

Attachment #3

*Heritage Revitalization Agreement Bylaw 8089,
2022*

CORPORATION OF THE CITY OF NEW WESTMINSTER
HERITAGE REVITALIZATION AGREEMENT (HOLY TRINITY CATHEDRAL)

BYLAW NO. 8089, 2022

A Bylaw to enter into a Heritage Revitalization Agreement under Section 610
of the *Local Government Act*

WHEREAS the City of New Westminster and the owner of Holy Trinity Cathedral property located at 514 Carnarvon Street, New Westminster, British Columbia wish to enter into a Heritage Revitalization Agreement in respect of that property;

NOW THEREFORE, the Council of the City of New Westminster enacts as follows:

Citation

1. This Bylaw may be cited as “Heritage Revitalization Agreement (Holy Trinity Cathedral) Bylaw No. 8089, 2022”.

Heritage Revitalization Agreement

2. The City of New Westminster is authorized to enter into a Heritage Revitalization Agreement under section 610 of the *Local Government Act* with the registered owner of the Holy Trinity Cathedral property located at 514 Carnarvon Street, New Westminster, British Columbia, and legally described as PID: 008-186-430 Parcel “One” Victoria Gardens Reference Plan 74708 in the form attached as **Schedule A**.
3. The Mayor and City Clerk are authorized to execute and deliver such Heritage Revitalization Agreement on behalf of the City of New Westminster.

READ A FIRST TIME this ____ day of _____, 2022.

READ A SECOND TIME this ____ day of _____, 2022.

PUBLIC HEARING held this ____ day of _____, 2022.

READ A THIRD TIME this ____ day of _____, 2022.

ADOPTED this ____ day of _____, 202__.

Mayor J. Cote

Jaqueline Killawee, City Clerk

SCHEDULE A

HERITAGE REVITALIZATION AGREEMENT (HOLY TRINITY CATHEDRAL)

THIS AGREEMENT dated for reference June 2, 2022 is

BETWEEN:

THE HOLY TRINITY PARISH OF NEW WESTMINSTER B.C., 514 Carnarvon Street, New Westminster, British Columbia, V3L 1C4

(the “**Owner**”)

AND:

THE CORPORATION OF THE CITY OF NEW WESTMINSTER, City Hall, 511 Royal Avenue, New Westminster, British Columbia, V3L 1H9

(the “**City**”)

WHEREAS:

- A. The Owner is the registered owner in fee simple of the lands and all improvements located at 514 Carnarvon Street, New Westminster, British Columbia, and legally described as PID 008-186-430, Parcel “One” Victoria Gardens Reference Plan 74708 (the “**Land**”).
- B. The Owner intends to apply to the City’s Approving Officer for approval of a subdivision plan to divide the Land into two separate parcels, generally as shown on the site plan (the “**Site Plan**”) attached as Appendix 1 and identified as “**Sub-District A**” and “**Sub-District B**”.
- C. There is a building currently situated on the Land known as the Holy Trinity Cathedral (the “**Heritage Cathedral**”), which building is located within Sub-District B and is listed in the City’s Heritage Register.
- D. The City and the Owner agree that the Heritage Cathedral has heritage value and should be conserved, restored and properly maintained.
- E. The Owner wishes to make certain alterations and restorations to the Heritage Cathedral, including seismic upgrading (the “**Seismic Upgrade**”) in accordance with plans prepared by Structural Solutions Engineering Inc. and dated January 21, 2020 a copy of which is

Appendix 2 (the “**Seismic Upgrade Plans**”), and restoration and rehabilitation work (the “**Conservation Work**”) in accordance with the heritage conservation plan prepared by Donald Luxton and Associates and dated October 2021 a copy of which is attached as **Appendix 3** (the “**Conservation Plan**”).

- F. The Owner wishes to develop within Sub-District A a multi-storey building of complementary design containing 285 residential dwellings, including 271 strata-titled ownership units and 14 secured market rental units, as well as underground vehicle parking spaces, a new parish hall, and public amenity space including an outdoor plaza and pedestrian access corridor with elevator (collectively the “**Mixed Use Building**”).
- G. It is intended that HTC Foundation will use its profits (revenue in excess of costs) to support the ongoing maintenance and operations of the Heritage Cathedral.
- H. The proposed subdivision and development of residential housing units on the Land are not permitted by City of New Westminster Zoning Bylaw No. 6680, 2001.
- I. Section 610 of the *Local Government Act* authorizes a local government to enter into a Heritage Revitalization Agreement with the owner of heritage property, which may, among other things, vary or supplement the provisions of a land use bylaw or permit under Part 14 or Part 15 of the *Local Government Act*.
- J. The Owner and the City wish to enter into this Heritage Revitalization Agreement and the City has adopted a bylaw authorizing the City to do so.
- K. The Owner wishes to also confirm the designation of the Heritage Cathedral as protected heritage property under section 611 of the *Local Government Act*.

THIS AGREEMENT is evidence that in consideration of the sum of ten dollars (\$10.00) now paid by each party to the other and for other good and valuable consideration (the receipt of which each party hereby acknowledges) the Owner and the City each covenant with the other pursuant to Section 610 of the *Local Government Act* as follows:

Seismic Upgrade to Heritage Cathedral

- 1. **Commencement** - After registration of this agreement, the Owner shall commence and undertake to completion the Seismic Upgrade in accordance with the Seismic Upgrade Plans attached as Appendix 2, for clarity, commencement of the Seismic Upgrade includes preparation of plans and permit processing.
- 2. **Professional Oversight** - The Owner shall, throughout the course of the Seismic Upgrade, engage a member of the Association of Professional Engineers and Geoscientists of British Columbia (the “**Structural Engineer**”) to oversee the Seismic Upgrade.

The Owner shall cause the Structural Engineer to:

- (a) prior to commencement of the Seismic Upgrade, and at any time during the course of the Seismic Upgrade that a Structural Engineer has been engaged in substitution for a Structural Engineer previously engaged by the Owner, provide to the City an executed and sealed Confirmation of Commitment in the form attached as **Appendix 4**;
 - (b) supervise the Seismic Upgrade and ensure substantial compliance of the Seismic Upgrade work with the Seismic Upgrade Plans;
 - (c) provide regular reports to the City's Director of Climate Action, Planning and Development on the progress of the Seismic Upgrade;
 - (d) upon substantial completion of the Seismic Upgrade, provide to the City an executed and sealed Certification of Compliance in the form attached as **Appendix 5**; and
 - (e) notify the City within one business day if the Structural Engineer's engagement by the Owner is terminated for any reason.
3. **Minor Revisions** - The Owner may request approval from the Director of Climate Action, Planning and Development, at the Director's sole discretion, for minor revisions to the Seismic Upgrade Plans if such revisions are recommended in writing to the Owner by the Structural Engineer during the course of the work; for this purpose, minor revisions do not alter character defining elements on the interior or exterior of the Heritage Cathedral as described in the building's Statement of Significance in the Conservation Plan (Appendix 3).
4. **Completion** - The Owner shall, within five years following the date of registration of this agreement, complete the Seismic Upgrade and provide a Certificate of Compliance to the City in respect of the Seismic Upgrade.

Conservation Work to Heritage Cathedral

- 5. The Owner shall complete the Conservation Work described in the Conservation Plan prepared by Don Luxton, dated October 2021 attached as Appendix 3 and the design plans and specifications prepared by Jonathan Ehling Architect Inc. , dated February 26, 2019, a copy of which is attached hereto as **Appendix 6** (the "**Cathedral Design Plans**"), full-size copies of which plans and specifications are on file at the New Westminster City Hall.
- 6. The Owner shall undertake the Conservation Work in accordance with generally accepted heritage conservation practices. If any conflict or ambiguity arises in the interpretation of the Conservation Plan, or with respect to any City approved minor revisions, the parties agree that the ambiguity shall be resolved having regard to the Standards and Guidelines for the Conservation of Historic Places in Canada, 2nd edition, published by Parks Canada in 2010.

7. **Heritage Professional** – The Owner shall throughout the course of the Conservation Work engage a member of the Architectural Institute of British Columbia or the Canadian Association of Heritage Professionals with specialization in Building or Planning (the “**Heritage Professional**”) to oversee the Conservation Work.

The Owner shall cause the Heritage Professional to:

- (a) prior to commencement of the Conservation Work, and at any time during the course of the Conservation Work that a Heritage Professional has been engaged in in substitution for a Heritage Professional previously engaged by the Owner, provide to the City an executed and sealed Confirmation of Commitment in the form attached as Appendix 4 and, if the Heritage Professional is a member of the Canadian Association of Heritage Professionals, the Heritage Professional shall provide evidence of their membership and specialization when submitting such executed and sealed Confirmation of Commitment;
 - (b) provide regular reports to the City’s Climate Action, Planning and Development Department, on the progress of the Conservation Work;
 - (c) upon substantial completion of the Conservation Work, provide to the City an executed and sealed Certification of Compliance in the form attached as Appendix 5; and
 - (d) notify the City within one business day if the Heritage Professional’s engagement by the Owner is terminated for any reason.
8. **Minor Revisions** - During the course of completing the Conservation Work, the Owner may propose to the City’s Director of Climate Action, Planning and Development minor revisions to the Conservation Plan if such revisions are recommended in writing to the Owner by the Heritage Professional, and the Director may approve such minor revisions at their sole discretion.
9. **Completion** - The Owner shall complete the Conservation Work within five years following the date of registration of this Agreement.

Damage to or Destruction of Heritage Cathedral

10. After the completion of the Seismic Upgrade and Conservation Work:
- (a) if the Heritage Cathedral is damaged, the Owner shall restore and repair the Heritage Cathedral to the same condition and appearance that existed before the damage occurred;
 - (b) if, in the opinion of the City, the Heritage Cathedral is completely destroyed, the Owner shall construct a replica, using equivalent contemporary materials if

necessary, of the Heritage Cathedral that complies with the Conservation Plan and with City of New Westminster Zoning Bylaw No. 6680, 2001, as varied and supplemented by this Agreement; and

- (c) the Owner shall use its best efforts to commence and complete any restoration of and repairs to the Heritage Cathedral, or the construction of a replica, with reasonable dispatch.

Heritage Designation of Heritage Cathedral

11. The Owner irrevocably:
 - (a) agrees to the designation of the Heritage Cathedral exterior as protected heritage property under section 611 of the *Local Government Act*;
 - (b) waives its right to compensation under section 613 of the *Local Government Act*; and
 - (c) releases the City from any obligation to compensate the Owner under that section.
12. Except for completion of the Seismic Upgrade and the Conservation Work in accordance with this Agreement, the Owner shall not at any time alter the exterior appearance of the Heritage Cathedral, except as permitted by a heritage alteration permit under Part 15 of the *Local Government Act*.

Ongoing Maintenance of Heritage Cathedral Post Restoration

13. **Maintenance** -Following the completion of the Seismic Upgrade and Conservation Work, the Owner shall maintain the Heritage Cathedral in good repair in accordance with the Conservation Plan in Appendix 3 and the maintenance standards set out in City of New Westminster Heritage Properties Minimum Maintenance Standards Bylaw No. 7971, 2018, as amended or replaced from time to time, and, in the event that Bylaw No. 7971 is repealed and not replaced, the Owner shall continue to maintain the building to the standards that applied under Bylaw No. 7971 immediately prior to its repeal.
14. **Maintenance Funding** - The Owner shall perform or cause to be performed the on-going maintenance work and operations as identified in accordance with the maintenance plan detailed in the Conservation Plan (Appendix 3), and the City may in its discretion but not more than once per calendar year, require the Owner to provide documentary evidence of such maintenance and expenditure. If in any calendar year the Owner's maintenance expenditures do not, in the reasonable opinion of the City's Director of Climate Action, Planning and Development comply with this requirement, the City may, in lieu of or in addition to enforcing the Heritage Properties Minimum Maintenance Standards Bylaw

No. 7971, require the Owner to contribute the amount of any shortfall in expenditures towards the maintenance of the Heritage Cathedral.

If Sub-District A is subdivided by deposit of an air space plan under Part 9 of the *Land Title Act* and in compliance with section 23, the requirements of this section and section 16 shall not apply to Sub-District A except for the parcel containing the parish hall portion of the Mixed Use Building.

Construction and Use of Mixed Use Building

15. The Owner shall construct the Mixed Use Building in strict accordance with Zoning Bylaw No. 6680, 2001 as varied and supplemented by this Agreement, and such development permits as the City may issue pursuant to the *Local Government Act* or the *New Westminster Redevelopment Act* and in accordance with the Mixed Use Building plans, a copy of which is attached as Appendix 8 (the “**Mixed Use Building Design Plans**”) and the Site Plan (Appendix 1).
16. The Owner agrees that the City may, notwithstanding that such a permit may be issuable under the City’s zoning and building regulations and the BC Building Code, withhold a development permit or building permit for the Mixed Use Building if plans submitted with the application for the development permit or the building permit, as the case may be, are not in accordance with the Mixed Use Building Design Plans, and may withhold a permit or inspection to occupy the Mixed Use Building or any portion thereof if the work completed is not in accordance with the Mixed Use Building Design Plans. In this Agreement, a reference to development permit shall include special development permits under the *New Westminster Redevelopment Act*.
17. The Owner shall commence and complete all actions required for the completion of the Mixed Use Building and related amenities, including the plaza, pedestrian access corridor, stairs and elevator, within six years following the date of the registration of the this Agreement.
18. Following completion of the construction of the Mixed Use Building, in accordance with this Agreement, the Owner shall not alter the unit count, total floor space, interior layout or exterior appearance of the Mixed Use Building, except as permitted by the City.

Restrictions on Timing of Mixed Use Building Construction and Occupancy & Sub-District A Subdivision

19. **Construction** - Construction of the Mixed Use Building on the Land shall be subject to the following restrictions and requirements and the Owner shall observe and comply with, and be subject to, all of the following requirements and restrictions:
 - (a) No above grade construction of the Mixed Use Building shall begin on the Land, and the City may refuse to issue a building permit for any such above-grade work,

until and unless the City has issued a building permit for the construction of the Seismic Upgrade and the Owner has commenced the Seismic Upgrade as such commencement is clarified in Section 1.

- (b) The Owner shall proceed with and complete the Seismic Upgrade and Conservation Work prior to or concurrently with the construction of the Mixed Use Building and complete the Seismic Upgrade and Conservation Work prior to or concurrently with the completion of the Mixed Use Building.
 - (c) The Owner shall cause the Structural Engineer, in respect of the Seismic Upgrade, and the Heritage Professional, in respect of the Conservation Work, to provide a written report to the City, in a form and with such details as may be required by the City's Director of Climate Action, Planning and Development, describing the status of completion of the Seismic Upgrade and the Conservation Work, within 14 days following such work reaching each of the 25%, 50% and 75% completion states. In addition, the Owner shall cause the Structural Engineer or the Heritage Professional to advise the Director of completion status promptly following a request from the Director from time to time.
 - (d) Owner shall complete the Seismic Upgrade before the Owner books with the City for either the final fire-stop inspection of the Mixed Use Building or for insulation inspection above the 23rd floor of the Mixed Use Building and the Owner shall not apply for such inspections and the City may refuse to conduct such inspections until the Seismic Upgrade is complete and the requirements of paragraphs (i), (ii) and (iii) of the next section with respect to the Seismic Upgrade only have been satisfied.
20. **Subdivision** - Sub-District A shall not be subdivided by any means, including by deposit of an air space parcel plan under Part 9 of the **Land Title Act** or by deposit of a strata plan of any kind under the *Strata Property Act*, and the City's approving officer may refuse to approve any such subdivision, until and unless: (i) the Owner has provided a Certificate of Compliance to the City in respect of the Seismic Upgrade and the Conservation Work, (ii) the City has completed a satisfactory heritage inspection, and (iii) the City's Director of Climate Action, Planning and Development has confirmed in writing that they are satisfied that the Seismic Upgrade and Conservation Work have been completed.
21. **Occupancy** - The Mixed Use Building shall not be occupied or used for any purpose, and the City may refuse to issue an occupancy permit for the Mixed Use Building, until and unless: (i) the Owner has provided a Certificate of Compliance to the City in respect of the Seismic Upgrade and the Conservation Work, (ii) the City has completed a satisfactory heritage inspection, and (iii) the City's Director of Climate Action, Planning and Development has confirmed in writing that they are satisfied that the Seismic Upgrade and Conservation Work have been completed.

Inspection

22. Upon request by the City, the Owner shall cause its Structural Engineer or Heritage Professional to advise the City's Director of Climate Action, Planning and Development of the status of the Seismic Upgrade or the Conservation Work, as the case may be, and, without limiting the City's power of inspection conferred by statute and in addition to such powers, the City shall be entitled at all reasonable times and from time to time to enter onto the Land for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner.

General

23. **Owner Expense** - The Owner shall comply with this Agreement, and perform its obligations under this Agreement, at its own expense.
24. **Zoning** – The City of New Westminster Zoning Bylaw No. 6680, 2001 is varied and supplemented in its application to the Lands as set out in **Appendix 7**.
25. **Permits Required** - Prior to commencement of the Seismic Upgrade, the Conservation Work, and construction of the Mixed Use Building, the Owner shall obtain from the City all necessary permits and licenses, including but not limited to development permit, heritage alteration permit, building permit, and tree permit. Nothing in this Agreement relieves the Owner from having to obtain any permits from the City to do anything required or permitted by this Agreement.
26. **Subdivision** - Nothing in this Agreement commits the Approving Officer to approve the proposed subdivision plan as generally shown on the Site Plan (Appendix 1).
27. **Signage** - The Owner shall at the Owner's sole expense, erect on the Land and keep erected throughout the course of the Seismic Upgrade and Conservation Work, a sign of sufficient size and visibility to effectively notify contractors and tradespersons entering onto the Land that the work involves protected heritage property and is being carried out for heritage conservation purposes.
28. **Conformity with City Bylaws** - The Owner acknowledges and agrees that, except as expressly varied by this Agreement, any development or use of the Land, including any preservation, rehabilitation, restoration and repairs done with respect to the Heritage Cathedral, must comply with all applicable bylaws of the City.
29. **Statutory Authority Retained** - Nothing in this Agreement shall limit, impair, fetter or derogate from the statutory powers of the City, all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled.

30. **Business Day** – In this Agreement, “business day” means a day other than a Saturday, Sunday or statutory holiday in British Columbia.

Enforcement of Agreement

31. The Owner acknowledges that it is an offence under Section 621(1)(c) of the *Local Government Act* to alter the Land or the Heritage Cathedral in contravention of this Agreement, punishable (as of the date of registration of this Agreement) by a fine of up to \$50,000.00 or imprisonment for a term of up to 2 years, or both.
32. The Owner acknowledges that it is an offence under Section 621(1)(b) of the *Local Government Act* to fail to comply with the requirements and conditions of any heritage alteration permit issued to the Owner pursuant to this Agreement and Section 617 of the *Local Government Act*, punishable in the manner described in the preceding section.
33. The Owner acknowledges that, if the Owner alters the Land or the Heritage Cathedral in contravention of this Agreement, the City may apply to the British Columbia Supreme Court for:
- (a) an order that the Owner restore the Land or the Heritage Cathedral, or both, to their condition before the contravention;
 - (b) an order that the Owner undertake compensatory conservation work on the Land or the Heritage Cathedral, or both;
 - (c) an order requiring the Owner to take other measures specified by the Court to ameliorate the effects of the contravention; and
 - (d) an order authorizing the City to perform any and all such work at the expense of the Owner.
34. The Owner acknowledges that if the City undertakes work to satisfy the terms, requirements or conditions of any heritage alteration permit issued to the Owner pursuant to this Agreement upon the Owner’s failure to do so, the City may add the cost of the work and any incidental expenses to the taxes payable with respect to the Land, or may recover the cost from any security that the Owner has provided to the City to guarantee the performance of the terms, requirements or conditions of the permit, or both.
35. The Owner acknowledges that the City may file a notice on title to the Land in the Land Title Office if the terms or conditions of this Agreement have been contravened.
36. The City may notify the Owner in writing of any alleged breach of this Agreement and the Owner shall have that reasonable time specified in the notice to remedy the breach. In

the event that the Owner fails to remedy the breach within the time specified, the City may enforce this Agreement by:

- (a) seeking an order for specific performance of the Agreement;
- (b) any other means specified in this Agreement; or
- (c) any means specified in the *Community Charter* or the *Local Government Act*,

and the City's resort to any remedy for a breach of this Agreement does not limit its right to resort to any other remedy available at law or in equity.

Indemnity

37. The Owner hereby releases, indemnifies, and saves the City, its officers, employees, elected officials, agents and assigns harmless from and against any and all actions, causes of action, losses, damages, costs, claims, debts and demands whatsoever by any person, arising out of or in any way due to the existence or effect of any of the restrictions or requirements in this Agreement, or the breach or non-performance by the Owner of any term or provision of this Agreement, or by reason of any work or action of the Owner in performance of its obligations under this Agreement or by reason of any wrongful act or omission, default, or negligence of the Owner.

38. In no case shall the City be liable or responsible in any way for:

- (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that be suffered or sustained by the Owner or by any other person who may be on the Land; or
- (b) any loss or damage of any nature whatsoever, howsoever caused to the Land, or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements in this Agreement, wrongful or negligent failure or omission by the Owner to comply with the restrictions and requirements in this Agreement or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements in this Agreement or with any other term, condition, or provision of this Agreement.

No Waiver

39. No restrictions, requirements, or other provisions of this Agreement shall be deemed to have been waived by the City unless a written waiver signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default, nor any previous

written waiver, shall be taken to operate as a waiver by the City of any subsequent default or in any way defeat or affect the rights and remedies of the City.

Headings

40. The headings in this Agreement are inserted for convenience only and shall not affect the interpretation of this Agreement or any of its provisions.

Appendices

41. All Appendices to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

42. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Interpretation

43. In this Agreement, "Owner" shall mean all registered owners of the Land or subsequent registered owners of the Land, as the context requires or permits.

Balance of Page Intentionally Blank

Successors Bound

44. All restrictions, rights and liabilities herein imposed upon or given to the respective parties shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date written above.

Signed, sealed and delivered by the)
authorized signatories of The Holy Trinity)
Parish of New Westminster B.C. in the)
presence of:)

Name)

Address)

Occupation)

(as to both signatures))

**THE HOLY TRINITY PARISH OF NEW
WESTMINSTER B.C.** by its authorized
signatories:

The Venerable Dr. Richard Leggett,
Archdeacon of Westminster and Vicar of
the Parish

Carla Jones, Bishop's Warden

CORPORATION OF THE CITY OF NEW WESTMINSTER
by its authorized signatories:

Mayor J. Cote

Jacqueline Killawee, City Clerk

APPENDIX 2

Seismic Upgrade Plans

[illegible]

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CONTRACT RECEIVED

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engineering inc.

601 - 625 FIFTH AVE.
NEW WESTMINSTER, BC. V3M 1X4
604 544 1082
www.ssei.ca

PROJECT NUMBER: K1214

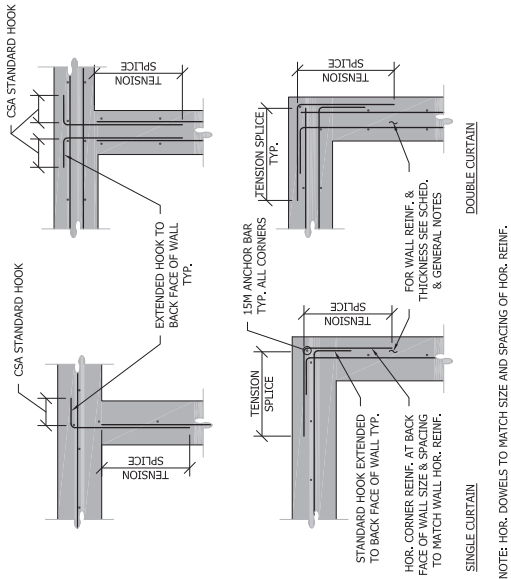
CIVIL ADDRESS:
514 CARNARVON ST.,
NEW WESTMINSTER, BC.

PROJECT:
HOLY TRINITY CATHEDRAL
60% SEISMIC UPGRADE

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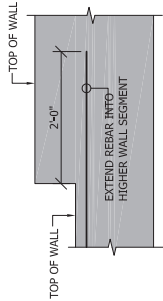
TYPICAL DETAILS

DRAWING: S1.2



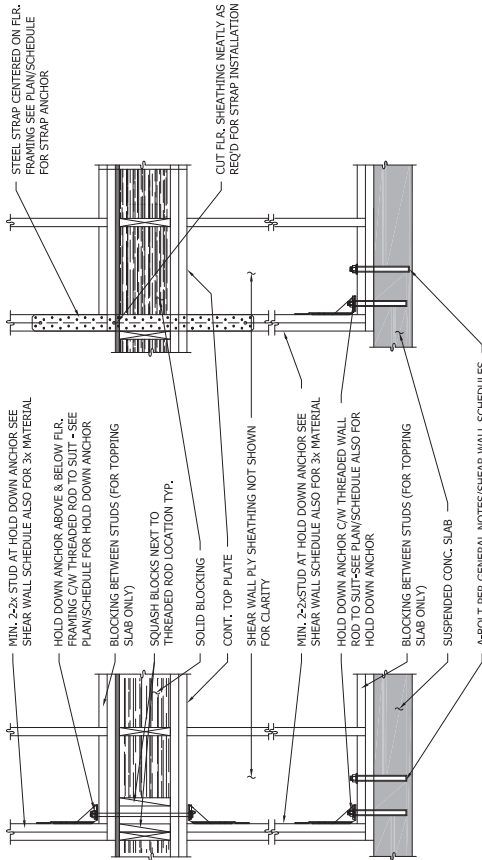
3 TYPICAL CORNER REINFORCING DTL.

S1.2 SCALE: 3/4"=1'-0"



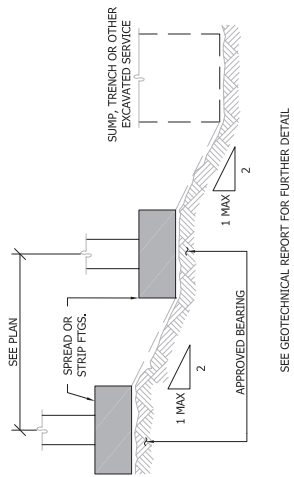
6 STEPPED FOUNDATION WALL ELEVATION

S1.2 SCALE: 3/4"=1'-0"



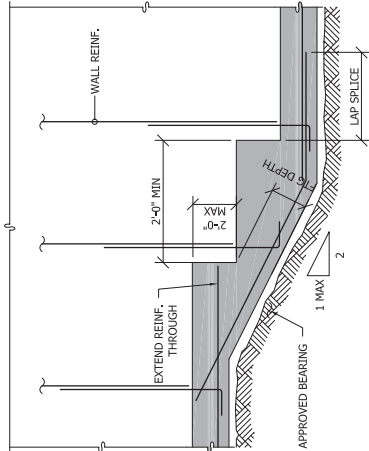
9) HOLD DOWN ANCHORS AT ENDS OF SHEAR WALL

S1.2 SCALE: 3/4"=1'-0"



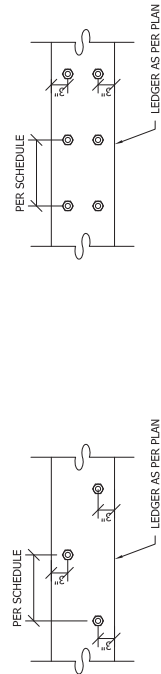
2) RELATIVE ELEV. SUBSURFACE STRUCTURE

S1.2 SCALE: 3/4"=1'-0"



5 TYPICAL STEPPED FOOTING

S1.2 SCALE: 3/4"=1'-0"

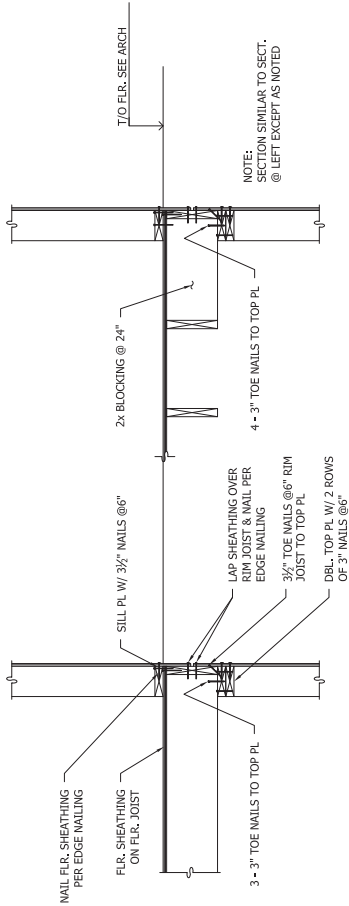


STAGGERED CONDITION

NON STAGGERED CONDITION

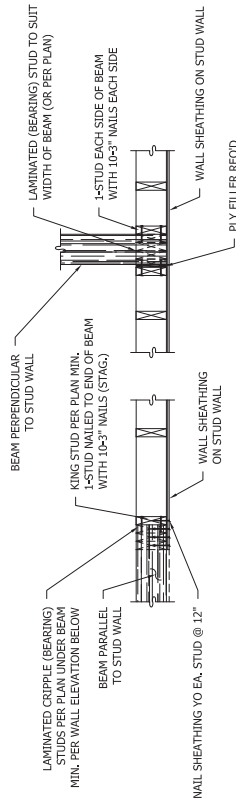
8 TYPICAL LEDGER DTL.

S1.2 SCALE: 3/4"=1'-0"



1 SECTION A & SECTION B

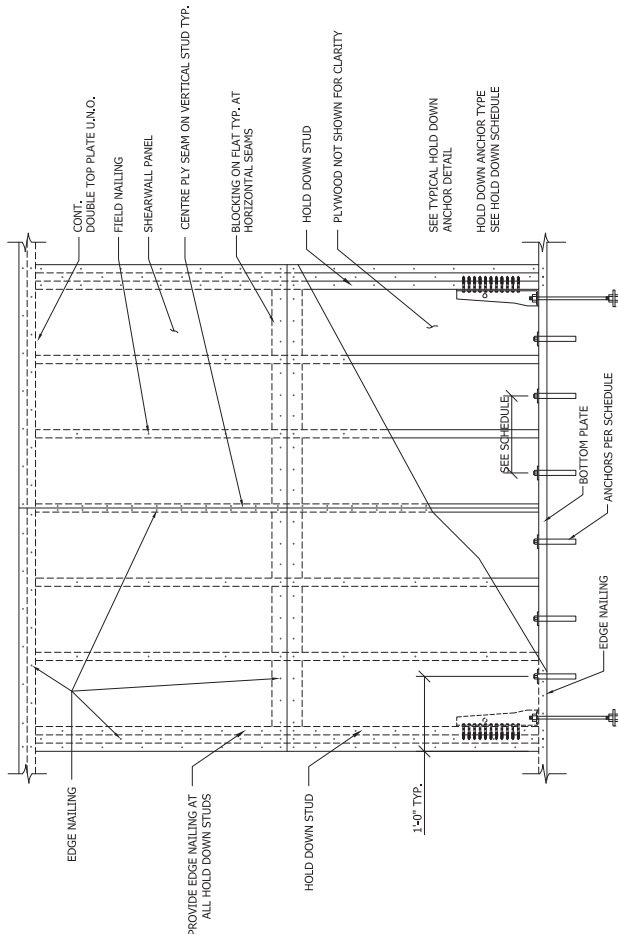
S1.2 SCALE: 3/4"=1'-0"



NOTES TO BEAM/STUD WALL CONNECTION:
CARRY LAMINATED BEARING STUDS DOWN TO TOP
OF FOUNDATION BLOCK. FULL BLOCK JOIST SPACE
BETWEEN UPPER AND LOWER STUDS AT FLOORS

4 BEAM BEARING DETAIL

S1.2 SCALE: 3/4"=1'-0"



7 STUD WALL FRAMING

S1.2 SCALE: 3/4"=1'-0"

NOTE:
SEE PLANS FOR STRAPS/HOLD DOWN/BEAM/WALL/COLUMN LOCATION

[illegible]

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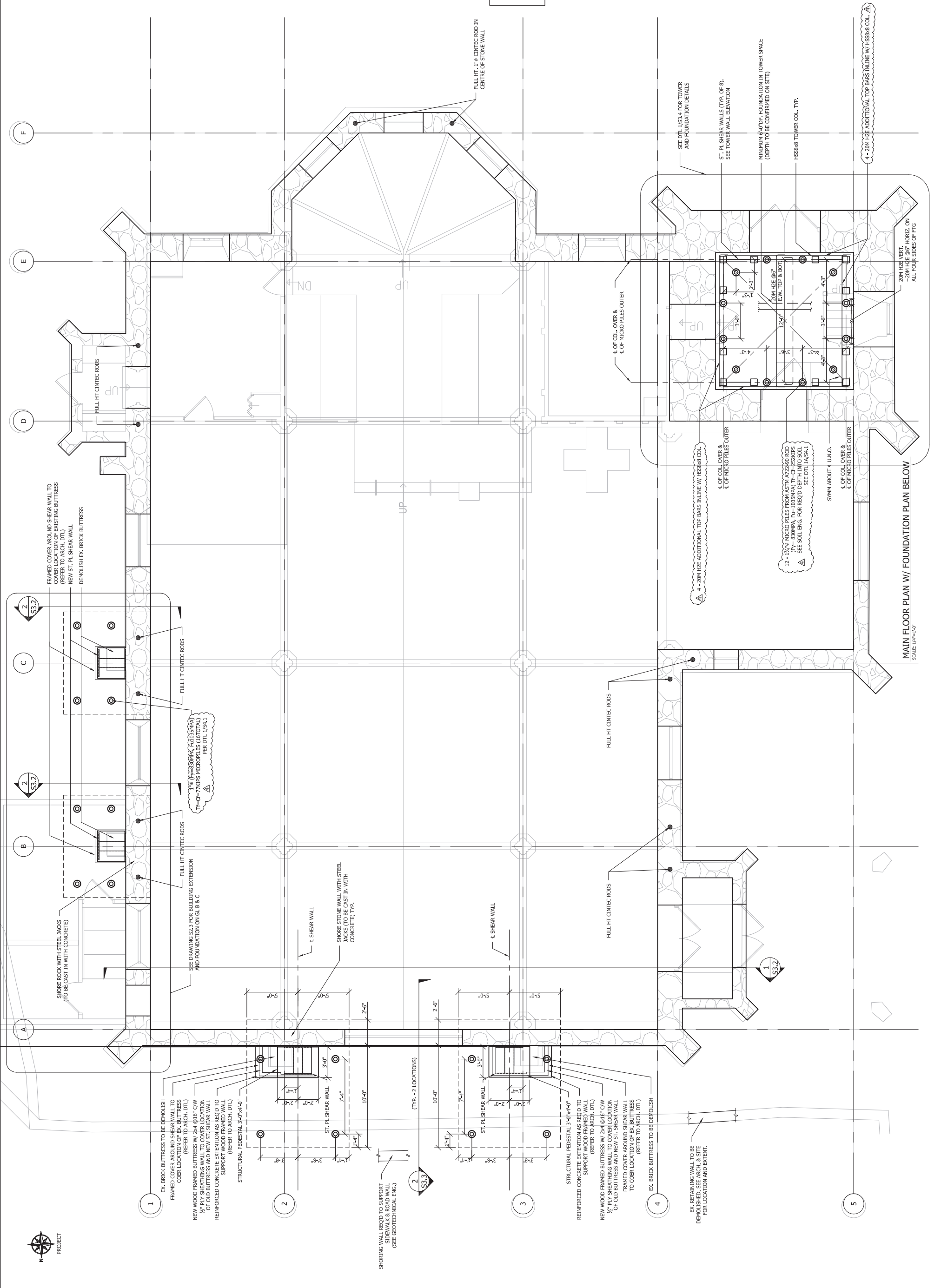
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PROJECT NUMBER:	K1214
CIVIL ADDRESS:	114 CARMARVON ST. NEW WESTMINSTER, BC.
PROJECT:	HOLY TRINITY CATHEDRAL 60% SEISMIC UPGRADE
DRAWING TITLE:	MAIN FLOOR PLAN W/ FOUNDATION PLAN BELOW
DRAWING:	S2.1



[illegible]

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PROJECT NUMBER:

K1214

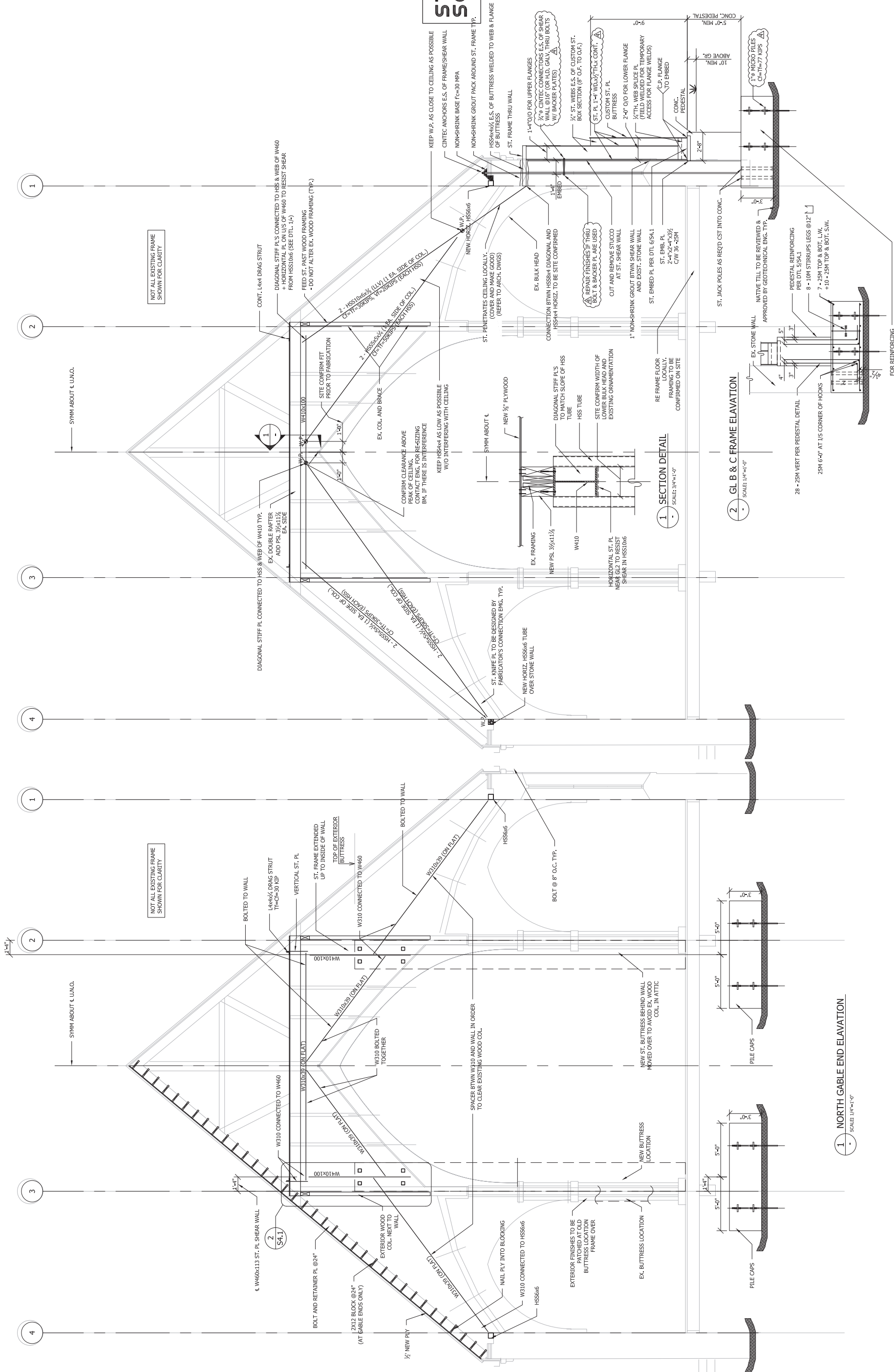
ADDRESS: 514 CARNARVON ST.,
NEW WESTMINSTER, BC.

PROJECT: HOLY TRINITY CATHEDRAL
60% SEISMIC UPGRADE

DRAWING TITLE:
ELEVATIONS

DRAWING:

S3.2



[illegible]

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NOTES:

- NOT A
- CONFID

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engineering inc.

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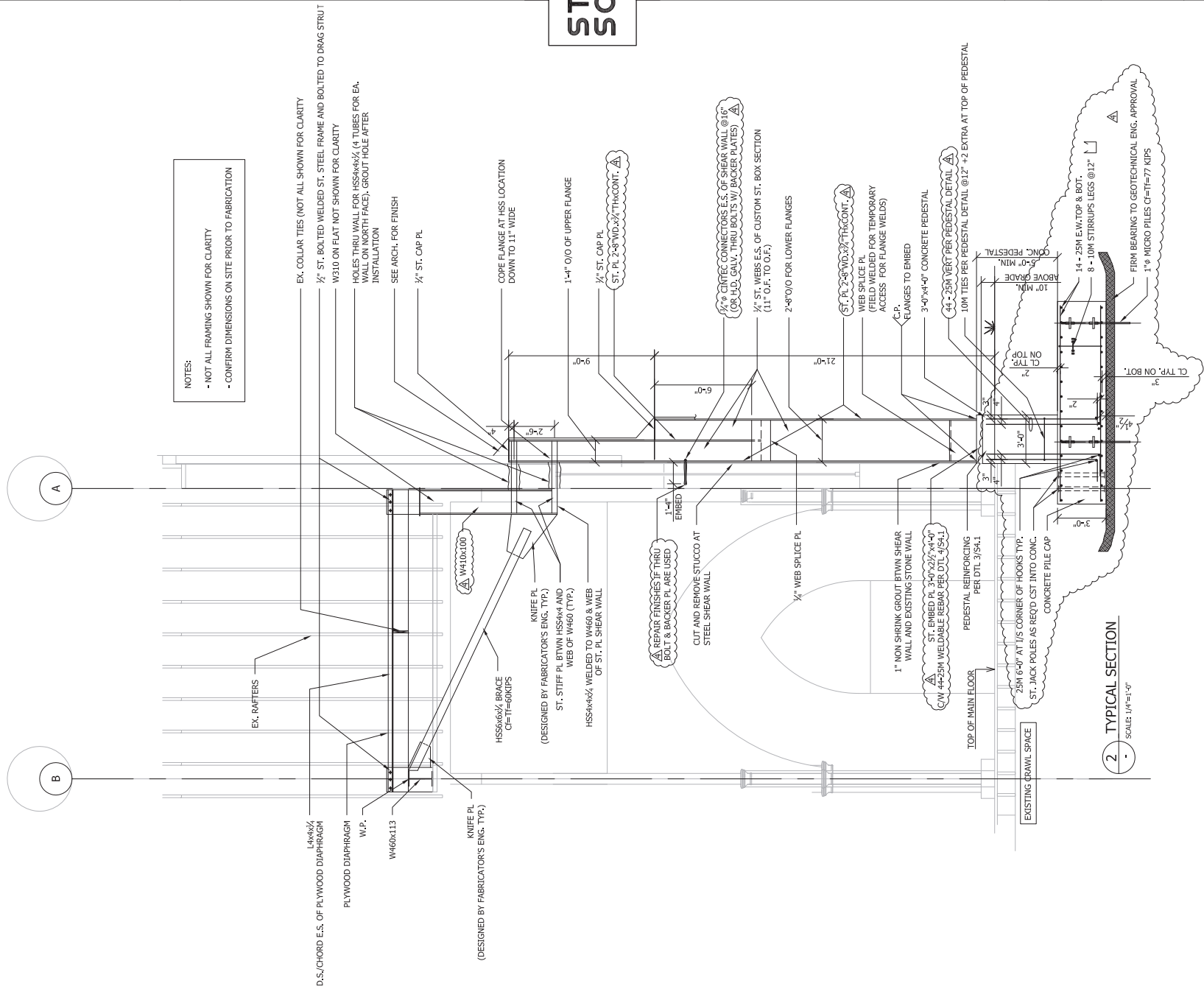
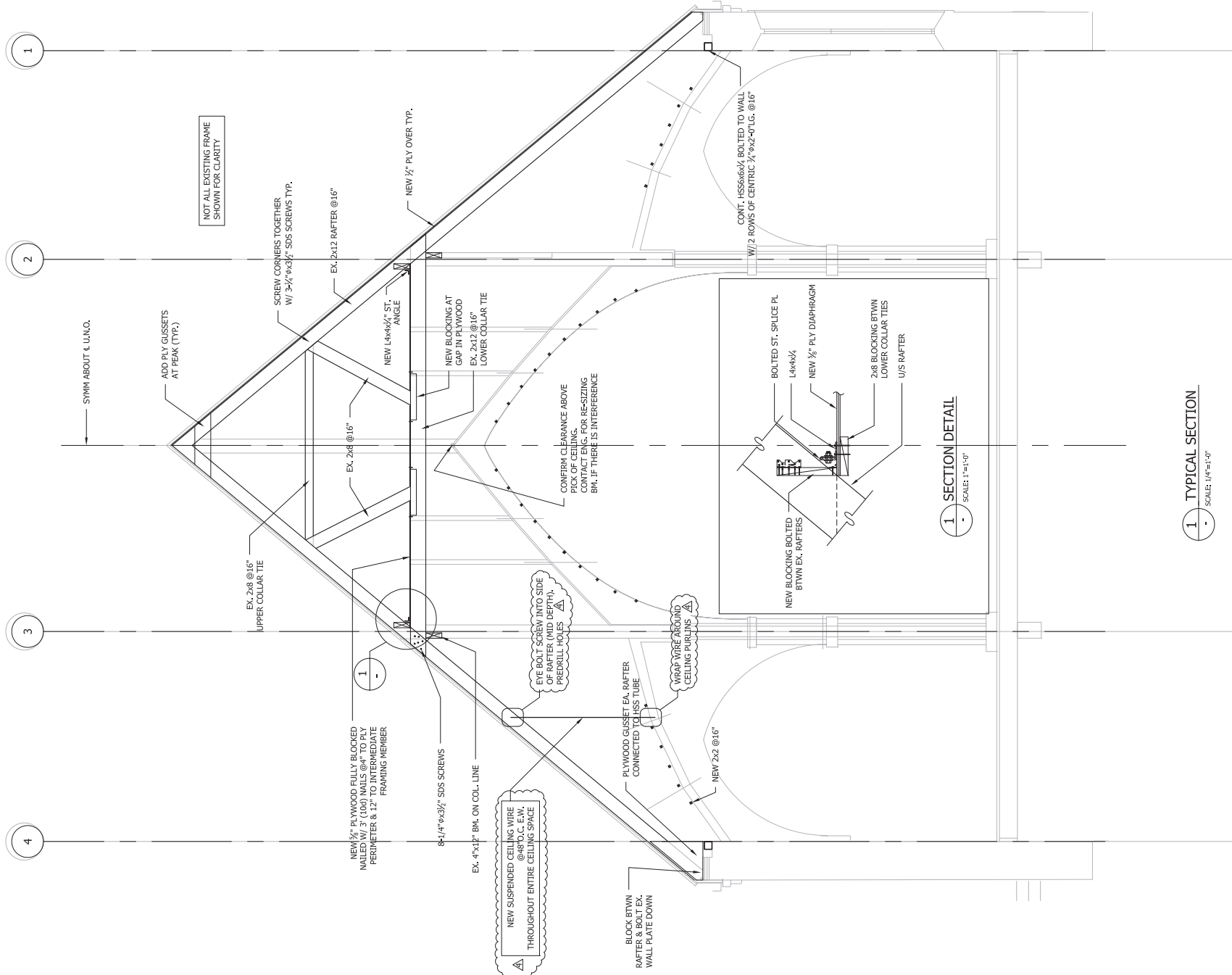
PROJECT NUMBER: K1214

514 CARNARVON ST.,
NEW WESTMINSTER, BC.

**HOLY TRINITY CATHEDRAL
60% SEISMIC UPGRADE**

WORKING TITLE:

WING: 33



2 TYPICAL SECTION
SCALE: 1/4"=1'-0"

Q

1 TYPICAL SECTION

SCALE: 1/4"=1'-0"

SECTION DETAIL

SCALE: 1"=1'-0"

LES Cf=Tf=77 KIPS

RAWING TITL
ELEVATIONS

RAWING:

3.3

[illegible]

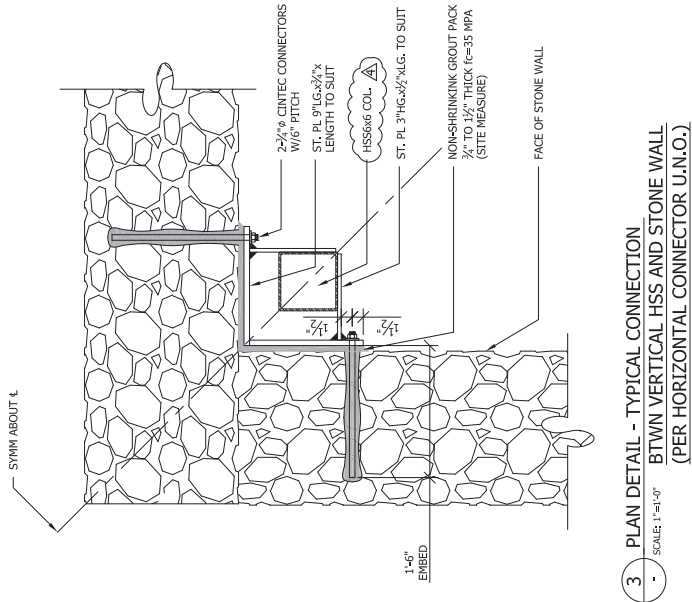
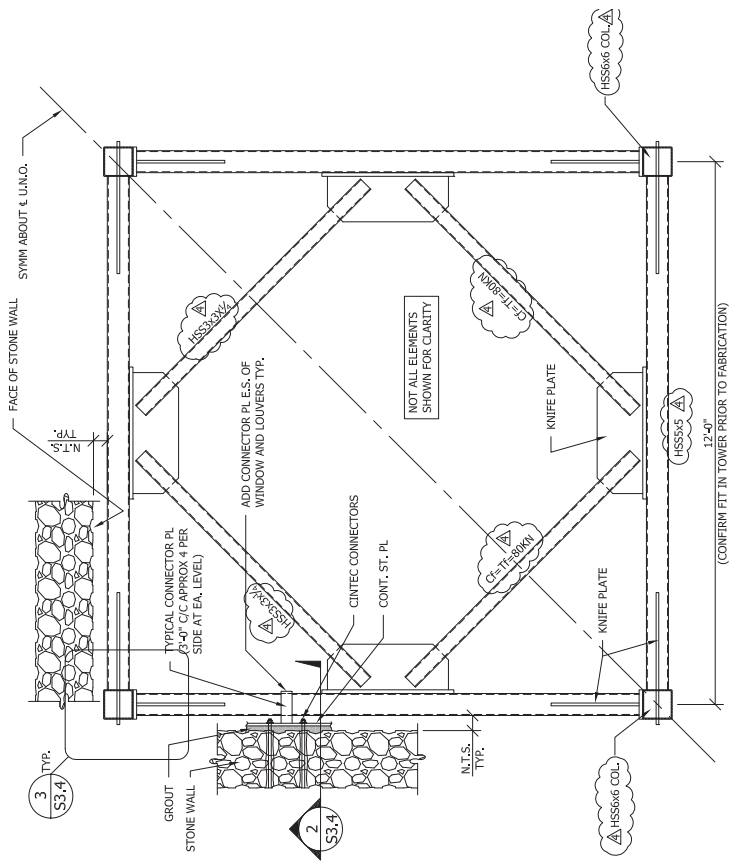
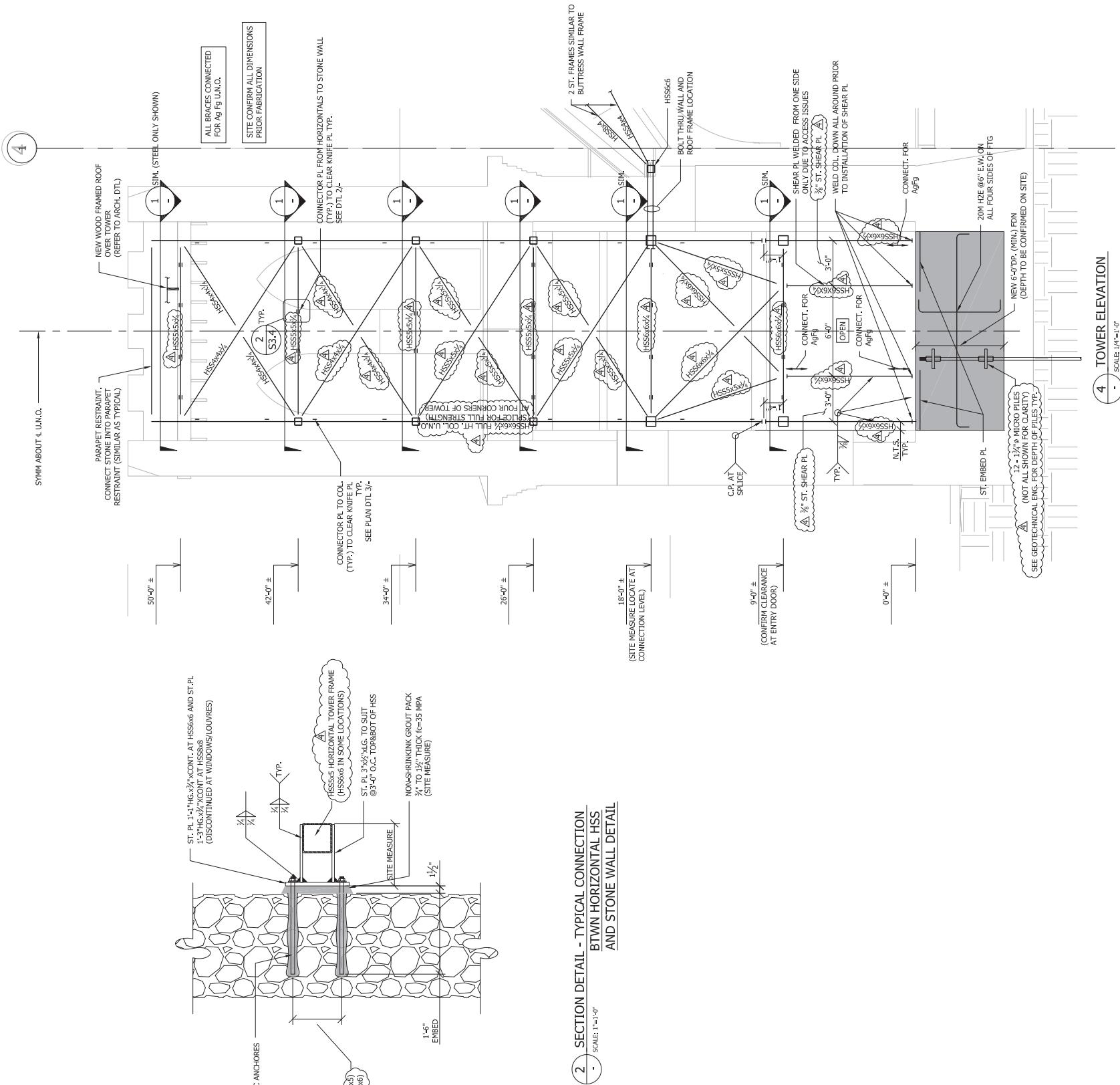
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PROJECT NUMBER:	K1214
CIVIL ADDRESS:	514 CARMARVON ST. NEW WESTMINSTER, BC.
PROJECT:	HOLY TRINITY CATHEDRAL 60% SEISMIC UPGRADE
DRAWING TITLE:	TOWER
DRAWING:	S3.4



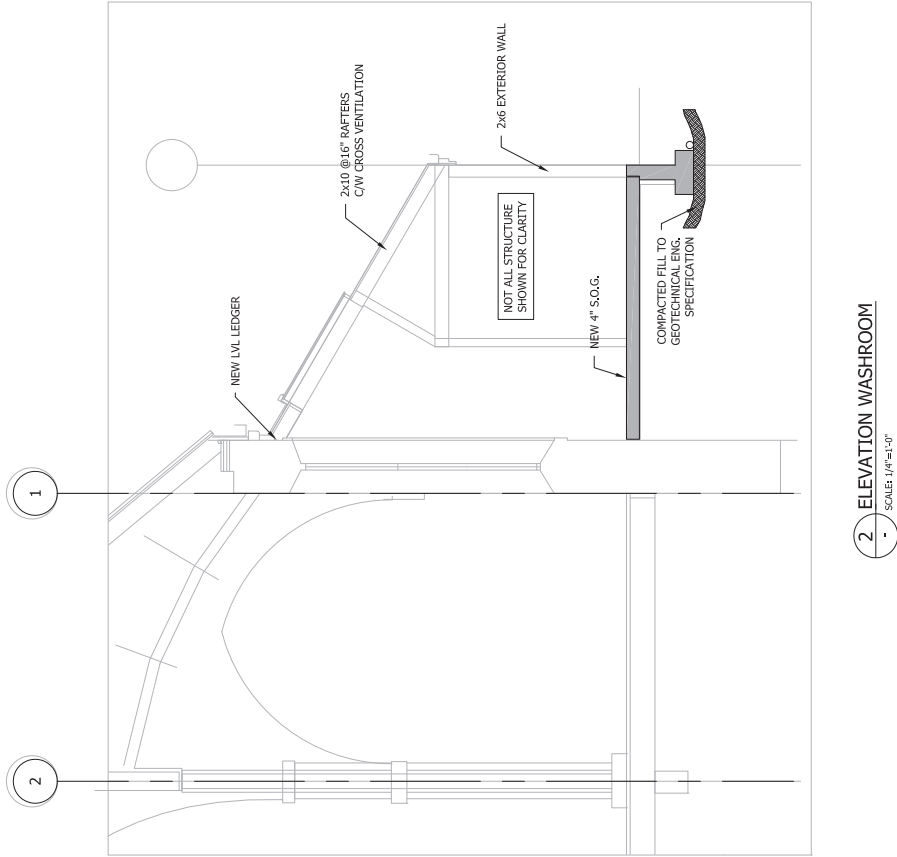
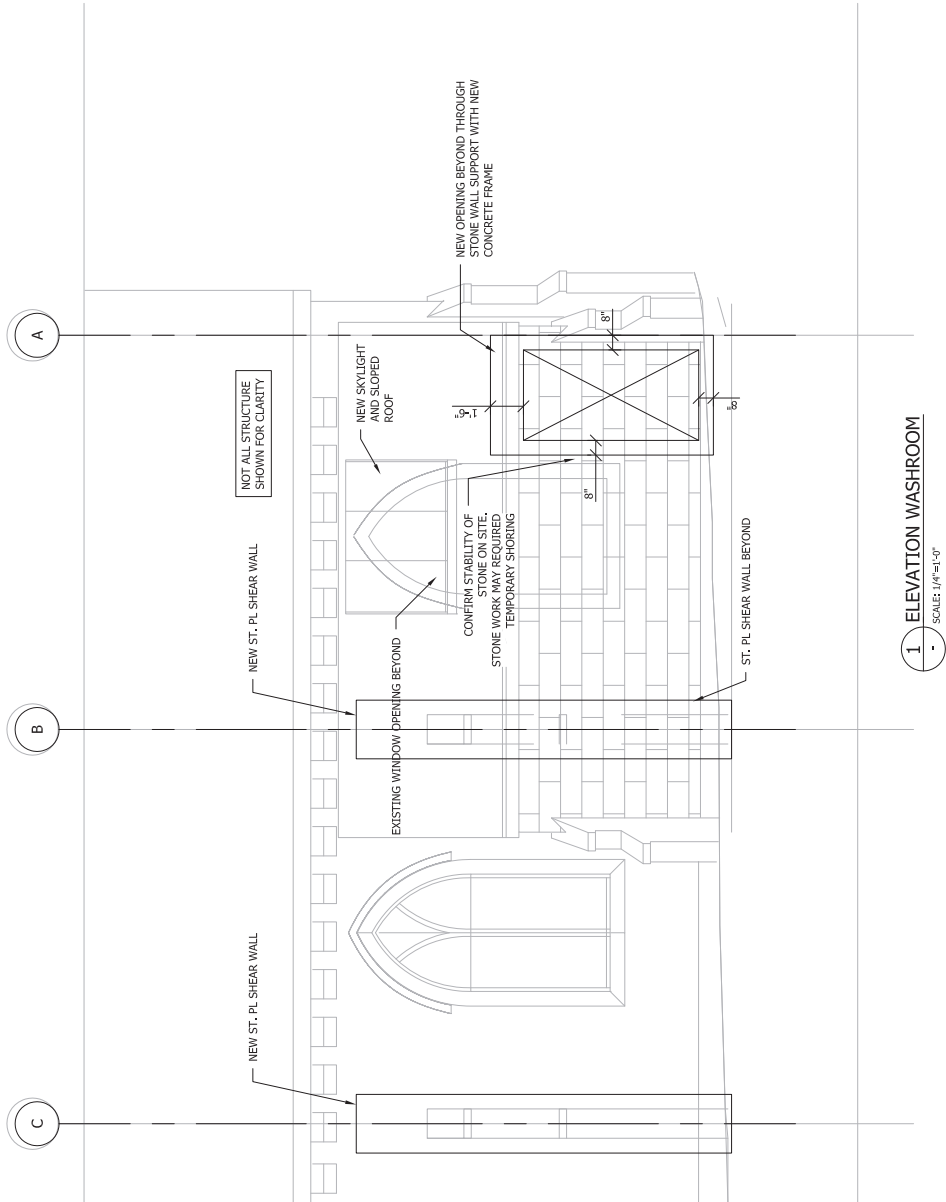
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CIVIL ADDRESS:	100 MARVON ST. NEW WESTMINSTER, BC.
PROJECT:	HOLY TRINITY CATHEDRAL 60% SEISMIC UPGRADE
DRAWING TITLE:	ELEVATIONS WASHROOM
DRAWING:	S3.11



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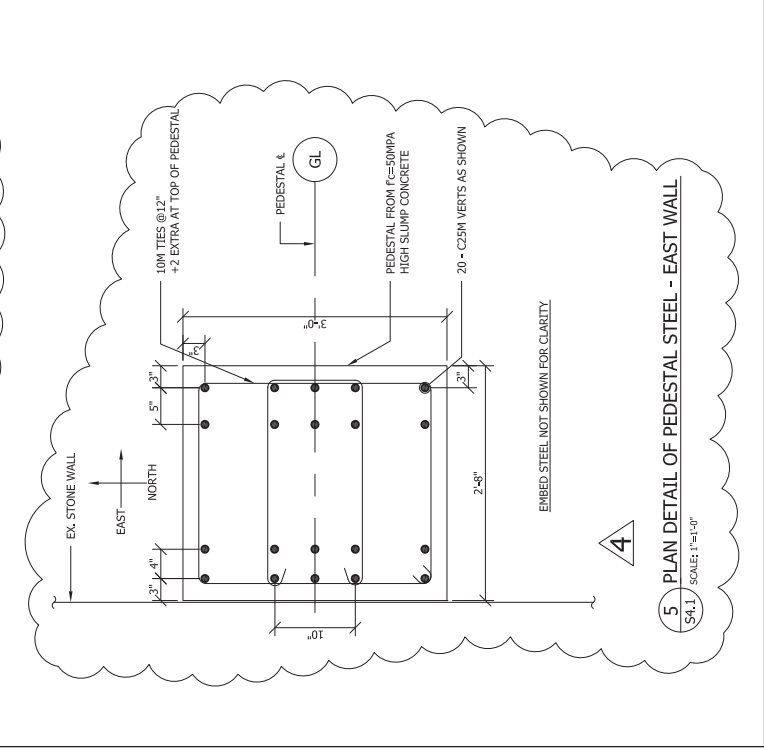
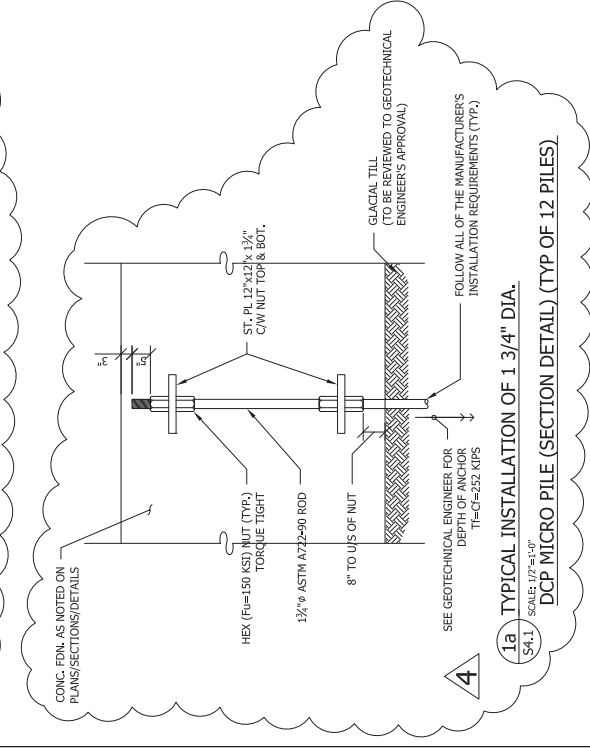
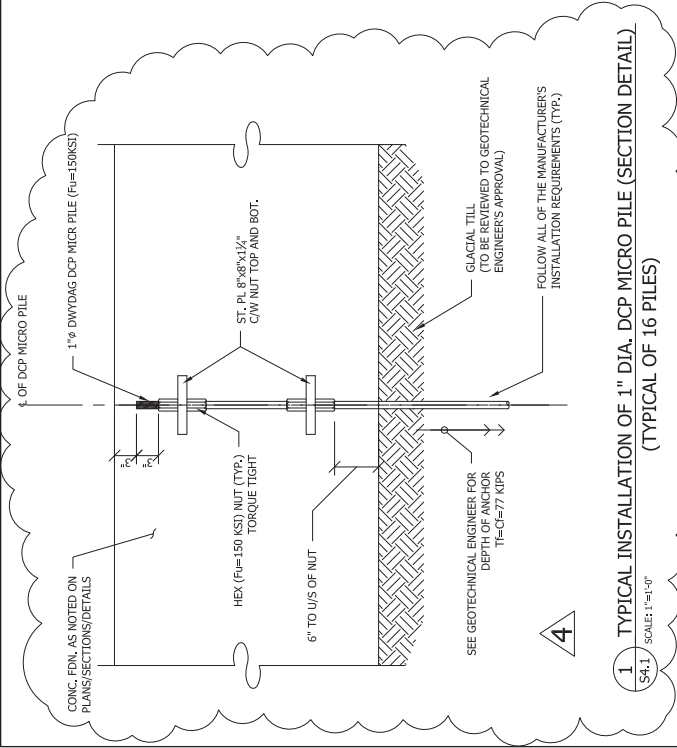
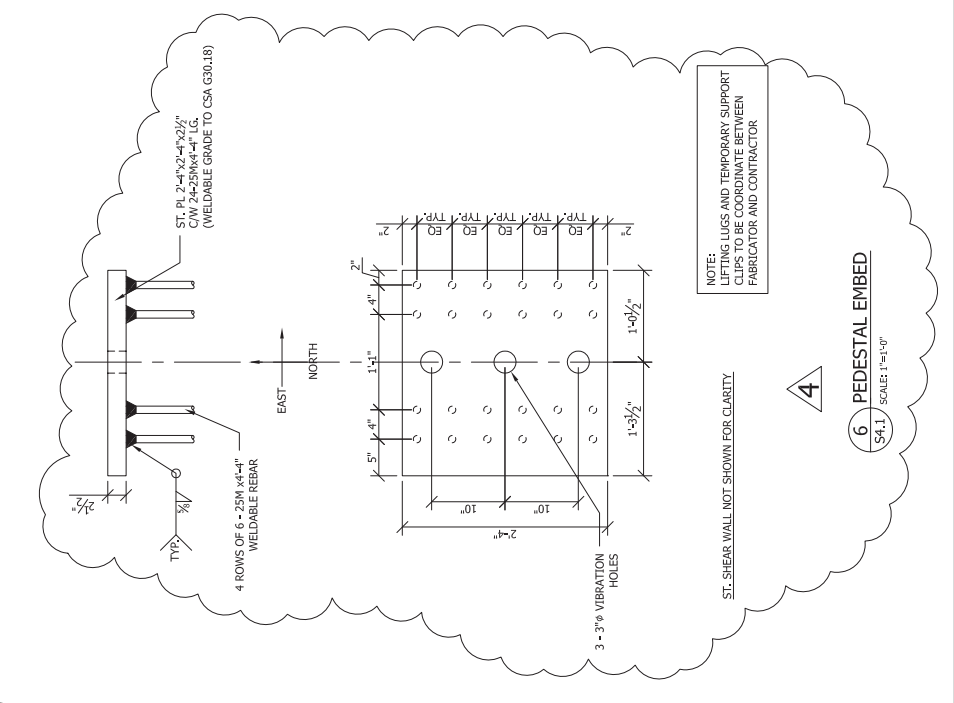
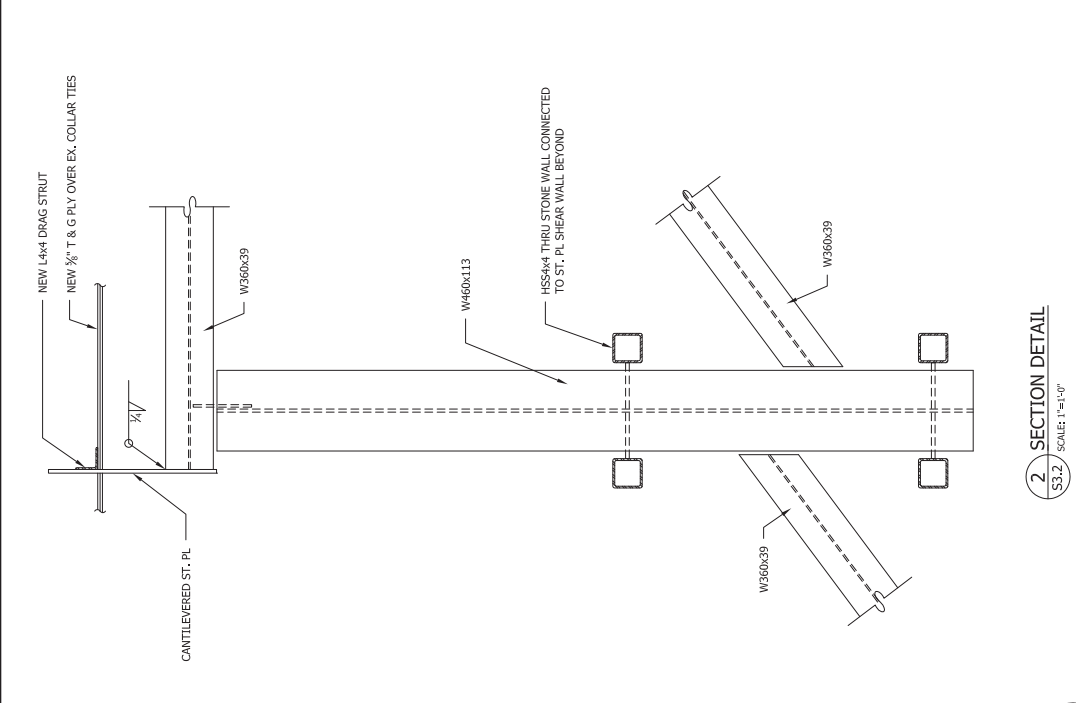
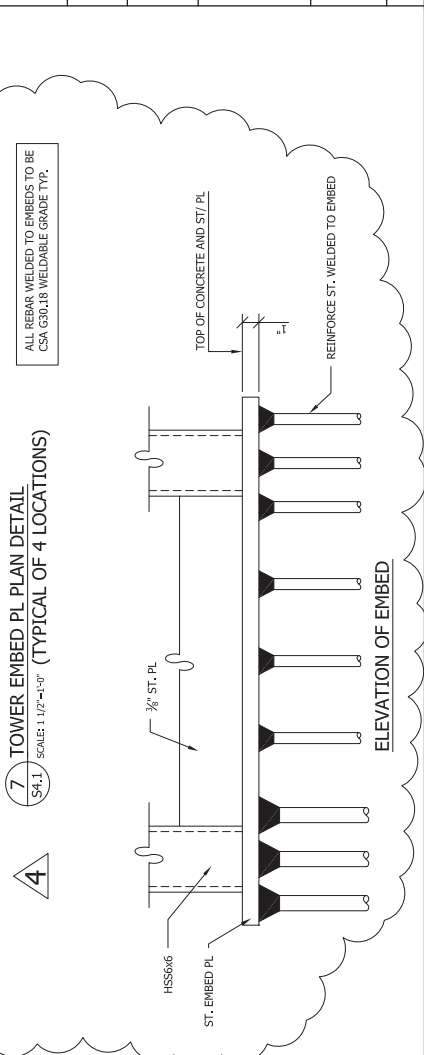
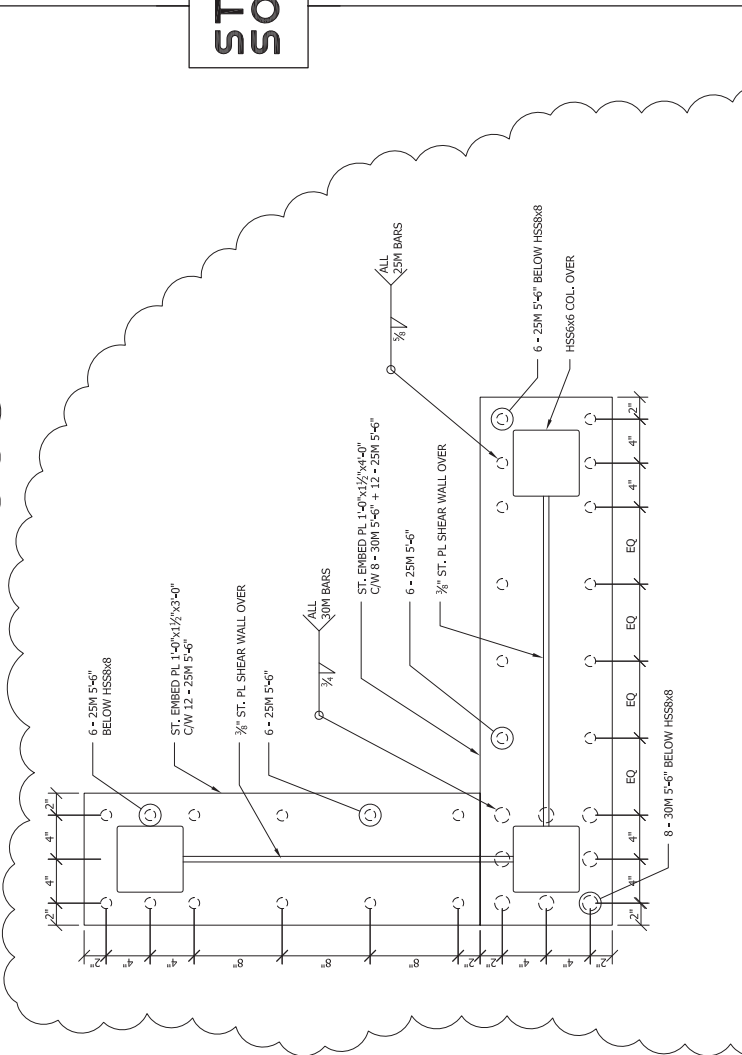
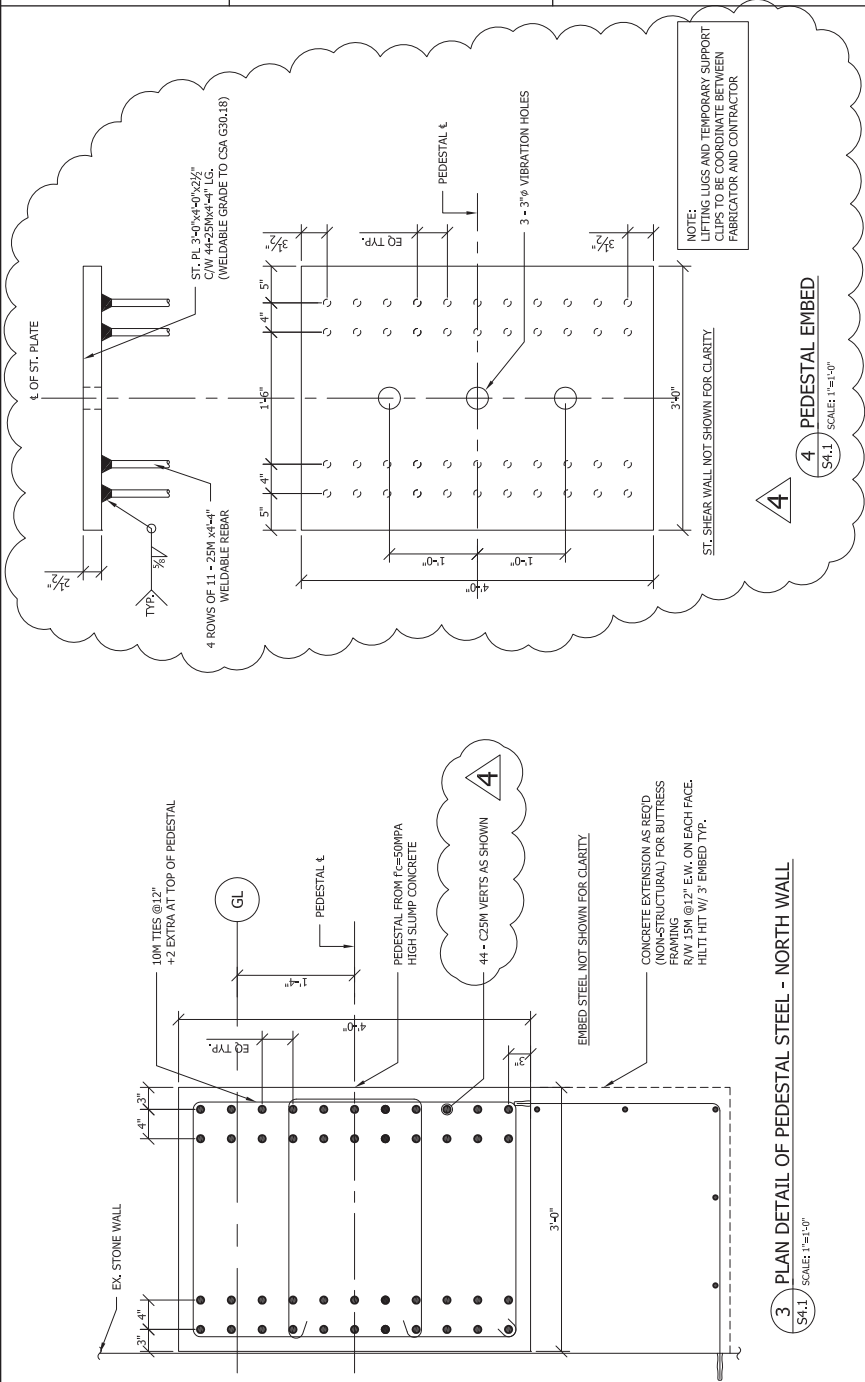
CIVIL ADDRESS:
514 CARNARVON ST.,
NEW WESTMINSTER, BC.

PROJECT:
HOLY TRINITY CATHEDRAL
60% SEISMIC UPGRADE

DRAWING TITLE:
DETAILS / SECTIONS

DRAWING:

S4.1



APPENDIX 3

Conservation Plan

APPENDIX 4

CONFIRMATION OF COMMITMENT BY STRUCTURAL ENGINEER OR HERITAGE PROFESSIONAL

Date: _____

City of New Westminster
511 Royal Avenue
New Westminster, B.C. V3L 1H9

Attention: Director of Climate Action, Planning and Development

Re: Heritage Revitalization Agreement for Holy Trinity Cathedral, 514 Carnarvon Street

The undersigned hereby undertakes to be responsible for field reviews of the construction carried out at the captioned address for compliance with the requirements of [strike out inapplicable] Appendix 2 Seismic Upgrade/Appendix 3 Conservation Work of the Heritage Revitalization Agreement applicable to the property, which the undersigned acknowledges having received and reviewed, and undertakes to notify the City of New Westminster in writing within one business day if the undersigned's contract for field review is terminated at any time during construction. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

Name

Address

Signature and Seal

Telephone No.

APPENDIX 5

CERTIFICATION OF COMPLIANCE FROM STRUCTURAL ENGINEER OR HERITAGE PROFESSIONAL

Date: _____

City of New Westminster
511 Royal Avenue
New Westminster, B.C. V3L 1H9

Attention: Director of Climate Action, Planning and Development

Re: Heritage Revitalization Agreement for Holy Trinity Cathedral, 514 Carnarvon Street

I hereby give assurance that I have fulfilled my obligations for field review as indicated in my letter to the City of New Westminster dated _____ in relation to the captioned property, and that the work complies in all material respects with the requirements of [strike out inapplicable] Appendix 2/Appendix 3 of the Heritage Revitalization Agreement referred to in that letter. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

Name

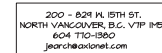
Address

Signature and Seal

Telephone No.

APPENDIX 6

CATHEDRAL DESIGN PLANS



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	HERITAGE REVIEW	FEB. 26, 20
	BUDGET PRICING	JAN. 21, 20
	CLIENT REVIEW	OCT. 2, 20
Rev. No.	Revision	Date

BUILDING
FLOOR PLAN
(EXISTING)

Scale: 1/4" = 1' - 0" U.N.O.

Job No.	
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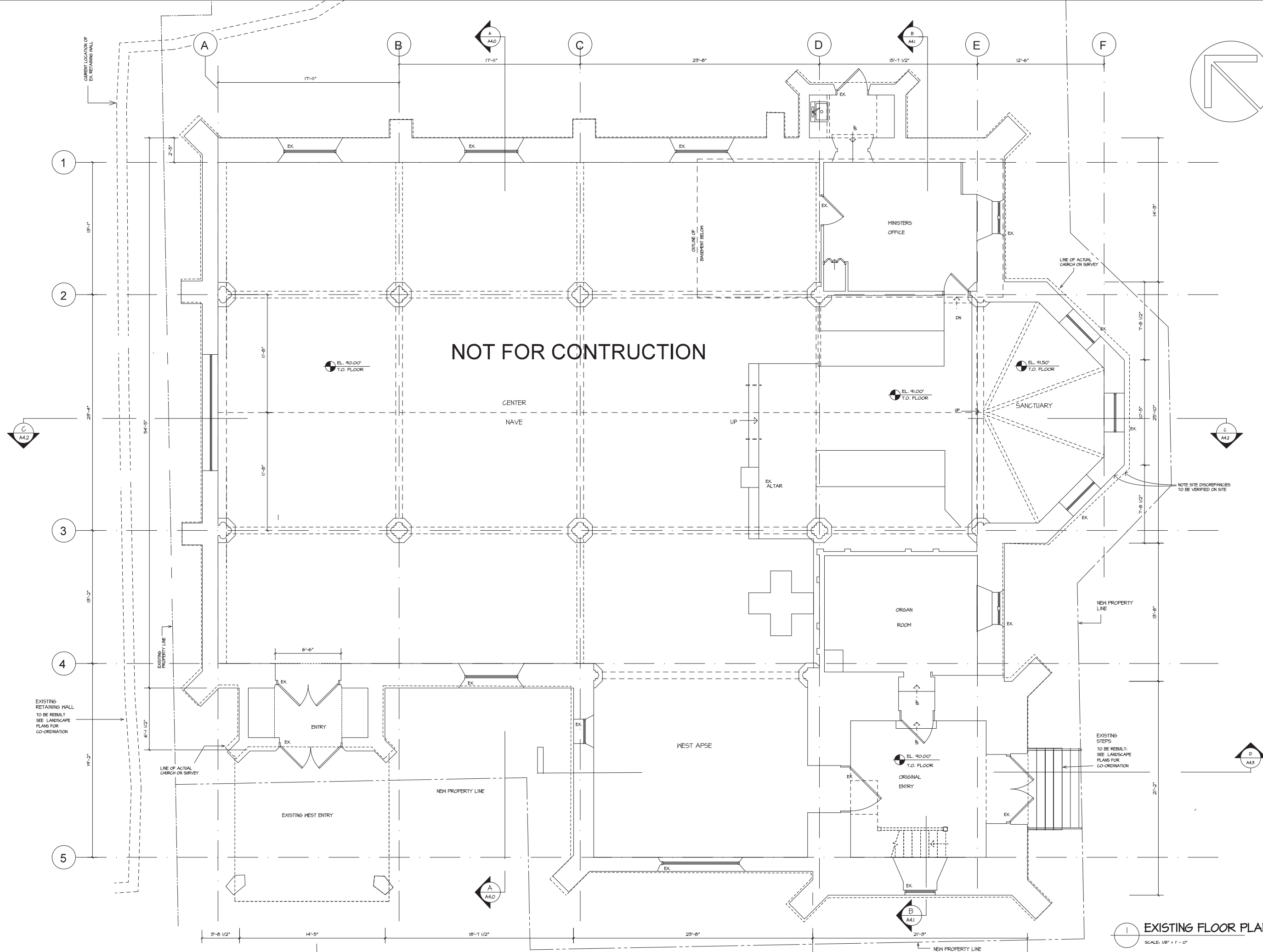
Date:

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Checker

Sheet Number:

A 2.0





200 - 829 W. 15TH ST.
NORTH VANCOUVER, B.C. V7P 1M5
604 710-1380
jearche@axlonet.com

HOLY TRINITY
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	BUDGET PRICING	JAN. 21, 2019
	CLIENT REVIEW	OCT. 12, 2018
Rev. No.	Revision	Date

BUILDING
FLOOR PLAN
(PROPOSED)

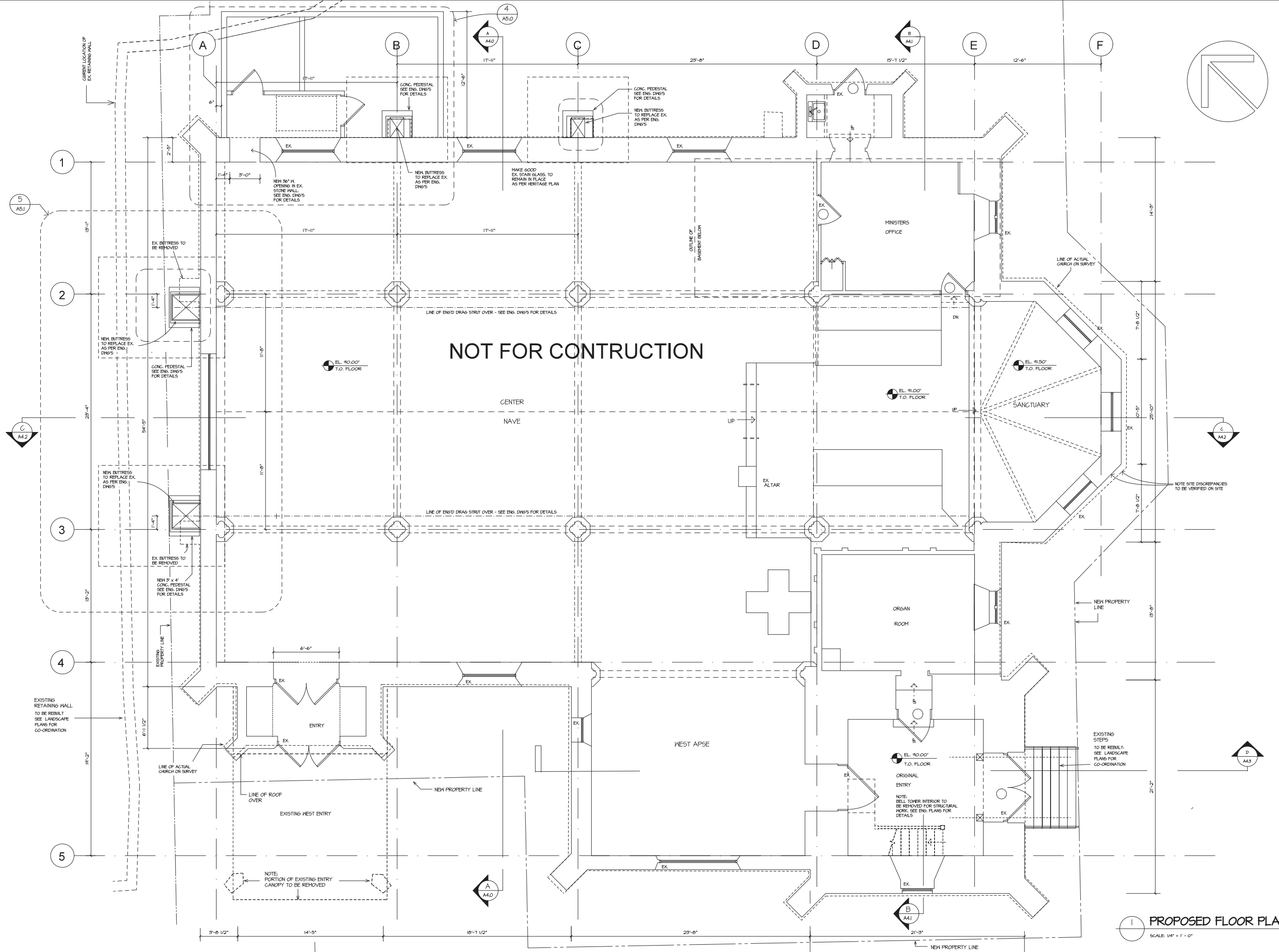
Job. No. _____

Date: _____

Drawn: JFE

Checked: _____

A 2.1





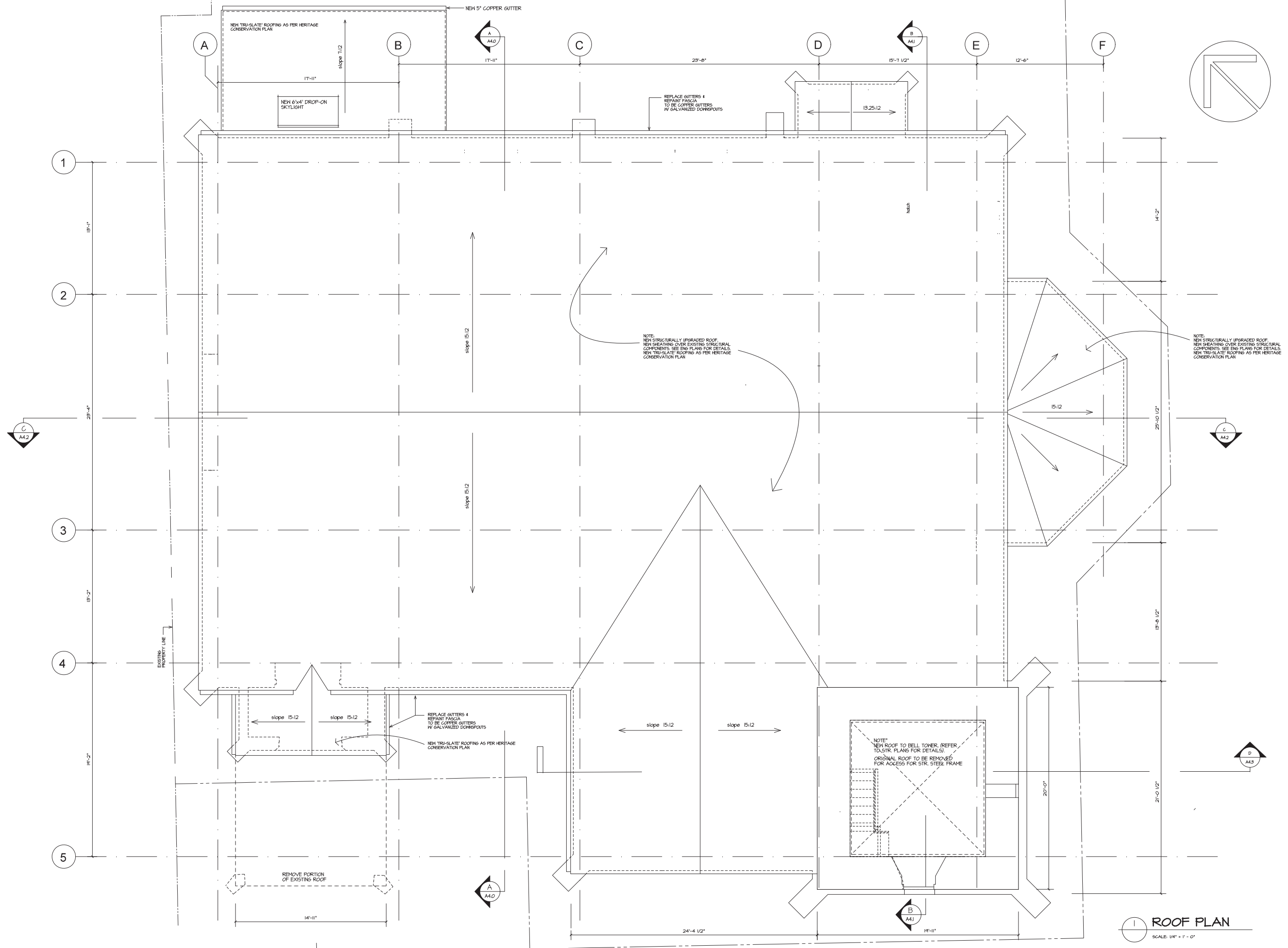
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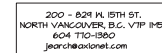
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	HERITAGE REVIEW	FEB. 26, 2019
	BUDGET PRICING	JAN. 21, 2019
	CLIENT REVIEW	OCT. 12, 2018
Rev. No.	Revision	Date

Scale: 1/4" = 1' - 0" U.N.O.

Job. No.	Sheet Number:
Date:	A 2.2
Drawn: JPE	
Checked:	





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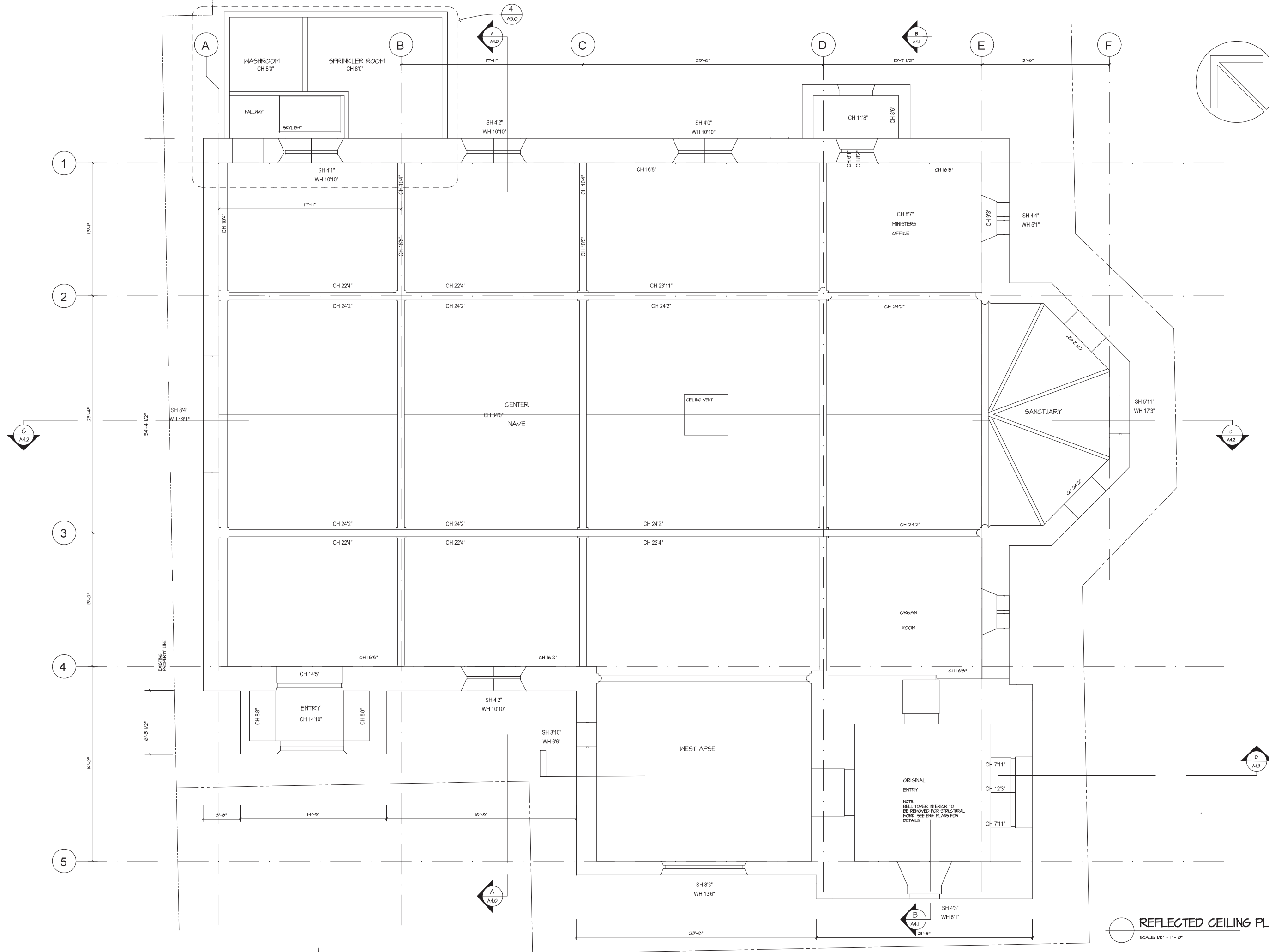
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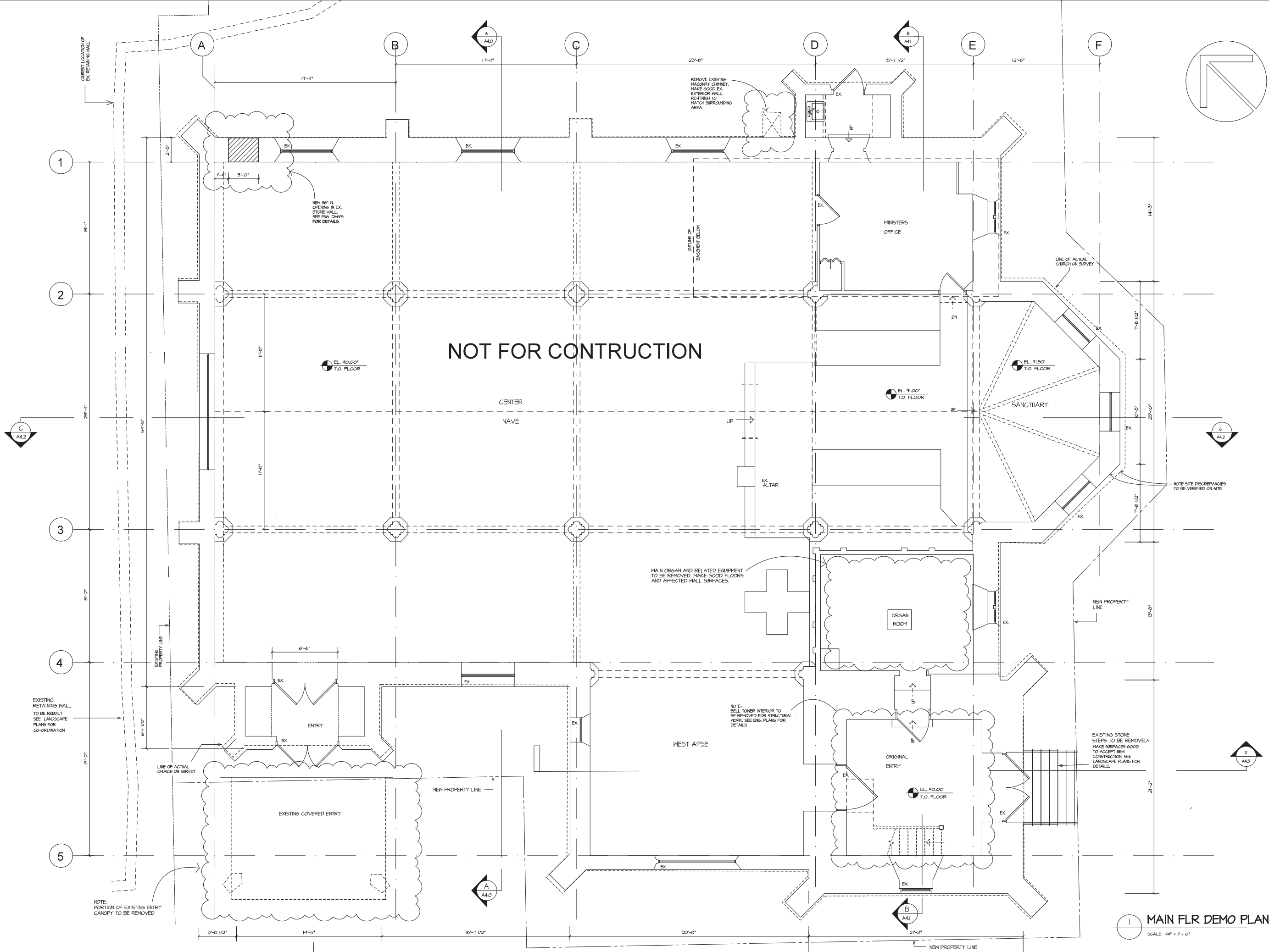
	HERITAGE REVIEW	FEB. 26, 2011
	BUDGET PRICING	JAN. 21, 2011
	CLIENT REVIEW	OCT. 12, 2010
Rev. No.	Revision	Date

REFLECTED
CEILING PLAN
(PROPOSED)

Scale: $1/4" = 1' - 0"$ U.N.O.

	Sheet Number: A 2.3
Job. No.	
Date:	
Drawn: JPE	
Checked:	





200 - 824 K. 15TH ST.
NORTH VANCOUVER, B.C. V7P 1P5
604-750-1880
je@jonathanet.com

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HOLY TRINITY CATHEDRAL

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BUDGET PRICING JAN. 2, 2011

CLIENT REVIEW OCT. 12, 2010

Rev. No. Revision Date

BUILDING DEMO PLAN (PROPOSED)

Scale: 1/4" = 1' - 0" UNO.

Job No.	Sheet Number:
Date:	
Drawn: JFE	
Checked:	

A 2.4



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jearch@axionet.com

HOLY TRINITY
CATHEDRAL

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	HERITAGE REVIEW	FEB. 1
	BUDGET PRICING	JAN. 1
	CLIENT REVIEW	OCT. 1
a	Revision	Dec. 1

Revision	Date
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RENOVATED
BUILDING
ELEVATIONS

$$\text{scale: } 1/8'' = 1' - 0''$$

Sheet Number: A 3.0



2 NORTH ELEVATION
SCALE: 1/8" = 1' - 0"

EXT. FINISH LEGEND



DENOTES NEW GAF 'TRU SLATE' ROOFING
OR APPROVED ALTERNATE

 DENOTES EX. EXPOSED BRICKWORK.
MAKE GOOD AS PER HERITAGE CONSERVATION PLAN.

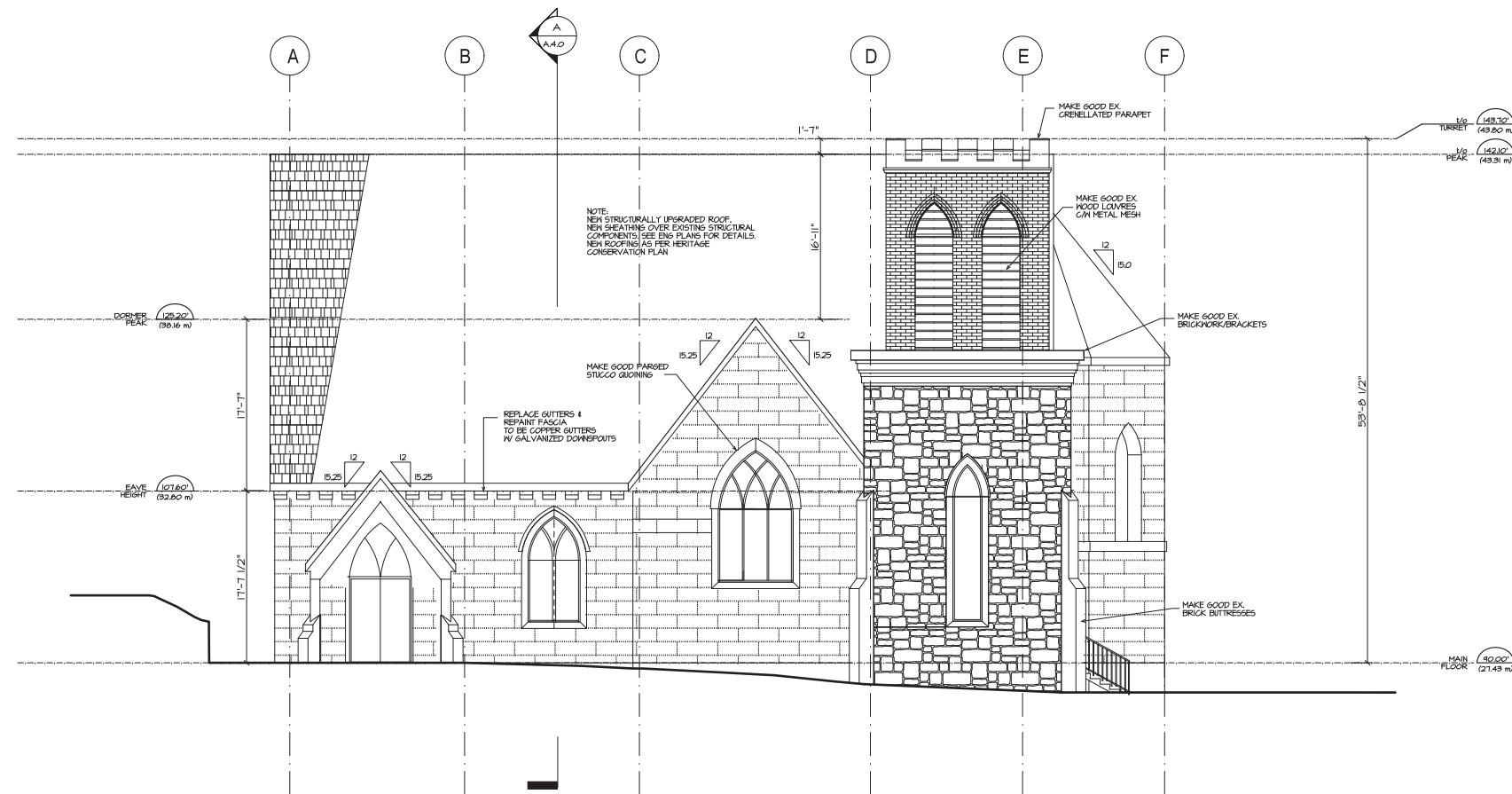
DENOTES NEW CEMENTITIOUS STUCCO FIN,
TO MATCH EXISTING PARGED STUCCO FIN.



DENOTES EXISTING CEMENTITIOUS STUCCO FIN.
MAKE GOOD AS PER HERITAGE CONSERVATION PLAN.



DENOTES ORIGINAL STONEMWORK.
MAKE GOOD AS PER HERITAGE CONSERVATION PLAN.



WEST ELEVATION

SCALE: 1/8" = 1' - 0"

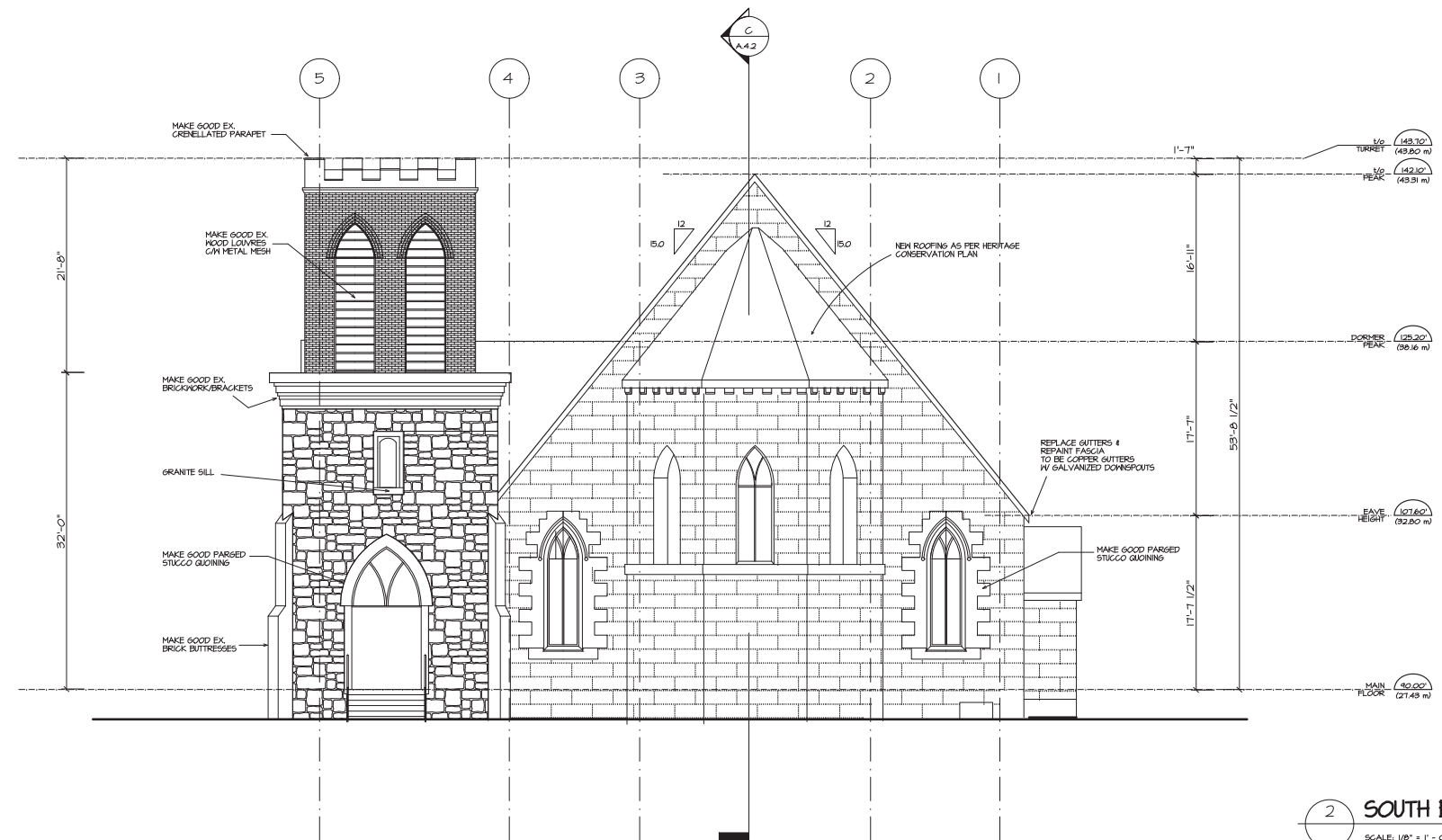
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2 SOUTH ELEVATION
SCALE: 1/8" = 1' - 0"

BUILDING ELEVATIONS

Scale: $1/8" = 1' - 0"$

Job. No.

Date:

Drawn: JPE

et Number:

A 3.1



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604 710-1360
jearch@axlonet.com

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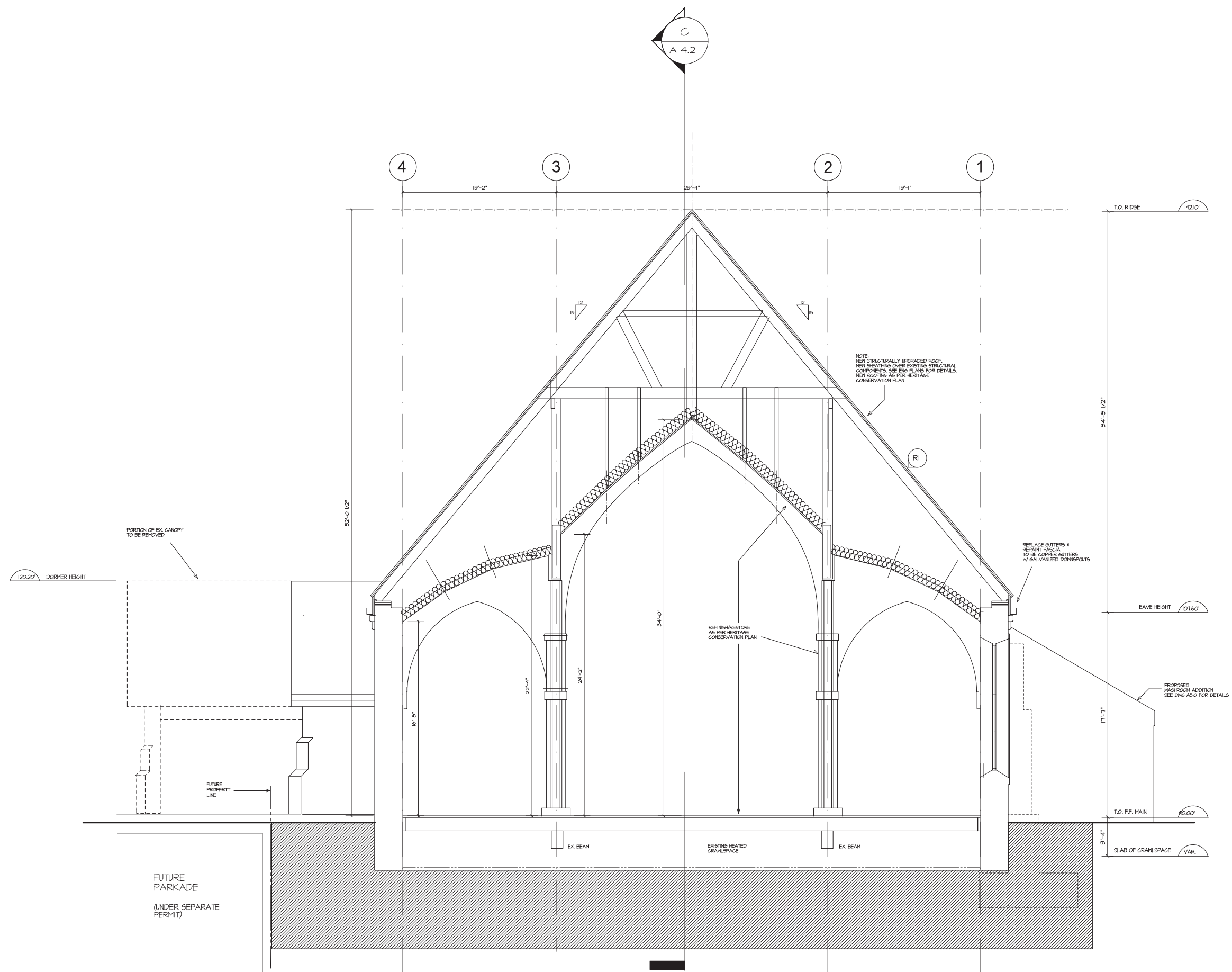
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Rev. No.	Revision	Date

BUILDING
SECTION AA

Scale: 1/4" = 1' - 0" U.N.O.

Job. No.	Sheet Number:
Date:	A 4.0
Drawn: JPE	
Checked:	



SECTION AA

SCALE: 1/4" = 1' - 0"

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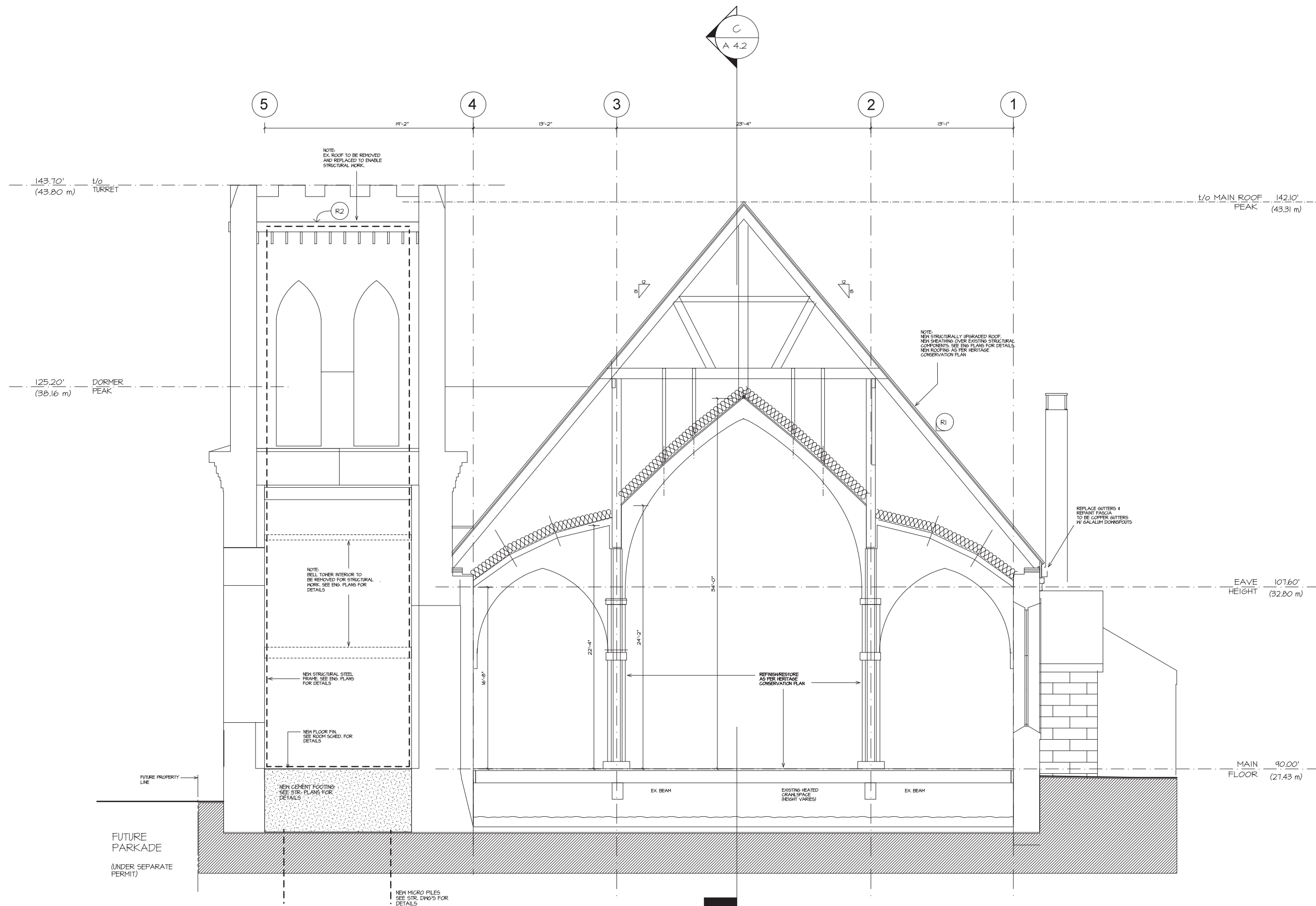
CLIENT REVIEW OCT. 12, 2010

Rev. Revision Date

**BUILDING
SECTION BB**

Scale: 1/4" = 1' - 0" UNO.

Job No.
Date:
Drawn: JFE
Checked:
Sheet Number:
A 4.1



SECTION BB
SCALE: 1/8" = 1' - 0"

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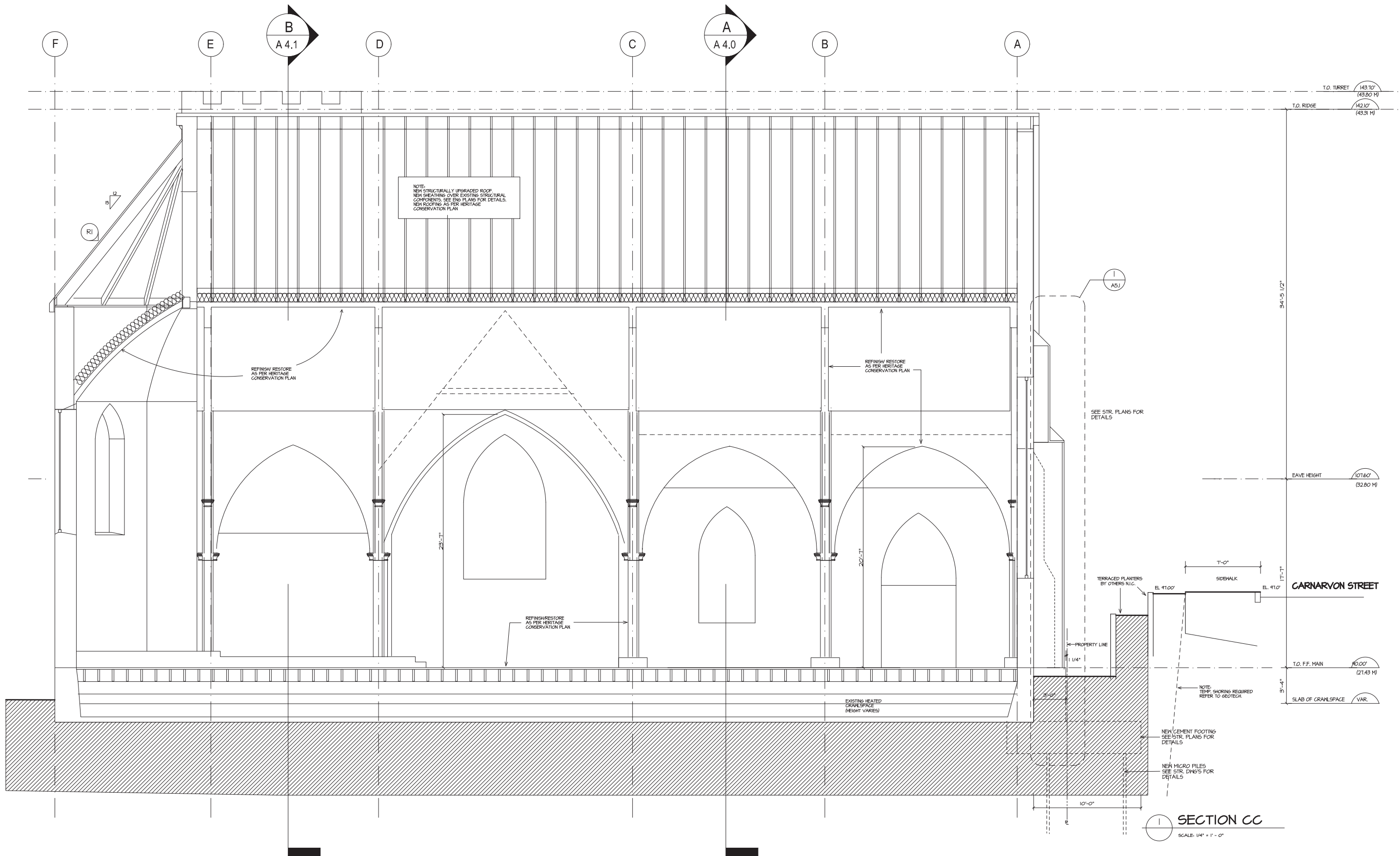
	HERITAGE REVIEW	FEB. 26, 2014
	BUDGET PRICING	JAN. 21, 2014
	CLIENT REVIEW	OCT. 12, 2013
No.	Revision	Date

BUILDING
SECTION CC

Scale: $1/4" = 1' - 0"$ U.N.O.

Sheet Number:
A 4.2

A 4.2



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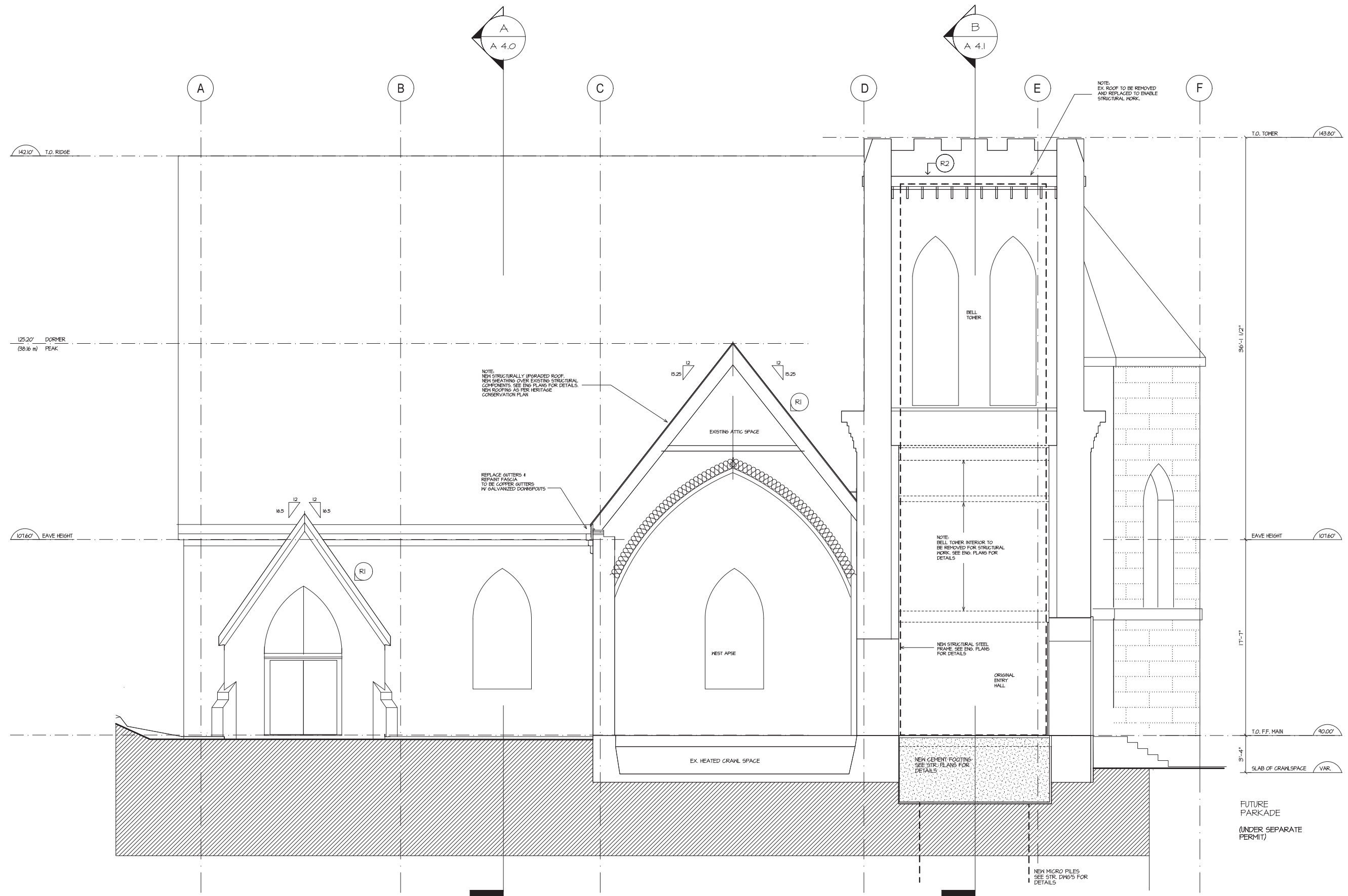
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BUILDING
SECTION DD

scale: 1/4" = 1' - 0" U.N.O.

Job. No.	Sheet Number:
Date:	
Drawn: JPE	A 4.3
Checked:	



SECTION DD

SCALE: 1/4" = 1' - 0"

Architectural floor plan of a building section, showing a Hall, Washroom, Sprinkler Room, and various structural details. The plan includes dimensions, room labels, and notes about material reuse and new openings.

Dimensions:

- Overall width: 13'-4"
- Overall height: 17'-11"
- Room dimensions: 4'-3" (Hall), 8'-3" (Washroom), 14'-3" (Sprinkler Room), 12'-6" (Hall/Sprinkler Room interface).
- Other dimensions: 2'-5" (Hall), 3'-2 1/2" (Washroom), 11'-6" (Washroom/Sprinkler Room interface), 6" (Washroom/Sprinkler Room interface).

Rooms and Features:

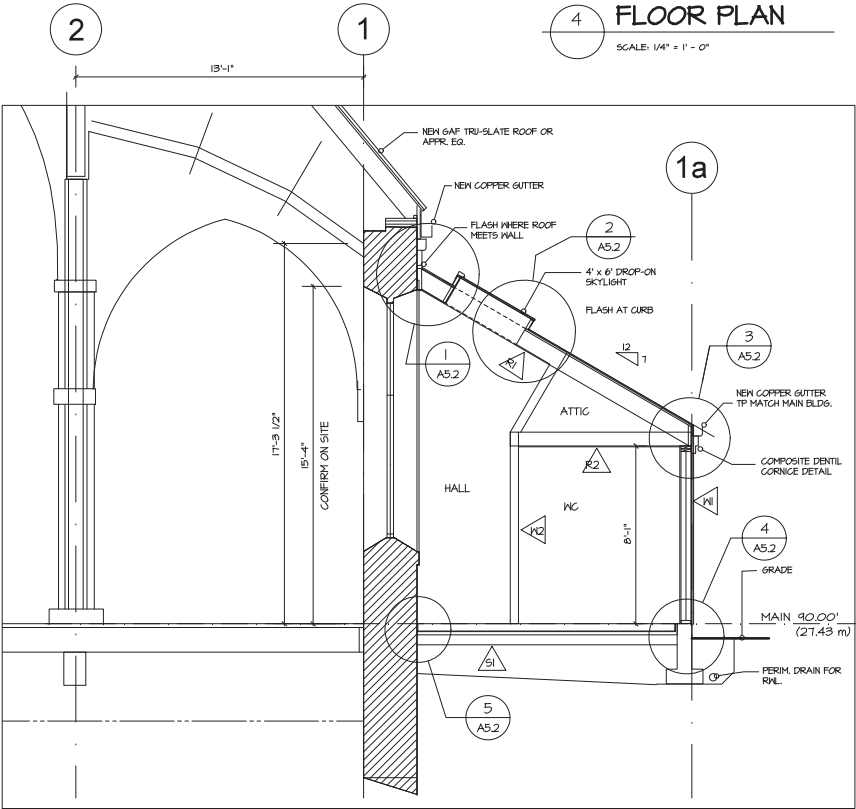
- HALL:** Contains a "skylight over" and a "NEW OPENING IN WALL: SEE STR. PLANS FOR DETAILS".
- WASHROOM:** Contains a toilet, sink, and mirror.
- SPRINKLER ROOM:** Contains a "NEW STEEL SHEAR WALL PAINT FIN." and a "ELEC. PANEL".

Notes:

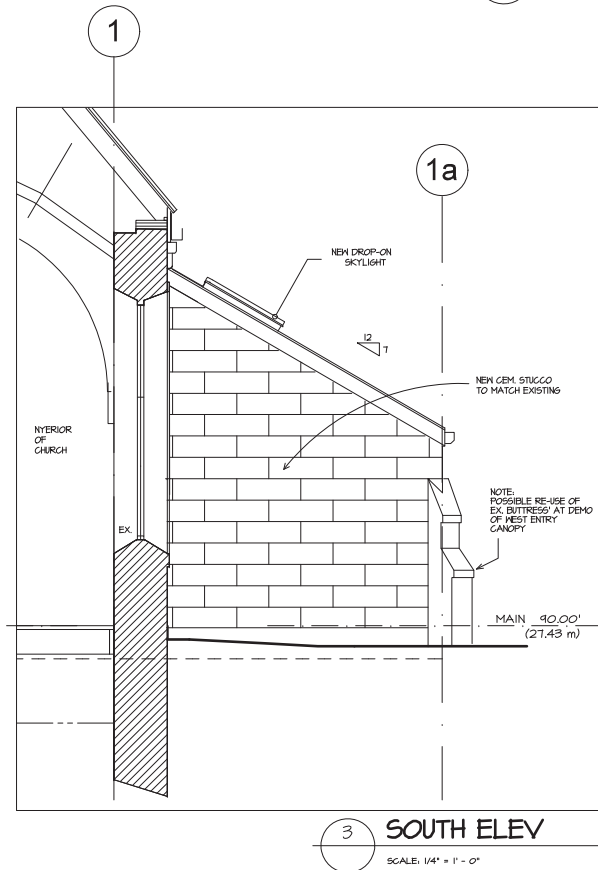
- NOTE: POSSIBLE RE-USE OF EX. BUTTRESS⁵ AT DEMO OF WEST ENTRY CANOPY
- NOTE: POSSIBLE RE-USE OF EX. BUTTRESS⁵ AT DEMO OF WEST ENTRY CANOPY

Other Labels:

- 2, 1, 1a (Top)
- A, B, C (Right)
- EE (Left)
- 306B, D1, D2 (Interior details)
- 1/2, 1/2, 1/2 (Structural details)



4 FLOOR PLAN
SCALE: 1/4" = 1' - 0"



3 SOUTH ELEV
SCALE: 1/4" = 1' - 0"



Jonathan Ehling
Architect Inc.

200 - 829 W. 15TH ST.
NORTH VANCOUVER, B.C. V7P 1M5
604 710-1300
jearch@axionet.com

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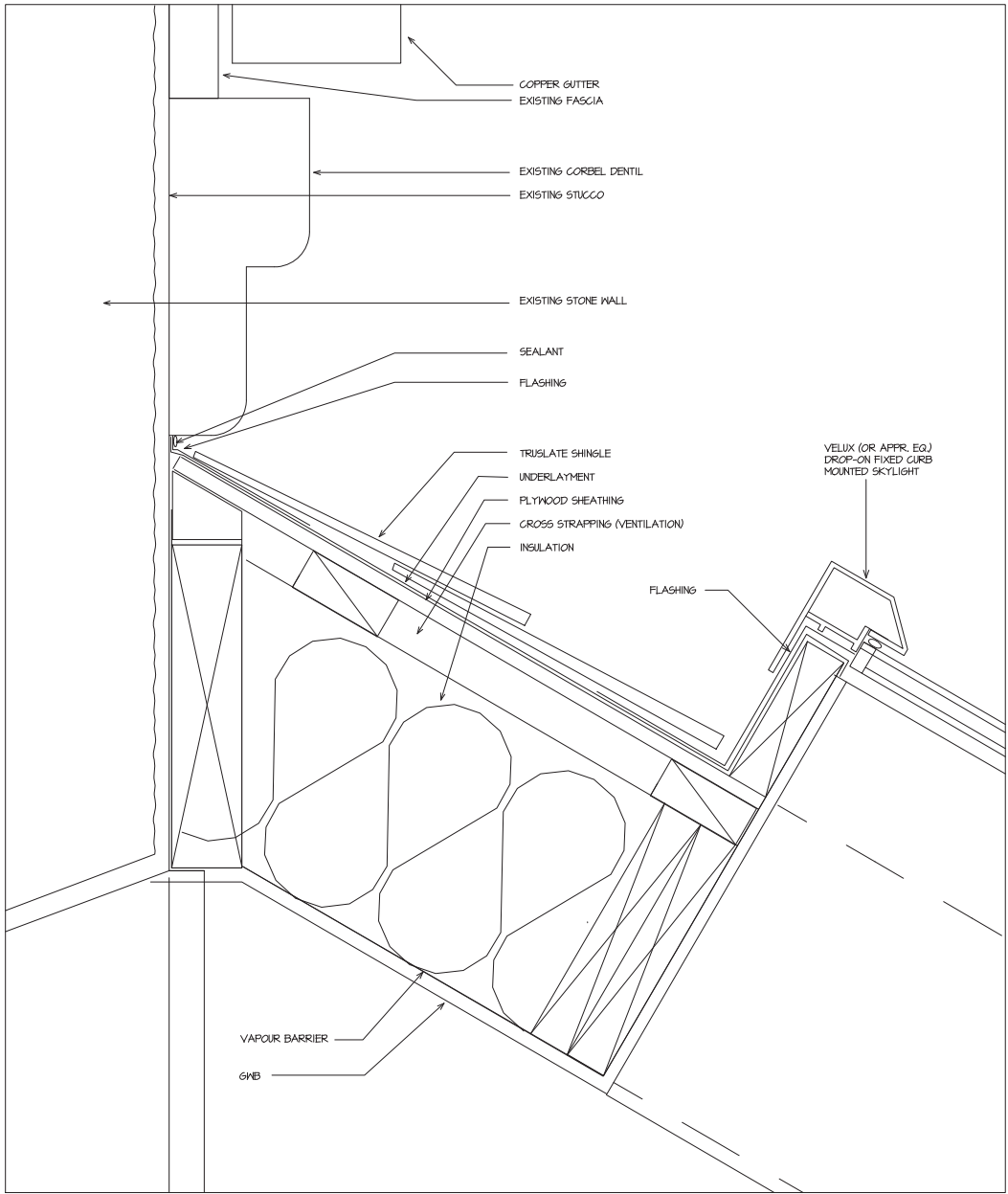
HERITAGE REVIEW	FEB. 26, 2019
BUDGET PRICING	JAN. 21, 2019
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Revision	Date

WASHRM ADD'N
SECTION EE

ale: $1/\delta^* = 1' - 0^*$

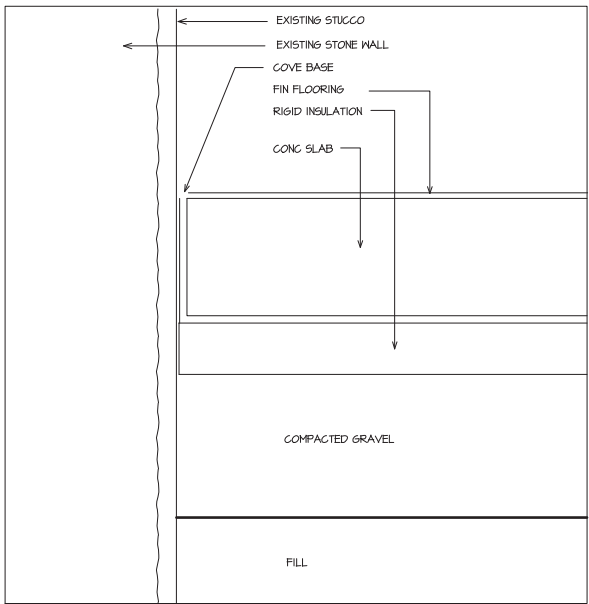
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File No.	
Unit:	
Material: JPE	
Thickness:	A 5.0

A 5.0



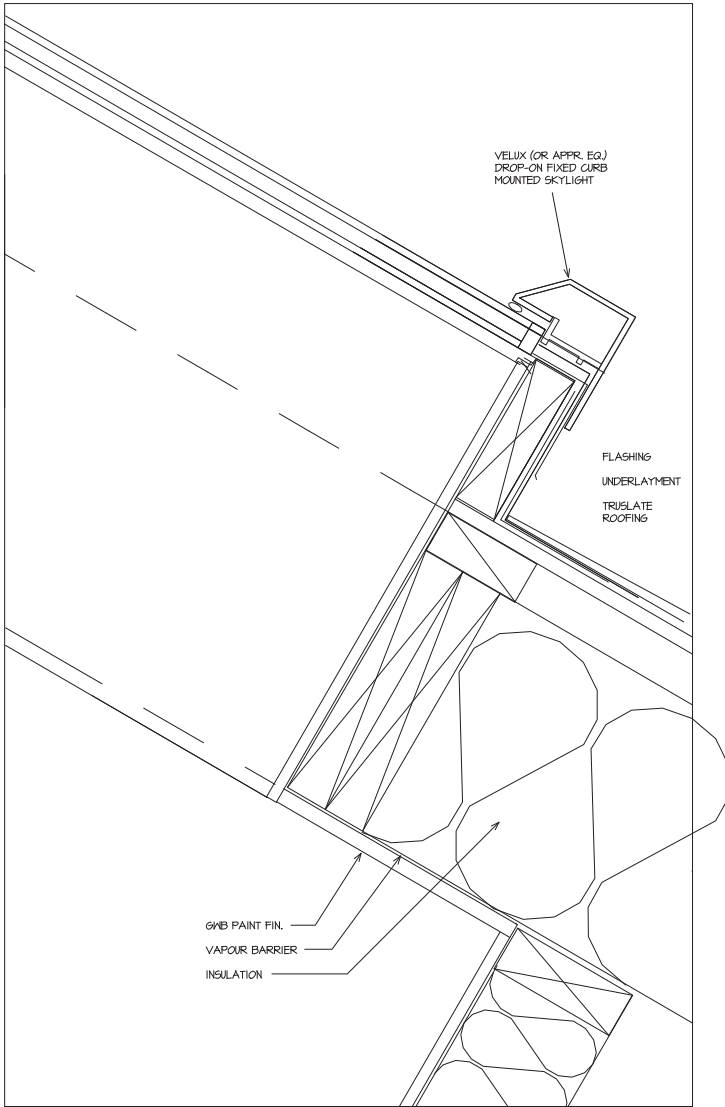
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AS.O
SCALE: 3" = 1' - 0"

ROOF TO WALL



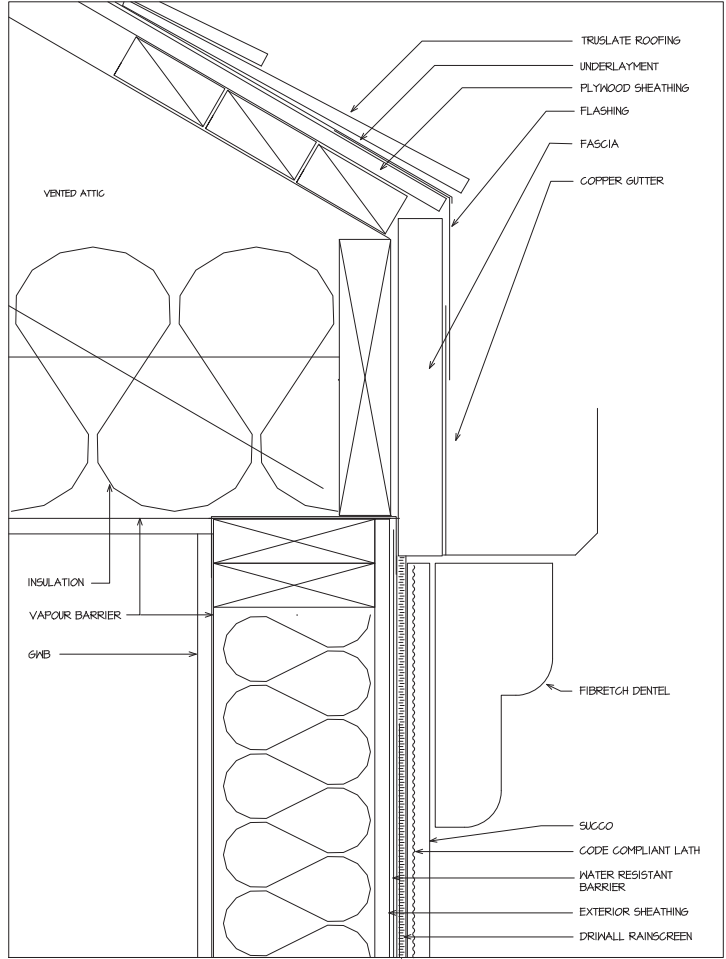
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SCALE: 3" = 1' - 0"

SLAB TO WALL



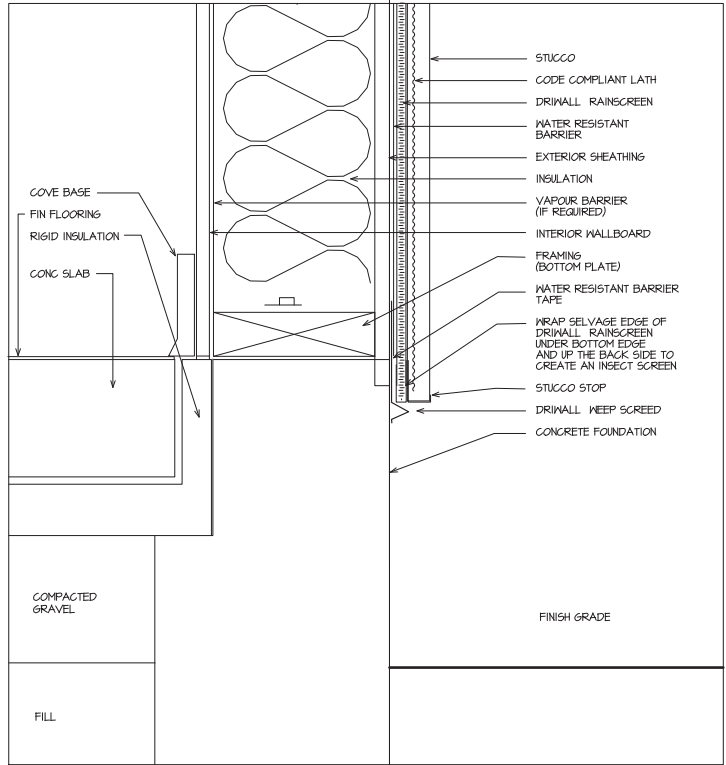
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AS.O
SCALE: 3" = 1' - 0"

SKYLIGHT TO ROOF



3
AS.O
SCALE: 3" = 1' - 0"

ROOF TO WALL



4
AS.O
SCALE: 3" = 1' - 0"

WALL TO FND'N



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HERITAGE RESTORATION:
HOLY TRINITY CATHEDRAL
514 CARNARVON STREET,
NEW WESTMINSTER, B.C.

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HERITAGE REVIEW	FEB. 26, 2011
BUDGET PRICING	JAN. 21, 2011
CLIENT REVIEW	OCT. 12, 2010

No.	Revision	Date
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**WASHROOM
ADDITION
DETAILS**

Scale: 1/8" = 1' - 0"

Job No.	Sheet Number:
Date:	
Drawn: JPE	A 5.2
Checked:	

APPENDIX 7

LAND USE AND DEVELOPMENT REGULATIONS

Intent

- HRA . 1 The intent of these land use and development regulations is to permit an existing place of worship and allow the development of a new high rise development with ground-level parish hall and accessory church-related uses, residential (market rental and condominium), and public plaza space, elevator, and pedestrian corridor.

Land Use and Development Sub-Districts

- HRA . 2 The Land Use and Development Regulations include two sub-districts A and B as indicated on the map attached to Heritage Revitalization Agreement Bylaw No. 8089, 2022 as Appendix 1.

Definitions

- HRA . 3 All uses in these regulations will have the same meaning as per the City of New Westminster Zoning Bylaw, unless otherwise defined in this zone.
- HRA . 4 **DROP-IN CENTRE PROVIDING MEALS** means a building or portion of a building which provides drop-in space and meals to persons who are non-residents of the building on two or less days of the week.
- HRA . 5 **TEMPORARY SPECIAL EVENTS** means community gatherings within the parish hall or plaza space, which includes activities, such as but not limited to, flea markets, craft fairs, outdoor markets. Such events are only permitted on a temporary or special occasion basis.

Permitted Principal and Accessory Uses

- HRA . 6 The following principal and accessory uses are permitted as outlined for each of the sub-districts. For uses accompanied by a checkmark, there are additional Conditions of Use contained within these regulations.

Permitted Principal Uses (Sub-District A)	Use Specific Regulations
<i>Businesses and professional offices limited to administration of non-profit and religious organizations;</i>	
<i>Child Care;</i>	✓
<i>Multiple unit residential use;</i>	
<i>Places of Worship;</i>	
<i>Public Assembly;</i>	
<i>Self-Improvement Schools;</i>	
<i>Temporary Special Events;</i>	
<i>Uses accessory to a Place of Worship use on Sub-District B;</i>	
<i>Drop-in Centre Providing Meals;</i>	

Permitted Accessory Uses (Sub-District A)	Use Specific Regulations
<i>Uses accessory to any permitted principal uses;</i>	
<i>Home based businesses;</i>	✓

Permitted Principal Uses (Sub-District B)	Use Specific Regulations
<i>Places of Worship;</i>	
<i>Public Assembly;</i>	
<i>Childcare;</i>	✓

Permitted Accessory Uses (Sub-District B)	Use Specific Regulations
<i>Uses accessory to any permitted principal uses;</i>	

Conditions of Use

- HRA .7 Child care in accordance with Section 170.13 of the City of New Westminster Zoning Bylaw, as amended.
- HRA .8 Home Based Businesses in accordance with Section 190.28 of the City of New Westminster Zoning Bylaw, as amended.

Density

- HRA .9 The maximum net floor area in Sub-District A shall not exceed 20,587 square metres (221,597 square feet).
- HRA .10 The maximum gross floor area in Sub-District B shall not exceed 627 square metres (6,750 square feet).

Principal Building Envelope

- HRA .11 All *principal buildings and structures* shall be sized and sited according to the following:

Regulation	Sub-District A	Sub-District B
Minimum Setback North (Carnarvon Street)	1.5 metres (5 feet)	No setback required.
Minimum Setback West	2.4 metres (8 feet)	0.3 metres (1 foot)
Minimum Setback East	0.7 metre (2.5 feet)	8.2 metres (27 feet)

Minimum Setback South	No setback required.	0.3 metres (1 foot)
Maximum Building Height	97.6 metres (320 feet)	20 metres (65.61 feet)
Maximum Floorplate Size	760 square metres (8,181 square feet) above the fourth storey.	N/A
Maximum Site Coverage at grade	28%	65%

Off-Street Parking and Loading Requirements

- HRA .12 Off-street automobile parking shall be provided in accordance with the Off-Street Parking Regulation section of the City of New Westminster Zoning Bylaw, except for the following:
- a) 165 residential parking spaces shall be required;
 - b) 11 visitor parking spaces shall be required;
 - c) 12 parking spaces for the use of the cathedral and parish hall shall be provided; and
 - d) 8 parking spaces which shall be shared between visitor parking and the cathedral and parish hall shall be provided; and
 - e) 1 carshare space shall be provided;
- HRA .13 Bicycle parking shall be provided in accordance with the Off-Street Bicycle Parking Regulation section of the City of New Westminster Zoning Bylaw.
- HRA .14 Off-street loading shall be provided in accordance with the Off-Street Loading Regulation section of the City of New Westminster Zoning Bylaw, except for the following:
- a) One off-street loading space shall be provided.

APPENDIX 8
Mixed Use Building Design Plans

HOLY TRINITY CATHEDRAL TOWER

514 CARNARVON STREET, NEW WESTMINSTER

ISSUED FOR HERITAGE REVITALIZATION AGREEMENT, MAY 2022

DRAWING LIST

ARCHITECTURAL

- A 000

Cover
- A 001

Data
- A 002

Data
- A 003

Data
- A 004

Data
- A 005

Subdivision Plan
- A 100

Context Plan
- A 101

Survey
- A 102

Civil Key Plan
- A 103

Shadow Studies
- A 104

Rendering
- A 105

Rendering
- A 106

Rendering
- A 107

Rendering
- A 108

Aerial View
- A 150

Site Plan
- A 201

Floor Plan- P5
- A 202

Floor Plan- P4
- A 203

Floor Plan- P3
- A 204

Floor Plan- P2
- A 204.1

Floor Plan- P2- Parkade Entrance
- A 205

Floor Plan- P1
- A 206

Floor Plan- Level 1
- A 207

Floor Plan- Level 2
- A 208

Floor Plan- Level 3
- A 209

Floor Plan- Level 4
- A 210

Floor Plan- Level 5
- A 211

Floor Plan- Level 6-7
- A 212

Floor Plan- Level 8-28
- A 213

Floor Plan- Level 29
- A 214

Floor Plan- Level 30
- A 215

Floor Plan- Roof
- A 300

East and North Elevations
- A 301

West and South Elevations
- A 302

Enlarged Plaza Elevation
- A 400

Sections
- A 401

Sections

LANDSCAPE

- L 1.1

GROUND LEVEL LAYOUT AND MATERIALS PLAN
- L 1.2

GROUND LEVEL NORTH GRADING AND DRAINAGE PLAN
- L 1.3

GROUND LEVEL SOUTH GRADING AND DRAINAGE PLAN
- L 1.4

GROUND LEVEL NORTH PLANTING PLAN
- L 1.5

GROUND LEVEL SOUTH PLANTING PLAN
- L 1.6

ROOFTOP LANDSCAPE PLAN
- L 2.1

LANDSCAPE SECTIONS
- L 2.2

LANDSCAPE SECTIONS
- L 2.3

LANDSCAPE SECTIONS
- L 2.4

LANDSCAPE SECTIONS
- L 3.1

LANDSCAPE MATERIAL BOARDS
- L 3.2

LANDSCAPE MATERIAL BOARDS
- L 3.3

LANDSCAPE MATERIAL BOARDS
- L 3.4

LANDSCAPE MATERIAL BOARDS

PROJECT TEAM

CLIENT	DEVELOPMENT PARTNER	ARCHITECT	HERITAGE CONSULTANT	LANDSCAPE ARCHITECT	STRUCTURAL	ELECTRICAL	MECHANICAL	CODE	TRAFFIC	CIVIL	ENVELOPE
Holy Trinity Anglican Cathedral 514 Carnarvon St New Westminster, BC V3L 1C4	Conwest Developments Ltd. 401-1930 Pandora St, Vancouver BC V5L 0C7	Frاند Architecture 970 Homer St, Vancouver BC V6B 2W7	Donald Luxton and Associates Inc. 1030-470 Granville Street Vancouver, BC V6C 1V5	Durante Kreuk Landscape architects 102 - 1637 West 5th Avenue Vancouver, BC V6J 1N5	Glottman-Simpson 1661 West 5th Avenue, Vancouver, BC V6J 1N5	Nemetz Electrical 2009 West 4th Avenue Vancouver, BC V6J 1N3	MCW Group Suite 1400, 1111 West Georgia Street Vancouver, BC V6E 4M3	CT Engineering #800 - 1901 Rosser Avenue Burnaby, BC V5C 6R6	Bunt & Associates Suite 1550 1050 West Pender St, Vancouver, BC V8W 1G2	Core Group 320- 8988 Fraserton Court, Burnaby, BC V5J 5H8	Morrison Hershfield 4321 Still Creek Dr #310, Burnaby, BC V5C 6S7
Contact: Joe Palazzo Joe.Palazzo@conwest.com T:604-293-2652											
Contact: Megan Peters mpeters@frاندarchitecture.com T: 604-688-3252											
Contact: Donald Luxton donald@donaldluxton.com T: 778-899-7943											
Contact: Reyhaneh Sobhani rehaneh@kkl.bc.ca T: 604-684-4611											
Contact: Omar AlHaras oalharas@glottmansimpson.com T: 604-734-8822											
Contact: Bijan Valagohar bijan@nemetz.com T: 604-736-6562											
Contact: Rob Gregg RGregg@mcw.com T: 604-687-1821											
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Contact: Binny Foo B-Foo@morrisonhershfield.com T: 604-454-2004											
Scale: 1 : 1											
Project No.: 22102											
Drawing No.: A 000											

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Notes

1	2022-05-06	HERITAGE REVITALIZATION AGREEMENT
2	2022-03-17	AKC SUBMISSION RESPONSE
3	2022-10-19	

No.	Date	Description
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Project Title:

The Holy Trinity Anglican
Cathedral Renewal

514 Carnarvon St
Client: Conwest

Sheet Title: Cover

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Reviewed by:	Checker	
Date:	08/17/21	
Plot Date:	2022-05-31 3:12:04 PM	

Graphic Scale:

Scale: 1 : 1
Project No.: 22102
Drawing No.: A 000

PROJECT DATA SUMMARY			
CIVIC ADDRESS	514 CARNARVON ST		
LEGAL ADDRESS	PARCEL 1, VICTORIA GARDENS REFERENCE PLAN 74708		
EXISTING ZONING	P1- PUBLIC AND INSTITUTIONAL DISTRICTS (LOW RISE)		
<u>SITE AREA</u>	m2	SF	
SITE A (TOWER)	2,133.1	22,960	
SITE B (CHURCH)	972.5	10,468	
COMBINED	3,105.6	33,428	
<u>LOT COVERAGE:</u>			
SITE A (TOWER)	25.27%		
SITE B (CHURCH)	62.72%		
COMBINED	17.36%		
GROSS AREA PROPOSED	m2	SF	
TOWER	21,285.0	229117.3	
CHURCH	610.0	6566.2	
COMBINED	21,895.0	235683.5	
NET AREA (FSR AREA)	m2	SF	
TOWER	19,543.0	210365.4	
CHURCH	528.5	5688.9	
COMBINED	20,071.5	216054.9	
<u>FSR</u>			
SITE A (TOWER)	9.16		
SITE B (CHURCH)	0.6		
COMBINED	6.5		
<u>BUILDING HEIGHT (m)</u>	Proposed	Storeys	
TOWER	92.7m	30	
CHURCH	19.1m	1	
TOTAL UNITS	285	100%	
Residential Units	171	60%	
Adaptable Single Units	37	12.98%	40.00%
Adaptable Family Units	77	27.02%	
PARKING COUNT	Proposed	Required	
Residential	Market Rental	155	314
	Secured Market Rental	10	10
	Visitor	11	30
	Residential total	176	354
Church	12	25	
Car Share	Church/Visitor shared	8	
	1		
Total	197	379	
% Parking Reduction	47%		
LOADING	Proposed	Required	
Type A	1	1	
LONG TERM BICYCLE COUNT	Proposed	Required	
	358	357	1.25*Unit 6.6developmen t
SHORT TERM BICYCLE COUNT AT GRADE	12	12	6/1500 sqm

Parking Schedule		
Level P1 1/2		
Church	Standard	12
Residential	Small	2
Level P1 1/2: 14		
Level P1		
Church/Visitor	Accessible	2
Church/Visitor	Small	4
Church/Visitor	Standard	2
Visitor	Small	5
Visitor	Standard	1
Level P1: 14		
Level P2 1/2		
CarShare	Standard	1
Residential	Standard	7
Visitor	Standard	5
Level P2 1/2: 13		

Level P2		
Residential	Accessible	6
Residential	Small	10
Residential	Standard	2
Level P2: 18		

Level P2		
Residential	Accessible	6
Residential	Small	54
Residential	Standard	105
Level P3		
Visitor	Small	5
Visitor	Standard	6
Grand total: 197		

Parking Stial Type Schedule		
Parking Use	Type	Count
CarShare	Standard	1
Level P3		
Church	Standard	12
Level P4		
Church/Visitor	Accessible	2
Church/Visitor	Small	4
Church/Visitor	Standard	2
Level P5		
Residential	Accessible	6
Residential	Small	54
Residential	Standard	105
Level P6		
Visitor	Small	5
Visitor	Standard	6
Grand total: 197		

ENERGY CODE STEP 3: DESIGN ASSUMPTIONS		
Building Envelope:		
Wall R-value - IP		Proposed R-6
Roof R-value –IP		R-30
Exposed Floor R-value		R-20
Parking Slab below heated space R-value –IP		R-20
Window U(total assembly) –IP(glass + frame) double glazing		U 0.25
Window SHGC (glass + frame) Double-glazing		0.35
Air leakage (infiltration) fixed rate of 0.20 L/s/m2 at operating pressure		0.2
Lighting Power Density (Watt/m2)		
Residential suites		Proposed CoV EMG (v2.0)
Non-residential space		
Parking Garage		NECB 2015 2 watts/m2
HVAC System		
Residential suites heating / cooling: Air source VER system		Proposed Sensible efficiency 75%
Residential suites ventilation: individual energy recovery unit per suite		Sensible efficiency 75%
Corridor Pressurization: MUA heating and cooling with heat pump & electric backup, and flow rate of 20 cfm / door		Sensible efficiency 75%
Non-residential (Parish Office / Hall) heating/cooling: Air source VER system		Sensible efficiency 75%
Ventilation: Central or individual energy recovery unit per space		Sensible efficiency 75%
Parking Garage: To be vented only with exhaust fans		
HVAC Plant		Proposed
Residential: Air-Source Heat Pump with electric backup		Sensible efficiency 75%
Non-residential: Electric heaters		Sensible efficiency 75%

Long Term Bicycle Spaces		
Level P1 1/2		
Vertical		51
Locker		40
Horizontal		3
Level P1 1/2: 94		

Level P1		
Vertical		8
Horizontal		8
Level P1: 16		

Level P2 1/2		
Vertical		52
Locker		43
Horizontal		6
Level P2 1/2: 101		

Level P2		
Vertical		1
Vertical		3
Locker		13
Horizontal		12
Level P2: 29		

Level P3		
Vertical		35
Locker		25
Horizontal		19
Level P3: 79		

Level P4		
Vertical		9
Horizontal		26
Level P4: 39		
Grand total: 358		

Long Term Bicycle-Space Types		
Count	Use	Assembly Code
159	<varies>	Vertical
121	Tower	Locker
74	Tower	Horizontal
4	Tower	<varies>
Grand total: 358		

Short Term Bicycle Spaces		
Level	Use	Count
Level 1	Church	6
Level 1	Tower	6
5 spaces for each 1500 sqm		
5 spaces for dwelling units 20 or more		

ACOUSTIC REPORT (25 Jan, 2019) : DESIGN ASSUMPTIONS	
Building Envelope:	Proposed
OITC >/= 25 windows	Glazing: 3-13-3
OITC >/= 25 sliding doors	Glazing: 5-13-5
All windows and doors will be specified to meet A3 performance rating for	
Air Tightness found in CSA standard CAN/CSA-A440-08	

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Notes

1	2022-05-06	MEETINGS INITIAL DESIGN AGREEMENT
2	2022-05-17	AKC SUBMISSION RESPONSE
3	2022-10-19	AKC SUBMISSION

No.	Date	Description
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Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

Sheet Title:
Data

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Reviewed by:	Checker	
Date:	09/17/21	
Plot Date:	2022-06-01 3:46:47 PM	

Graphic Scale:

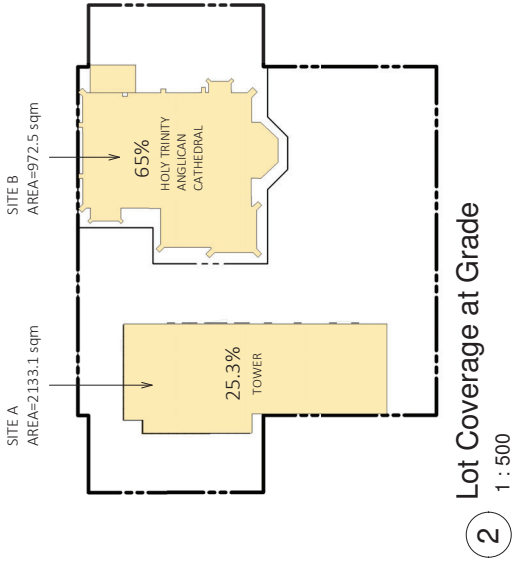
Scale:	1 : 1	Drawing No.:
Project No.:	22102	A 001

SITE A: TOWER BUILDING AREAS (m2)										
FSR= NET FSR AREA/SITE A = 9.59										
TOTAL GROSS		EXCLUSIONS				TOTAL			NET	
FLOOR	FLOOR AREA	ADAPTABLE UNITS EXCLUSIONS		RESIDENTIAL AMENITY EXCLUSION	EXCLUSION AREA	CHURCH PARISH HALL	MECH & SERVICE	FSR	AREA	
		1BR UNITS	FAMILY UNITS							
Mech. Roof	88	0.0	0.0	0	0	0	88	88	88	
Level 30	374	0.0	0.0	308	308	0	4	66	66	
Level 29	753	0.0	11.2	0	11	0	4	742	742	
Level 28	753	1.9	8.4	0	10	0	4	743	743	
Level 27	753	1.9	8.4	0	10	0	4	743	743	
Level 26	753	1.9	8.4	0	10	0	4	743	743	
Level 25	753	1.9	8.4	0	10	0	4	743	743	
Level 24	753	1.9	8.4	0	10	0	4	743	743	
Level 23	753	1.9	8.4	0	10	0	4	743	743	
Level 22	753	1.9	8.4	0	10	0	4	743	743	
Level 21	753	1.9	8.4	0	10	0	4	743	743	
Level 20	753	1.9	8.4	0	10	0	4	743	743	
Level 19	753	1.9	8.4	0	10	0	4	743	743	
Level 18	753	1.9	8.4	0	10	0	4	743	743	
Level 17	753	1.9	8.4	0	10	0	4	743	743	
Level 16	753	1.9	8.4	0	10	0	4	743	743	
Level 15	753	1.9	8.4	0	10	0	4	743	743	
Level 14	753	1.9	8.4	0	10	0	4	743	743	
Level 13	753	1.9	8.4	0	10	0	4	743	743	
Level 12	753	1.9	8.4	0	10	0	4	743	743	
Level 11	753	1.9	8.4	0	10	0	4	743	743	
Level 10	753	1.9	8.4	0	10	0	4	743	743	
Level 9	753	1.9	8.4	0	10	0	4	743	743	
Level 8	753	1.9	8.4	0	10	0	4	743	743	
Level 7	714	3.7	5.6	0	9	0	4	705	705	
Level 6	714	3.7	5.6	0	9	0	4	705	705	
Level 5	714	3.7	5.6	0	9	0	4	705	705	
Level 4	547	9.3	5.6	0	15	0	67	532	532	
Level 3	547	9.3	5.6	0	15	0	67	532	532	
Level 2	500	0.0	0.0	135	135	282	2	365	365	
Level 1	539	0.0	0.0	121	121	328	0	418	418	
P1	0	0.0	0.0	0	0	0	0	0	0	
P2	0	0.0	0.0	0	0	0	0	0	0	
P3	0	0.0	0.0	0	0	0	0	0	0	
P4	0	0.0	0.0	0	0	0	0	0	0	
P5	0	0.0	0.0	0	0	0	0	0	0	
TOTAL (m2)	21,303	68.5	215.6	564	848	610	328	20,455	20,455	
TOTAL (sf)	229,311	737.1	2,321	6071.0	9,129	6,566	3,531	220,182	220,182	
TOTAL	TOTAL GROSS	ADAPTABLE UNITS EXCLUSIONS		RESIDENTIAL AMENITY EXCLUSION	TOTAL	CHURCH PARISH HALL	MECHANICAL	NET		

Adaptable Units Exclusion: 1.85 sm per 1 Bed Unit, 2.80 sm per family unit (2-3 bedroom)

SITE B: CHURCH BUILDING AREAS (m2)				
FSR= NET FSR AREA/SITE B = 0.54				
FLOOR	GROSS FLOOR AREA	EXCLUSION AREA	NET FSR AREA	
LEVEL 1	625	0	625	

TOWER SETBACKS		CHURCH SETBACKS	
NORTH (CARNARVON STREET)	2.0m	NO SETBACK	
SOUTH (CLARKSON STREET)	2.9m	0.8m	
WEST SIDE YARD	3.1m	0.6m	
EAST SIDE YARD	3.2m	9.2m	



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Notes

3	2022-05-06	REBURY ENVIRONMENTAL AGREEMENT
2	2022-03-17	ARC SUBMISSION RESPONSE
1	2021-10-09	ARC SUBMISSION

No. Date Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

Sheet Title: Data

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Draw by: MB Project North:

Reviewed by: Checker

Date: 03/03/22

Plot Date: 2022-05-31 3:12:26 PM

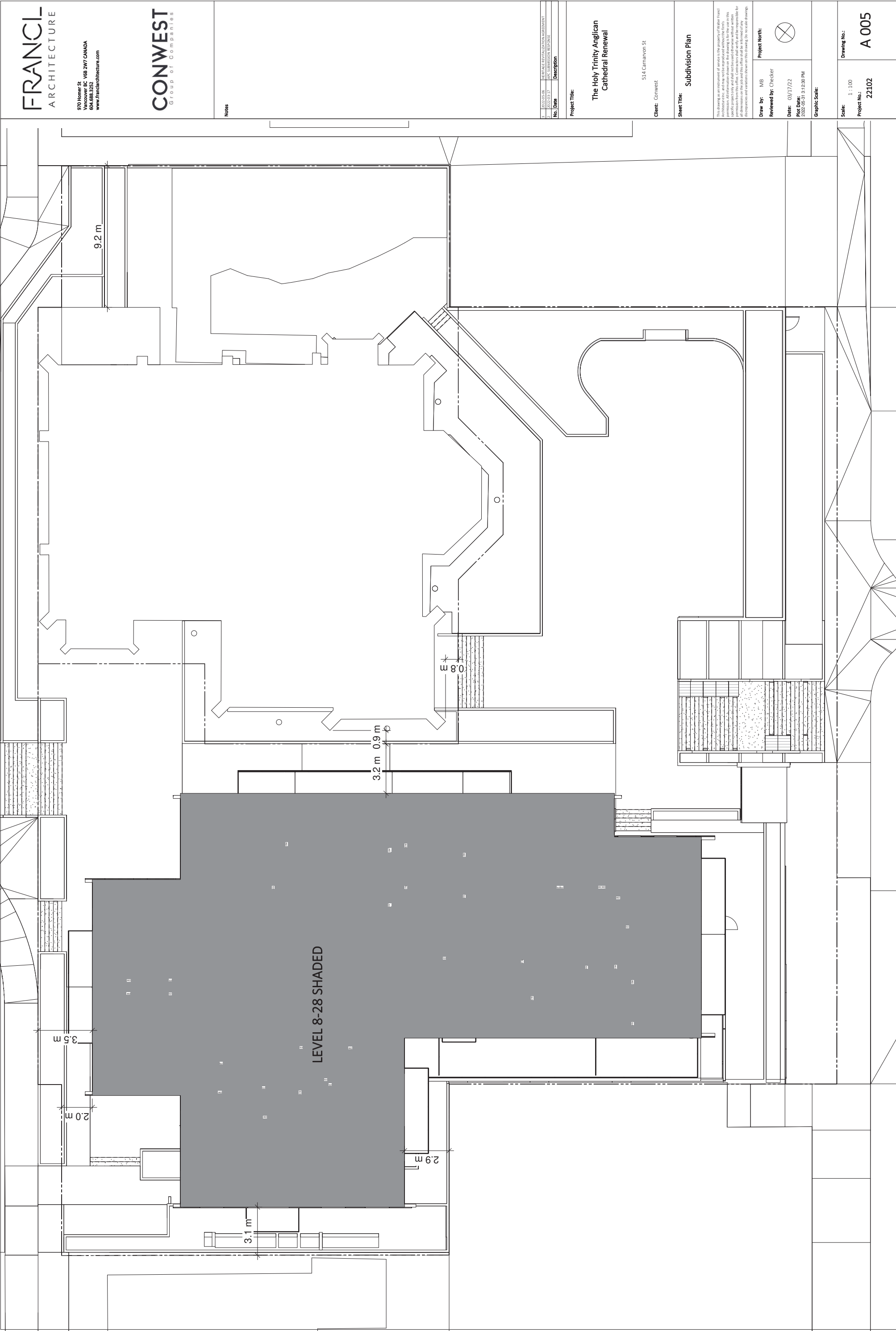
Graphic Scale:

Scale: As Indicated

Drawing No:

Project No: 22102

A 004



FRANCL- ARCHITECTURE 970 Homer St Vancouver BC V6B 2W7 CANADA 604.688.3252 www.franclarchitecture.com		CONWEST Group of Companies		Notes	
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Draw by: MB		Project North:			
Reviewed by: Checker					
Date: 03/17/22					
Plot Date: 2022-05-31 3:12:30 PM					
Graphic Scale:					
Scale: 1:100		Drawing No.:			
Project No.: 22102				A 005	

Notes

3	2022-05-08	HERITAGE EVALUATION AGREEMENT
1	2021-10-09	AKC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

Sheet Title:
Context Plan

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Draw by: KC
Reviewed by: Checker
Date: 09/17/21
Plot Date: 2022-05-31 3:12:34 PM



Project North:

Graphic Scale:

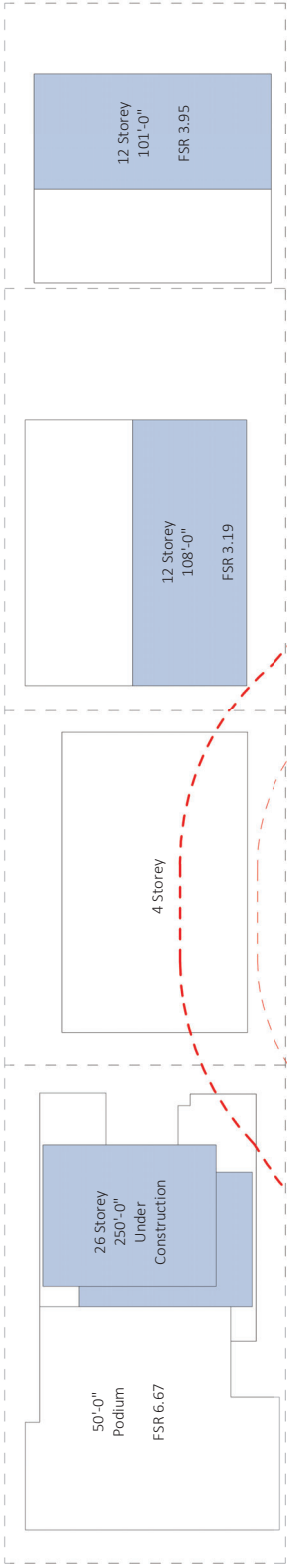
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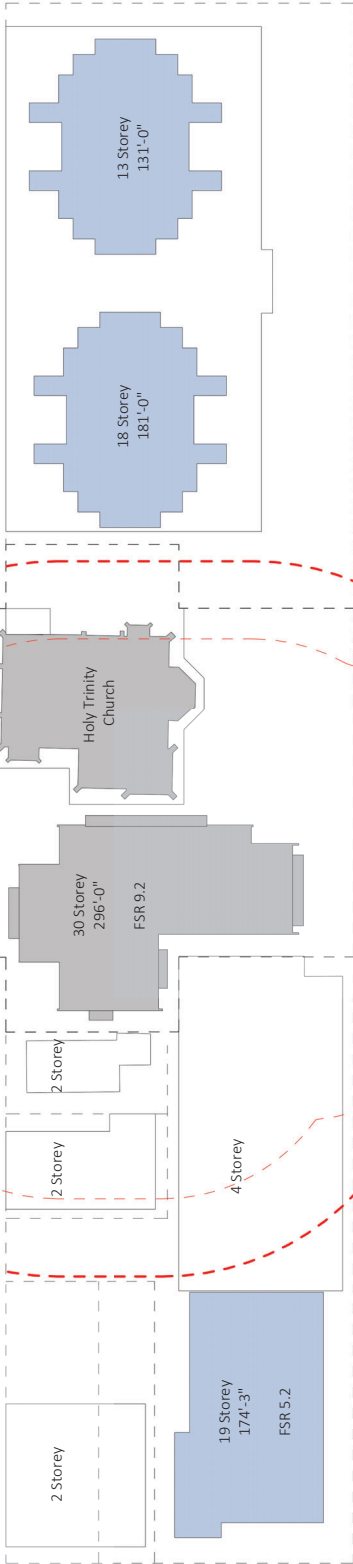
Project No.: 22102

A 100

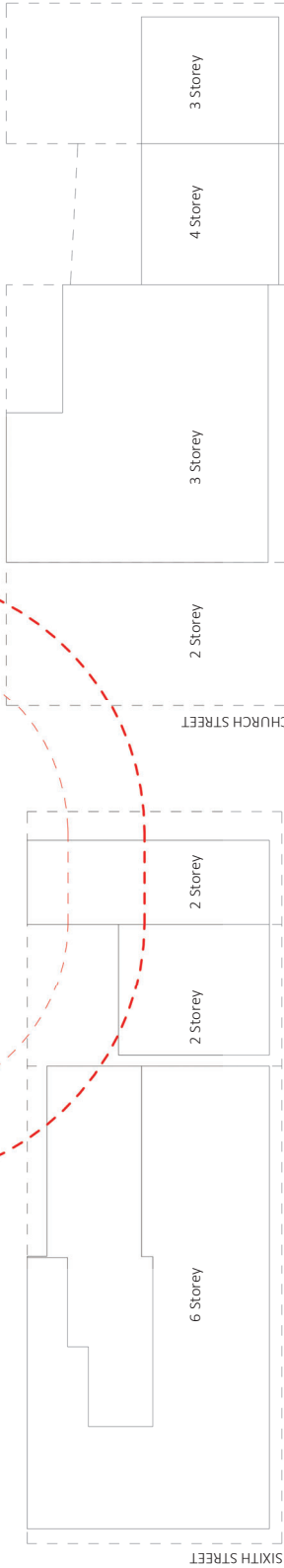
VICTORIA STREET



CARNARVON STREET

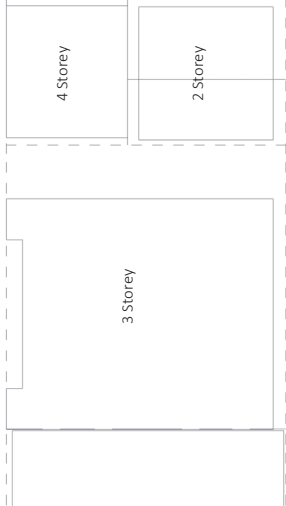
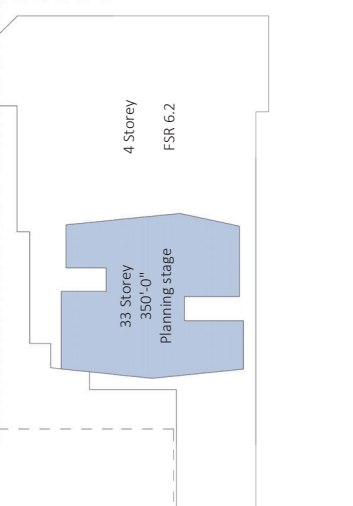
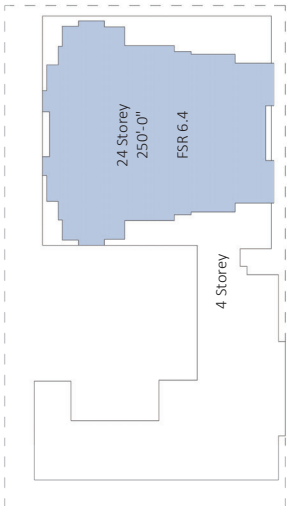


CLARKSON STREET



COLUMBIA STREET

SIXTH STREET



TOPOGRAPHIC SITE PLAN OF PARCEL "ONE"
VICTORIA GARDENS REFERENCE PLAN 74708

CIVIC ADDRESS:

514 Carnarvon Street, New Westminster

PID: 008-186-430

SCALE 1" = 20'

7.5 0 15 30

ALL DISTANCES ARE IN FEET

NOTE: NTS

The intended plot size of this plan is 22' in width

and 17' in height (C size) when plotted at a scale of 1":20'

MH-SANITARY	Rim Elev=93.4
Inverts	
Northwest	83.8
Northeast	82.8
Southwest	86.6
Southeast	82.8

MH-STORM	Rim Elev=91.9
Inverts	
Northwest	88.1
Northeast	80.2
Southwest	80.1

MH-STORM	Rim Elev=92.7
Inverts	
Northwest	88.1
Northeast	88.0

MH-STORM	Rim Elev=91.7
Inverts	
North	80.2
Northeast	80.4
Southwest	80.1

LEGEND

- DENOTES LEAD PLUG
- 1 2 DENOTES STANDARD IRON POST
- DENOTES SQUARE FEET
- ⊕ DENOTES FIRE HYDRANT
- ⊗ DENOTES CATCH BASIN - TOP ENTRY
- ⊙ DENOTES CATCH BASIN - ROUND
- ⊖ DENOTES POWER POLE
- ⊙ DENOTES STREET LIGHT - DAVIT
- ⊙ DENOTES STREET LIGHT - POST TOP
- ⊙ DENOTES WATER VALVE
- ⊙ DENOTES WATER METER
- ⊙ DENOTES GAS VALVE
- ⊙ DENOTES ELECTRIC BOX
- ⊙ DENOTES SANITARY MANHOLE
- ⊙ DENOTES STORM MANHOLE
- ⊙ DENOTES MISCELLANEOUS MANHOLE
- ⊙ DENOTES TREE AND CANOPY EXTENT
- ⊙ DENOTES GROUND ELEVATION
- ⊙ DENOTES TOP OF RETAINING WALL ELEVATION
- ⊙ DENOTES DECIDUOUS
- ⊙ DENOTES CONIFEROUS
- ⊙ DENOTES RETAINING WALL
- ⊙ DENOTES SIGN

NOTES:

Lot dimensions are derived from field survey.

Measurements shown are to the exterior of building.

Elevations are Geodetic (CVD28 GVD-2005 - IN FEET)

Derived from Control Monument 6045

located at southwesterly corner of intersection of

Royal Avenue with 6th Street. Elevation = 155.48ft.

Invert elevations and offsets of services from property lines

are derived from field survey. Contractor to verify all

service locations and inverts prior to construction.

Spot elevations along curb are taken in gutter.

If this plan is used in digital form, Target Land Surveying (NW) Ltd

will only assume responsibility for information content

shown on original unaltered drawing.

Tree diameters are taken at 4.6ft. above grade and

are shown in feet.

This Plan was prepared for architectural design and

site servicing purposes, and is for the exclusive use

of our client. The signatory accepts no responsibility

or liability for any damages that may be suffered by a

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NEW WESTMINSTER B.C.

604-594-6161

FILE: N2100-TOPO-FT-R1

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MH-MISC	Rim Elev=100.4
Inverts	
Northwest	98.1
Northeast	98.1
Southwest	98.0
Southeast	98.0

CARNARVON STREET

Centerline of Road

Gutterline

Slab

Asphalt Walkway

Asphalt Walkway

Asphalt Walkway

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MH-MISC	Rim Elev=100.4
Inverts	
Northwest	98.1
Northeast	98.1
Southwest	98.0
Southeast	98.0

CARNARVON STREET

Centerline of Road

Gutterline

Slab

Asphalt Walkway

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MH-MISC	Rim Elev=100.4
Inverts	
Northwest	98.1
Northeast	98.1
Southwest	98.0
Southeast	98.0

CARNARVON STREET

Centerline of Road

Gutterline

Slab

Asphalt Walkway

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MH-MISC	Rim Elev=100.4
Inverts	
Northwest	98.1
Northeast	98.1
Southwest	98.0
Southeast	98.0

CARNARVON STREET

Centerline of Road

Gutterline

Slab

Asphalt Walkway

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604.688.3252

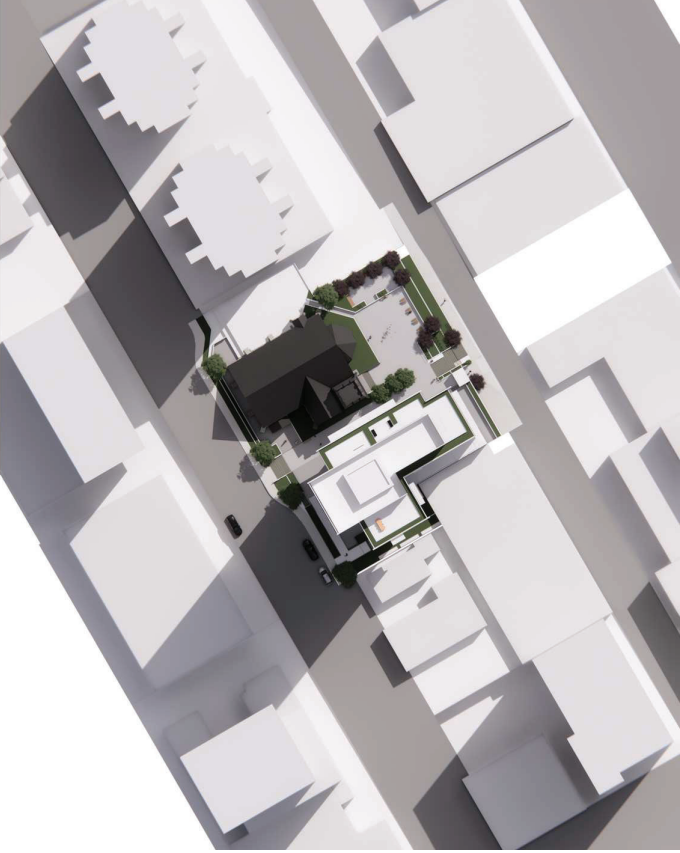
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Notes

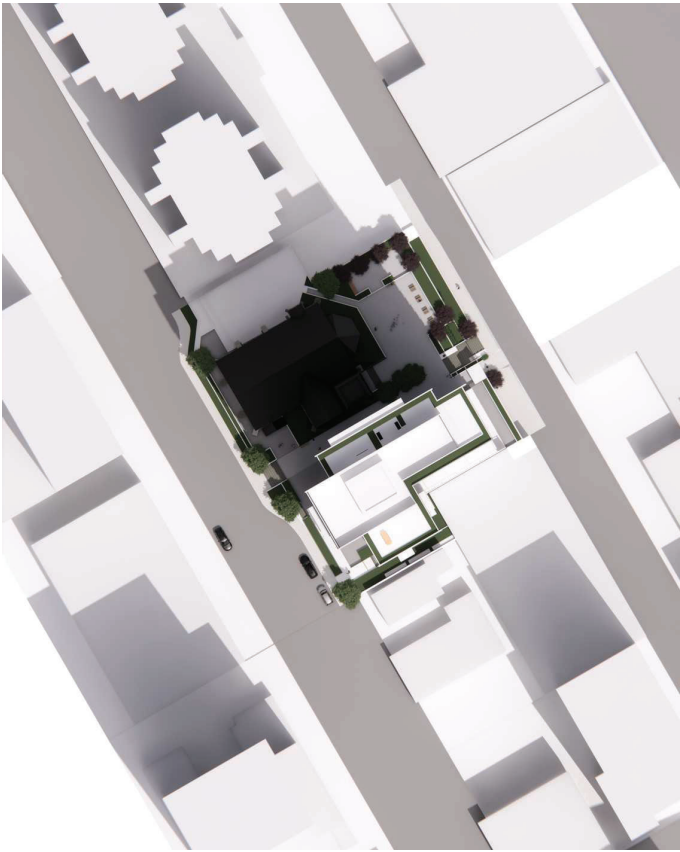
3	2022-05-08	RENTAGE EVALUATION AGREEMENT
1	2021-10-28	AKC SUBMISSION
No.	Date	Description
Project Title:		
The Holy Trinity Anglican Cathedral Renewal		
Client: Convest		
514 Cameron St		
Sheet Title: Shadow Studies		
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Draw by:	Author	Project North:
Reviewed by:	Checker	
Date:	09/27/21	
Plot Date:	2022-05-31 3:12:40 PM	
Graphic Scale:		
Scale:	Drawing No:	
Project No:	22102	A 103



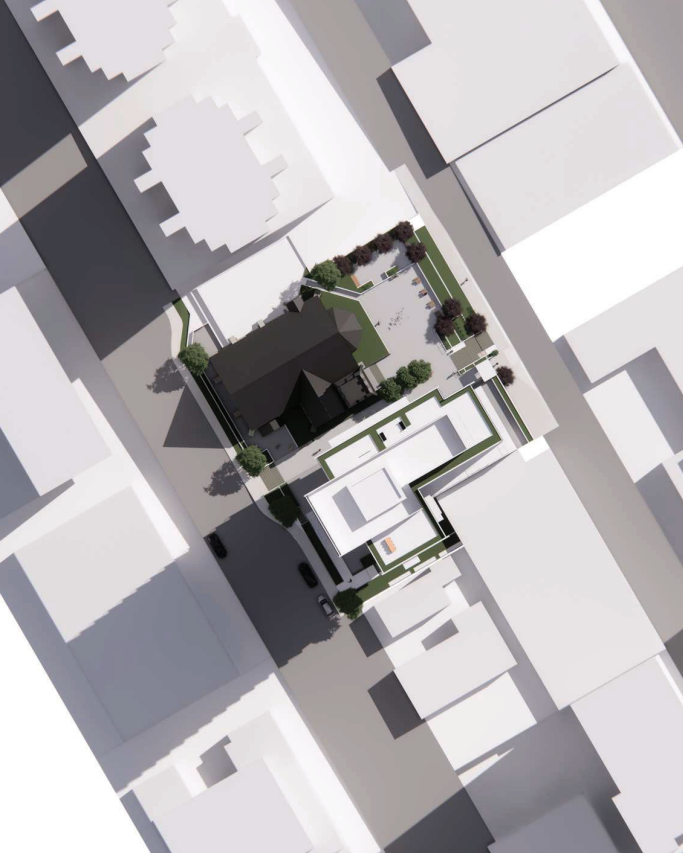
June 21st 10.00 am



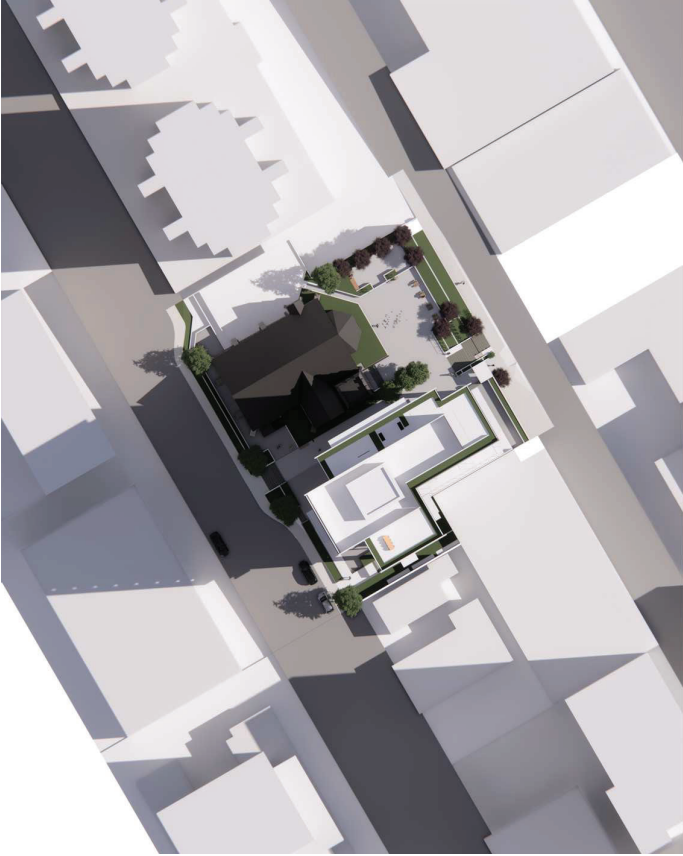
June 21st 12.00 pm



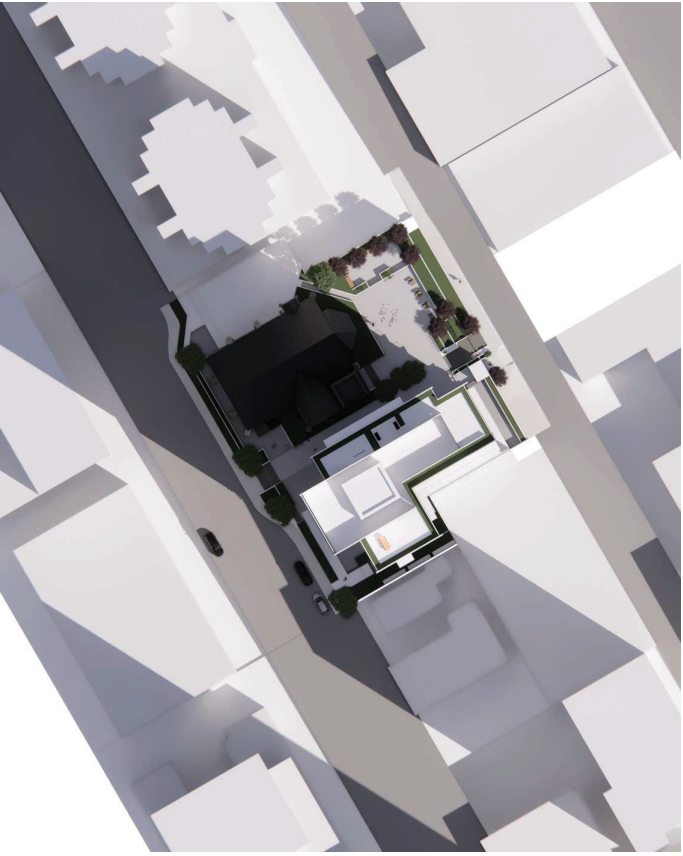
June 21st 2.00 pm



March/September 21st 10.00 am



March/September 21st 12.00 pm



March/September 21st 2.00 pm



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Notes

3	2022-05-06	HERITAGE EVALUATION AGREEMENT
2	2022-03-17	ARC SUBMISSION RESPONSE
1	2022-10-09	ARC SUBMISSION

No. Date Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

514 Carnarvon St
Client: Convest

Sheet Title:
Rendering

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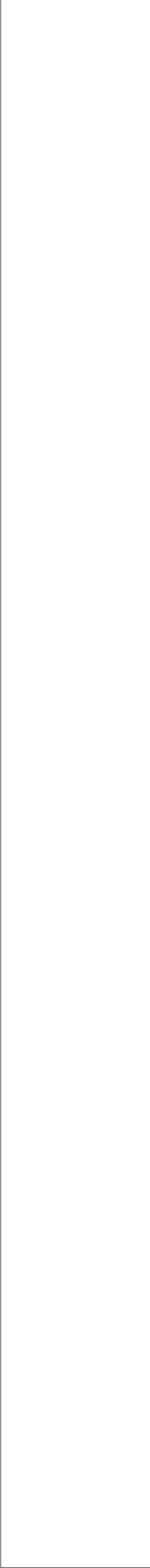
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Reviewed by: Checker
Project North:
Date: 09/27/21
Plot Date: 2022-05-31 3:12:41 PM



Graphic Scale:

Scale:
Project No.: 22102
Drawing No.:
A 104

Pedestrian Corridor from Carnarvon



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Notes

1	2022-05-06	HERITAGE EVALUATION AGREEMENT
2	2022-03-17	ARC SUBMITTAL RESPONSE

No.	Date	Description
-----	------	-------------

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

Sheet Title: Rendering

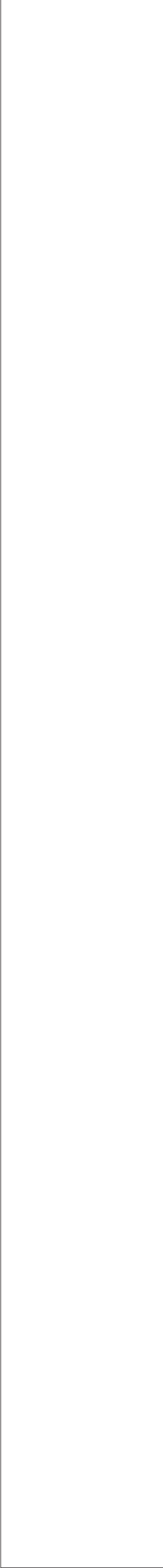
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Draw by: MB	Project North:
Reviewed by: Checker	
Date: 10/18/21	
Plot Date: 2022-05-31 3:12:43 PM	

Graphic Scale:

Parish Hall

Scale:	Drawing No:
Project No: 22102	A 106



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Vancouver BC V6B 2W7 CANADA
604.688.3352
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Group of Companies

Notes

3	2022-05-06	HERITAGE EVALUATION AGREEMENT
1	2021-10-09	AKC SUBMISSION

No.	Date	Description
-----	------	-------------

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Carnarvon St

Sheet Title:
Rendering

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Draw by: MB	Project North:
Reviewed by: Checker	
Date: 10/18/21	
Plot Date: 2022-05-31 3:12:45 PM	

Graphic Scale:

Scale:	Drawing No:
Project No: 22102	A 107

A 150

	2022-05-06	HERITAGE REVITALIZATION AGREEMENT
	2022-03-17	APC SUBMISSION RESPONSE
Id.	Date	Description

Project Title:

The Holy Trinity Anglican Cathedral Renewal

Client: Conwest

Sheet Title: Floor Plan- P4

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Drawn by: Author
Reviewed by: Checker

lot Date: 11/25/21
022-05-31 3:18:45 PM

Graphic Scale:

Drawing No.:

No.: 22102

A 202

Notes

3	2022-05-06	HERITAGE EVALUATION AGREEMENT
2	2022-03-17	ARC SUBMISSION RESPONSE
1	2021-10-29	ARC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest

514 Camarvon St

Sheet Title:
Floor Plan-P3

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Draw by: KC
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 3:18:50 PM



Graphic Scale:

Scale: As Indicated

Project No:

22102

Drawing No:

A 203

Parking, Loading, and Bicycle Space Plan

Proposed development to comply with the following section of the New Westminster Zoning Bylaw No.6680, 2001.

Parking spaces in accordance with Section 140.31

Accessible parking spaces in accordance with Section 145.6

Loading spaces in accordance with Section 160.7

Bicycle spaces in accordance with 150.9, 150.15, 150.16

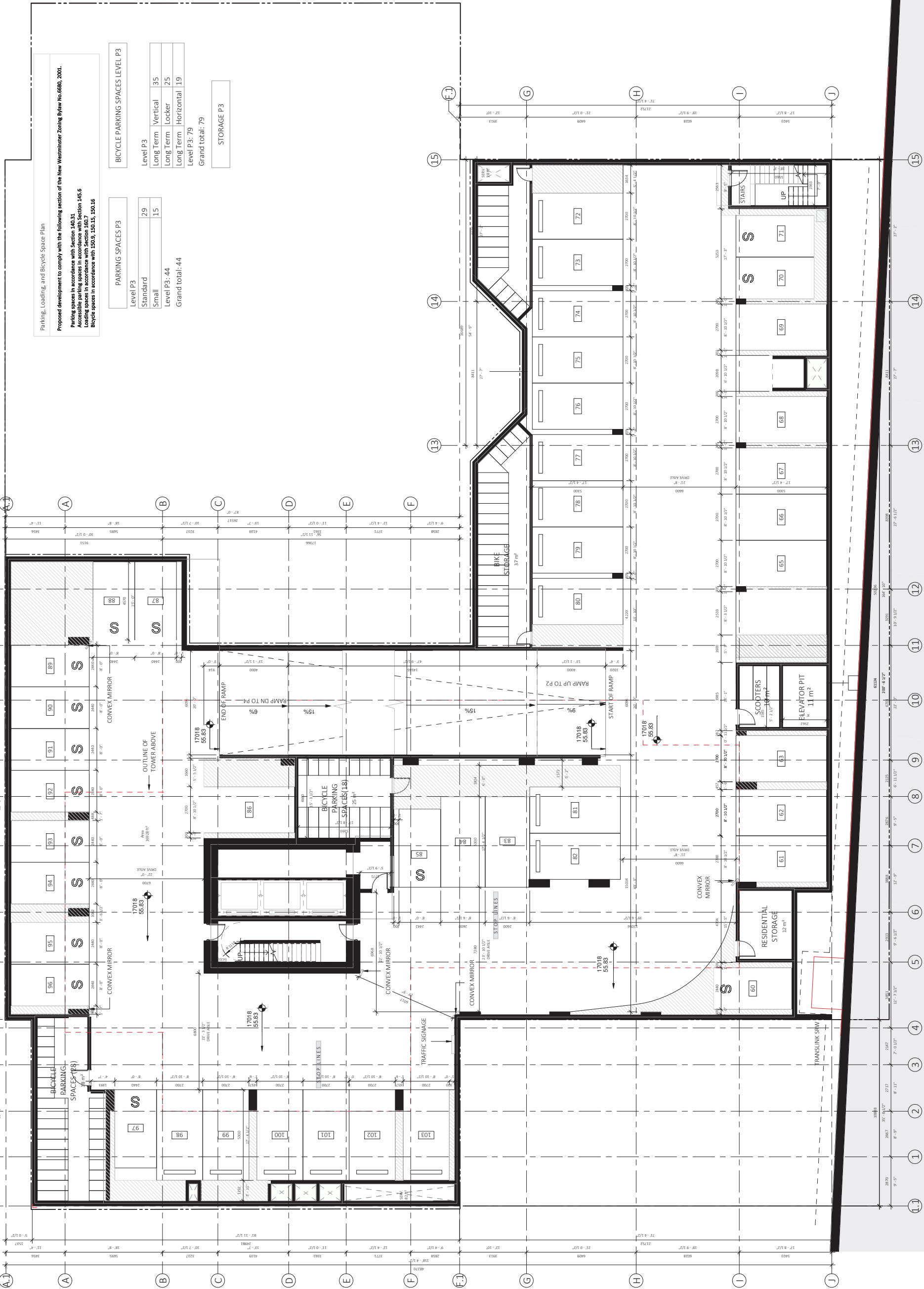
PARKING SPACES P3	
Level P3	
Standard	29
Small	15

BICYCLE PARKING SPACES LEVEL P3	
Level P3	
Long Term	Vertical
Long Term	Locker
Long Term	Horizontal

Level P3: 79

Grand total: 79

STORAGE P3



2022-05-06	HERITAGE REVITALIZATION AGREEMENT
2022-03-17	APC SUBMISSION RESPONSE
2021-10-19	APC SUBMISSION
c. Date	Description

Project Title:

**The Holy Trinity Anglican
Cathedral Renewal**

Client: Conwest
514 Carnarvon St

Sheet Title: Floor Plan- P2

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Drawn by: KC
Reviewed by: Checker

lot Date: 022-05-31 3:18:55 P

Graphic Scale:

Drawing No.:

Project No.: 22102

A 204

	20 22-015-06	HE RIT AGE REVITALIZATION AGREEMENT
	20 22-03-17	APC SUBMISSION RESPONSE
o.	Date	Description

Project Title:

**The Holy Trinity Anglican
Cathedral Renewal**

Client: Conwest
514 Carnarvon St

Sheet Title:
Floor Plan- P2- Parkade Entrance

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Project North:

Drawn by: Author
Reviewed by: Checker

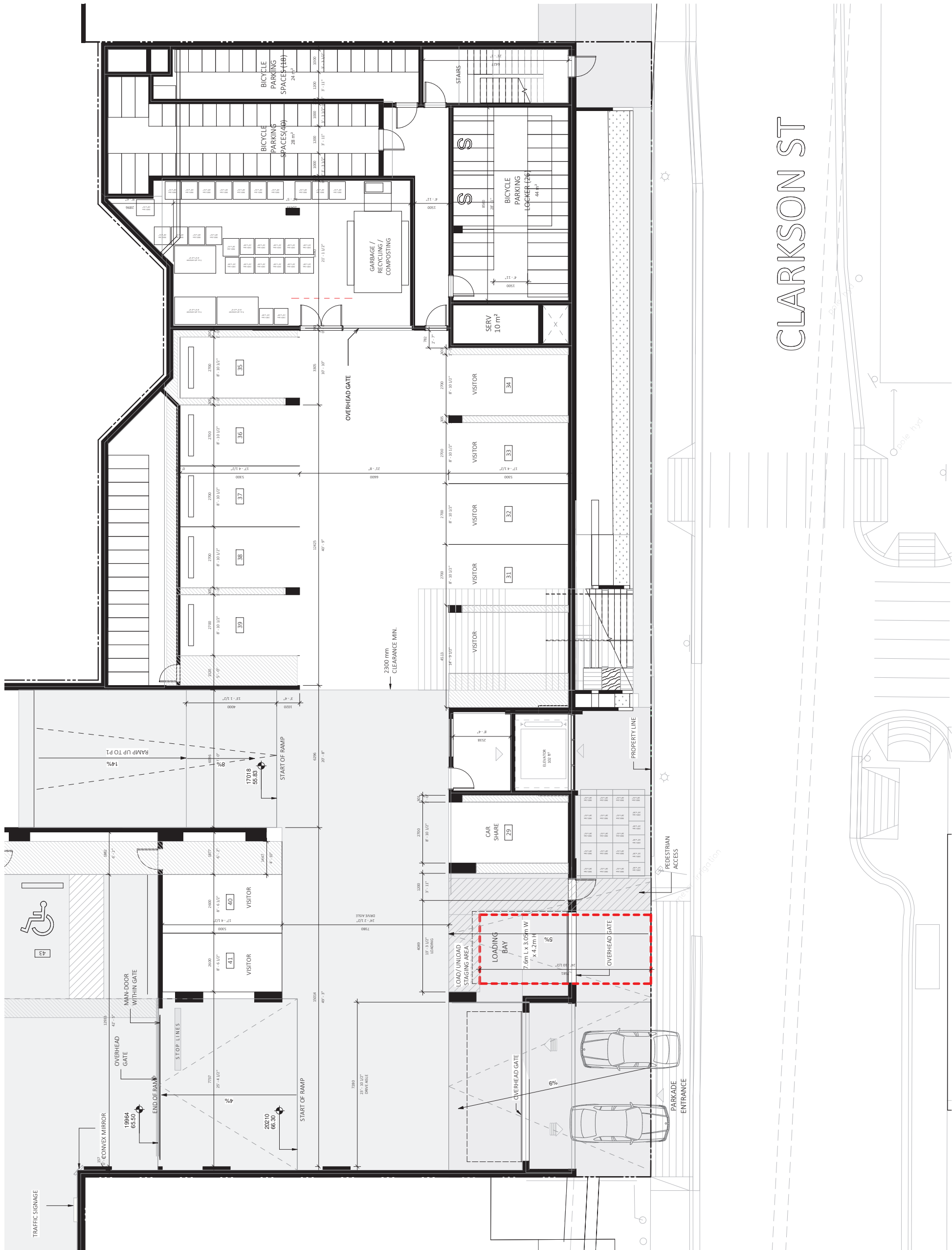
lot Date: 022-05-31 3:18:57 F

Graphic Scale:

scale: 1:75

No.: 22102

A 204.1



Notes

1	2022-05-06	REVISION: INITIAL DESIGN AGREEMENT
2	2022-05-17	AKC SUBMISSION RESPONSE
3	2022-10-20	AKC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Camarvon St

Sheet Title:
Floor Plan- P1

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Draw by: KC
Reviewed by: Checker

Date: 08/17/21
Plot Date: 2022-05-31 3:19:02 PM

Graphic Scale:

Scale: As Indicated
Drawing No.: 22102
Project No.: A 205

Parking, Loading, and Bicycle Space Plan

Proposed development to comply with the following section of the New Westminster Zoning Bylaw No.6680, 2001.
Parking spaces in accordance with Section 140.31
Accessible parking spaces in accordance with Section 145.6
Loading spaces in accordance with Section 160.7
Bicycle spaces in accordance with 150.9, 150.15, 150.16

PARKING SPACES P1

Level P1 1/2	
Standard	12
Small	2
Level P1 1/2: 14	

Level P1	
Standard	3
Small	9
Accessible	2
Level P1: 14	

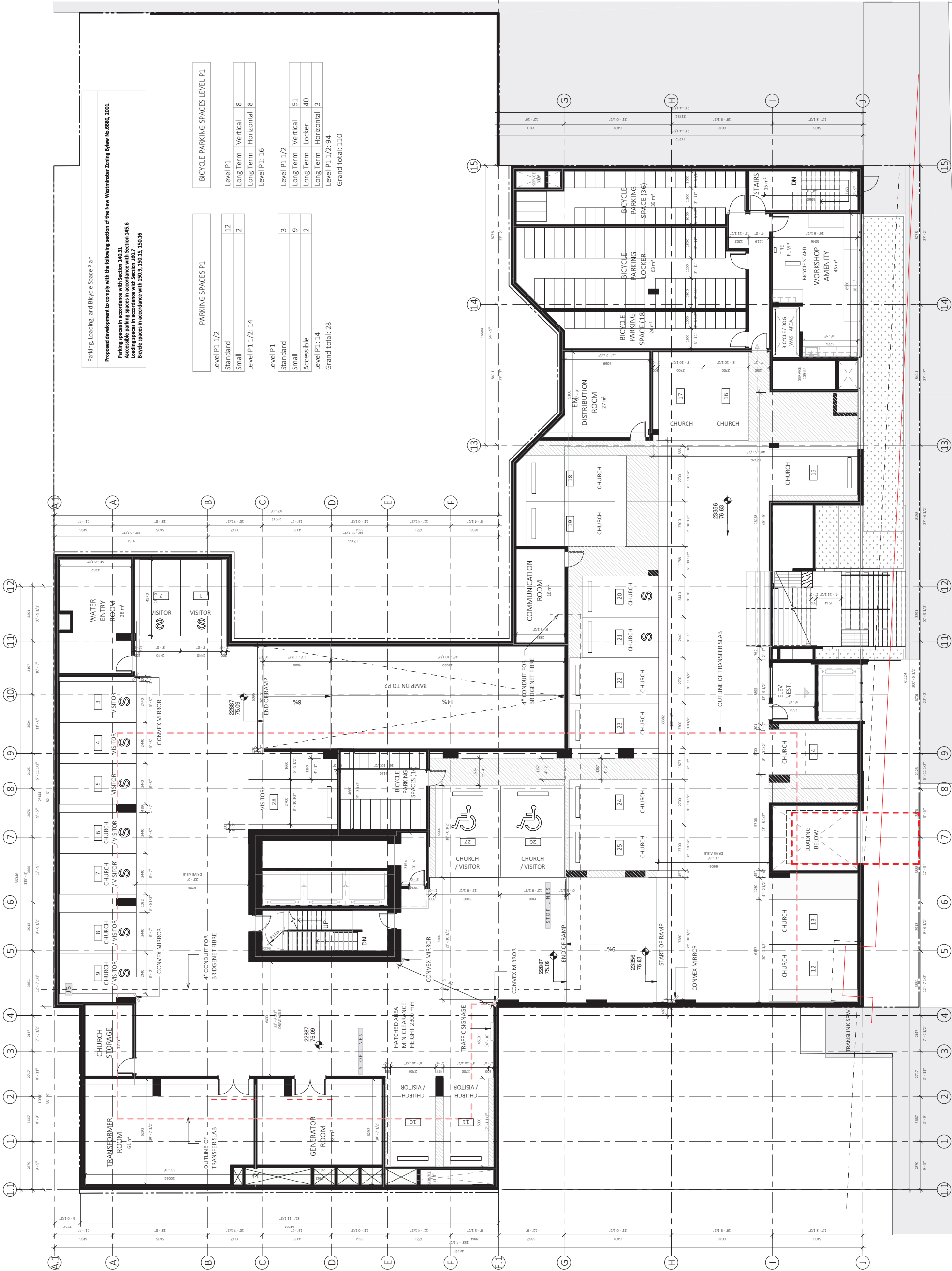
Grand total: 28

BICYCLE PARKING SPACES LEVEL P1

Level P1		
Long Term	Vertical	8
Long Term	Horizontal	8

Level P1 1/2		
Long Term	Vertical	51
Long Term	Locker	40

Grand total: 110



Notes

3	2022-05-08	RE-BYLINE DRAFTING AGREEMENT
2	2022-03-31	AKC SUBMISSION RESPONSE
1	2021-10-31	AKC SUBMISSION

No. Date Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Camanov St

Sheet Title:
Floor Plan- Level 1

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Draw by: KC
Reviewed by: Checker

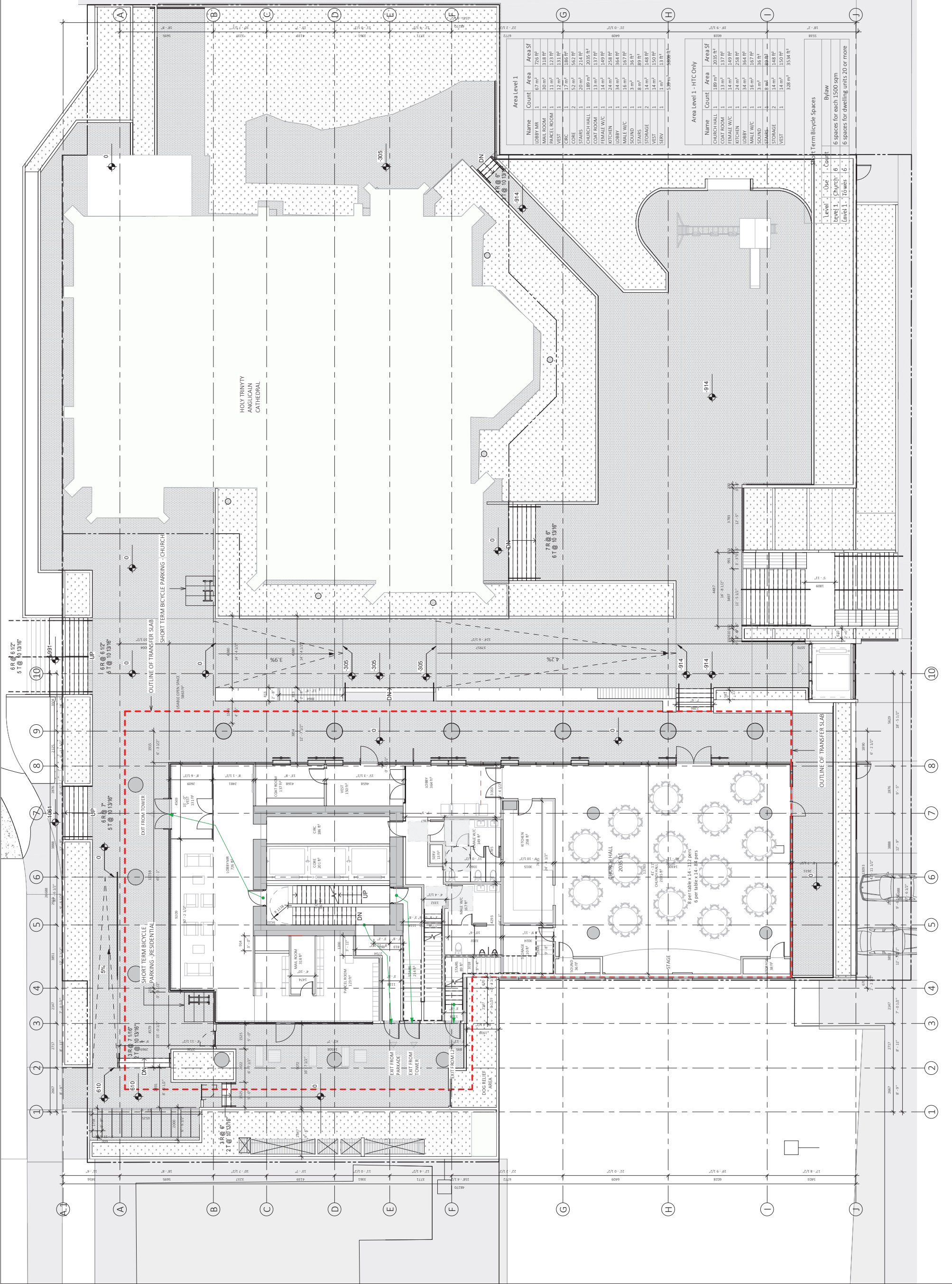
Date: 08/17/21
Plot Date: 2022-05-31 3:18:09 PM

Graphic Scale:

Scale: 1" = 100'

Project No.: 22102

A 206



Area Level 1			
Name	Count	Area	Area Sf
LOBBY MR	1	67 m²	726 ft²
MAIL ROOM	1	30 m²	318 ft²
PARCEL ROOM	1	11 m²	123 ft²
VEST	1	12 m²	131 ft²
CIRC	1	17 m²	186 ft²
CORE	2	52 m²	562 ft²
STAIRS	1	20 m²	214 ft²
CHURCH HALL	1	89 m²	959 ft²
CHURCH COOL	1	14 m²	151 ft²
MALE W/C	1	14 m²	149 ft²
KITCHEN	1	24 m²	258 ft²
LOBBY	1	34 m²	364 ft²
MALE W/C	1	16 m²	167 ft²
SOUND	1	3 m²	36 ft²
STAIRS	1	8 m²	89 ft²
STORAGE	2	14 m²	148 ft²
VEST	1	14 m²	150 ft²
SERV	1	1 m²	13 ft²
		5.39 m²	58.09 ft²

Area Level 1 - HTCC Only			
Name	Count	Area	Area Sf
CHURCH HALL	1	89 m²	959 ft²
CHURCH COOL	1	14 m²	151 ft²
FEMALE W/C	1	14 m²	149 ft²
KITCHEN	1	24 m²	258 ft²
LOBBY	1	34 m²	364 ft²
MALE W/C	1	16 m²	167 ft²
SOUND	1	3 m²	36 ft²
STAIRS	1	8 m²	89 ft²
STORAGE	2	14 m²	148 ft²
VEST	1	14 m²	150 ft²
		328 m²	3534 ft²

Short Term Bicycle Spaces

Level	Use	Count	Bylaw
Level 1 - Church	6	6	5 spaces for each 1500 sqm
Level 1 - Tower	16	16	5 spaces for dwelling units 20 or more

	2022-05-06	HERITAGE REVITALIZATION AGREEMENT
	2021-10-19	APC SUBMISSION
No.	Date	Description

No.	Date	Description
	2021-10-19	APC SUBMISSION

No.	Date	Description
	2021-10-19	APC SUBMISSION

Project Title:

**The Holy Trinity Anglican
Cathedral Renewal**

Client: Conwest

Sheet Title: Floor Plan- Level 2

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Draw by: KC
Project North:

Reviewed by: Checker

Date: 08/18/21

Plot Date: 2/22/05 3:19:14 PM

Graphic Scale:

Scale:	Drawing No.:
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1:100

A 207



Notes

No.	Date	Description
1	2022-10-28	AKC SUBMISSION

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest

514 Camanvon St

Sheet Title:
Floor Plan- Level 3

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Draw by: XZ
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 3:18:19 PM



Graphic Scale:

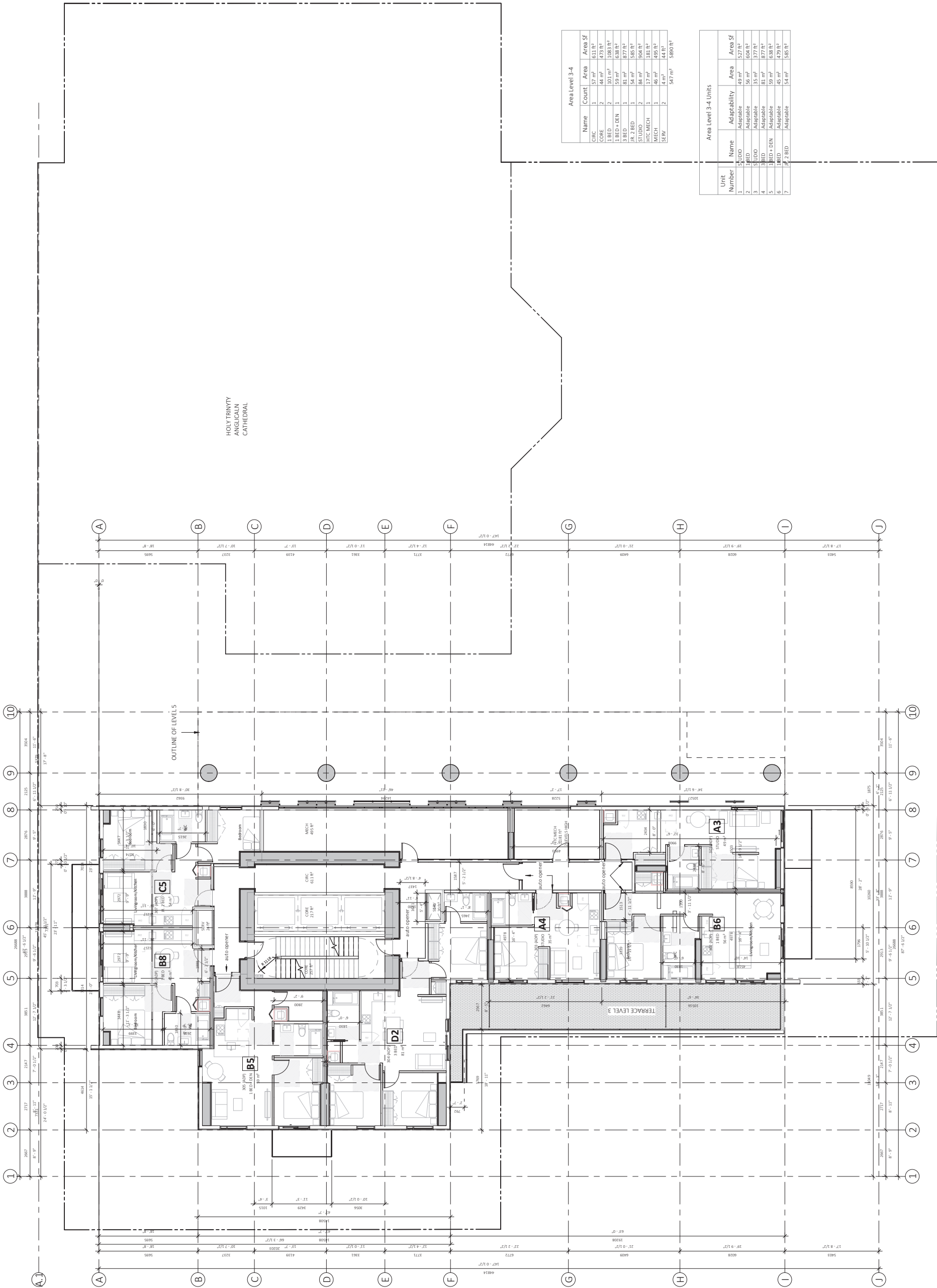
Scale: 1:100

Drawing No:

Project No:

22102

A 208



Area Level 3-4			
Name	Count	Area	Area Sf
CIRC	1	57 m²	611 ft²
CORE	2	44 m²	473 ft²
1 BED	2	101 m²	1083 ft²
1 BED + DEN	1	59 m²	638 ft²
3 BED	1	81 m²	877 ft²
JR. 2 BED	1	54 m²	585 ft²
STUDIO	2	84 m²	904 ft²
HTC MECH	1	17 m²	181 ft²
MECH	1	46 m²	495 ft²
SERV	2	4 m²	44 ft²
		547 m²	5890 ft²

Area Level 3-4 Units				
Unit Number	Name	Adaptability	Area	Area Sf
1	STUDIO	Adaptable	49 m²	527 ft²
2	1 BED	Adaptable	56 m²	604 ft²
3	STUDIO	Adaptable	35 m²	377 ft²
4	3 BED	Adaptable	87 m²	81 ft²
5	1 BED + DEN	Adaptable	59 m²	638 ft²
6	1 BED	Adaptable	45 m²	479 ft²
7	JR. 2 BED	Adaptable	54 m²	585 ft²

Notes

3	2022-05-08	HERITAGE RENEWAL/ADAPTATION AGREEMENT
1	2021-10-29	AKC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Carnarvon St

Sheet Title:
Floor Plan- Level 4

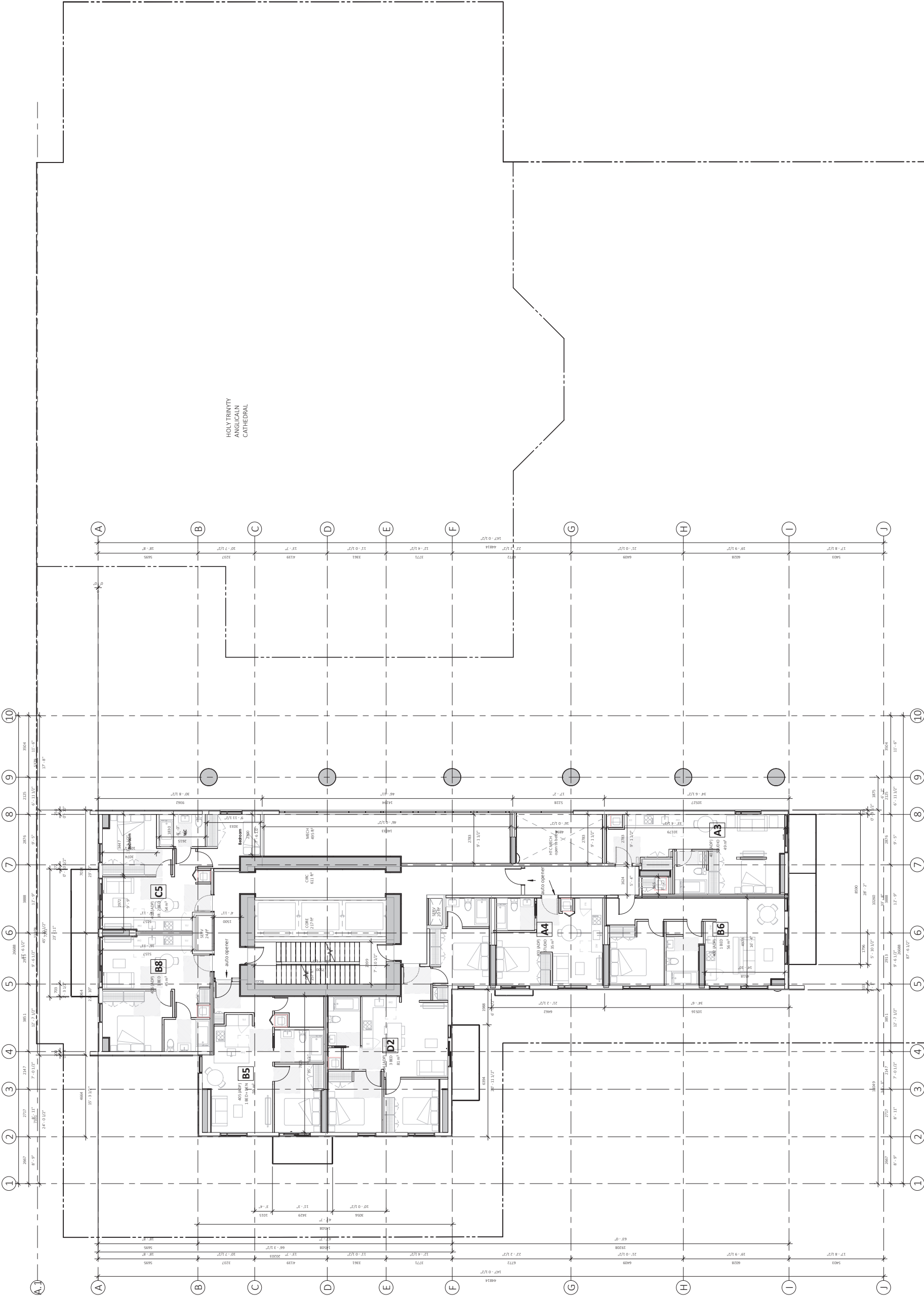
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Draw by:	XZ	Project North:
Reviewed by:	Checker	
Date:	10/12/21	
Plot Date:	2022-05-31 3:19:23 PM	



Graphic Scale:

Scale:	1:100	Drawing No.:
Project No.:	22102	A 209



Notes

3	2022-05-06	HERITAGE EVALUATION AGREEMENT
1	2021-10-09	AKC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

514 Camanvon St
Client: Convest

Sheet Title:
Floor Plan- Level 5

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Draw by: XZ
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 3:19:28 PM



Graphic Scale:

Scale: 1:100
Project No.: 22102
Drawing No.: A 210

Area Level 5-7			
Name	Count	Area	Area Sf
CBC	3	60 m²	643 ft²
CORE	2	43 m²	467 ft²
1 BED	4	176 m²	1895 ft²
1 BED + DEN	2	115 m²	1239 ft²
2 BED	2	142 m²	1531 ft²
3 BED	1	81 m²	875 ft²
JR. 2 BED	1	58 m²	630 ft²
STUDIO	1	33 m²	359 ft²
SERV	2	4 m²	46 ft²
		714 m²	7686 ft²

Area Level 5-7 Units			
Unit Number	Name	Adaptability	Area
1	1 BED + DEN	No	56 m²
2	STUDIO	No	33 m²
3	1 BED	Adaptable	52 m²
4	2 BED	No	71 m²
5	2 BED	Adaptable	71 m²
6	2 BED	No	35 m²
7	3 BED	Adaptable	81 m²
8	1 BED + DEN	Adaptable	55 m²
9	1 BED + DEN	No	45 m²
10	1 BED	No	45 m²
11	JR. 2 BED	No	58 m²

HOLY TRINITY
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Notes

3	2022-05-08	HERITAGE RENEWAL/RENOVATION AGREEMENT
1	2021-10-29	AKC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Carnarvon St
Vancouver BC V6S 2W7 CANADA

Sheet Title:
Floor Plan- Level 6-7

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Graphic Scale:

Scale: 1:100
Drawing No.:
Project No.: 22102
A 211

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Notes

3	2022-05-06	RENTAL AGREEMENT
1	2021-10-28	AKS SUBMISSION

No.	Date	Description
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Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Conwest
514 Cameron St

Sheet Title:
Floor Plan- Level 8-28

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Reviewed by: Checker

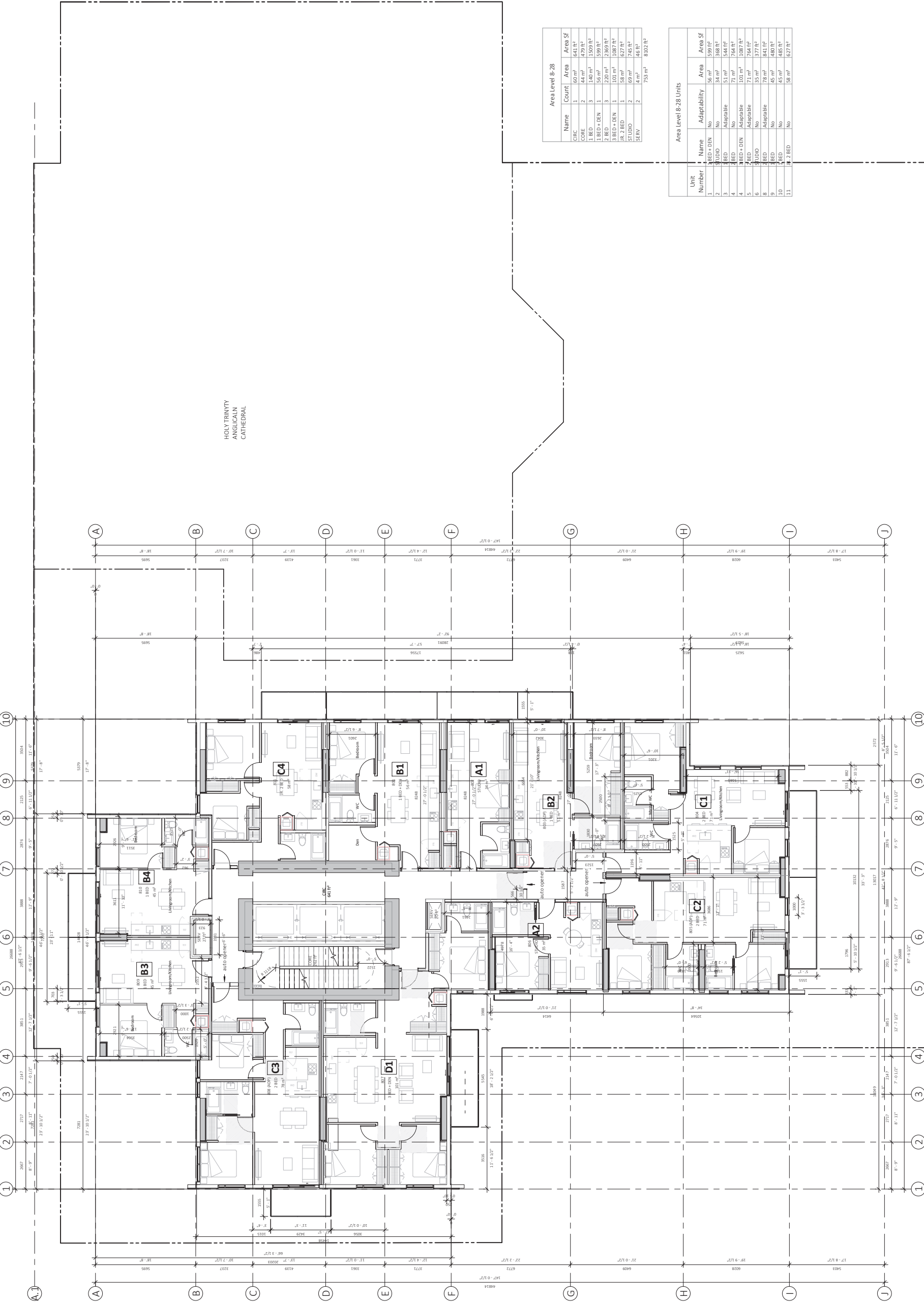
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Plot Date: 2022-05-31 3:19:36 PM

Graphic Scale:

Scale: 1:100

Project No.: 22102

Drawing No.: A 212



Notes

3	2022-05-08	HERITAGE RENTAL/OWNERS AGREEMENT
4	2021-10-29	AKC SUBMISSION
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Cameron St

Sheet Title:
Floor Plan- Level 29

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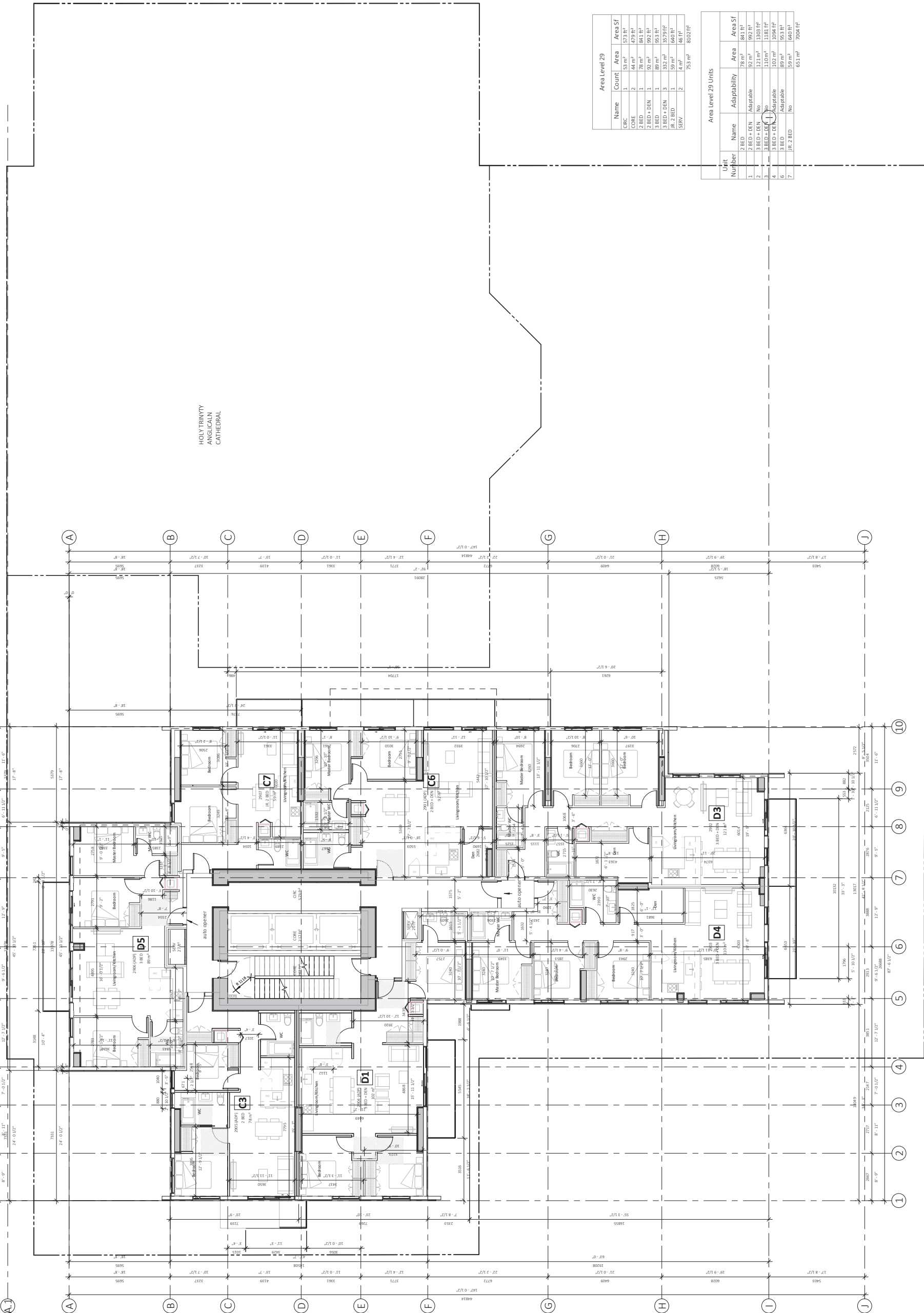


Graphic Scale:

Scale: 1:100
Drawing No.: 22102
Project No.: A 213

Area Level 29			
Name	Count	Area	Area Sf
CIRC	3	53 m²	573 ft²
CORE	2	44 m²	473 ft²
2 BED	1	78 m²	841 ft²
2 BED + DEN	1	92 m²	992 ft²
3 BED	1	89 m²	953 ft²
3 BED + DEN	3	332 m²	3579 ft²
JR. 2 BED	1	59 m²	640 ft²
SERV	2	4 m²	46 ft²
		753 m²	8102 ft²

Area Level 29 Units			
Unit	Name	Adaptability	Area
1	2 BED	Adaptable	78 m²
2	2 BED + DEN	Adaptable	92 m²
3	3 BED + DEN	No	122 m²
4	3 BED + DEN	No	110 m²
5	3 BED + DEN	Adaptable	102 m²
6	3 BED	Adaptable	89 m²
7	JR. 2 BED	No	59 m²
			653 m²



Notes

1	2022-05-06	MEETINGS INVITATION/AGREEMENT
2	2022-03-17	AKC SUBMISSION RESPONSE
3	2022-10-29	AKC SUBMISSION

No.	Date	Description
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Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Camanvon St

Sheet Title:
Floor Plan- Level 30

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Reviewed by:	Checker	
Date:	08/17/21	
Plot Date:	2022-05-31 3:19:45 PM	

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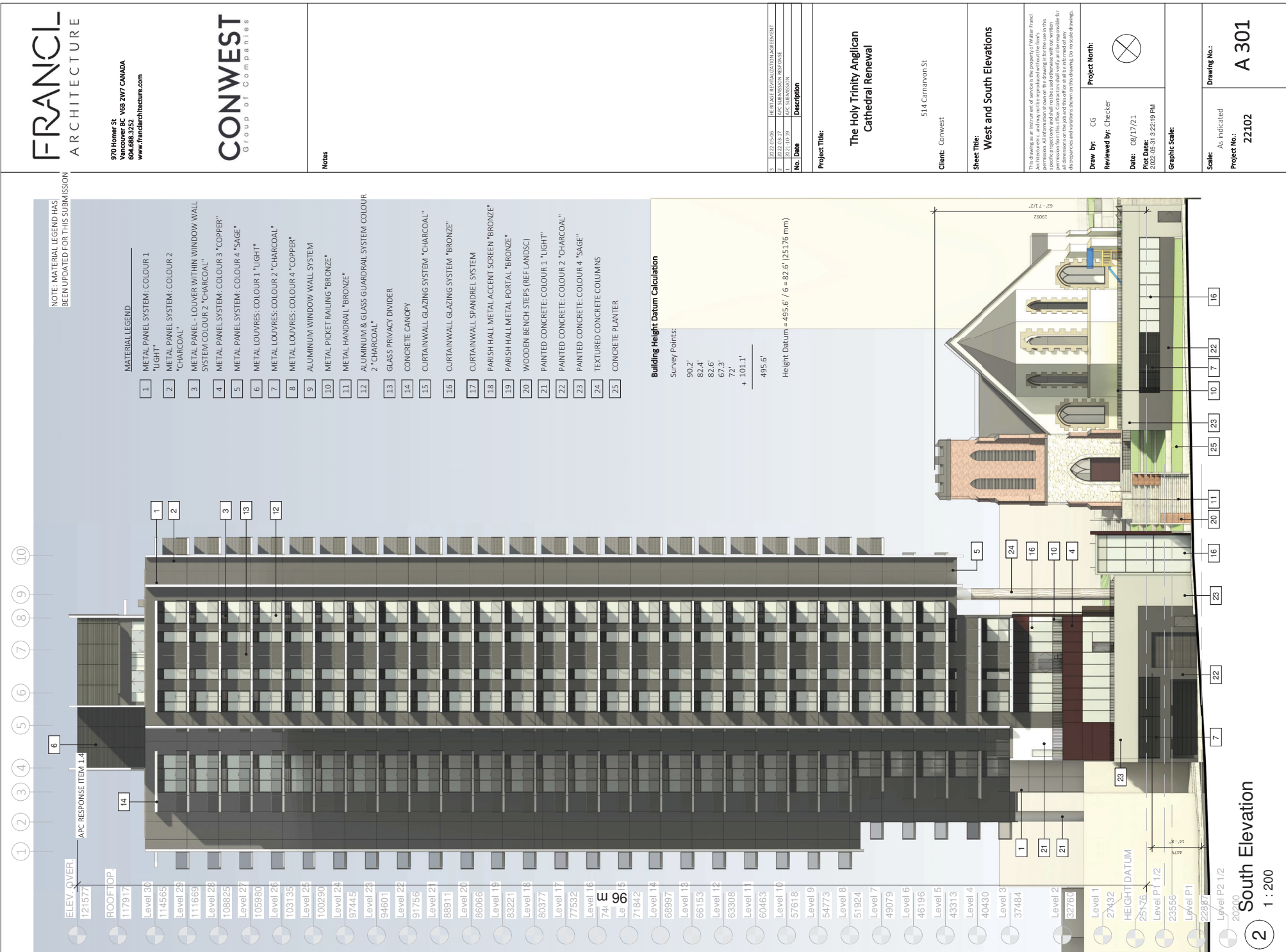
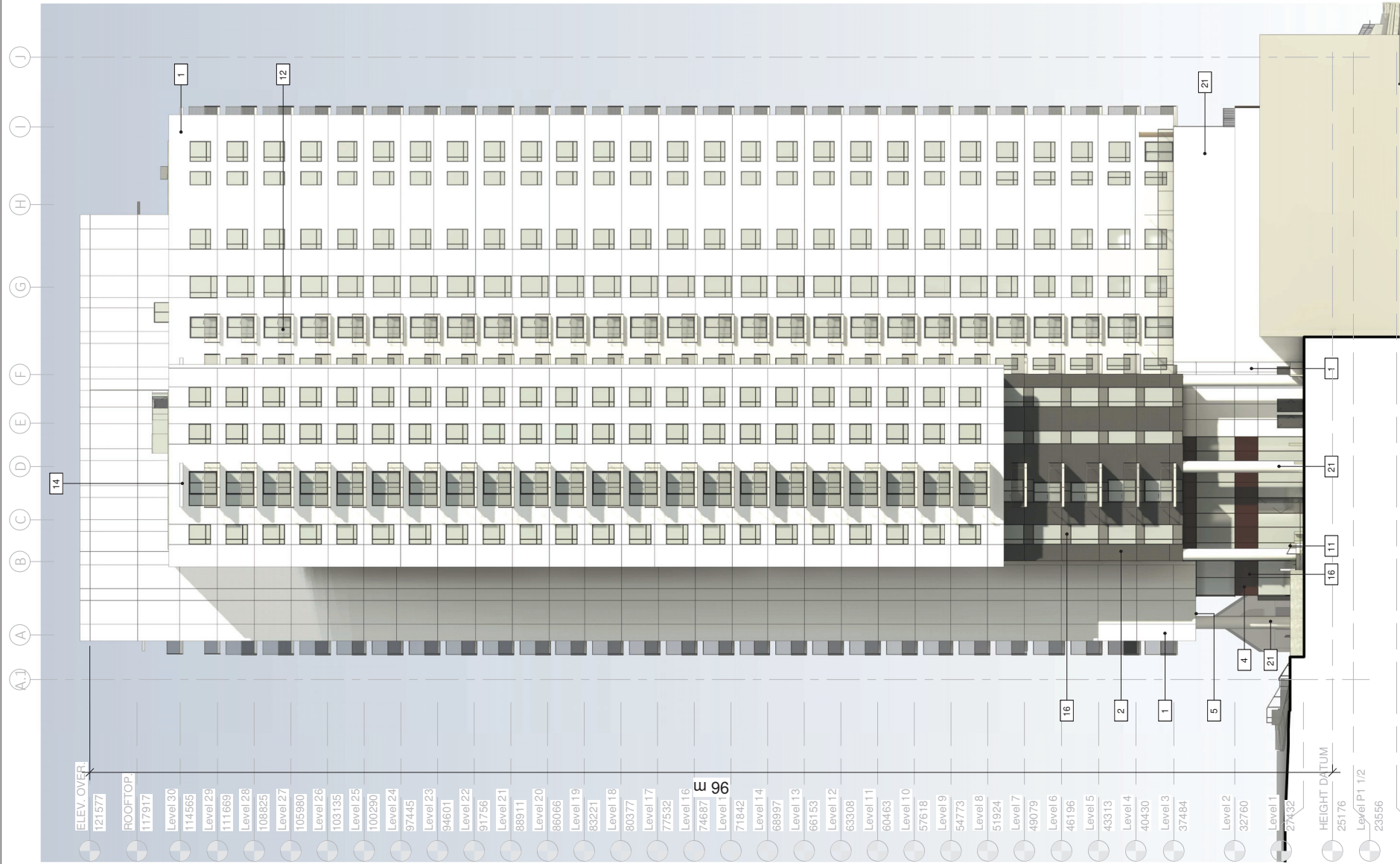
Scale:	1:100	Drawing No.:
Project No.:	22102	A 214

Area Level 30			
Name	Count	Area	Area Sf
Amenity	2	58 m²	625 ft²
GYM	1	113 m²	1228 ft²
LOUNGE	1	110 m²	1186 ft²
STORAGE	1	14 m²	147 ft²
W.C	2	19 m²	203 ft²
CORE	1	43 m²	465 ft²
SERV	2	4 m²	44 ft²
		374 m²	4031 ft²

Area Level 30 Occupancy			
Occupancy	Area	Area Sf	
Amenity Residential	288 m²	3100 ft²	
Circulation	6 m²	65 ft²	
Services	5 m²	54 ft²	
	374 m²	4031 ft²	

1

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970 Homer St
Vancouver BC V6S 2W7 CANADA
604.688.3252
www.franclarchitecture.com

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Notes

1	2022-05-06	PERMIT APPLICATION AGREEMENT
2	2022-03-17	APC SUBMISSION RESPONSE
3	2022-10-09	APC SUBMISSION

No.	Date	Description
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Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Camanvon St

Sheet Title:
West and South Elevations

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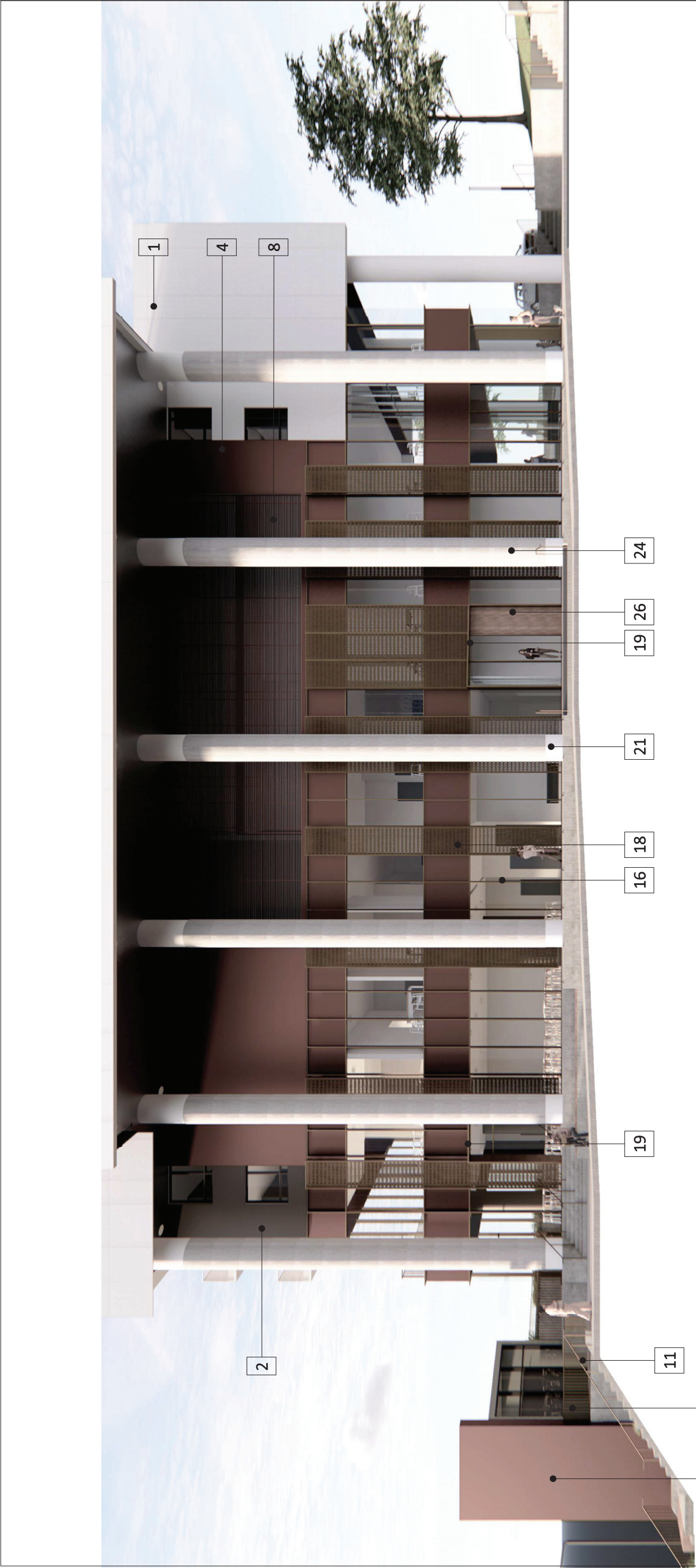
Draw by: CG
Reviewed by: Checker

Date: 08/17/21
Plot Date: 2022-05-31 3:22:19 PM

Graphic Scale:



Scale: As Indicated
Drawing No.: 22102
Project No.: A 301



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Vancouver BC V6B 2W7 CANADA
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Notes

MATERIAL LEGEND

- 1
- METAL PANEL SYSTEM: COLOUR 1 "LIGHT"
- 2
- METAL PANEL SYSTEM: COLOUR 2 "CHARCOAL"
- 4
- METAL PANEL SYSTEM: COLOUR 3 "COPPER"
- 8
- METAL LOUVRES: COLOUR 4 "COPPER"
- 10
- METAL PICKET RAILING "BRONZE"
- 11
- METAL HANDRAIL "BRONZE"
- 16
- CURTAINWALL GLAZING SYSTEM "BRONZE"
- 17
- CURTAINWALL SPANDREL SYSTEM
- 18
- PARISH HALL METAL ACCENT SCREEN "BRONZE"
- 19
- PARISH HALL METAL PORTAL "BRONZE"
- 21
- PAINTED CONCRETE: COLOUR 1 "LIGHT"
- 24
- TEXTURED CONCRETE COLUMNS
- 26
- WOOD DOOR

1	2022-05-06	HERITAGE EVALUATION AGREEMENT
2	2022-03-17	AKC SUBMISSION RESPONSE
No.	Date	Description

Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Camarvon St

Sheet Title:
Enlarged Plaza Elevation

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Draw By: Author	Project North:
Reviewed by: Checker	
Date: 03/17/22	
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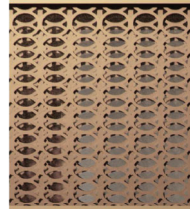
Graphic Scale:

Scale: 1:1	Drawing No:
Project No: 22102	A 302



16 CURTAIN WALL GLAZING SYSTEM "BRONZE"

19 PARISH HALL METAL PORTAL "BRONZE"



18 PARISH HALL METAL ACCENT
SCREEN "BRONZE"

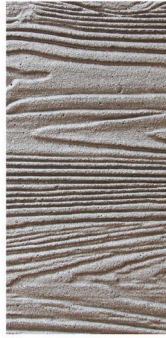


26 WOOD DOOR



4 METAL PANEL SYSTEM: COLOUR 3 "COPPER"

8 METAL LOUVRES: COLOUR 3 "COPPER"



24 FORMLINED TEXTURED CONCRETE COLUMNS



10 METAL PICKET RAILING "BRONZE"

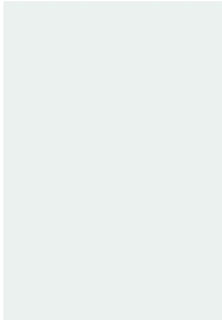
11 METAL HANDRAIL "BRONZE"

18 PARISH HALL METAL ACCENT SCREEN
"BRONZE"

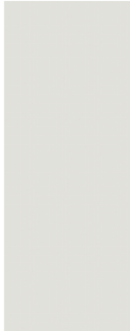
19 PARISH HALL METAL PORTAL "BRONZE"



2 METAL PANEL SYSTEM: COLOUR 2 "CHARCOAL"



21 PAINTED CONCRETE: COLOUR 1 "LIGHT"
BENJAMIN MOORE 2122-60 PALEST PISTACHIO



1 METAL PANEL SYSTEM: COLOUR 1 "LIGHT"



22 PAINTED CONCRETE: COLOUR 2 "CHARCOAL"
BENJAMIN MOORE 2132-30 BLACK HORIZON

Notes

3	2022-05-08	HERITAGE RENTAL/ADDITION AGREEMENT
1	2021-10-09	AKC SUBMISSION

No.	Date	Description
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Project Title:

The Holy Trinity Anglican
Cathedral Renewal

Client: Convest
514 Camanvon St

Sheet Title:

Sections

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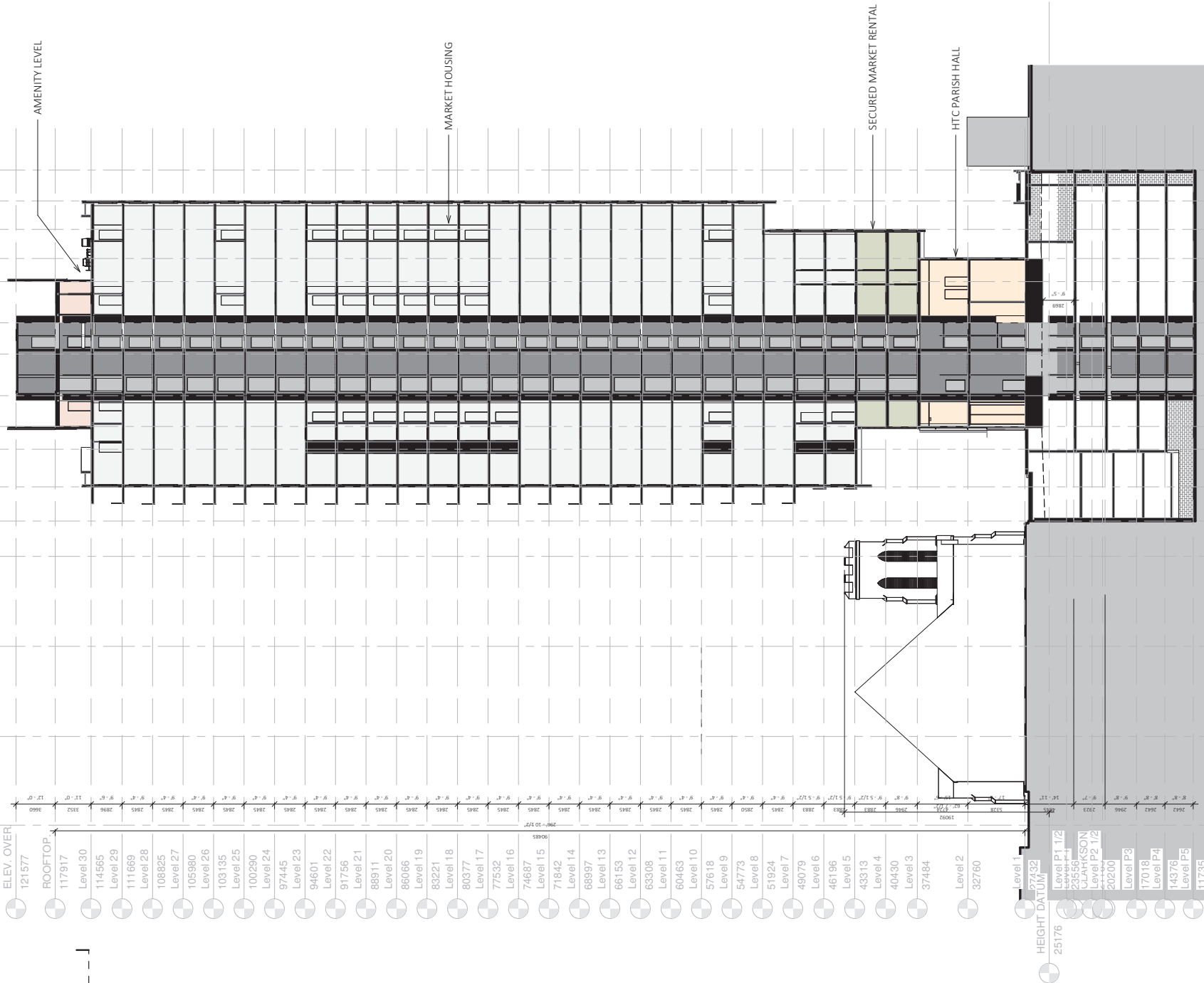
Graphic Scale:

Project North:



Section E-W

1 : 230



L-1.1	Ground Level, Layout and Materials Plan	$1/16" = 1' 0"$	L-2.2	Landscape sections	$1/4" = 1'$
L-1.2	Ground Level, North, Garding and Drainage Plan	$1/8" = 1' 0"$	L-2.3	Landscape sections	$1/4" = 1'$
L-1.3	Ground Level, South, Garding and Drainage Plan	$1/8" = 1' 0"$	L-2.4	Landscape sections	$1/4" = 1'$
L-1.4	Ground Level, North, Planting Plan	$1/8" = 1' 0"$	L-3.1	Landscape details	As shown
L-1.5	Ground Level, South, Planting Plan	$1/8" = 1' 0"$	L-3.2	Landscape details	As shown
L-1.6	Ground Level, South, Planting Plan	$1/8" = 1' 0"$	L-3.3	Landscape details	As shown
L-2.1	Roofplan, Landscape Plan	$1/4" = 3' 0"$	L-3.4	Landscape details	As shown

GENERAL NOTES

1. Refer to architectural drawings for all walls and stair layout and elevations, unless otherwise noted.
2. Refer to architectural and mechanical drawings for all drain locations and rim elevations.

1. Refer to architectural drawings for all walls and stair layout and elevations, unless otherwise noted.
2. Refer to architectural and mechanical drawings for all drain locations and rim elevations.

1. All plants / planting to be per BCNTA and BCSLA standards.
2. Plant selection subject to availability at the time of planting.

1. All growing medium placed on project to meet or exceed BCNTA and B.C. Landscape Standards latest edition.
2. Submit sieve analysis by an approved independent soil testing laboratory for each type of growing medium being used on

1. All 'Soft Landscape Areas' are to be irrigated with a high efficiency irrigation system specified in all common areas, including townhouse frontages, lane planting and upper terrace areas.

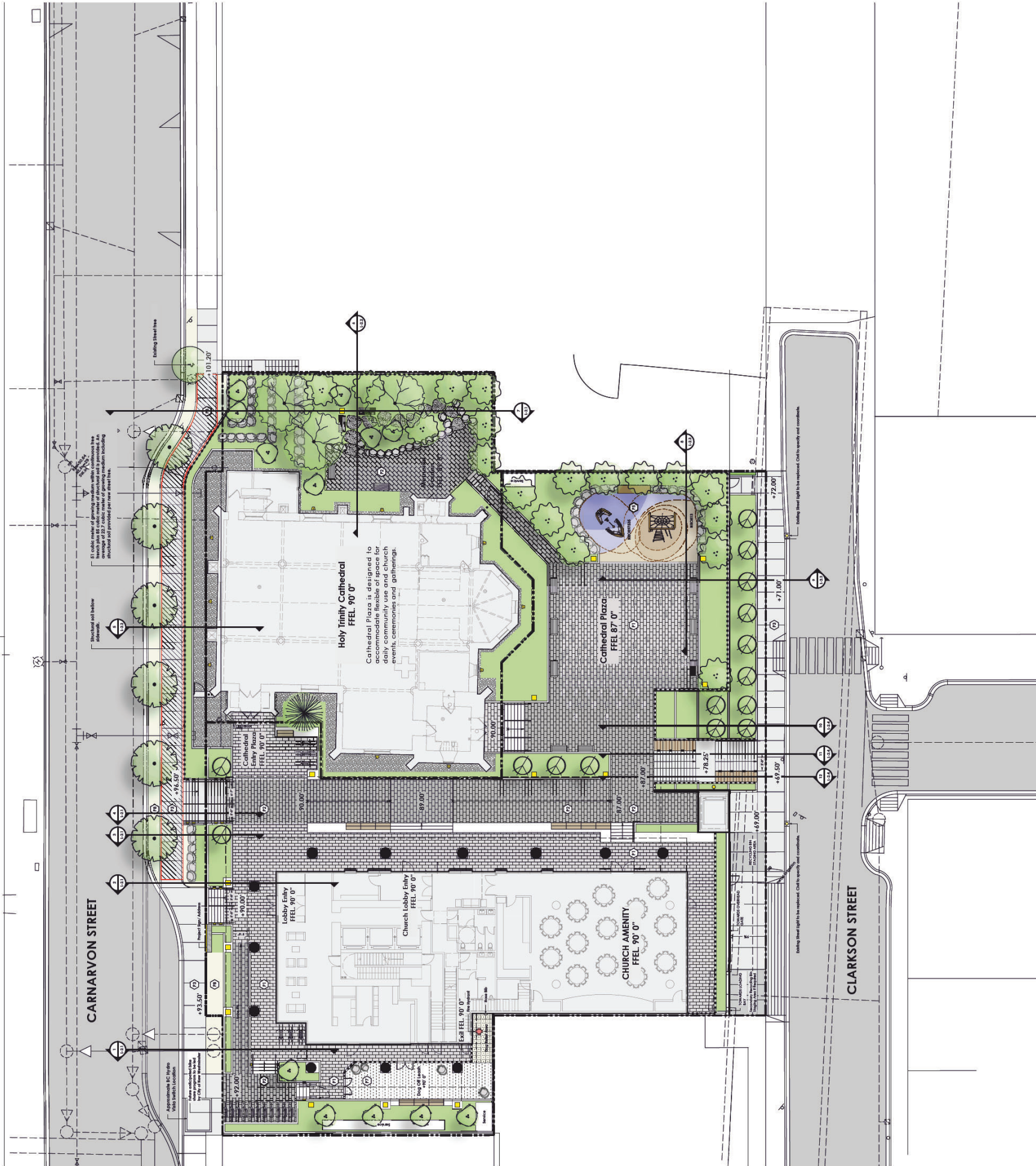
TREES		COMMON NAME		SIZE/COMMENTS	
SYMBOL	QTY				
	12	Acer Circinalum	vine maple	4m cal. Multi-stem	
	3	Fraxinus Americana	American ash	7cm cal. B&B	
	18	Magnolia Galaxy	magnolia galaxy	5cm cal. Multi-stem	
	6	Magnolia Kobus	magnolia kobus	5cm cal	
	1	Picea omorika	Serbian spruce	3m Ht. B&B	
	15	Sorbus aria 'Lutescens'	whitebeam	5cm cal	
	6	Street Trees. (Species to be coordinated w/ City of New Westminster) w/ no avoid conflicts with civil utilities servicing building (6.70m o.c. typ.)			
SHRUBS, FERNS, PERENNIALS, GROUND COVERS & GRASSES					
BOTANICAL NAME		COMMON NAME		SIZE/COMMENTS	
Azalea	'Gumpo White'	Gumpo White azalea		#2 Pol. 24" o.c.	
Azalea	'Fusion Pink'	Fusion Pink azalea		#2 Pol. 24" o.c.	
Chamaenerion	Redlion	Redlion		#3 Pol. 24" o.c.	
Chamaenerion	'Red Star'	Red Star		#3 Pol. 24" o.c.	
Chamaenerion	'Blue Diamond'	Blue Diamond		#3 Pol. 24" o.c.	
Chamaenerion	'Alena'	Alena		#3 Pol. 36" o.c.	
Rosa	'Tower Carpet White'	Tower Carpet White Rose		#2 Pol. 24" o.c.	
Adiantum	arrendis White	Ardisia bleeding heart		#1 pol. 12" o.c.	
Adiantum	arrendis White	Ardisia bleeding heart		#1 pol. 12" o.c.	
Erica	carnea	Springwood White Winter		#1 pol. 12" o.c.	
Lavender		English Lavender		#1 pol. 16" o.c.	
Lavender		Japanese purple		#1 pol. 17" o.c.	
Pachysandra	terminalis	Sword fern		#1 pol. 24" o.c.	
Pachysandra	terminalis	Sword fern		#1 pol. 24" o.c.	

Number of trees removed on site:	10
Number of trees removed off site:	2
Number of trees recommended on site by consulting Arborist (Arbotech): (1:2 ratio)	20
Number of trees recommended off site by consulting Arborist (Arbotech): (1:2 ratio)	4
Number of trees provided on-site:	55
Number of trees provided off-site:	6

	Broadway Pavement Colour: Natural Size: 23.62' x 11.81' x 2.36"		Sod Lawn
	Broadway Pavement Colour: Charcoal Size: 23.62' x 11.81' x 2.56"		Shrub Planting
	CIP Concrete (offsite). Refer to Civil. Saw cut as per plan.		Landscape Fence and Guardrails
	Wood decking		Property Line
	Poured in Place Rubber Safety Surface.		Existing Subway Line Below Surface
	Rubber Tiles Safety Surface.		Survey and Existing Grades
	Gravel		Survey and Existing Grades

	Wood Bench		Edge-fix pole-top luminaire with base by Bega Lighting. Finish: Anodized bronze. Refer to L3.3.
	Outdoor lounge furniture		Wall luminaire. Narrow beam downward by Bega Lighting. Finish: Anodized bronze. Refer to L3.3.
	Play Logs		Inground floodlight. Floods water by Bega Lighting. Finish: Anodized bronze. Refer to L3.3.
	Bike Stairs Advantage Hi-Lo		Recessed wall luminaire by Bega Lighting. Finish: Bronze. Refer to L3.1.

Type A	R @ 5"	1 @ 12"		Existing Street Light to be replaced. Civil to specify and coordinate.
Type 8	R @ 7"	1 @ 11"		Existing Street Light.



No	Date	Description
1	11.09.2017	RECEIVED FROM THE PFC COMMITTEE
2	03.04.2018	RECEIVED FROM THE PFC COMMITTEE
3	11.05.2018	RECEIVED FROM THE PFC COMMITTEE
4	01.02.2019	RECEIVED FROM THE PFC COMMITTEE
5	01.03.2019	RECEIVED FROM THE PFC COMMITTEE
6	16.10.2021	RECEIVED FROM THE PFC COMMITTEE
7	12.11.2021	RECEIVED FROM THE PFC COMMITTEE
8	17.03.2022	RECEIVED FROM THE PFC COMMITTEE
9	06.05.2022	RECEIVED FROM THE PFC COMMITTEE
10	31.05.2022	RECEIVED FROM THE PFC COMMITTEE

Project Title

**THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 514 CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 74708
NEW WESTMINSTER**

Sheet Title:
**GROUND LEVEL
LAYOUT AND MATERIALS PLAN**

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Drawn By:

Reviewed by:

RSS

PK

APPROVALS

Graphic Scale

Scale:

Project No.:

L-1.1

121701

Project No.:

No	Date	Description
1	11/03/2017	RECEIVED PAYMENT FROM THE GOVT OF NAGALAND
2	03/04/2018	RECEIVED PAY
3	11/05/2018	RECEIVED FOR GP
4	01/02/2019	RECEIVED FOR COORDINATION
5	11/03/2019	RECEIVED FOR ACTIVITY FOR PLANNED COMMISSION
6	18/10/2021	RECEIVED FOR ACTIVITY FOR PLANNED COMMISSION
7	12/11/2021	RECEIVED FOR ACTIVITY FOR PLANNED COMMISSION
8	17/03/2022	RECEIVED FOR ACTIVITY FOR PLANNED COMMISSION
9	08/05/2022	RECEIVED FOR COMBINED AGENT SET
10	31/05/2022	RECEIVED FOR ACTIVITY COMBINED REVENUE

Revisions / Issues:

Project Title

**THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 514 CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 74708
NEW WESTMINSTER**

Sheet Title:
GROUND LEVEL, NORTH
GRADING AND DRAINAGE

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Drawn By:

Reviewed by:

Date:

Plot Date:



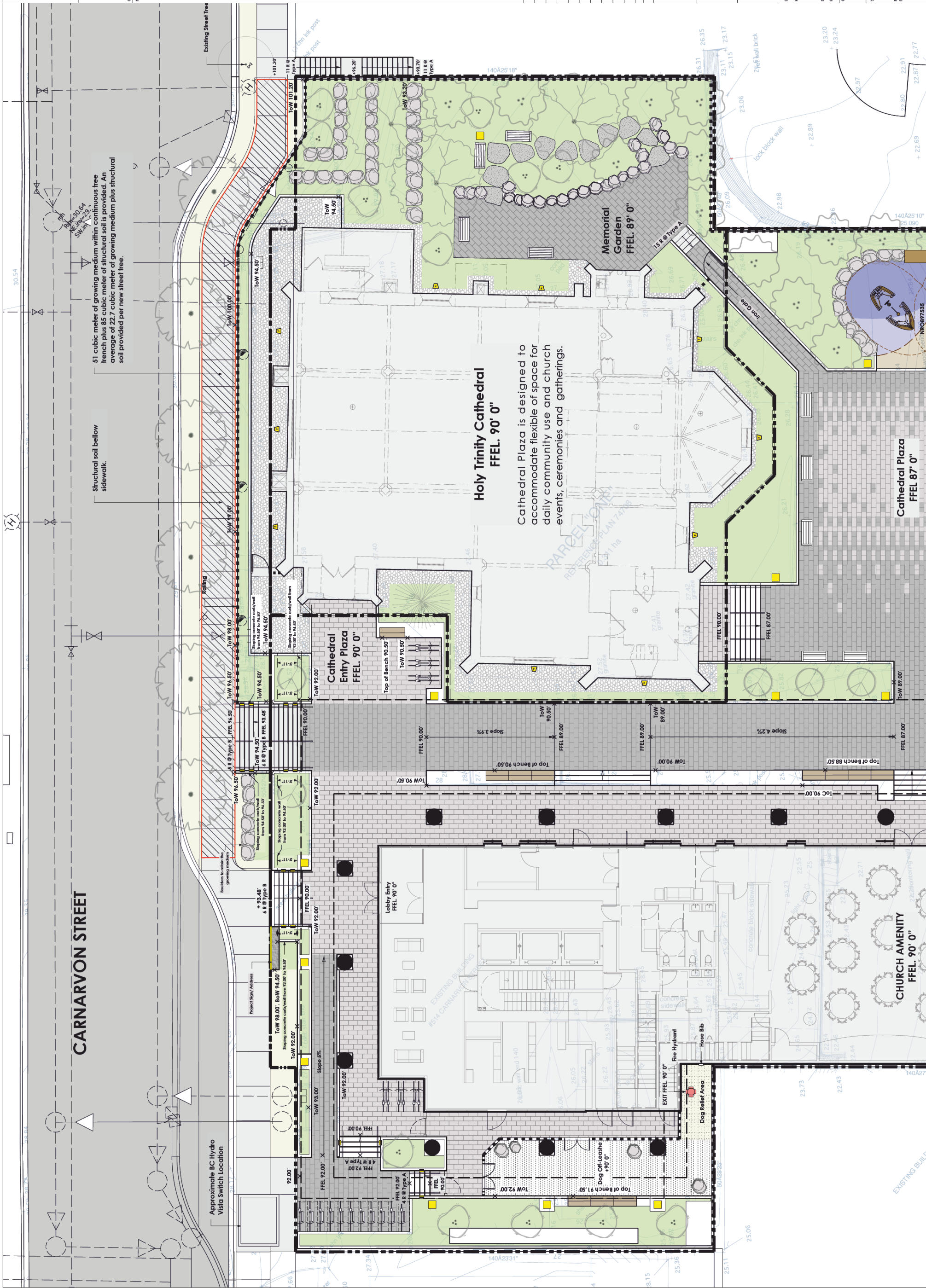
Project North

Scale: 1/8" = 1'-0"

Project No.: 401708

Project No. alt: 17081

Drawing No. L-1.2



No	Date	Subject	Remarks
10	31/05/2022	REVIEW FOR PPT COMMENTS RE: RENEWAL	
9	06/05/2022	REVIEW FOR COMPLETED AND SET	
8	17/03/2022	REVIEW FOR PPT RE: RENEWAL	
7	12/11/2021	REVIEW FOR ADJUSTMENT PLANNING COMMISSION	
6	18/10/2021	REVIEW FOR ADJUSTMENT PLANNING COMMISSION	
5	11/03/2019	REVIEW FOR ADJUSTMENT PLANNING COMMISSION	
4	01/02/2019	REVIEW FOR ADJUSTMENT PLANNING COMMISSION	
3	11/05/2018	REVIEW FOR PPT	
2	03/04/2018	REVIEW FOR PPT	
1	11/09/2017	REVIEW FOR PPT AND ADJUSTMENT PLANNING COMMISSION	
No	Date	Description	

Revisions / Issues:	Project Title
	THE HOLY TRINITY ANGLICAN CATHEDRAL RENEWAL 514 CARNARVON STREET LOT ONE OF VICTORIA GARDENS 74708 NEW WESTMINSTER

Sheet Title: **GROUND LEVEL, SOUTH,
GRADING AND DRAINAGE PLAN**

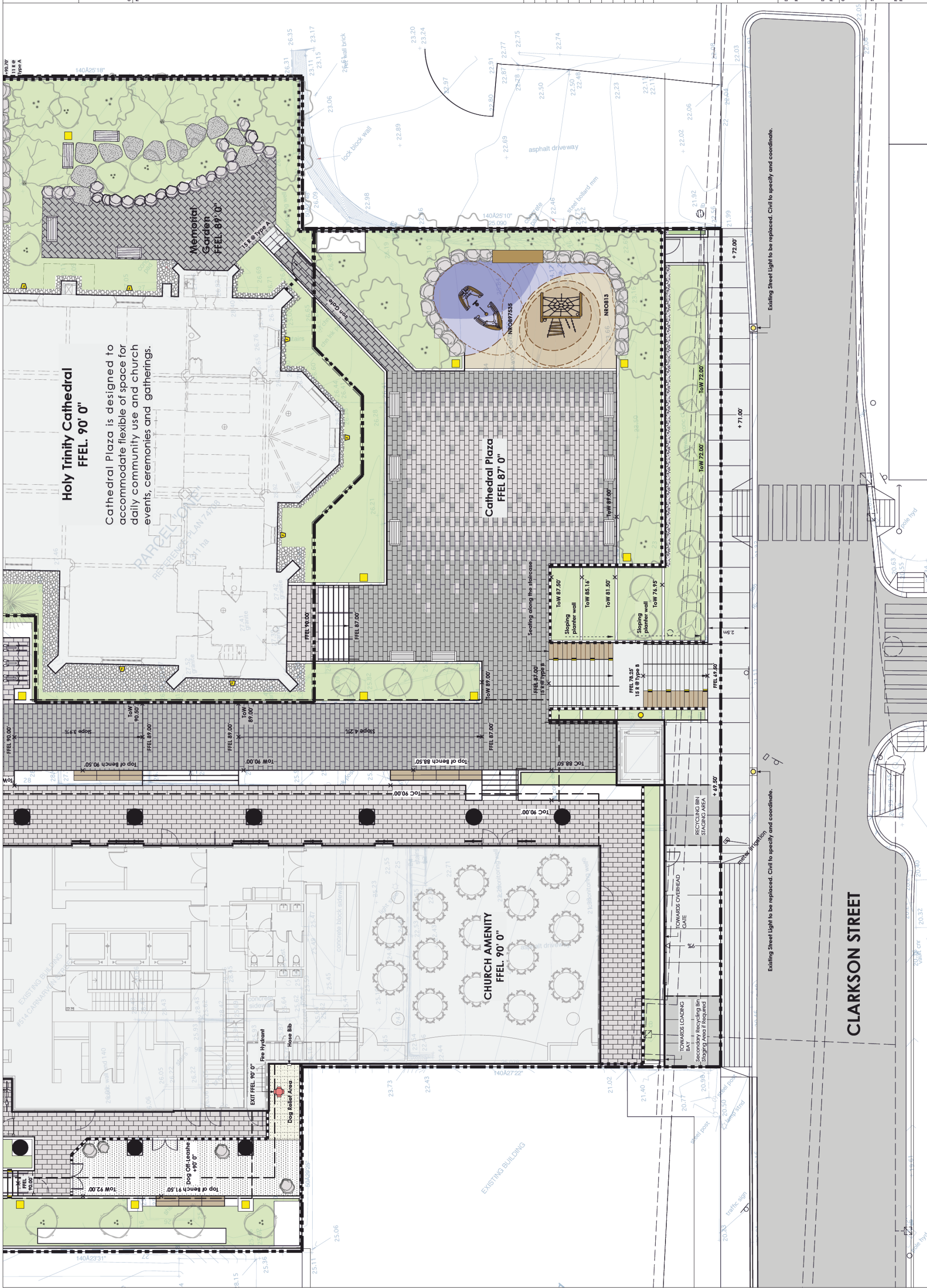
This drawing as an instrument of service is the property of Walker Franel Architect Inc. and may not be reproduced without the firm's permission. All information shown on the drawing is for the use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job and this office shall be informed of any discrepancies and variations shown on this drawing. Do not scale drawings.

Drawn By: Reviewed by: Date: Plot Date:	Project North 
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Scale: 1/8" = 1'-0"

Drawing No. L - 1.3

Project No. 621726



No.	Date	Description
1	11/03/2017	RECEIVED PAYMENT FOR AMENDMENT TO THE 2017 PLANNING COMMISSION
2	03/04/2018	RECEIVED FOR APR
3	11/05/2018	RECEIVED FOR CONSENT
4	01/02/2019	RECEIVED FOR CONSENT
5	11/03/2019	RECEIVED FOR ADVISORY PLANNING COMMISSION
6	18/10/2021	RECEIVED FOR ADVISORY PLANNING COMMISSION
7	12/11/2021	RECEIVED FOR ADVISORY PLANNING COMMISSION
8	17/03/2022	RECEIVED FOR APR (no response)
9	08/05/2022	RECEIVED FOR COMPLETED AND SET
10	31/05/2022	RECEIVED FOR PAYMENT RESPONSE

Project Title

**THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 514 CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 74708
NEW WESTMINSTER**

Sheet Title:
GROUND LEVEL, NORTH, PLANTING PLAN

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Drawn By:

Reviewed by:

Project North

Date:

Plot Date:

Graphic Scale

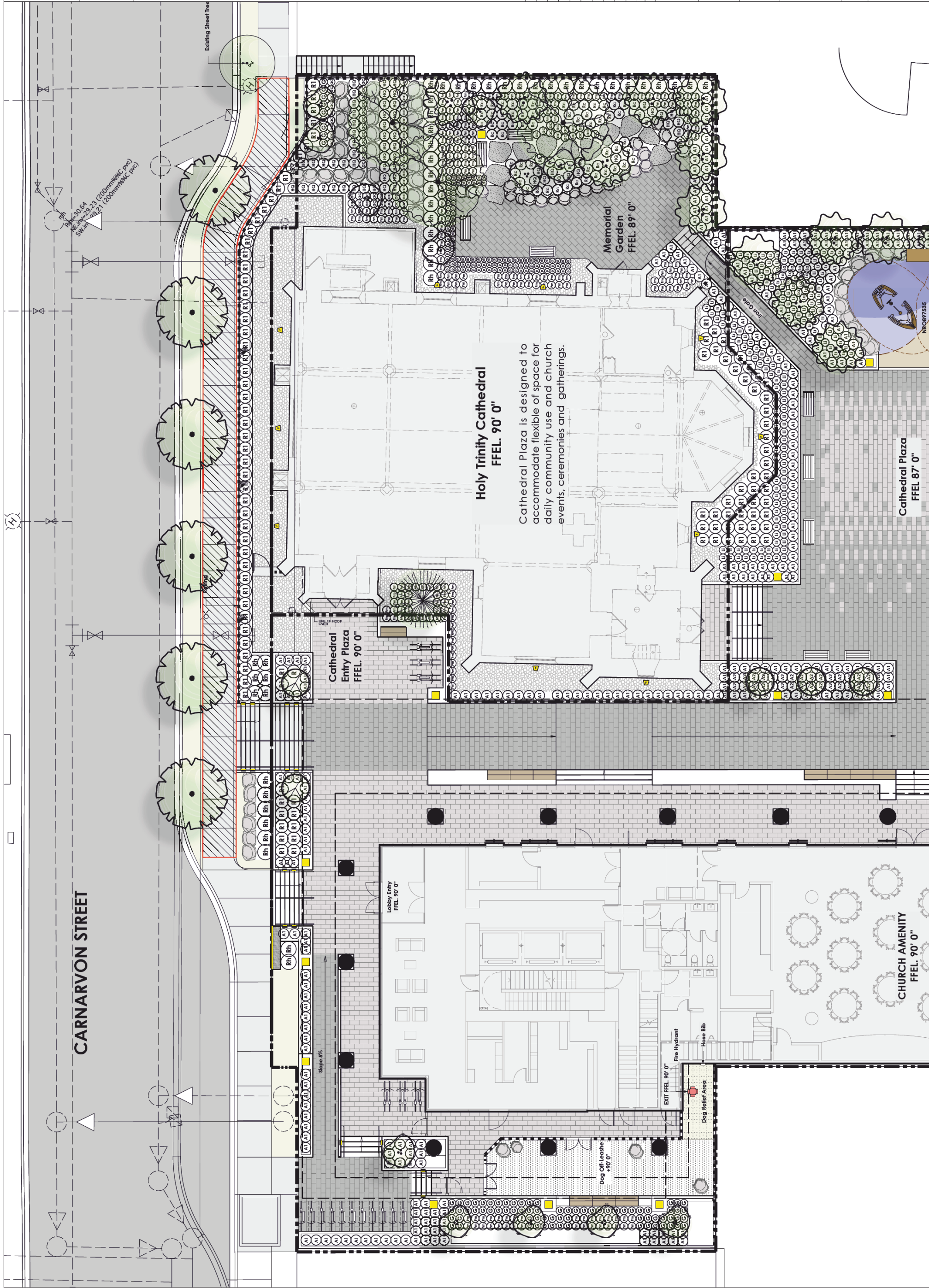
Scale: 1/8" = 1'-0"

Project No.:

601128

Drawing No.

L - 1.4



No	Date	Description
1	11/09/2017	RECEIVED FROM THE PLANNING COMMISSION FOR THE AGREEMENT TO ACQUIRE THE PLANNING COMMISSION OFFICE
2	03/04/2018	RECEIVED FOR SALE
3	11/05/2018	RECEIVED FOR SALE
4	01/02/2019	RECEIVED FOR CONNECTION
5	11/03/2019	RECEIVED FOR ROBERT PLANNING COMMISSION
6	18/03/2021	RECEIVED FOR ROBERT PLANNING COMMISSION
7	12/11/2021	RECEIVED FOR ADRIANT PLANNING COMMISSION
8	17/03/2022	RECEIVED FROM THE PLANNING COMMISSION
9	06/05/2022	RECEIVED FOR CORRECTIONS AND JAIL
10	31/05/2022	RECEIVED FROM THE PLANNING COMMISSION

Revisions / Issues:

Project Title
**THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 514 CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 74708
NEW WESTMINSTER**

Sheet Title:
GROUND LEVEL, SOUTH, PLANTING PLAN

This drawing as an instrument of service is the property of Walter Prindle Architect Inc. and may not be reproduced without the firm's permission. All information shown on the drawing is for the use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job and this office shall be informed of any discrepancies and variations shown on this drawing. Do not scale drawings.

Drawn By: Reviewed by: Project North

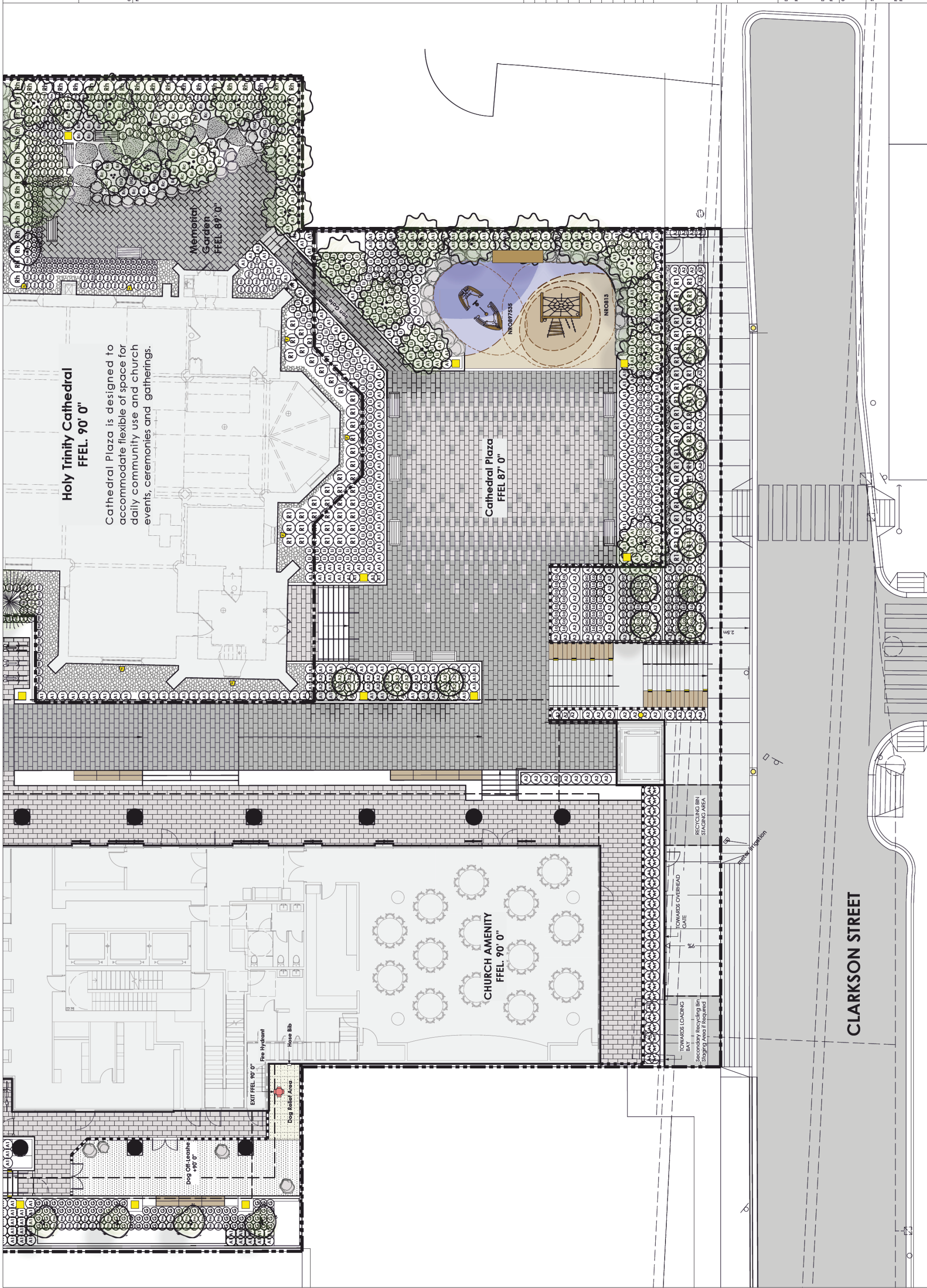
Date: 2022/03/17
 Plot Date: 2022/03/17
 Graphic Scale

Scale: 1/8" = 1'-0"

Project No.: 421726
Project No. dlt: 17041

Drawing No.

L - 1.5



No.	Date	Description
1	11/03/2017	RECEIVED FROM ADVISORY PLANNING COMMITTEE
2	03/04/2018	RECEIVED FROM DP
3	11/05/2018	RECEIVED FROM DP
4	11/03/2019	RECEIVED FROM ADVISORY PLANNING COMMITTEE
5	18/12/2021	RECEIVED FROM ADVISORY PLANNING COMMITTEE
7	12/11/2021	RECEIVED FROM ADVISORY PLANNING COMMITTEE
8	17/03/2022	RECEIVED FROM ADVISORY PLANNING COMMITTEE
9	09/05/2022	RECEIVED FROM ADVISORY PLANNING COMMITTEE
10	31/05/2022	RECEIVED FROM CITY COMMISSIONER (REVENUE)

THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 514 CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 74708
NEW WESTMINSTER

ROOFTOP LANDSCAPE PLAN

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Drawn By:

Reviewed by:

Project North



Graphic Scale

Scale:	1 mm = 1 μm	Drawing No.
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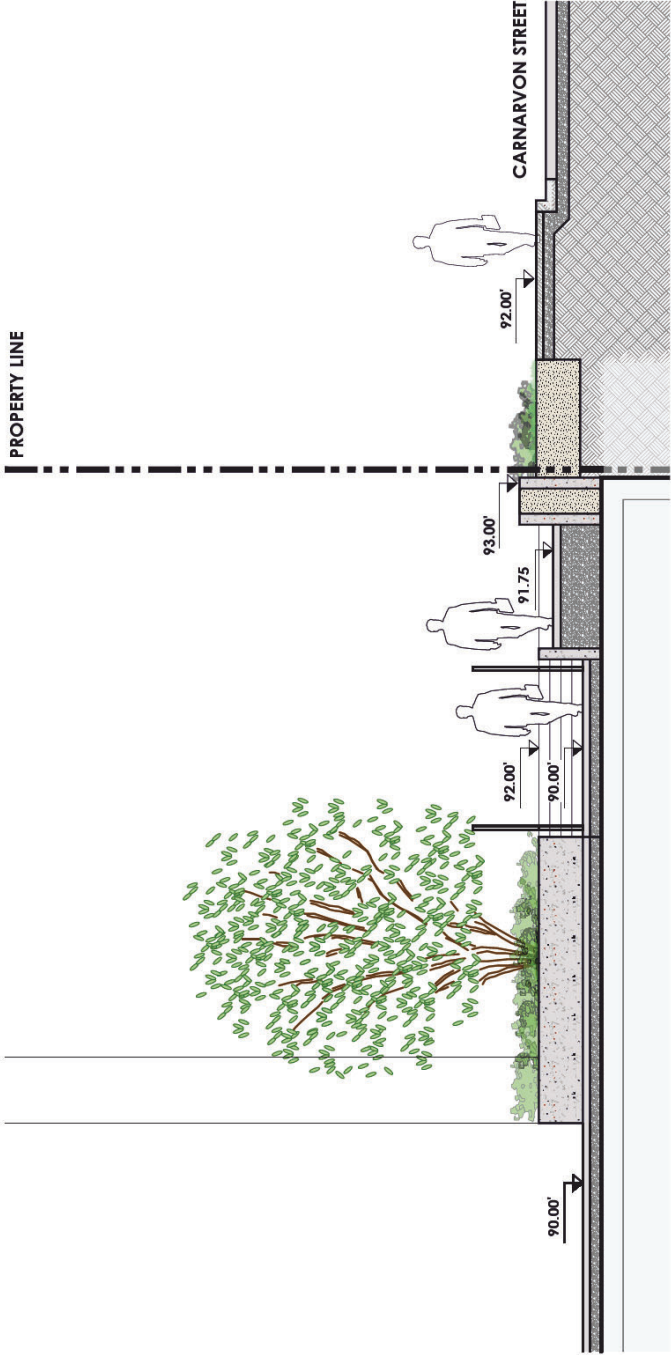
Project No.: 621726
L - 1.6

Project No.:
Project No. dit-

L - 1.6

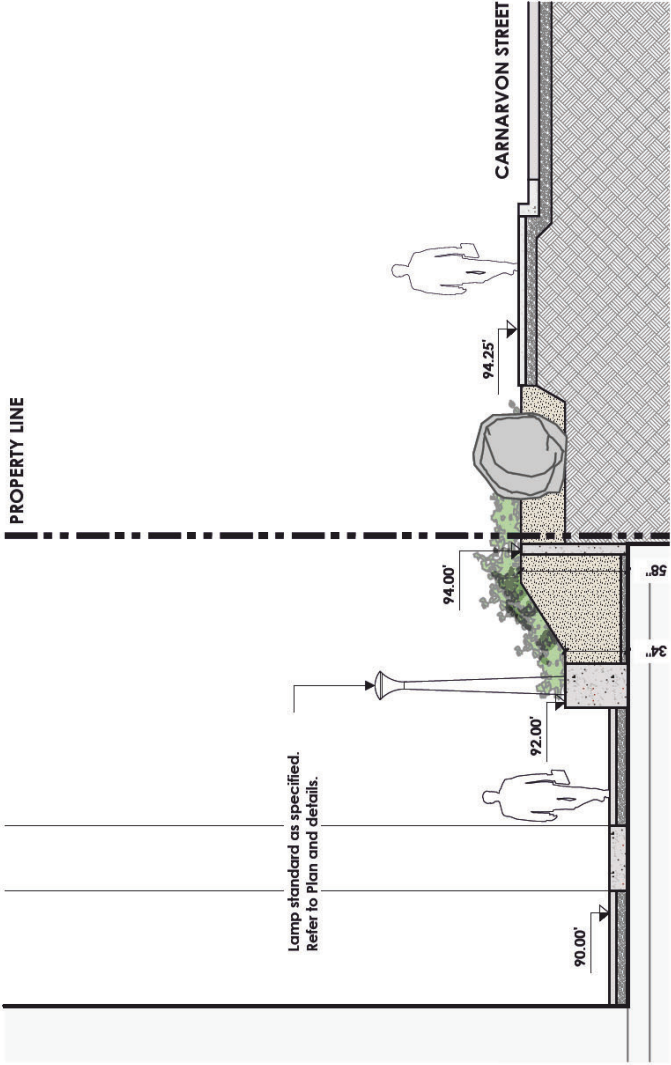
Consultants:
Notes:

Durante Kreuk Ltd.
102 - 1657 West 5th Avenue
Vancouver BC V6J 1N5
T: 604.684.4811
F: 604.684.0577
WWW.DK.LDC.CA



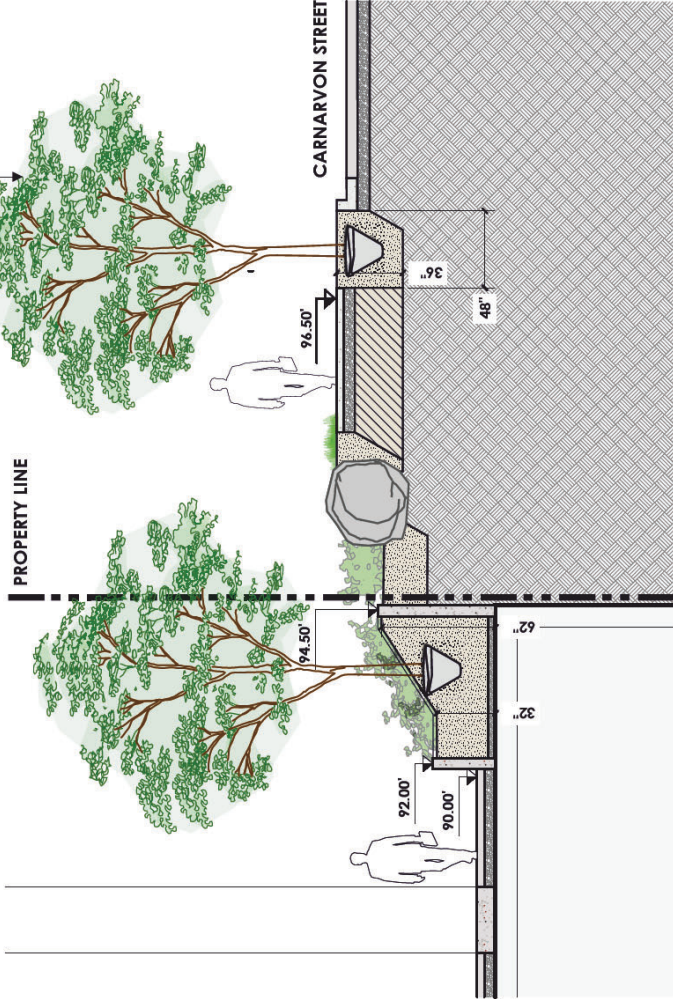
1 SECTION THROUGH LANDSCAPE AT RESIDENTIAL TOWER ENTRY AND CARNARVON STREET

L.1.1 SCALE 1/4"=1'0"



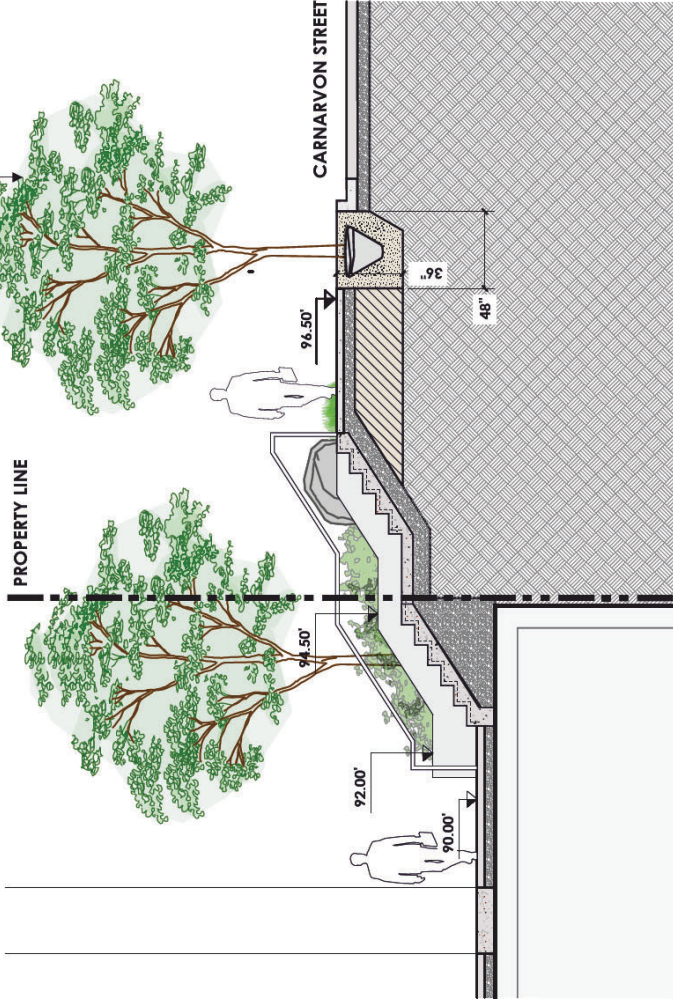
2 SECTION THROUGH LANDSCAPE AT RESIDENTIAL TOWER ENTRY AND CARNARVON STREET

L.1.1 SCALE 1/4"=1'0"



3 SECTION THROUGH LANDSCAPE AT RESIDENTIAL TOWER ENTRY AND CARNARVON STREET

L.1.1 SCALE 1/4"=1'0"



4 SECTION THROUGH LANDSCAPE AT RESIDENTIAL TOWER ENTRY AND CARNARVON STREET

L.1.1 SCALE 1/4"=1'0"

7	08.05.2022	REVISED FOR CARNARVON STREET
8	17.03.2022	REVISED FOR APT REVISIONS
5	18.10.2021	REVISED FOR ARCHITECT PLANNING COMMISSION
4	11.03.2019	REVISED FOR ARCHITECT PLANNING COMMISSION
3	11.02.2018	REVISED FOR AP
2	03.04.2015	REVISED FOR AP
1	11.03.2017	REVISIONS, REVISIONS AND CORRECTIONS FOR THE ARCHITECT PLANNING COMMISSION
No.	Date	Description

Project Title
THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 514 CARNARVON STREET LOT ONE
NEW WESTMINSTER

Sheet Title
LANDSCAPE SECTIONS

This drawing is an indication of services to be provided by the architect. It is not a contract. The architect is not responsible for the design of the building or the construction of the building. The architect is not responsible for the design of the building or the construction of the building. The architect is not responsible for the design of the building or the construction of the building.

Drawn By: RSS
Reviewed By: PK
Date: 08/03/2022
Plot Date: 08/03/2022
Graphic Scale:

Scale: 1/4"=1'
Drawing No.: L-2.1
Project No.: 10000
Project No. alt:

