²
JR. 2 BED	1	58 m²	630 ft²
STUDIO	1	33 m²	359 ft²
SERV	2	4 m²	46 ft²
		714 m²	7686 ft²

Area Level 5-7 Units			
Unit Number	Name	Adaptability	Area
1	1 BED + DEN	No	56 m²
2	STUDIO	No	33 m²
3	1 BED	Adaptable	52 m²
4	2 BED	No	71 m²
5	2 BED	Adaptable	71 m²
6	2 BED	No	35 m²
7	3 BED	Adaptable	81 m²
8	1 BED + DEN	Adaptable	55 m²
9	1 BED	No	45 m²
10	1 BED	No	45 m²
11	JR. 2 BED	No	58 m²

HOLY TRINITY
ANGLICAN
CATHEDRAL

Notes

3	2022-05-08	HERITAGE RENEWAL/RENOVATION AGREEMENT
1	2021-10-29	AKC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Carnarvon St
Vancouver BC V6S 2W7 CANADA

Sheet Title:
Floor Plan- Level 6-7

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Draw By: XZ
Reviewed by: Checker
Date: 10/12/21
Plot Date: 2022-05-31 3:18:38 PM



Graphic Scale:

Scale: 1:100
Drawing No.:
Project No.: 22102
A 211

HOLY TRINITY
ANGLICAN
CATHEDRAL



Notes

3	2022-05-06	RENTAL AGREEMENT
1	2021-10-28	AKS SUBMISSION

No.	Date	Description
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Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Cameron St

Sheet Title:
Floor Plan- Level 8-28

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Draw by: XZ
Reviewed by: Checker

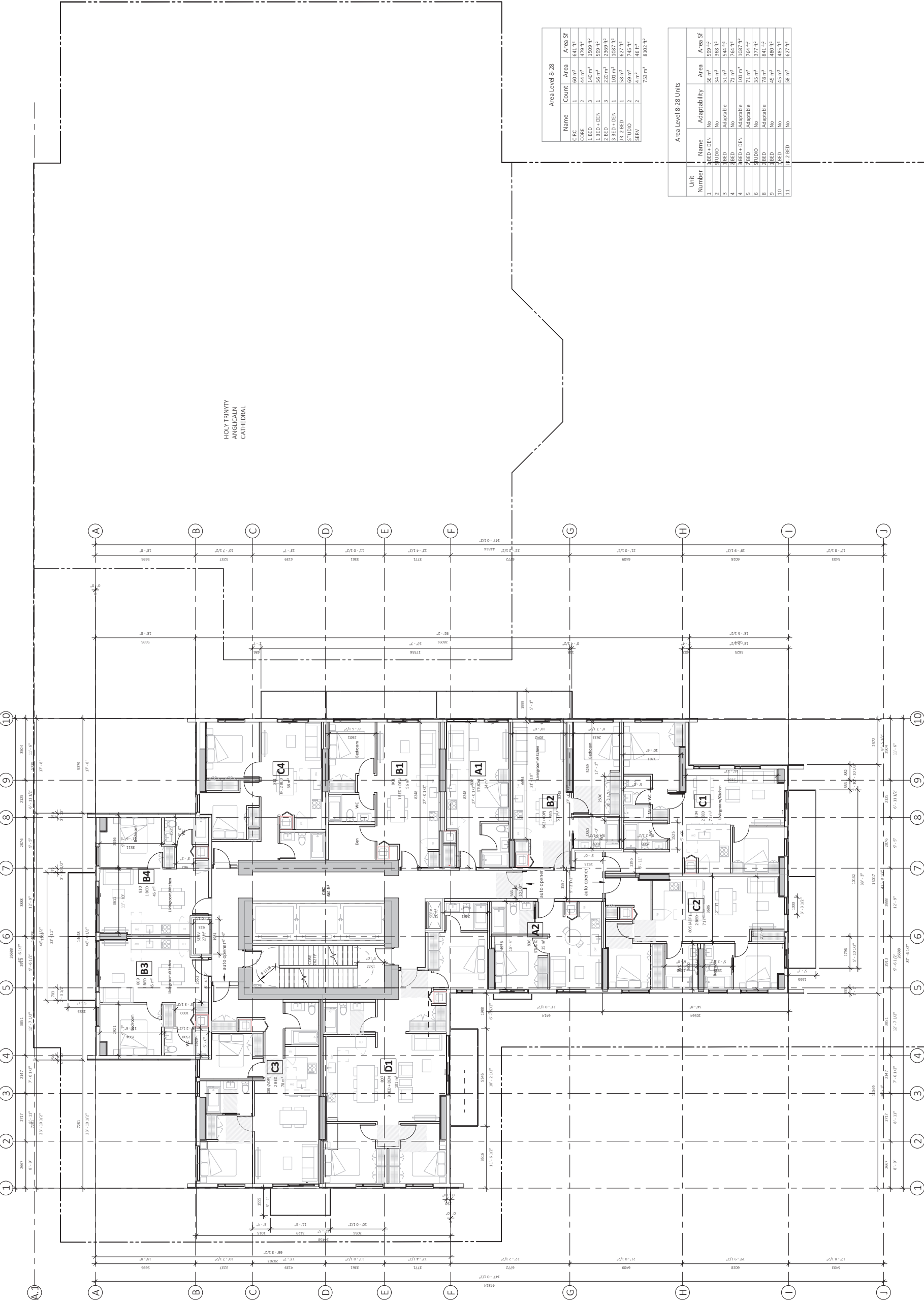
Date: 08/17/21
Plot Date: 2022-05-31 3:19:36 PM

Graphic Scale:

Scale: 1:100

Project No.: 22102

Drawing No.: A 212



Area Level 8-28			
Name	Count	Area	Area Sf
CIRC	1	60 m²	644 ft²
CORE	2	44 m²	479 ft²
1 BED	3	146 m²	1569 ft²
1 BED + EN	1	156 m²	1691 ft²
2 BED	3	226 m²	2439 ft²
2 BED + EN	1	226 m²	2439 ft²
3 BED	1	352 m²	3797 ft²
3 BED + EN	1	352 m²	3797 ft²
STUDIO	2	68 m²	732 ft²
SERV	2	4 m²	44 ft²
		753 m²	8102 ft²

Area Level 8-28 Units			
Unit Number	Name	Adaptability	Area Sf
1	3 BED + EN	No	156 m²
2	3 STUDIO	No	146 m²
3	2 BED	Adaptable	151 m²
4	3 BED + EN	Adaptable	101 m²
5	2 BED	Adaptable	71 m²
6	3 STUDIO	No	35 m²
8	2 BED	Adaptable	78 m²
9	3 BED	No	45 m²
10	2 BED	No	45 m²
11	3 BED	No	156 m²

Notes

3	2022-05-08	HERITAGE RENTAL/OWNERS AGREEMENT
1	2021-10-29	AKC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Cameron St

Sheet Title:
Floor Plan- Level 29

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Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 3:18:41 PM



Graphic Scale:

Scale: 1:100
Drawing No.: 22102
Project No.: A 213

Area Level 29			
Name	Count	Area	Area Sf
CIRC	3	53 m²	573 ft²
CORE	2	44 m²	473 ft²
2 BED	1	78 m²	841 ft²
2 BED + DEN	1	92 m²	992 ft²
3 BED	1	89 m²	953 ft²
3 BED + DEN	3	332 m²	3579 ft²
JR. 2 BED	1	59 m²	640 ft²
SERV	2	4 m²	46 ft²
		753 m²	8102 ft²

Area Level 29 Units			
Unit	Name	Adaptability	Area Sf
1	2 BED	Adaptable	78 m²
2	2 BED + DEN	Adaptable	92 m²
3	3 BED + DEN	No	123 m²
4	3 BED + DEN	No	110 m²
5	3 BED + DEN	Adaptable	102 m²
6	3 BED	Adaptable	89 m²
7	JR. 2 BED	No	59 m²
			653 m²

HOLY TRINITY
ANGLICAN
CATHEDRAL

Notes

1	2022-05-06	MEETINGS: INITIAL DESIGN AGREEMENT
2	2022-05-17	AKC SUBMISSION RESPONSE
3	2022-10-19	AKC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Camanvon St

Sheet Title:
Floor Plan- Level 30

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Draw by: CG
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 3:19:45 PM

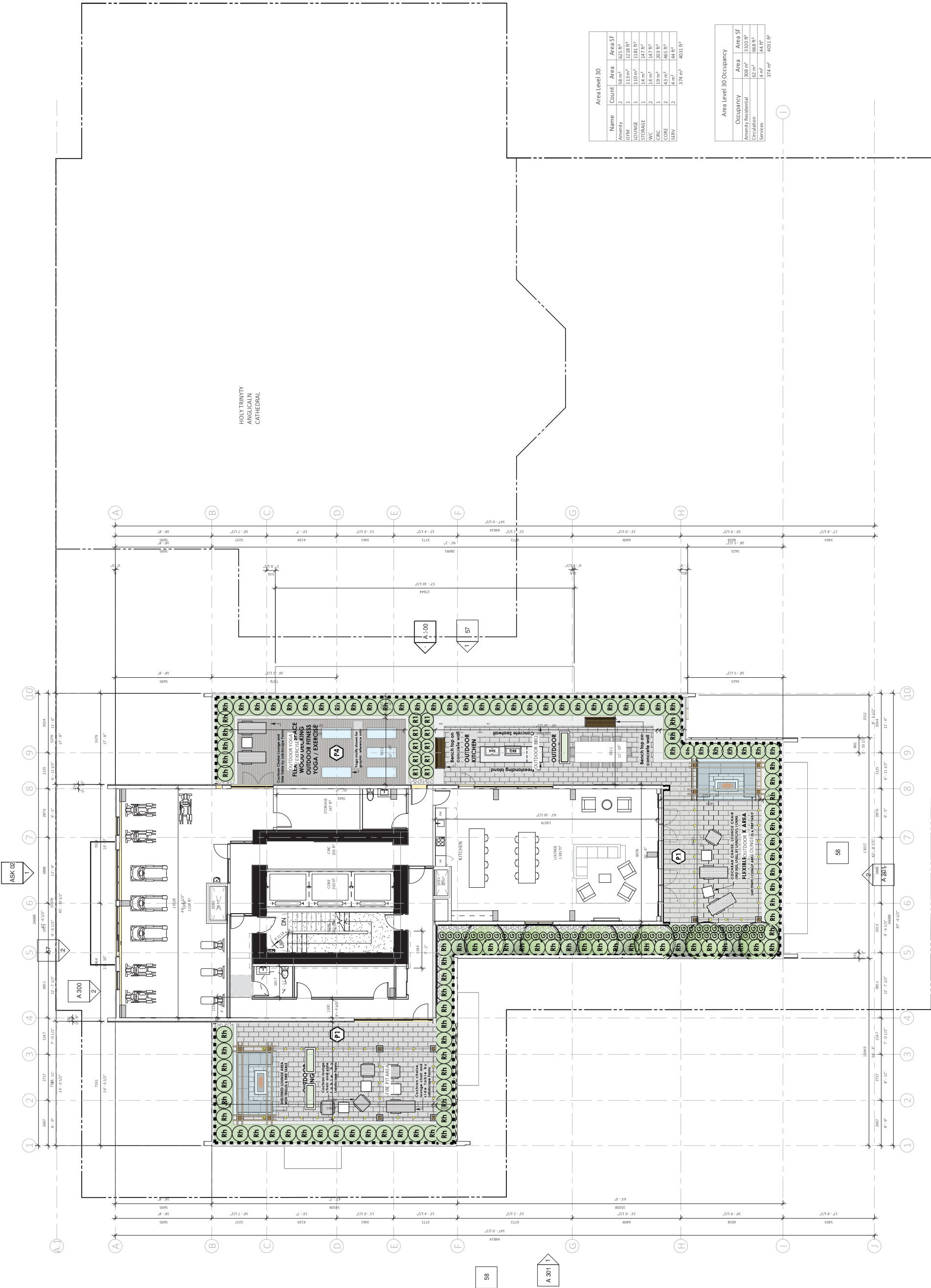
Project North:

Scale: 1:100
Project No.: 22102
Drawing No.: A 214

Area Level 30			
Name	Count	Area	Area Sf
Amenity	2	58 m²	625 ft²
GYM	1	113 m²	1228 ft²
LOUNGE	1	110 m²	1186 ft²
STORAGE	1	14 m²	147 ft²
W.C	2	19 m²	203 ft²
CORE	2	43 m²	465 ft²
SERV	2	4 m²	44 ft²
		374 m²	4031 ft²

Area Level 30 Occupancy		
Occupancy	Area	Area Sf
Amenity Residential	308 m²	3320 ft²
Circulation	62 m²	668 ft²
Services	4 m²	44 ft²

1



Notes

3	2022-05-08	HERITAGE EVALUATION AGREEMENT
1	2021-10-09	AKC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

Sheet Title:
Floor Plan- Roof

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Draw by: CG
Reviewed by: Checker

Date: 08/17/21
Plot Date: 2022-05-31 3:20:20 PM

Graphic Scale:

Scale: 1:100
Drawing No:

Project No.: 22102

A 215

Notes

2022-05-06	HERITAGE REVITALIZATION AGREEMENT
2022-03-17	APC SUBMISSION RESPONSE
2021-10-19	APC SUBMISSION
No.	Date
	Description

Project Title:

**The Holy Trinity Anglican
Cathedral Renewal**

Client: Conwest

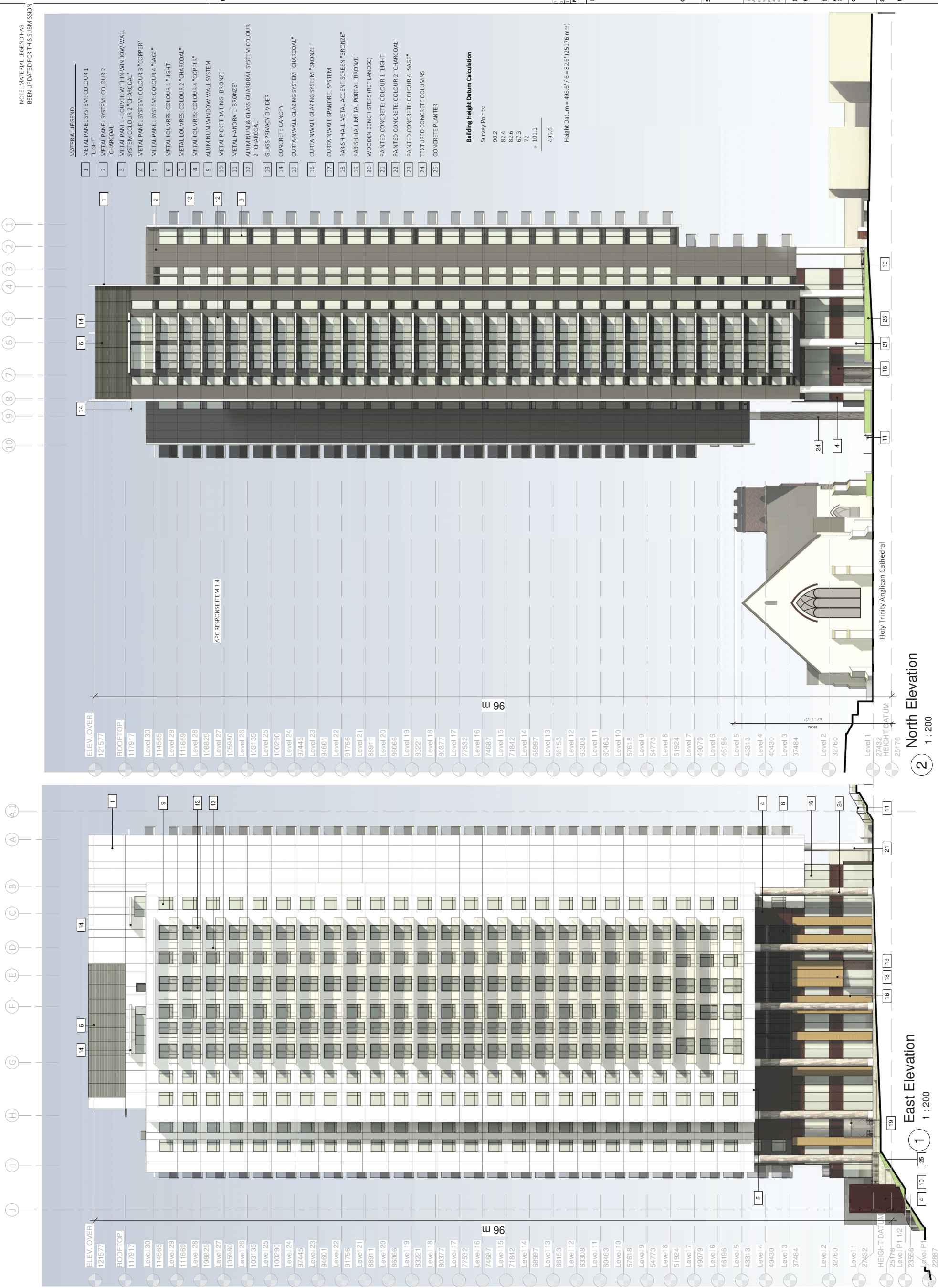
Sheet Title:
East and North Elevations

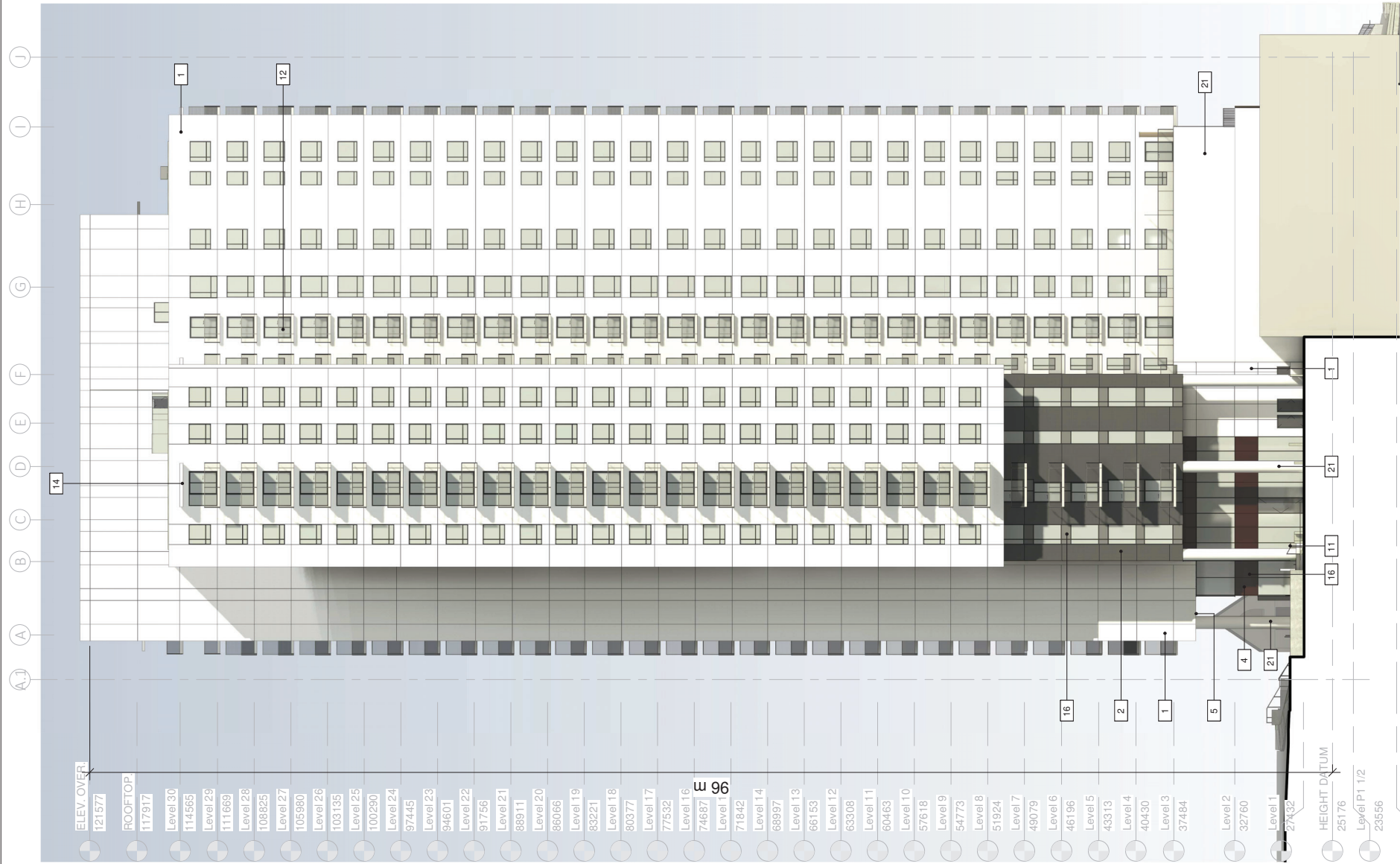
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Draw by: CG Reviewed by: Checker Date: 08/17/21 Plot Date: 2022-05-31 3:21:24 PM	Project North: 
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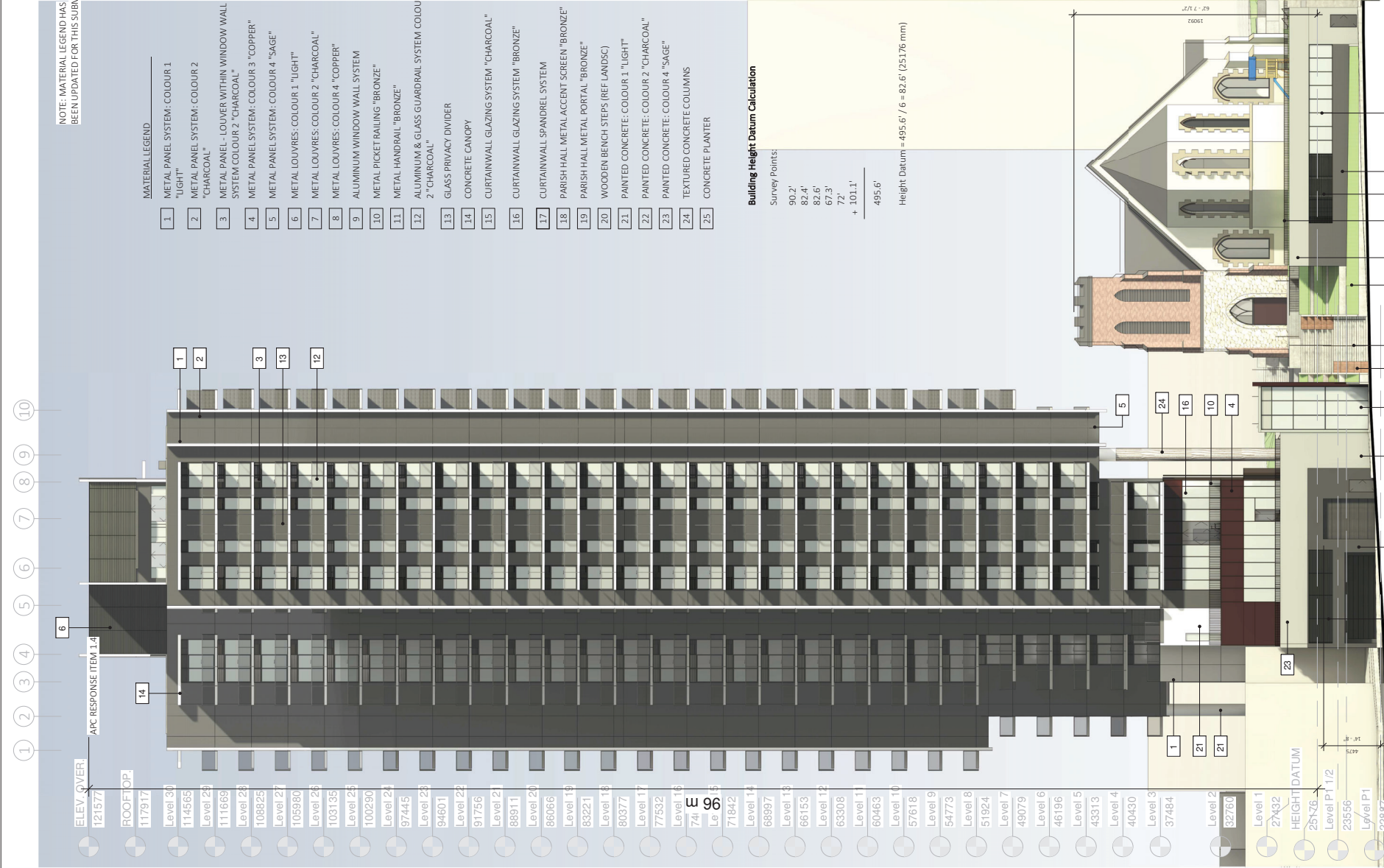
Scale: As indicated
Project No.: 22102
Drawing No.: A 300

NOTE: MATERIAL LEGEND HAS BEEN UPDATED FOR THIS SUBMISSION





1 West Elevation
1 : 200



2 South Elevation
1 : 200

FRANCL-
ARCHITECTURE

970 Homer St
Vancouver BC V6S 2W7 CANADA
604.688.3252
www.franclarchitecture.com

CONVEST

Group of Companies

Notes

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client:

Convest

Sheet Title:

West and South Elevations

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Draw By:

CG

Reviewed by:

Checker

Date:

08/17/21

Plot Date:

2022-05-31 3:22:19 PM

Graphic Scale:

Scale:

As Indicated

Project No.:

22102

Drawing No.:

A 301

No.

Date

Description

1

2021-10-29

APC SUBMISSION RESPONSE

2

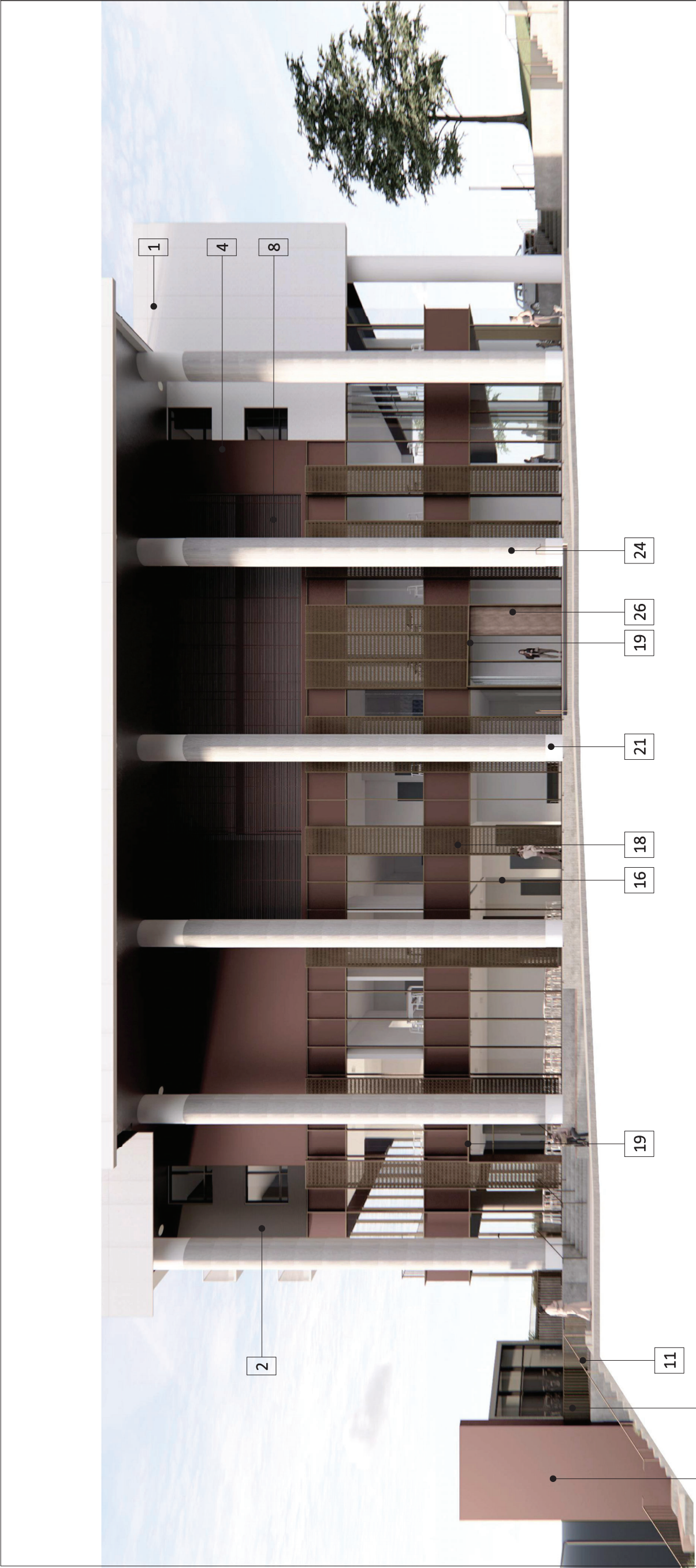
2022-03-17

APC SUBMISSION RESPONSE

3

2022-05-30

REBUTAL EVIDENCE AGREEMENT



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ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3252
www.franclarchitecture.com

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Notes

MATERIAL LEGEND

- 1
- METAL PANEL SYSTEM: COLOUR 1 "LIGHT"
- 2
- METAL PANEL SYSTEM: COLOUR 2 "CHARCOAL"
- 4
- METAL PANEL SYSTEM: COLOUR 3 "COPPER"
- 8
- METAL LOUVRES: COLOUR 4 "COPPER"
- 10
- METAL PICKET RAILING "BRONZE"
- 11
- METAL HANDRAIL "BRONZE"
- 16
- CURTAINWALL GLAZING SYSTEM "BRONZE"
- 17
- CURTAINWALL SPANDREL SYSTEM
- 18
- PARISH HALL METAL ACCENT SCREEN "BRONZE"
- 19
- PARISH HALL METAL PORTAL "BRONZE"
- 21
- PAINTED CONCRETE: COLOUR 1 "LIGHT"
- 24
- TEXTURED CONCRETE COLUMNS
- 26
- WOOD DOOR

1	2022-05-06	HERITAGE EVALUATION AGREEMENT
2	2022-03-17	AKC SUBMISSION RESPONSE
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Camarvon St

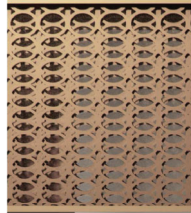
Sheet Title:
Enlarged Plaza Elevation

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Draw By: Author	Project North:
Reviewed by: Checker	
Date: 03/17/22	
Plot Date: 2022-05-31 3:22:22 PM	

Graphic Scale:

Scale: 1 : 1	Drawing No:
Project No: 22102	A 302



16 CURTAIN WALL GLAZING SYSTEM "BRONZE"

19 PARISH HALL METAL PORTAL "BRONZE"

18 PARISH HALL METAL ACCENT SCREEN "BRONZE"

4 METAL PANEL SYSTEM: COLOUR 3 "COPPER"

8 METAL LOUVRES: COLOUR 3 "COPPER"

10 METAL PICKET RAILING "BRONZE"

11 METAL HANDRAIL "BRONZE"

18 PARISH HALL METAL ACCENT SCREEN "BRONZE"

19 PARISH HALL METAL PORTAL "BRONZE"



24 FORMLINED TEXTURED CONCRETE COLUMNS

21 PAINTED CONCRETE: COLOUR 1 "LIGHT"
BENJAMIN MOORE 2122-60 PALEST PISTACHIO

22 PAINTED CONCRETE: COLOUR 2 "CHARCOAL"
BENJAMIN MOORE 2132-30 BLACK HORIZON

Notes

3	2022-05-08	HERITAGE RENTAL/ADDITION AGREEMENT
1	2021-10-09	AKC SUBMISSION

No.	Date	Description
-----	------	-------------

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Camanvon St

Sheet Title:

Sections

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Draw by: CG

Reviewed by: Checker

Date: 08/17/21
Plot Date: 2022-05-31 3:22:28 PM

Graphic Scale:

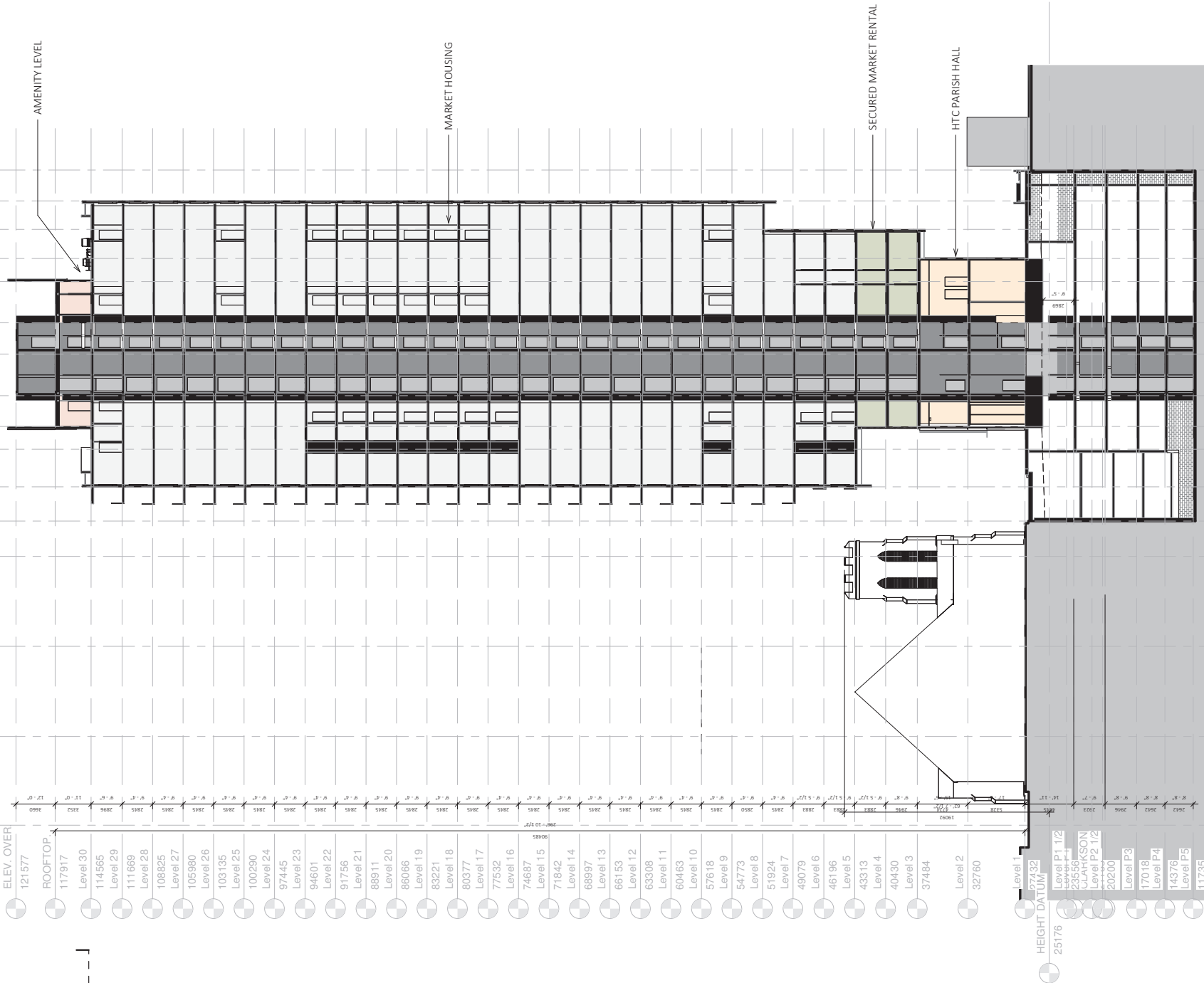
Project North:



Section E-W

1 : 230

1



L-1.1	Ground Level, Layout and Materials Plan	1/16"= 1' 0"	L-2.2	Landscape sections	1/4"= 1' 0"
L-1.2	Ground Level, North, Garding and Drainage Plan	1/8"= 1' 0"	L-2.3	Landscape sections	1/4"= 1' 0"
L-1.3	Ground Level, South, Garding and Drainage Plan	1/8"= 1' 0"	L-2.4	Landscape sections	1/4"= 1' 0"
L-1.4	Ground Level, North, Planting Plan	1/8"= 1' 0"	L-3.1	Landscape details	As shown
L-1.5	Ground Level, South, Planting Plan	1/8"= 1' 0"	L-3.2	Landscape details	As shown
L-1.6	Rooftop Landscape Plan	1/8"= 1' 0"	L-3.3	Landscape details	As shown
L-2.1	Landscape sections	1/4"= 1' 0"	L-3.4	Landscape details	As shown

GENERAL NOTES

1. Refer to architectural drawings for all walls and stair layout and elevations, unless otherwise noted. Refer to architectural and mechanical drawings for all drain locations and rim elevations.

1. Refer to architectural drawings for all walls and stair layout and elevations, unless otherwise noted.
2. Refer to architectural and mechanical drawings for all drain locations and rim elevations.

1. All plants / planting to be per BCNIA and BCSLA standards.
2. Plant selection subject to availability at the time of planting.

3. Control half source specified plant material and only after area of search has been exhausted will other half be considered.
4. All trees to be sourced in accordance with BCNVA Standards.
5. All plants to be sourced from nurseries certified free of *P. ramorum*.
6. Plant sizes and related container classes are specified according to the B.C. Landscaping Standards current edition. For trees, the container size is specified in terms of the diameter of the container. For shrubs, the container size is specified in terms of the plant size and container code as shown in the plant list. Specifically, when the plant list calls for 45 class containers, these shall be as defined in the BCNVA (ANSI) Standard.
7. All trees to have minimum 10 cubic meters of growing medium unless otherwise specified.
8. All shrubs to have minimum 10 cubic meters of growing medium unless otherwise specified.
9. All selections of temporary perennials in the garden plots & flower pots to be identified to the Landscaping Architect.

1. All growing medium placed on project to meet or exceed ICNIA and B.C. Landscape Standards latest edition.
2. Subject sieve analysis by an approved independent soil testing laboratory for each type of growing medium being used on the project PRIOR to placement for review and approval. Clearly identify source and type for each. Assume as required until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project. minimum 1 litre physical sample.

3. Subinlets shall be made at least seven (7) days prior placement.
4. Contractor shall not move or work growing medium or additives when they are excessively wet, extremely dry, or frozen or in any manner which will adversely affect growing medium structure. Growing medium whose structure has been destroyed by handling under these conditions will be rejected. Growing medium shall not be handled in wet or frozen conditions.
5. Slob drainage shall be 19mm (3/4") diameter drain grate free from any soil and clay.
6. Place growing medium, except structural to required finish grades and minimum depths.

1. All Soft Landscape Areas are to be irrigated with a high efficiency irrigation system specified in all common areas, including townhouse frontages, lane planting and upper terrace areas.
2. The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines.

TREES		COMMON NAME	SIZE/COMMENTS
SYMBOL	QTY		
	12	Acer Circinalum	4cm cal. Multi-stem
	3	Fraxinus Americana	7cm cal. 8&8
	18	Magnolia Galaxya	5cm cal. Multi-stem
	6	Magnolia Kobus	5cm cal
	1	Picea omorika	3m H, 8&8
	15	Sorbus aria 'ulenscens'	5cm cal
	6	Street Trees, (species to be coordinated w/ City of New Westminster) to avoid conflicts with civil utilities servicing building (6.70m o.c. typ.)	7cm cal. 8&8

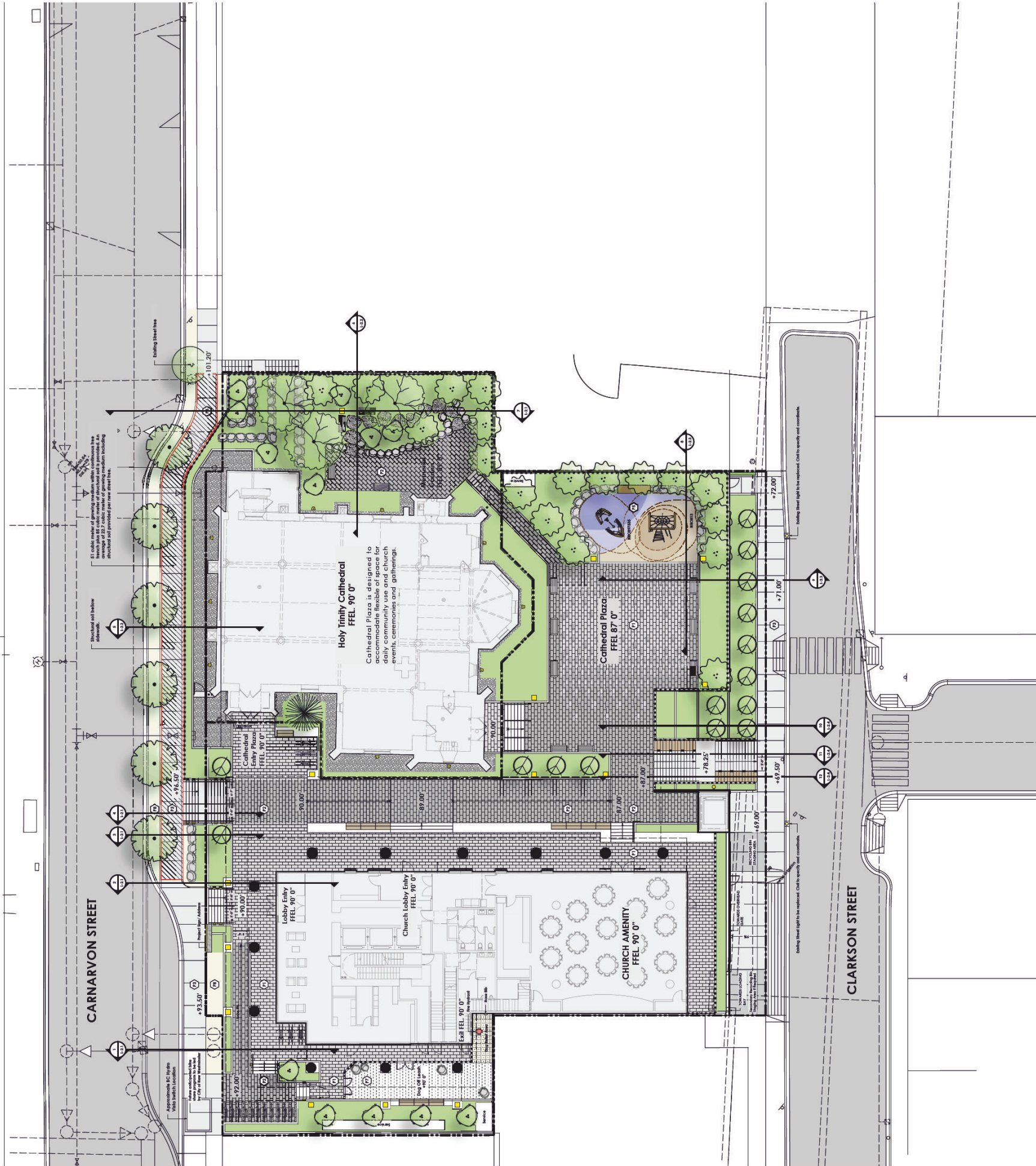
SHRUBS, FERNS PERENNIALS, GROUND COVERS & GRASSES		COMMON NAME	SIZE/COMMENTS
SYMBOL	QTY		
	A1	Azalea 'Gumpo White'	#2 pol. 24" o.c.
	A2	Azalea 'Fusion Pink'	#2 pol. 24" o.c.
	A3	Azalea 'Fusion Pink'	#1 pol. 24" o.c.
	A4	Azalea 'Fusion Pink'	#2 pol. 24" o.c.
	R1	Rhododendron 'Blue Diamond'	#3 pol. 24" o.c.
	R2	Rhododendron 'Alena'	#3 pol. 36" o.c.
	R3	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R4	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R5	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R6	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R7	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R8	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R9	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R10	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R11	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R12	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R13	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R14	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R15	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R16	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R17	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R18	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R19	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R20	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R21	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R22	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R23	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R24	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R25	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R26	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R27	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R28	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R29	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R30	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R31	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R32	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R33	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R34	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R35	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R36	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R37	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R38	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R39	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R40	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R41	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R42	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R43	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R44	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R45	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R46	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R47	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R48	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R49	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R50	Rhododendron 'Alena'	#1 pol. 24" o.c.
	R51	Rhododendron 'Alena'	#1 pol. 24" o.c.

Number of freets removed on site:	10
Number of freets removed off site:	2
Number of freets recommended on site by consulting Artist (Abdullah): (1:2 ratio)	20
Number of freets recommended off site by consulting Artist (Abdullah): (1:2 ratio)	4
Number of freets provided on-site:	55
Number of freets provided off-site:	6

	Broadway Pavers, Colour: Natural Size: 23.62" x 11.81" x 2.56"		Sod Lawn
	Broadway Pavers, Colour: Charcoal Size: 23.62" x 11.81" x 2.56"		Shrub Planting
	CIP Concrete (offsite) - Refer to Civil. Saw cut as per plan.		Landscape Fence and Guardrails
	Wood decking		Property Line
	Poured in Place Rubber, Safety Surface.		Existing Subway Line Below Surface
	Rubber Tiles, Safety Surface.		Survey and Existing Grades
	Gravel		Survey and Existing Grades

	Wood Bench		Edge-tilt pole-top luminaire with base by Begla Lighting. Finish: Anodized Bronze. Refer to L3.3.
	Outdoor lounge furniture		Wall luminaire. Narrow beam downward by Begla Lighting. Finish: Anodized Bronze. Refer to L3.3.
	Play Logs		Inground floodlight. Facade washer by Begla Lighting. Finish: Anodized Bronze. Refer to L3.3.
	Bike Stairs Advantage Hi-Lo		Recessed wall luminaires by Begla Lighting. Finish: Bronze. Refer to L3.1.

Type A	R @ 5"	T @ 12"		Existing Street Light to be replaced. Civil to specify and coordinate.
Type B	R @ 7"	T @ 11"		Existing Street Light.



No.	Date	Description	Remarks / Issues
10	31.05.2022	REPLIED FOR CITY COMMENTS RE:INQUIRY	
9	05.05.2022	REPLIED FOR COMEDS COMMENTS RE:SET	
8	17.03.2022	REPLIED FOR AWC RE:INQUIRY	
7	12.11.2021	REPLIED FOR AWC/INQUIRY PLANNED COMMISSION	
6	16.10.2021	REPLIED FOR AWC/INQUIRY PLANNED COMMISSION	
5	11.03.2019	REPLIED FOR AWC/INQUIRY PLANNED COMMISSION	
4	01.02.2019	REPLIED FOR CONNECTION	
3	11.05.2018	REPLIED FOR PIP	
2	03.04.2018	REPLIED FOR PIP	
1	11.06.2017	REPLIED FOR AWC/INQUIRY PLANNED COMMISSION REPLIED FOR AWC/INQUIRY PLANNED COMMISSION	

Project Title
**THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 514 CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 74708
NEW WESTMINSTER**

Sheet Title:
**GROUND LEVEL.
LAYOUT AND MATERIALS PLAN**

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Drawn By:

Reviewed by:

Date:

Plot Date:

Project North



Scale: 1"=10'

Drawing No. L-1.1

Project No.: 17543

Project No. alt:

Sheet No. 17543

durante|kreuk

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 102 - 1637 West 5th Avenue
 Vancouver BC V6J 1N5
 t: 604 694 4611
 f: 604 694 0577
 www.dk.bc.ca



No	Date	Description
1	11/09/2017	REVIEW REPUTATION AND FIDUCIARY AMENDMENT
2	03/04/2018	REVIEW FIDUCIARY
3	01/05/2018	REVIEW FIDUCIARY
4	01/02/2019	REVIEW FOR CONFORMANCE
5	11/03/2019	REVIEW FOR AGENCY PLANNING COMMISSION
6	18/10/2021	REVIEW FOR AGENCY PLANNING COMMISSION
7	12/11/2021	REVIEW FOR AGENCY PLANNING COMMISSION
8	17/03/2022	REVIEW FIDUCIARY REPUTATION
9	08/05/2022	REVIEW FOR COMPLETED AGENCY SET
10	31/05/2022	REVIEW FOR CITY COMMISSION REVENUE

Project Title
**THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 514 CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 74708
NEW WESTMINSTER**

**GROUND LEVEL, NORTH,
GRADING AND DRAINAGE**

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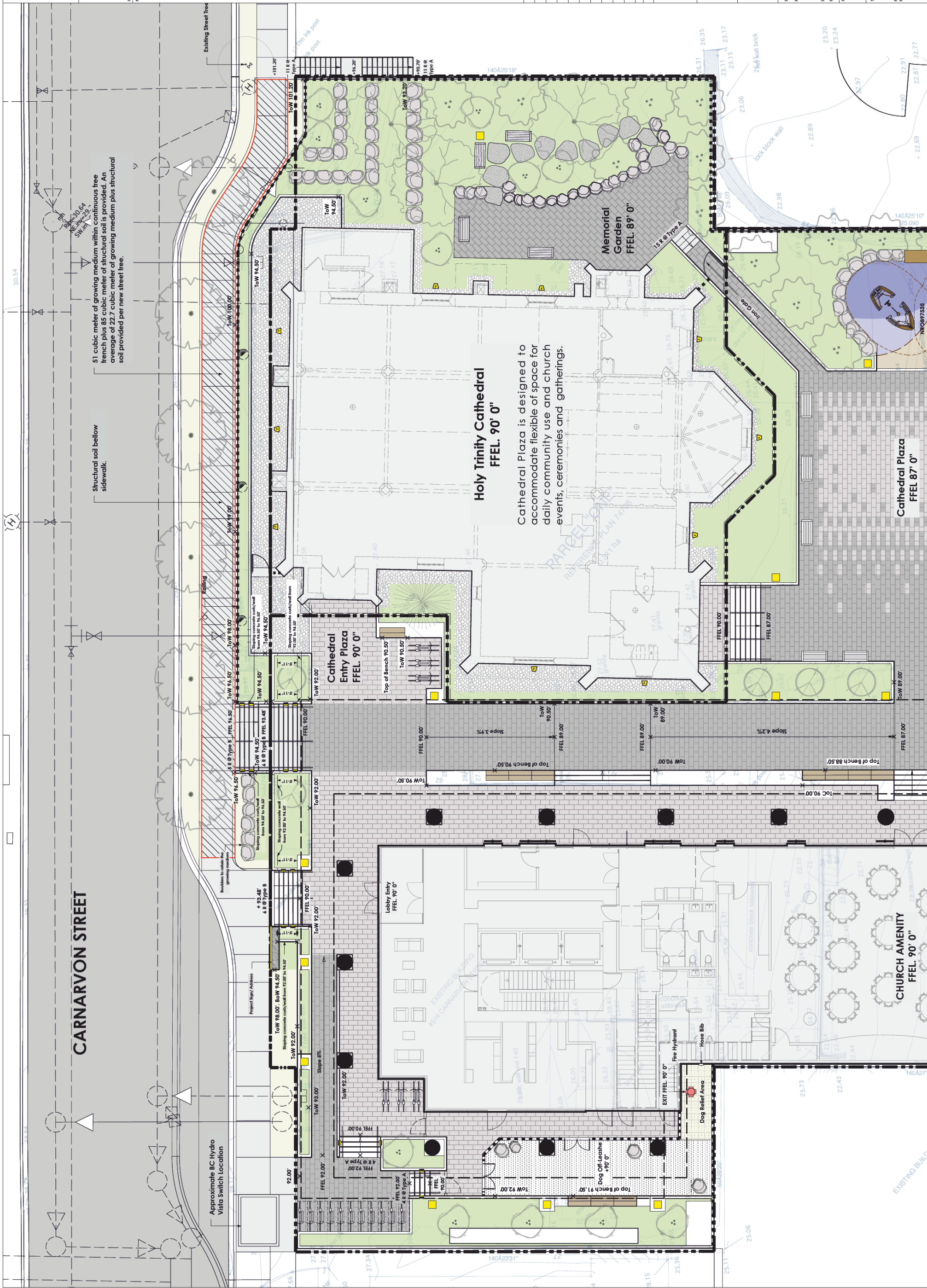
Date: _____

09/09/2023



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Project No.: 421105
Project No. ddt: 17041



No	Date	Description
1	11/09/2017	NEWLINE REINFORCEMENT AND COST ADJUSTMENT
2	03/04/2018	REVIEW FOR APR
3	11/05/2018	REVIEW FOR DCP
4	01/02/2019	REVIEW FOR SUBMITTAL
5	11/03/2019	REVIEW FOR ADVISORY PLANNING COMMISSION
6	18/10/2021	REVIEW FOR ADVISORY PLANNING COMMISSION
7	12/11/2021	REVIEW FOR ADVISORY PLANNING COMMISSION
8	17/03/2022	REVIEW FOR APR - REVISOR
9	06/05/2022	REVIEW FOR COMBINED AND BEST
10	31/05/2022	REVIEW FOR CITY COMMISSION REVISION

Revisions / Issues:	Project Title
	THE HOLY TRINITY ANGLICAN CATHEDRAL RENEWAL 514 CARNARVON STREET LOT ONE OF VICTORIA GARDENS 74708 NEW WESTMINSTER

Sheet Title: **GROUND LEVEL, SOUTH,
GRADING AND DRAINAGE PLAN**

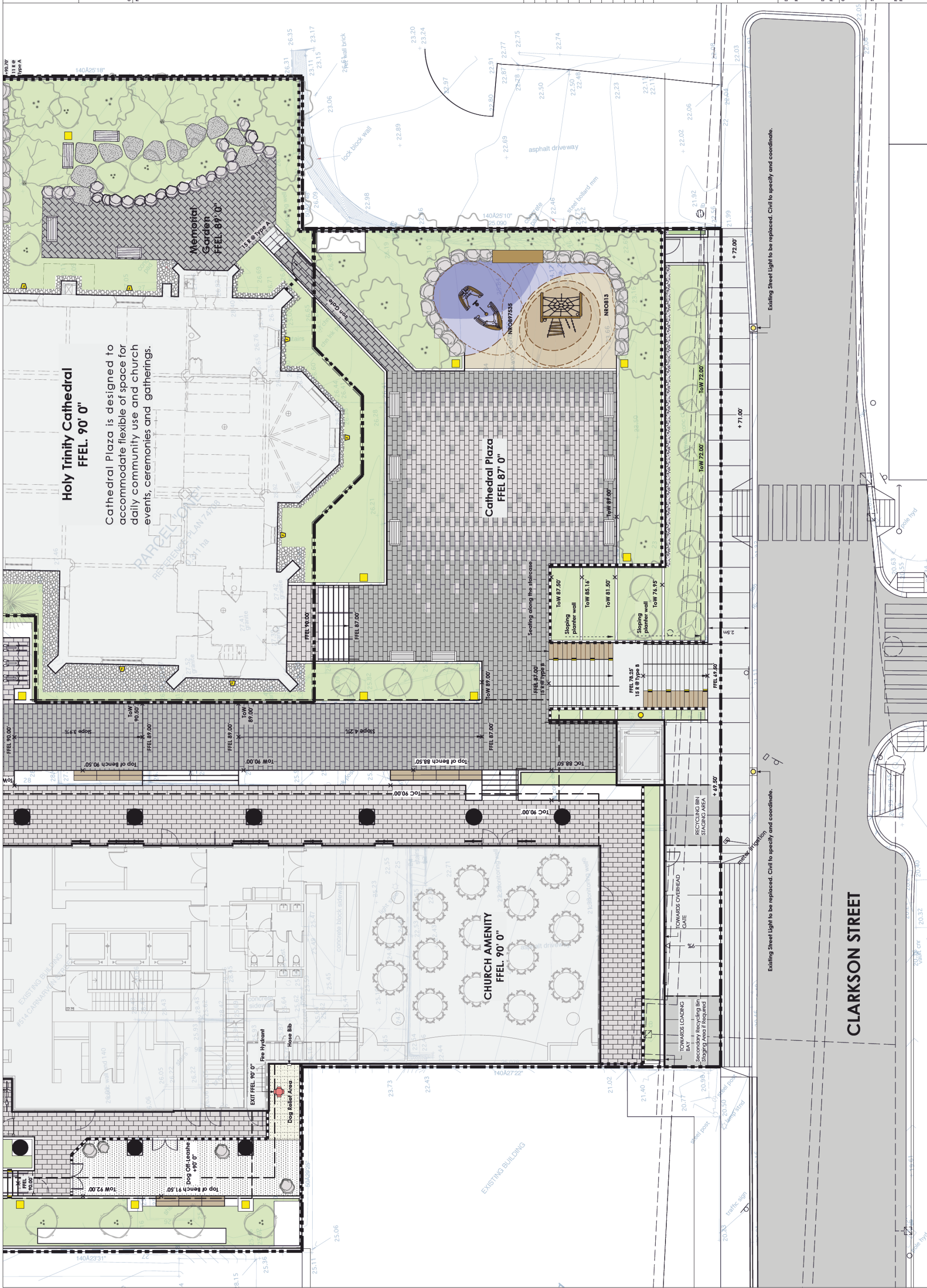
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Drawn By: Reviewed by: Date: Plot Date:	Project North 
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Scale: 1/8" = 1'-0"

Project No.: 621756

Drawing No. L - 1.3



No.	Date	Description
1	11/03/2017	RECEIVED FOR PAYMENT OF AMOUNT DUE TO THE PLANNING AND ZONING DEPARTMENT
2	03/04/2018	RECEIVED FOR P&Z
3	11/05/2018	RECEIVED FOR P&Z
4	01/02/2019	RECEIVED FOR SUBORDINATION
5	11/03/2019	RECEIVED FOR ADJUNCT PLANNING COMMISSION
6	18/10/2021	RECEIVED FOR ADJUNCT PLANNING COMMISSION
7	12/11/2021	RECEIVED FOR ADJUNCT PLANNING COMMISSION
8	17/03/2022	RECEIVED FOR P&Z
9	08/05/2022	RECEIVED FOR CONSIDERED AFTER TEST
10	31/05/2022	RECEIVED FOR CITY COMMISSION RESPONSE

Project Title

**THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 514 CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 74708
NEW WESTMINSTER**

Sheet Title:

GROUND LEVEL, NORTH, PLANTING PLAN

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Drawn By: RSS	Project North
Reviewed by: PK	

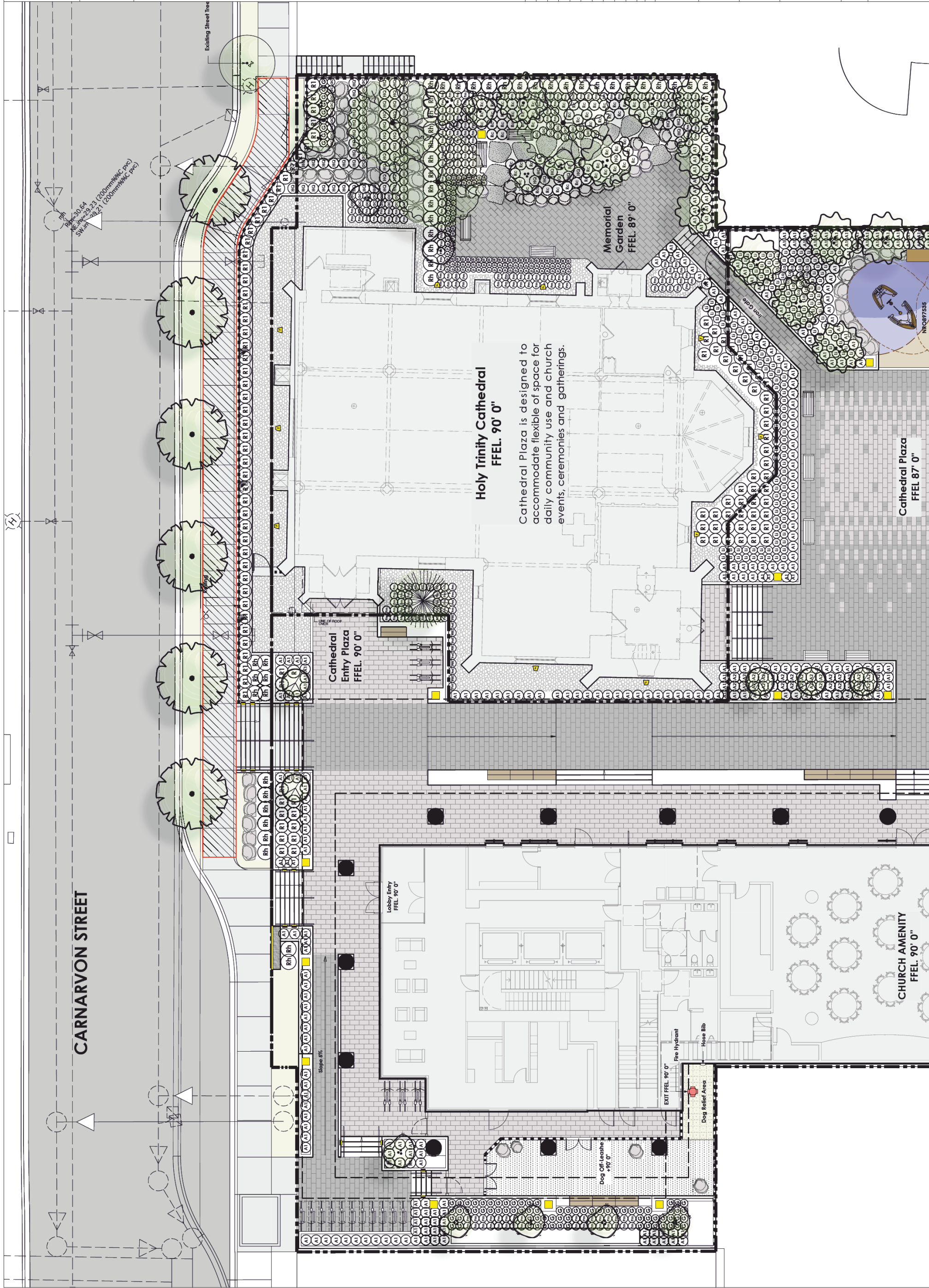
Date: Plot Date:

Graphic Scale

Scale: 1/8" = 1'-0"

Project No.: 601258

Drawing No. L-1.4





No.	Date	Description
1	11/03/2017	RECEIVED FOR PAYMENT OF AMOUNT DUE TO THE PLANNING AND ZONING DEPARTMENT
2	03/04/2018	RECEIVED FOR DP
3	11/05/2018	RECEIVED FOR DP
4	01/02/2019	RECEIVED FOR SUBORDINATION
5	11/03/2019	RECEIVED FOR ADJUNCT PLANNING COMMISSION
6	18/10/2021	RECEIVED FOR ADJUNCT PLANNING COMMISSION
7	12/11/2021	RECEIVED FOR ADJUNCT PLANNING COMMISSION
8	17/03/2022	RECEIVED FOR DP
9	08/05/2022	RECEIVED FOR DP
10	31/05/2022	RECEIVED FOR CITY COMMISSION RESPONSE

Revisions / Issues:

Project Title

**THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 514 CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 74708
NEW WESTMINSTER**

Sheet Title:

GROUND LEVEL, SOUTH, PLANTING PLAN

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Drawn By:

Reviewed by:

Date:

Pilot Date:

Project North

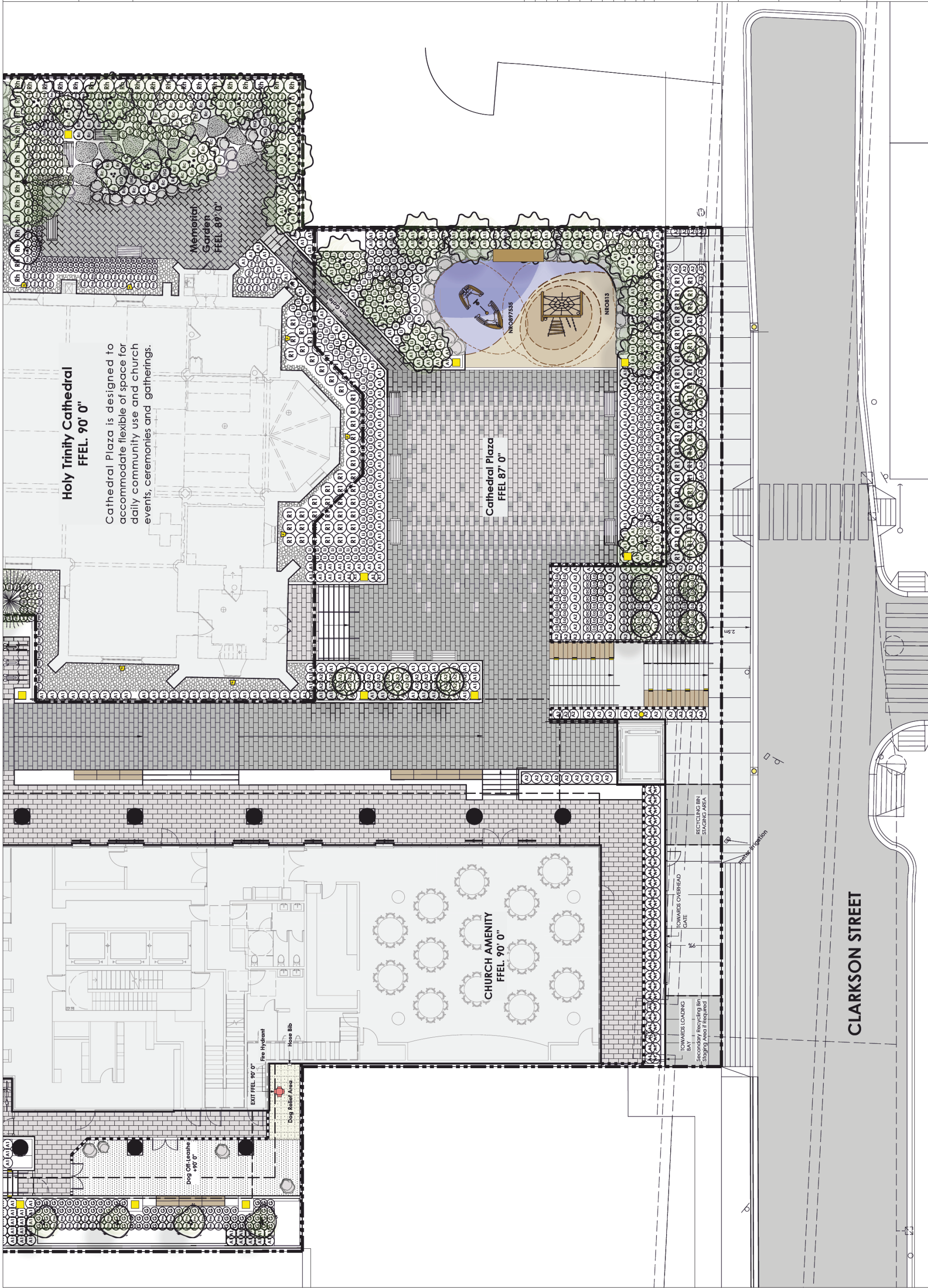


Graphic Scale

Scale: $1/8" = 1'-0"$

Project No.: M21726

2.



No.	Date	REVISIONS
1	11/30/2017	ISSUED FOR CITY COMMENTS REVISION
2	03/04/2018	ISSUED FOR 3RD REVISION
3	11/25/2018	ISSUED FOR 4TH REVISION
4	11/23/2019	ISSUED FOR MAY/2019 PLANNING COMMISSION
5	18/10/2021	ISSUED FOR MAY/2021 PLANNING COMMISSION
6	12/11/2021	ISSUED FOR MAY/2021 PLANNING COMMISSION
7	07/23/2022	ISSUED FOR MAY/2022 PLANNING COMMISSION
8	07/23/2022	ISSUED FOR MAY/2022 PLANNING COMMISSION
9	09/05/2022	ISSUED FOR COMPLETION PERMIT
10	31/05/2022	ISSUED FOR CITY COMMENTS REVISION

THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 514 CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 74708
NEW WESTMINSTER

ROOFTOP LANDSCAPE PLAN

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Drawn By: RSS

Reviewed by: PK

Project North



Graphical Scale	Scale:	Drawing No.
	Project No.: Project No. alt: Project No. desc:	L - 1.6

