



Attachment 1

Applicant Submission Package



Proposal for:

New Townhome development

Rezoning Application
1032 & 1036 St. Andrews Street

MAY 16, 2022

PREPARED FOR:
New Westminster City Council review

SUBMITTED BY:
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APPLICATION TO REZONE 1032 AND 1036 ST. ANDREWS STREET

SUMMARY

The application proposes a twelve unit townhouse project. The project site is among three storey apartment buildings in the Brow of the Hill neighbourhood. The site has a significant slope, with a south west aspect.

The project satisfies the Official Community Plan Designation of **(RGO) Residential - Ground Oriented Infill Housing** by proposing ground oriented three bedroom family townhouses.

The project satisfies the proposed Infill Townhouse and Rowhouse Residential District (RT) zoning by limiting the proposed Floor Space Ratio to 0.85 above the basement and 0.15 for the basement.

The project satisfies the requirements of Development Permit Area Designation by proposing a building featuring a West Coast Modern architectural vocabulary that will be constructed to the requirements of Step 3 of the BC Step Code using durable materials that will provide an energy efficient building that has a low maintenance cost.

CONTEXT

The subject property addressed as 1032 and 1036 St. Andrews Street is located in the Brow of the Hill neighbourhood. The two properties are currently zoned Single Detached Dwelling Districts (RS-1).

The development site is a square that has a frontage of 40.23 metres (131.99 feet) on St. Andrews Street and Belleville Street and a depth of 40.22 metres (131.94 feet). The site area is 1618.05 square metres (17,416.44 square feet). The property has a cross slope of 3.35 metres (11 feet) from the north east to south west property corners. The property slopes 2.13 metres (7 feet) along the St. Andrews Street and Belleville Street property lines.

St. Andrews Street has a dedicated width of 20.11 metres (66 feet) and is considered the primary street for this development. Belleville Street has a dedicated width of 10.06 metres (33 feet) and is used mainly as a lane and provides access to the parking for existing developments on in the 1000 block of St. Andrews Street and Fourth Avenue.

The development site is currently occupied by two houses and a large detached accessory building. The houses were constructed in 1944 and 1946. Both houses are currently rented.

The immediately surrounding neighbourhood is composed mostly of three level plus penthouse apartment buildings constructed in the 1950 – 1975 period. These buildings have a floor space ratio between 1.2 and 1.4. These properties are zoned Multiple Dwelling Districts (Low Rise) (RM - 2).

Adjacent to the west property line of the development site are two houses addressed as 413 and 417 Eleventh Street. These houses were constructed in 1927 and 1930. Both houses are on corner lots. Each lot is 20.12 metres (66 feet) by 20.12 metres (66 feet) for an area of 404.7 square metres (4356 square feet). The houses face Eleventh Street, with their rear yards toward the development site. These two sites are zoned Single Detached Dwelling Districts (RS-1).

To the east of the development site at 1024 St. Andrews Street is the Parkcrest Court apartment building with twenty three dwelling units. To the north of the development site at 1025 Saint Andrews Street is the St. Andrews Manor apartment building with forty eight dwelling units. To the south of the development site at 1033 Fourth Avenue is the Royal Terrace apartment building with forty one dwelling units. These are three typical three level plus penthouse apartment buildings found in the Brow of the Hill neighbourhood.

In the Official Community Plan, **the subject properties are designated as (RGO) Residential - Ground Oriented Infill Housing. The Plan describes this designation as:**

Purpose: To allow a mix of ground oriented infill housing forms which are complementary to the existing neighbourhood character. Generally forms with a higher number of units are expected to be located on larger properties. Units can be attached, detached or a combination of the two.

Principal Forms and Uses: Single detached dwellings, single detached dwellings on a compact lot, duplexes, triplexes, quadraplexes, cluster houses, townhouses, rowhouses and other equivalent ground oriented housing forms. Lots with single detached dwellings may also include a secondary suite and/or a detached accessory dwelling unit.

Complementary Uses: Home based businesses, small scale local commercial uses (e.g. corner stores), small scale institutional uses (e.g. child care, care facilities), utilities, transportation corridors, parks, open space, and community facilities.

Maximum Density: Low density multiple unit residential.

All of the properties in the immediate area are either designated RGO and are currently occupied with a single detached dwelling or designated as (RM) Residential – Multiple Unit Buildings and developed with a low rise apartment buildings.

The Official Community Plan designates the site as part of Development Permit Area 1.2 Ground Oriented Housing. That Development Permit area refers all infill townhouse applications to the guidelines in Development Permit Area 1.3 Infill Townhouse and Rowhouse Residential Neighbourhood Development Permit Area.

PROPOSAL

Our application proposes a 12 unit townhouse development. All units are three bedrooms. The following chart provides a summary of the units proposed:

Unit	levels	Total Floor Area Above the Basement	Basement Floor Area	Balcony Area	Front Door Patio Area	Private Rear Yard Area
A01	3 + basement	1,310.1 Sq. Ft.	321.6 Sq. Ft.	233.4 Sq. Ft.	177.8 Sq. Ft.	207.2 Sq. Ft.
A02	3 + basement	1,310.2 Sq. Ft.	321.6 Sq. Ft.	234.1 Sq. Ft.	172.6 Sq. Ft.	210.6 Sq. Ft.
A03	3 + basement	1,310.2 Sq. Ft.	321.6 Sq. Ft.	234.1 Sq. Ft.	174.6 Sq. Ft.	211.2 Sq. Ft.
A04	3 + basement	1,309.2 Sq. Ft.	337.1 Sq. Ft.	198.3 Sq. Ft.	173.3 Sq. Ft.	211.3 Sq. Ft.
A05	2	1,064.7 Sq. Ft.	no	no	217.8 Sq. Ft.	350.5 Sq. Ft.

A06	2	1,094.6 Sq. Ft.	no	no	197.8 Sq. Ft.	no
B01	3 + basement	1,310.1 Sq. Ft.	321.6 Sq. Ft.	233.4 Sq. Ft.	174.8 Sq. Ft.	338 Sq. Ft.
B02	3 + basement	1,310.1 Sq. Ft.	321.6 Sq. Ft.	233.4 Sq. Ft.	177.8 Sq. Ft.	207.2 Sq. Ft.
B03	3 + basement	1,310.2 Sq. Ft.	321.6 Sq. Ft.	234.1 Sq. Ft.	174.6 Sq. Ft.	211.2 Sq. Ft.
B04	3 + basement	1,309.2 Sq. Ft.	337.1 Sq. Ft.	198.3 Sq. Ft.	173.3 Sq. Ft.	211.3 Sq. Ft.
B05	2	1,064.7 Sq. Ft.	no	no	210.9 Sq. Ft.	350.5 Sq. Ft.
B06	2	1,094.6 Sq. Ft.	no	no	190.0 Sq. Ft.	no

The proposed floor space ratio above grade is 0.85. The proposed floor space ratio for the proposed basements is 0.15. The project has a site coverage of 38.2 %. The project provides 12 parking spaces for residents and one parking space for visitors. The visitor parking space can also be used as a loading space.

The project provides two community gardens totaling over 83.6 square metres (900 square feet) and a shared outdoor amenity area that is over 92.9 square metres (1000 square feet) in size.

CONFORMANCE WITH THE OFFICIAL COMMUNITY PLAN LAND USE DESIGNATION

The proposed development conforms to the Official Community Plan land use designation by proposing ground oriented townhouse development. The proposed Floor Space Ratio of 1.00 complies with the Medium Density designation.

CONFORMANCE WITH THE ZONING BYLAW

The site is currently zoned RS-1 Single Detached Dwelling Districts. The proposed zoning is Infill Townhouse and Rowhouse Residential District (RT). The proposed Floor Space Ratio of 0.85 above the basement and 0.15 for the basement complies with the floor space allowed in the zoning schedule.

The bylaw requires twelve parking spaces for residents and 1.2 parking spaces for visitors. The project provides twelve parking spaces for residents and one visitor parking space. The parking spaces have a 0.60 metre (1 foot) setback from Bellville Street.

The corner sites addressed as 413 and 417 Eleventh Street have a total area of 805.4 square metres (8712 square feet). If the proposed development on St. Andrews Street is approved it would create a locked in lot situation for these properties. The heritage potential of these properties should offer flexibility through a Heritage Revitalization agreement to allow development on these properties.

CONFORMANCE WITH THE DEVELOPMENT PERMIT AREA

Building Setback, Length and Separation Requirements

The proposed project satisfies the building setback, length and separation criteria identified in the Development Permit Area as demonstrated in the following chart:

Section	Required		Proposed	
Side Setback - east	4.27 metres	14 feet	4.35 metres	14.27 feet
Side Setback - west	4.27 metres	14 feet	4.38 metres	14.37 feet
Front Setback	4.27 metres	14 feet	4.46 metres	14.63 feet
Rear Setback	7.62 metres	25 feet	7.71 metres	25.3 feet
Separation between buildings	8.53 metres	28 feet	8.7 metres	28.54 feet
Maximum Building Length	38.10 metres	125 feet	28.04 metres	92 feet

Building Design

The project conforms to the intent of the Development Permit Area designation. The design features a West Coast Modern architectural vocabulary with durable materials. The commitment to construct the development to the requirements of Step 3 of the BC Step Code and to provide an effective R22 value for the insulation of the walls will provide an energy efficient building that has a low maintenance cost.

The project has been designed to fit into the topography of the site. The two buildings satisfy all yard and building separation requirements. The four units facing St. Andrews Street are two levels to reduce the building volume toward the street. The remaining eight units step down the slope of the site to fit the site topography. These eight units also step back from the side property lines and the internal pathway on the second and third floors to reduce the building volume and reduce overlook of adjacent buildings on and off site. This provides adequate separations from neighbours and other units on the same site to preserve privacy for the local residents and the strata owners.

Each unit has an outdoor space consisting of one or more of a private rear yard, a semi-private entry patio and upper level balconies.

The four units that face St Andrews Street are the smallest units in the project. The smallest out door private space provided in the project is for unit B06 which has a 17.7 square metres (190 square foot) front patio. Other units have up to 35.8 square metres (385 square feet) of private open space at grade in addition to balconies on the second and third levels. There is a common amenity space near the St. Andrews Street access and two community gardens for the residents. This exceeds the private and common open space expectations of the Development Permit Area Designation.

Accessibility

The subject site has cross slope of 3.35 metres (11 feet). In order to adjust the buildings to the slope of the site the buildings are stepped. The first section of the two buildings faces St Andrews Street. There are four units in this section of the development. The project entry and the direct entry to these four units is from St. Andrews Street. The pathways to the front doors of units A06 and B06 and the upper courtyard meet accessibility standards.

There are stairs that link these four units to the lower eight units and therefore there is not a connection that meets accessibility standards between the two sections of the project. The eight units in the lower part of the project all have a pathway from the parking area and Belleville Street to their front door that meets accessibility standards. The pathways to the front doors of units A03 and A04 meet accessibility standards. There is one parking space provided beside the Belleville Street access that satisfies accessibility standards.

The drawings on page A0104 show the accessible routes through the development.

The drawings on page A0208 provide alternate layouts for units A03, A04, A06 and B06 so that the units could be adapted to provide an accessible bathroom on the main floor. The plumbing for the accessible bathroom would be roughed in at the time of construction to make the adaptation more achievable.

Crime Prevention Through Environmental Design (C.P.T.E.D.)

Due to the slope of the site and the bylaw limit on building height, all four of the units facing St Andrews Street have the elevation of their main floors below the level of the sidewalk in front of the project. The landscaping has been kept low and the fencing is open to allow as much of a view of the sidewalk as possible from the activity level of these units. The sidewalk is visible from the second floor of all four units. The project has two community gardens adjacent to the front lot line to pull activity toward St. Andrews Street. At the rear of the site there is overlook of the parking and Belleville Street from the two end units.

Low fencing along the perimeter of the site allows views into the site from neighbouring properties and views back to those buildings from the eight units in the lower section of the development that face the side lot lines. The property is gated and has site lighting for safety. The lower walkway is 3.04 metres (10 feet) from the buildings on either side for easy overlook of the foot traffic in this area.

Sustainability

The following measures have been included to enhance the sustainability of the project:

- The development will comply with Step 3 of the BC Step Code and have R22 effective exterior walls.
- The project is using Hardi panel and siding for exterior walls and wood in accent areas. These are durable materials that are easily maintained.
- The landscaping features native drought tolerant plants.
- The project proposes to remove four trees. Twenty on-site trees would be planted in common areas and rear yards along in addition to four street trees.
- A bicycle locker and loop are provided on all front patios.
- On site storm water retention is provided which can be used for on-site watering if the necessary.

The project is easy cycling distance to Lord Kelvin School, Fraser River Middle School, New Westminster Secondary School, the New Westminster skytrain station, Moody Park and the Uptown commercial area. The development site is walking distance to the frequent bus service provided on both Twelfth Street and Sixth Avenue.

Adjacency Considerations

1024 Saint Andrews Street – Parkcrest Court

The adjacent apartment building, is the Parkcrest Court, at 1024 St Andrews Street. That building is three levels plus a penthouse. There are two units per floor that have bedroom windows on the west wall of the building facing the proposed project. That building is at a slight angle to the shared property line with setbacks of 5.17 metres (16.95 feet) at the north end of the building and 5.06 metres (16.6 feet) at the south end of the building. The ground floor of the Parkcrest Court building is at 56.15 metres (184.2 feet) geodetic. The roof of the apartment building is at 65.2 metres (213.8 feet) geodetic.

The activity areas of the apartment units and the balconies of the units face north and south. The windows that face to the east toward the proposed project are primarily

bedroom windows. There are two large apple trees located in the side yard of the Parkcrest Court building and a large willow tree in the front/side yard of the building adjacent to the balconies on the front of the building.

In the proposed development, building B has four units B01 to B04 that face east toward the Parkcrest Court apartment building, and one unit B05 that faces St Andrews Street but has windows and a private yard facing east.

The two tables below summarize the geodetic relationship between the two buildings

Project Unit #	Ground Floor (Geodetic)	Second Floor (Geodetic)	Third Floor (Geodetic)	Roof (Geodetic)
B05	54.7 metres (179.5 feet)	57.8 metres (189.5 feet)	na	64.3 metres (211 feet)
B04	54.4 metres (178.6 feet)	57.8 metres (189.5 feet)	60.8 metres (199.5 feet)	63.6 metres (208.5 feet)
B03	54 metres (177 feet)	57.3 metres (188 feet)	60.4 metres (198 feet)	63.1 metres (207 feet)
B02	53.5 metres (175.5 feet)	56.8 metres (186.5 feet)	58.9 metres (196.5 feet)	62.6 metres (205.5 feet)
B01	53.1 metres (174 feet)	56.4 metres (185 feet)	59.4 metres (195 feet)	62.2 metres (204.4 feet)

1024 St Andrews	Ground Floor	Second Floor	Third Floor	Penthouse
Geodetic Elevation	56.15 metres (184.2 feet)	59.2 metres (194.1 feet)	62.4 metres (204.8 feet)	65.2 metres (213.8 feet)

The following separations are proposed between the Parkcrest Court building and the proposed townhouse building:

- At grade townhouse units B01 – B04 have a separation of 9.43 metres (30.93 feet) from the Parkcrest Court building.

- The townhouse building steps back at the second level to provide an 11.76 metre (38.6 foot) separation between the buildings. The townhouse units have a bedroom and a balcony at the second level facing the Parkcrest Court building.
- The townhouse building steps back a further at the third level to provide a total separation of 13.04 metres (42.8 feet). The townhouse units have a bedroom and a bathroom window on the third level facing the Parkcrest Court building.
- Townhouse unit B05 is a two level unit that has a 9.53 metre (31.24 foot) separation from the Parkcrest Court Building. The townhouse unit has patio at grade and two bedroom windows on the second level.

The following pages have been included in the drawing set to illustrate the height and sitting relationship between the two buildings:

- Page A0100 shows the building locations and separations.
- Page A0405 shows a window overlay.
- Page A0504 Shows sections to the neighbouring buildings to the east and west.

413 and 417 Eleventh Street

The houses located on these two properties face Eleventh Street. The house at 413 Eleventh Street is located 3.65 metres (12 feet) from the common property line. Grade level in the rear yard of the house is slightly lower than the finished grade of the project. The top of the roof of the house is slightly above the second floor deck of unit A01. The two buildings have a separation at grade of 7.98 metres (26.17 feet).

The house at 417 Eleventh Street is 2.1 metres (6.9 feet) from the common property line. Grade level in the rear yard of the house is 5 feet below the finished grade of the project. The eaves of the house are level with the floor of the second level of unit A05. The two buildings have a separation of 6.50 metres (21.33 feet).

Interior courtyard

In the upper courtyard area, the separation between unit A06 and B06 is 8.73 metres (28.65 feet) at the first and second levels of the units. The courtyard area between the two units has a seating area, a children's play area and function as the central walkway for the project. The two units each have one window on the ground floor and two

bedroom with misaligned windows on the second level across the courtyard area. The two units face St Andrews Street and have their front doors and private patios facing the street. The patios are vertically separated from the courtyard area, and have landscape buffers and fencing for privacy.

In the lower walkway area, the walkway is 2.13 metres (7 feet) wide and each unit has a front semi private patio with a depth of 3.15 metres (10.3 feet) for a total separation at grade of 8.73 metres (28.65 feet). A four foot high fence and a landscape buffer separate the patio from the walkway. The buildings have the same separation at level two. The buildings step back 2.07 metres (6.8 feet) at the third level for a separation of 12.27 metres (40.27 feet). The third level has the primary bedroom and there is a balcony off the bedroom that faces across the walkway. In addition to misaligned bedroom windows a privacy screen separates adjacent balconies.

In the drawing set page A0100 shows the separations between the buildings in the courtyard and walkway areas.

COMPARISON WITH OTHER NEW WESTMINSTER PROJECTS

The following chart provides a comparison between the project proposed on St. Andrews Street and other small completed and proposed infill projects.

Address	Year	FSR	Site Coverage	Number of units	Project type	Status
1209 4 th Ave.	2015	1.05	38%	10	Duplex	Complete
1014 – 1022 4 th Ave.	2015	1.15	51%	8	Townhouse	Complete
1209 -1217 8 th Ave.	2019	1.0	38.8%	22	Townhouse	Approved
802 – 806 8 th St.	2020	1.0	38.1	18	Townhouse	Preliminary
45 East 8 th Ave	2020	0.89	37%	4	Townhouse	Preliminary
102/104 8 th Ave 721Cumberland	2021	1.0	38%	10	Townhouse	Preliminary
102/128 8th Ave.	2021	1.0	40%	55	Townhouse	Preliminary
1032 & 1036 St. Andrews Street	2021	1.0	38.2%	12	Townhouse	Current Application

The proposed development project is consistent with the density and site coverage of other recent townhouse projects in New Westminster.

CONCLUSION

The proposed twelve unit townhouse development satisfies the requirements of the Land Use and Development Permit Area designations in the Official Community Plan. The project has two small inconsistencies with the Zoning bylaw which can be addressed. The development is consistent with the density and site coverage of other recent infill projects in the City of New Westminster.

The project provides ample separations and privacy toward the adjacent sites and in the common walkway and courtyard. The project proposed will provide twelve well designed townhouse units for families. The project has private and common open spaces that will benefit all residents.

The twelve unit townhouse project should be considered by New Westminster City Council.

**CITY OF NEW WESTMINSTER
INFINITY TOWNHOMES
ISSUED FOR NEW WESTMINSTER
DESIGN PANEL
MAY 16 2022**

1032 AND 1036 ST. ANDREWS STREET,
NEW WESTMINSTER, B.C.

LEGAL DESCRIPTION:
LOTS 19 & 18, NEW WEST DISTRICT, PLAN NWP2620 SUBURBAN BLOCK 7, GROUP 1, OF LOTS 12,13,20 & 21.

Zoning Bylaw Analysis
405 Infill Townhouse and Rowhouse Residential District (RT)

Section	Required		Proposed	
	Metric	Imperial	Metric	Imperial
405.4 Density				
Above Basement	0.85 max, 1375.14 m ²	14,801.9 ft ²	0.8498	14798.07 ft ²
Basement	0.15 max, 242.67 m ²	2,612.10 ft ²	0.1495	2603.88 ft ²
Total	1.0 max, 1,617.81 m ²	1,7414 ft ²	0.9993	17401.95 ft ²
405.5 Basement elevation	Basement no part more than 1 meter (3.28 feet) out of the ground		Complies	
405.6 Basement size	Basement not larger than the floor above		Complies	
405.7 Principal building height				
Building A height	10.67 m	35 ft	10.01 m	32.84 ft
Building B height	10.67 m	35ft	9.87 m	32.40 ft
Average garage	53.82 m	176.58 ft		
405.8 Detached accessory buildings				
a) Max 15% site coverage	242.67 m ²	2612.08 ft ²	14.93 m ²	160.71 ft ²
b) Height	One storey		Complies	
c) Location	Not in front yard		Complies	
d) Height	3.6 m	11.81 ft	2.19 m	7.17 ft
e) Enclosed	2 sides max.		Not enclosed	
f) Dormers	No dormers permitted		Complies	
g) Separation from principal building	1 m	3.28 feet	1.21	3.98 ft
h) Setback from lane	Not required – Belleville Street is not a lane		Not required	
i) Setback from a corner	Site is mid-block – not required		Not required	
j) Setback from Belleville street	1.52 m	5 ft	4.88 m	16 ft
405.9 Parking				
a) resident	12 spaces		12 spaces	
b) visitor	1.2 spaces		1 space	
c) Visitor parking	not required in a non-stratified development		stratified	
d) Location	No parking in front yard		Complies	
e) Access	From lane wider than 3.66 metres (12 feet)		Access from Belleville Street	
f) Access	From lane narrower than 3.66 metres (12 feet)		Access from Belleville Street	
i) Setback from Corner	Site is mid-block – not required		Not required	
405.10 Bicycle Parking				
Short Term bicycle	4 space		4 space	
Long Term bicycle	12 space		12 space	

Townhouse and Rowhouse Development Permit Area – Setback and Separation Requirements

Section	Required		Proposed	
	m	ft	m	ft
Front Setback	4.27	14.00	4.46	14.63
Rear Setback	7.62	25.00	7.71	25.30
Side Setback - east	4.27	14.00	4.35	14.27
Side Setback - west	4.27	14.00	4.38	14.37
Separation between buildings	8.53	28.00	8.70	28.54
Maximum Building Length	38.10	125.00	28.04	92.00



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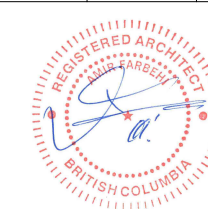
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ARCHITECTURAL DRAWING LIST				
SHEET NUMBER	SHEET NAME	CURRENT REVISION	REVISION DATE	
A0001	COVER PAGE	6	2022-05-16	
A0002	ABBREVIATIONS	5	2022-05-16	
A0003	3D VIEWS	5	2022-05-16	
A0004	3D VIEWS	4	2022-05-16	
A0005	3D VIEWS	4	2022-05-16	
A0006	3D ENVELOPE HEIGHT	4	2022-05-16	
A0007	SHADOW STUDY 9 am	2	2022-05-16	
A0008	SHADOW STUDY 12 pm	2	2022-05-16	
A0009	SHADOW STUDY 3 pm	2	2022-05-16	
A0010	SHADOW STUDY 6 pm	2	2022-05-16	
A0100	SITE PLAN-BUILDING SITING	3	2022-05-16	
A0101	SITE PLAN	6	2022-05-16	
A0102	CONTEX PLAN & EXISTING STREETScape VIEW	3	2022-05-16	
A0103	PROPOSED STREETScape VIEW	1	2022-05-16	
A0104	SITE PLAN-ACCESSIBILITY	3	2022-05-16	
A0105	VEHICLE MANEUVERING	3	2022-05-16	
A0106	SITE PLAN MATERIAL & FINISHES	3	2022-05-16	
A0201	BASEMENT FLOOR PLAN & PATIO LAYOUTS	5	2022-05-16	
A0202	LEVEL 1 FLOOR PLAN	4	2022-02-14	
A0203	LEVEL 2 FLOOR PLAN	5	2022-05-16	
A0204	LEVEL 3 FLOOR PLAN	5	2022-05-16	
A0205	ROOF PLAN	5	2022-05-16	
A0210	ADAPTABLE SUITE LAYOUT	2	2022-05-16	
A0221	BASEMENT AREA PLAN	5	2022-05-16	
A0222	LEVEL 1 ARE PLAN	5	2022-05-16	
A0223	LEVEL 2 AREA PLAN	4	2022-05-16	
A0224	LEVEL 3 AREA PLAN	4	2022-05-16	
A0401	BLDG A-NORTH&SOUTH ELEVATIONS	5	2022-05-16	
A0402	BLDG B-NORTH&SOUTH ELEVATIONS	5	2022-05-16	
A0403	BLDG A -EAST&WEST ELEVATIONS	5	2022-05-16	
A0404	BLDG B -EAST&WEST ELEVATIONS	5	2022-05-16	
A0405	BLDG A&B&NEIGHBOURS ELEVATIONS OVERLAY	3	2022-05-16	
A0501	BUILDING A SECTIONS	5	2022-05-16	
A0502	BUILDING B SECTIONS	3	2022-05-16	
A0503	ENVELOPE PROJECTION SECTIONS	3	2022-05-16	
A0504	NEIGHBOURHOOD SECTIONS	3	2022-05-16	
Grand total: 36				



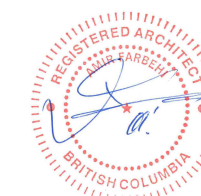
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PROJECT NO.	18203	REV. DATE	2022-05-16
DRAWING NO.	A0001	REVISION	6

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5	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
4	2022-02-14	REISSUED FOR SECOND HEARING	AF
3	2021-04-14	REISSUED FOR FIRST HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
CONSULTANT			

PROJECT

INFINITY TOWNHOMES

1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE

3D VIEWS

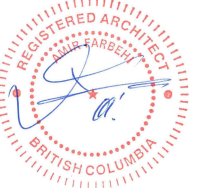
DRAWING ISSUE

ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022	REVIEWED	AF
DRAWING NO.	REVISION		5
A0003			

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4	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
3	2022-02-14	REISSUED FOR SECOND HEARING	AF
2	2021-04-14	REISSUED FOR FIRST HEARING	AF
1	2020-02-24	REISSUED FOR FIRST HEARING	AF

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
CONSULTANT			

PROJECT

INFINITY TOWNHOMES

1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE

3D VIEWS

DRAWING ISSUE

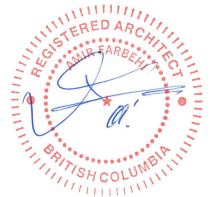
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022	REVIEWED	AF
DRAWING NO.			REVISION
A0004			4

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2	2021-04-14	REISSUED FOR FIRST HEARING	AF
1	2020-02-24	REISSUED FOR FIRST HEARING	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

INFINITY TOWNHOMES

1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE

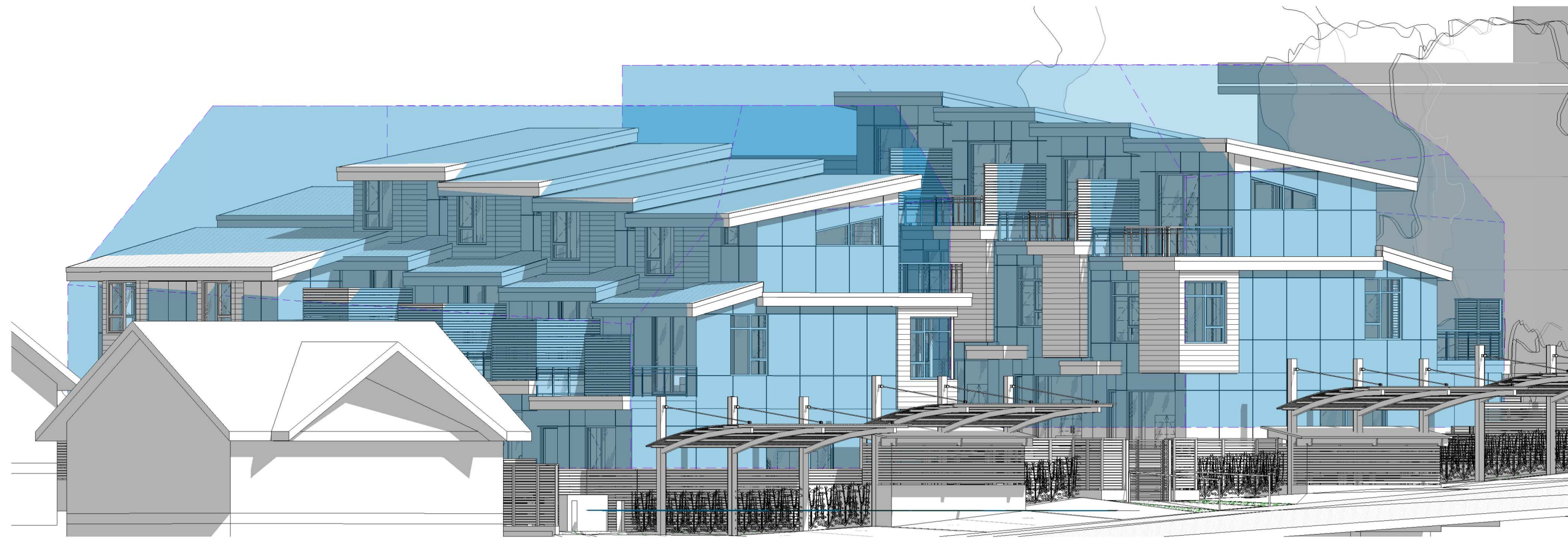
3D VIEWS

DRAWING ISSUE

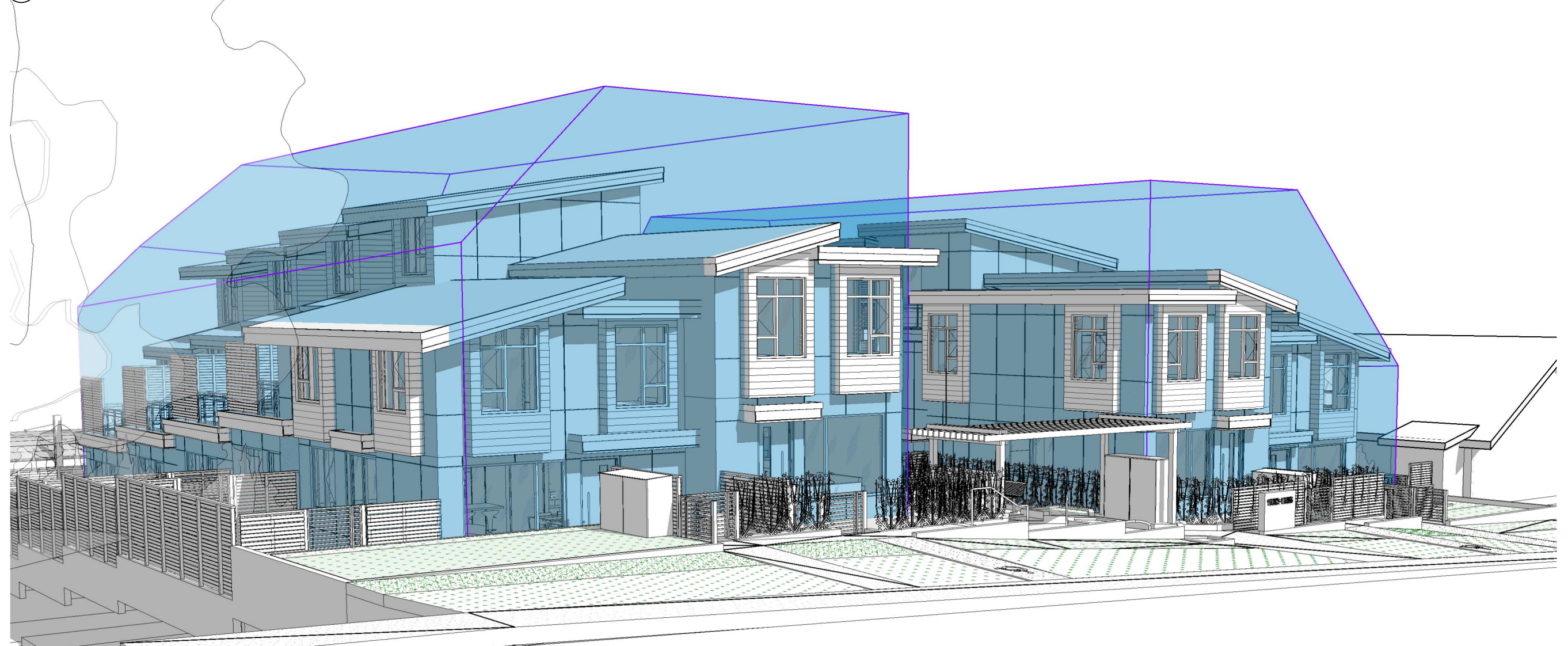
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022	REVIEWED	AF

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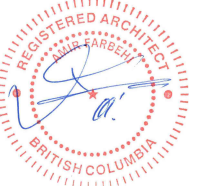
1 3D View Envelope Height-South West
SCALE:



3 3D View Envelope Height-North East
SCALE:

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1	2020-02-24	REISSUED FOR FIRST HEARING	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
3D ENVELOPE HEIGHT

DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO. 18203	PLOT DATE MAY 16 2022	DRAWN MT
DRAWING NO. A0006	REVIEWED AF	REVISION 4



REV.	DATE	REVISION / DRAWING ISSUE	REVIEW

2	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
1	2022-02-14	REISSUED FOR SECOND HEARING	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

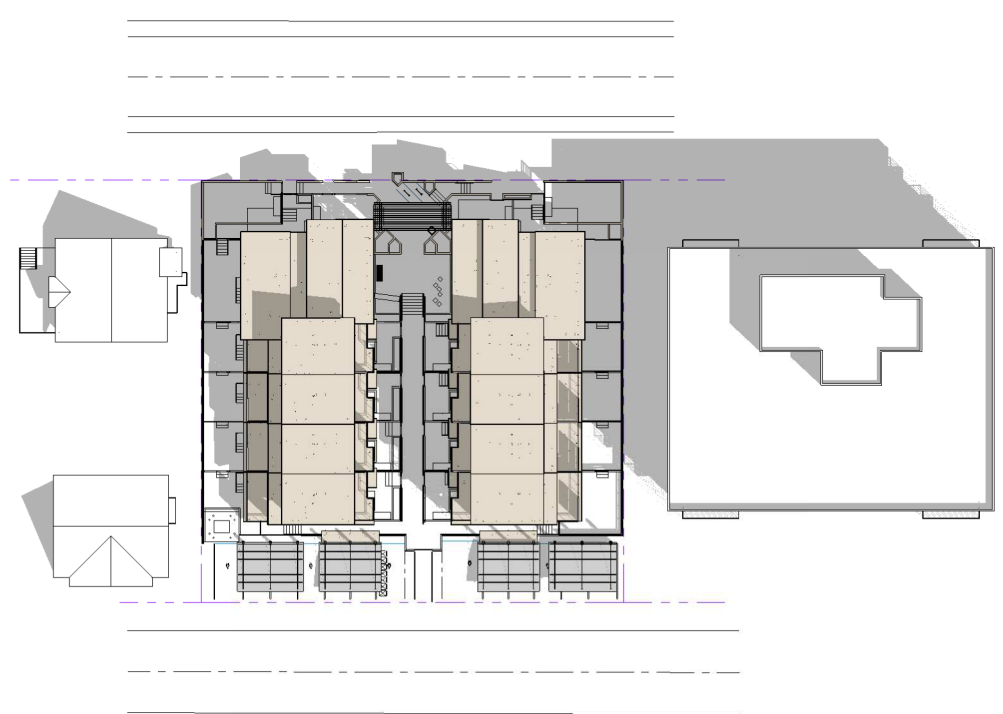
PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
SHADOW STUDY 9 am

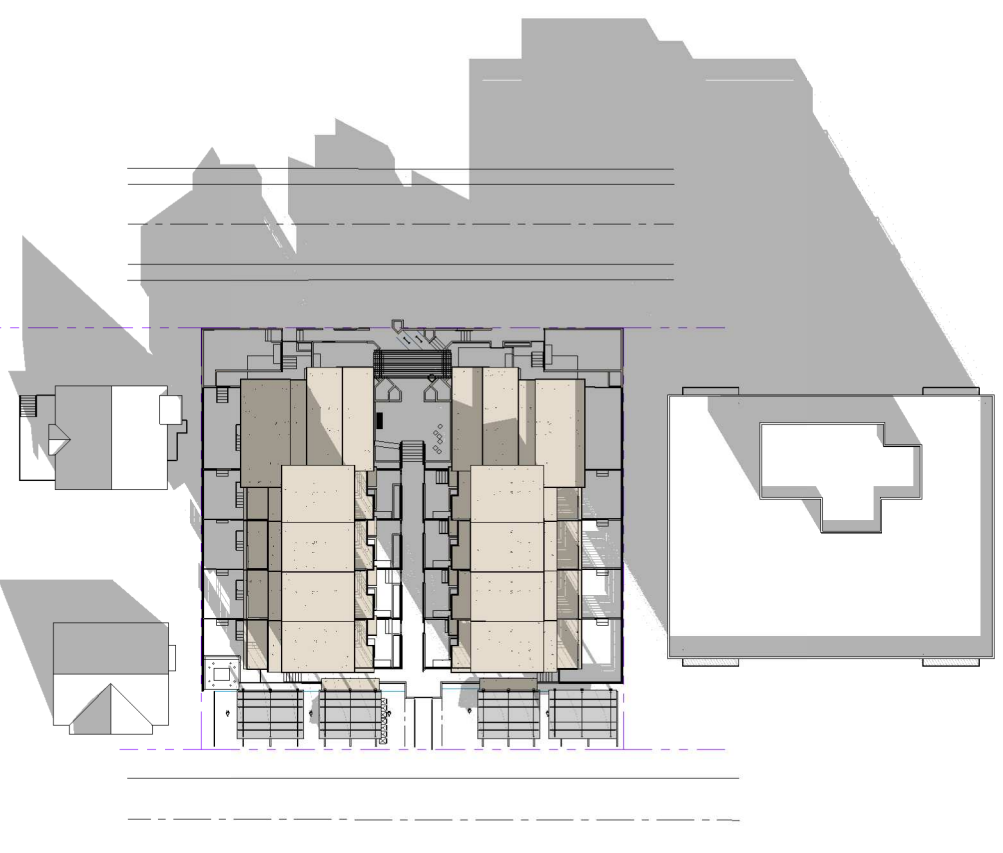
DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO. 18203	PLOT DATE MAY 16 2022	DRAWN Author
	SCALE	REVIEWED Checker

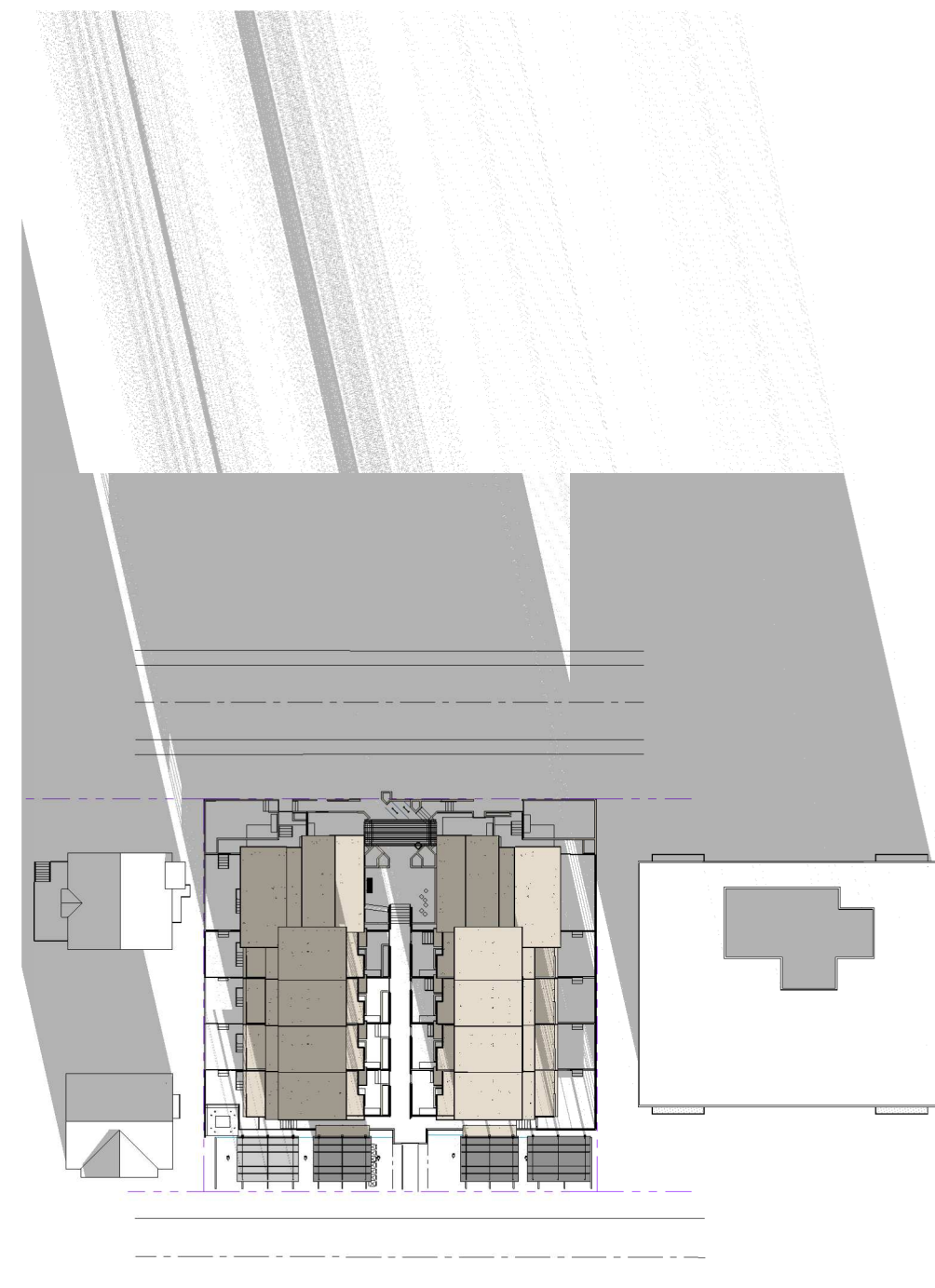
DRAWING NO. A0007	REVISION 2
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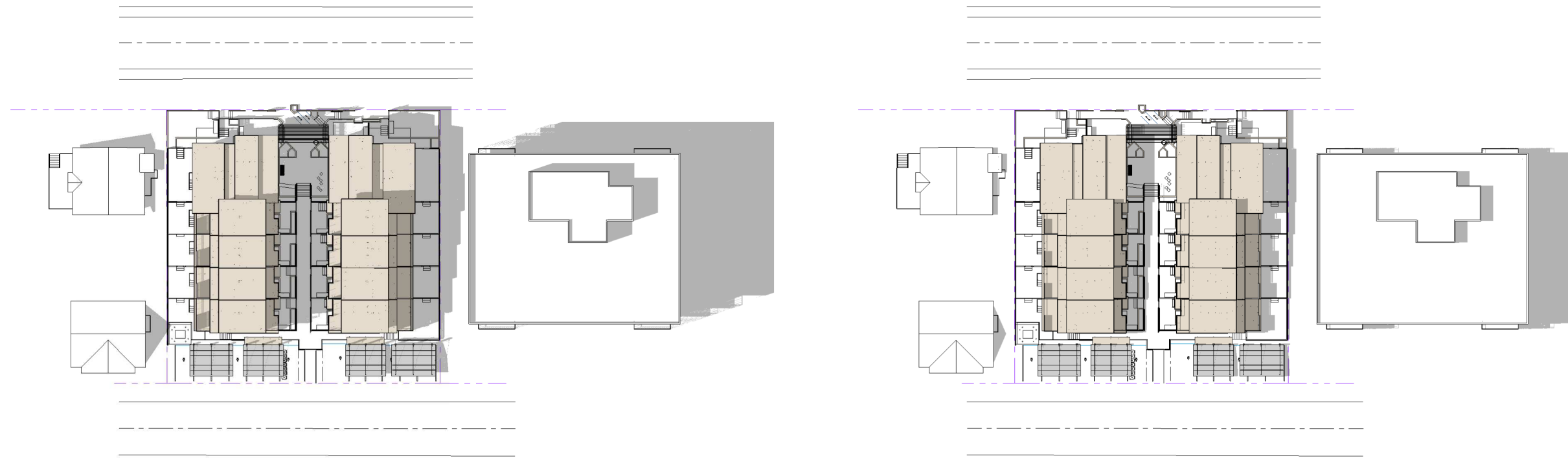
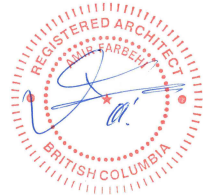
2 Shadow Study-June 21- 9 am
SCALE:



1 Shadow Study-March 21- 9 am
SCALE:

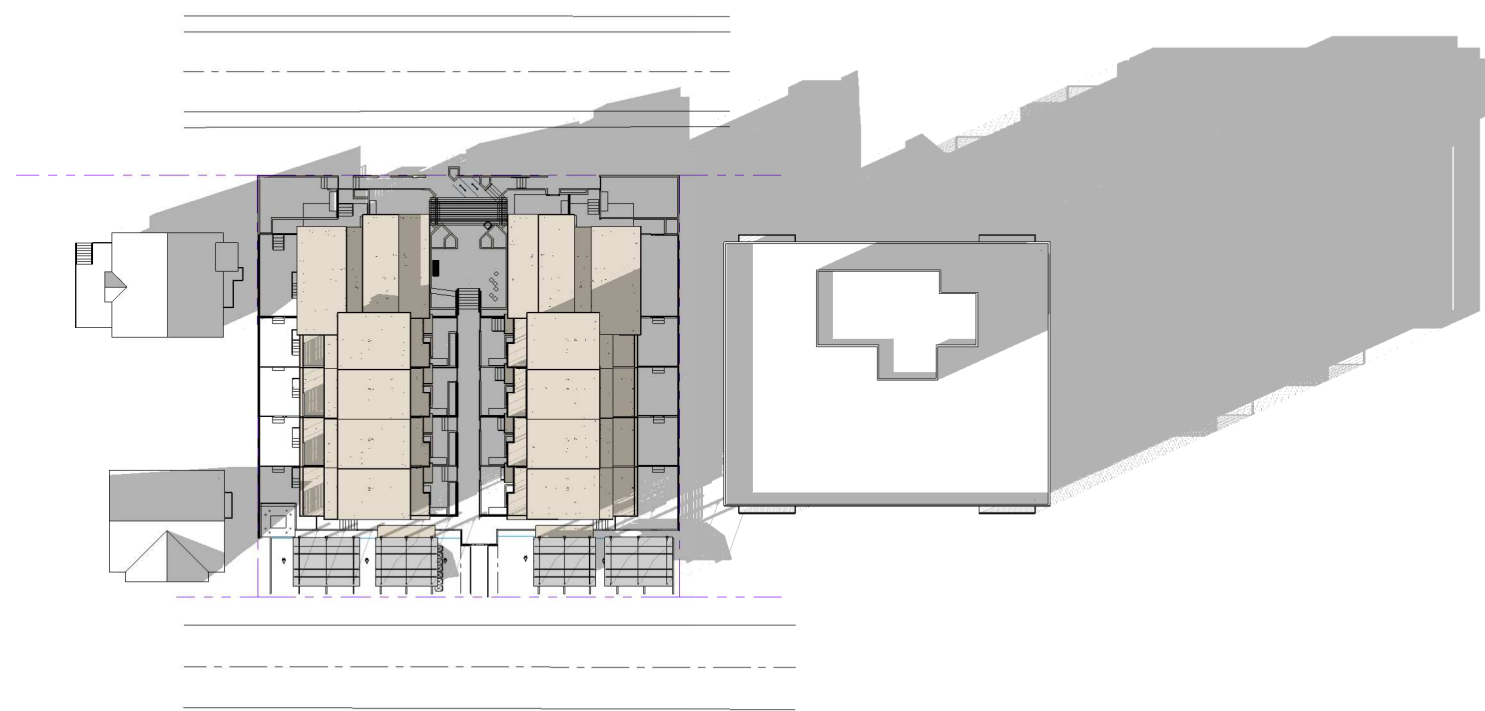


3 Shadow Study-December 21- 9 am
SCALE:



3 Shadow Study-March 21- 3 pm
SCALE:

2 Shadow Study-June 21- 3 pm
SCALE:



1 Shadow Study-December 21- 3 pm
SCALE:

2	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
1	2022-02-14	REISSUED FOR SECOND HEARING	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

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PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW
WESTMINSTER, B.C.

DRAWING TITLE
SHADOW STUDY 3 pm

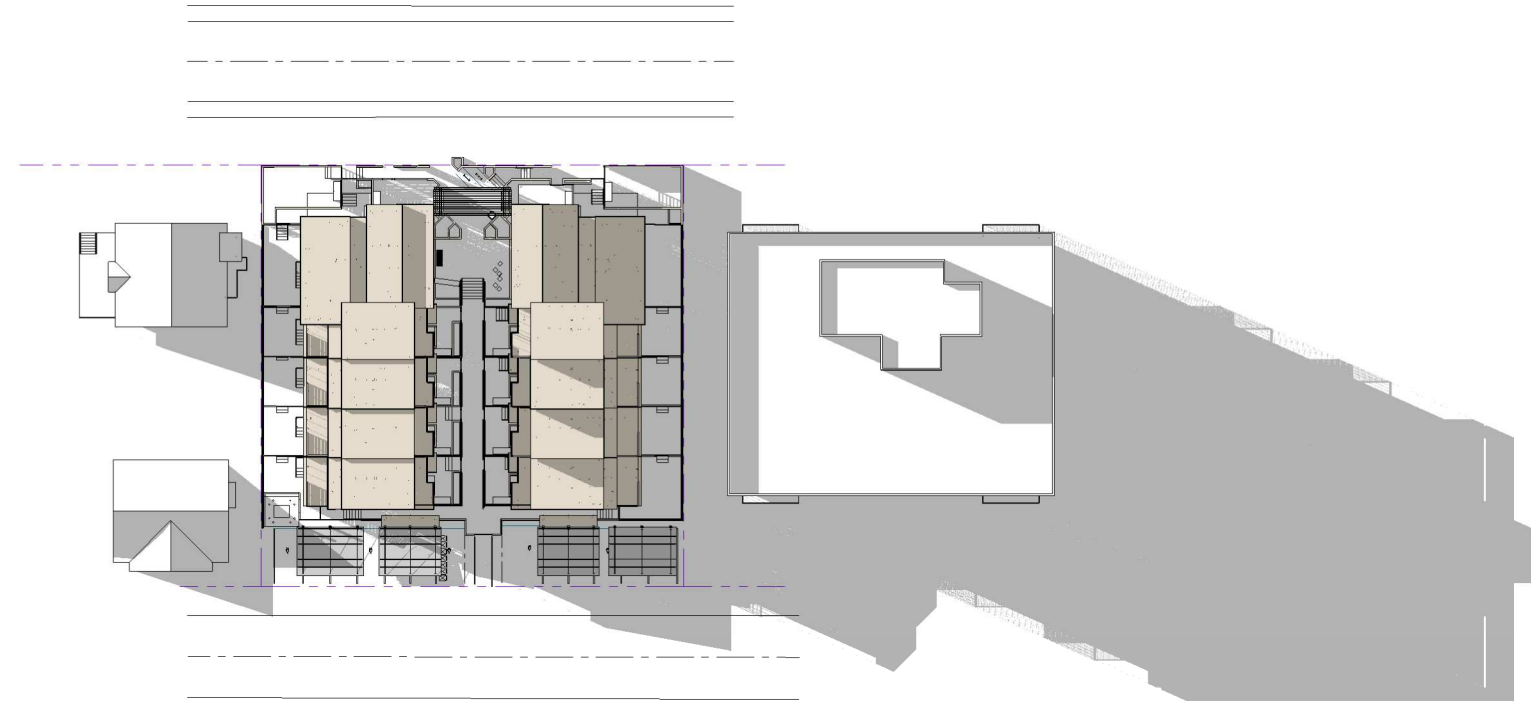
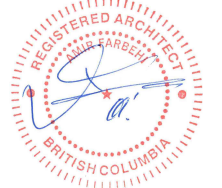
DRAWING ISSUE
**ISSUED FOR NEW
WESTMINSTER DESIGN
PANEL**

PROJECT NO. 18203	PLOT DATE MAY 16 2022	DRAWN Author	CHECKED Checker
DRAWING NO. A0009		REVISION 2	

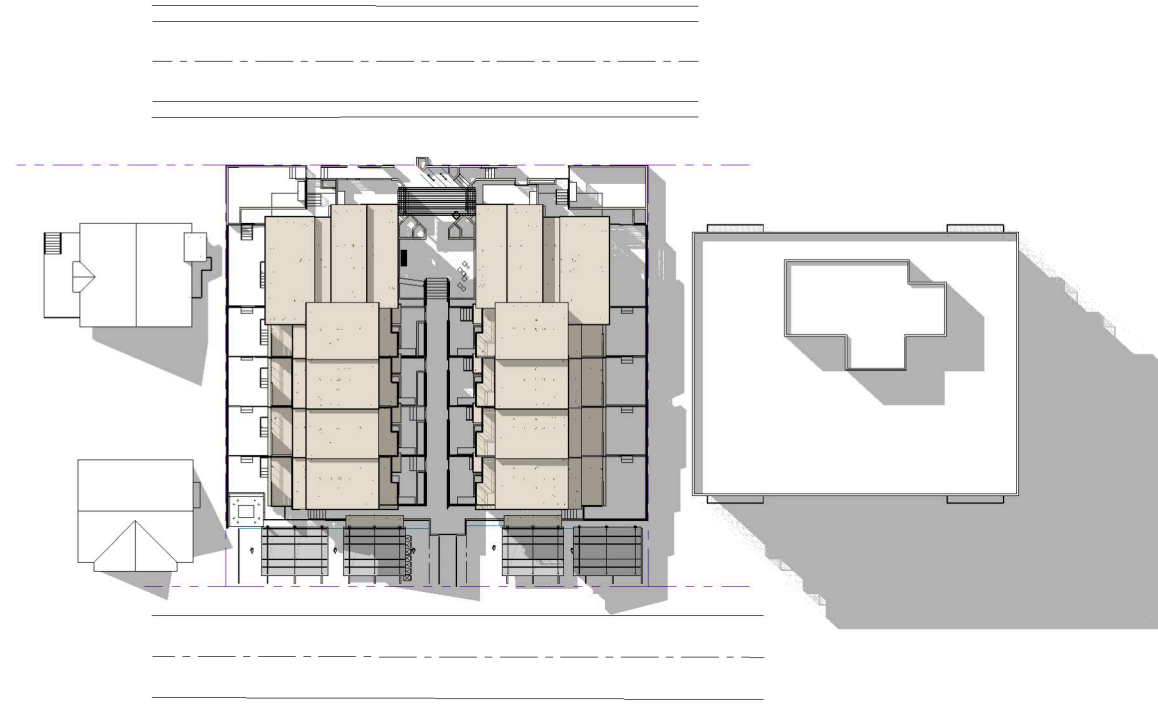
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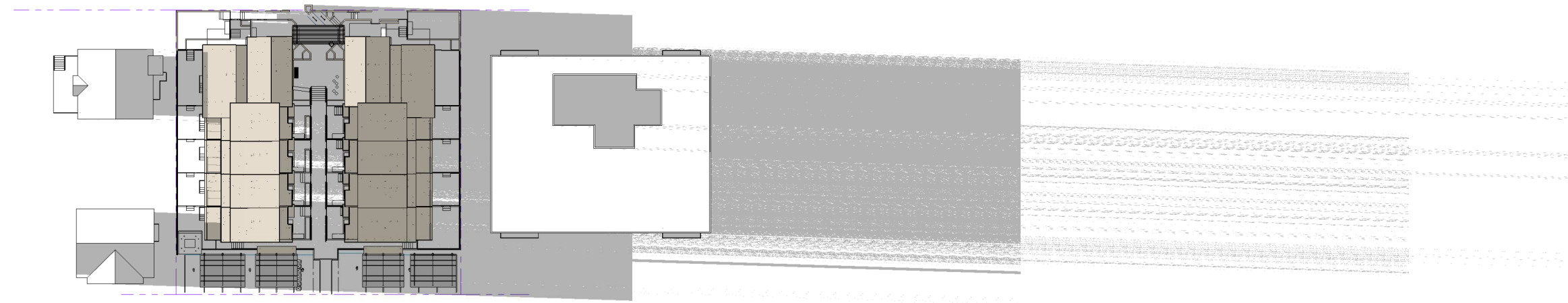
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3 Shadow Study-March 21- 6 pm
SCALE:



2 Shadow Study-June 21- 6 pm
SCALE:



1 Shadow Study-December 21- 6 pm
SCALE:

2	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
1	2022-02-14	REISSUED FOR SECOND HEARING	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

PROJECT

INFINITY TOWNHOMES

1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE

SHADOW STUDY 6 pm

DRAWING ISSUE

ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	Author
18203	MAY 16 2022	REVIEWED	Checker
DRAWING NO.	SCALE	REVISION	
A0010		2	

ST. ANDREWS STREET

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1	2021-04-14	REISSUED FOR FIRST HEARING	AF

CONSULTANT	PROJECT

CONSULTANT	PROJECT

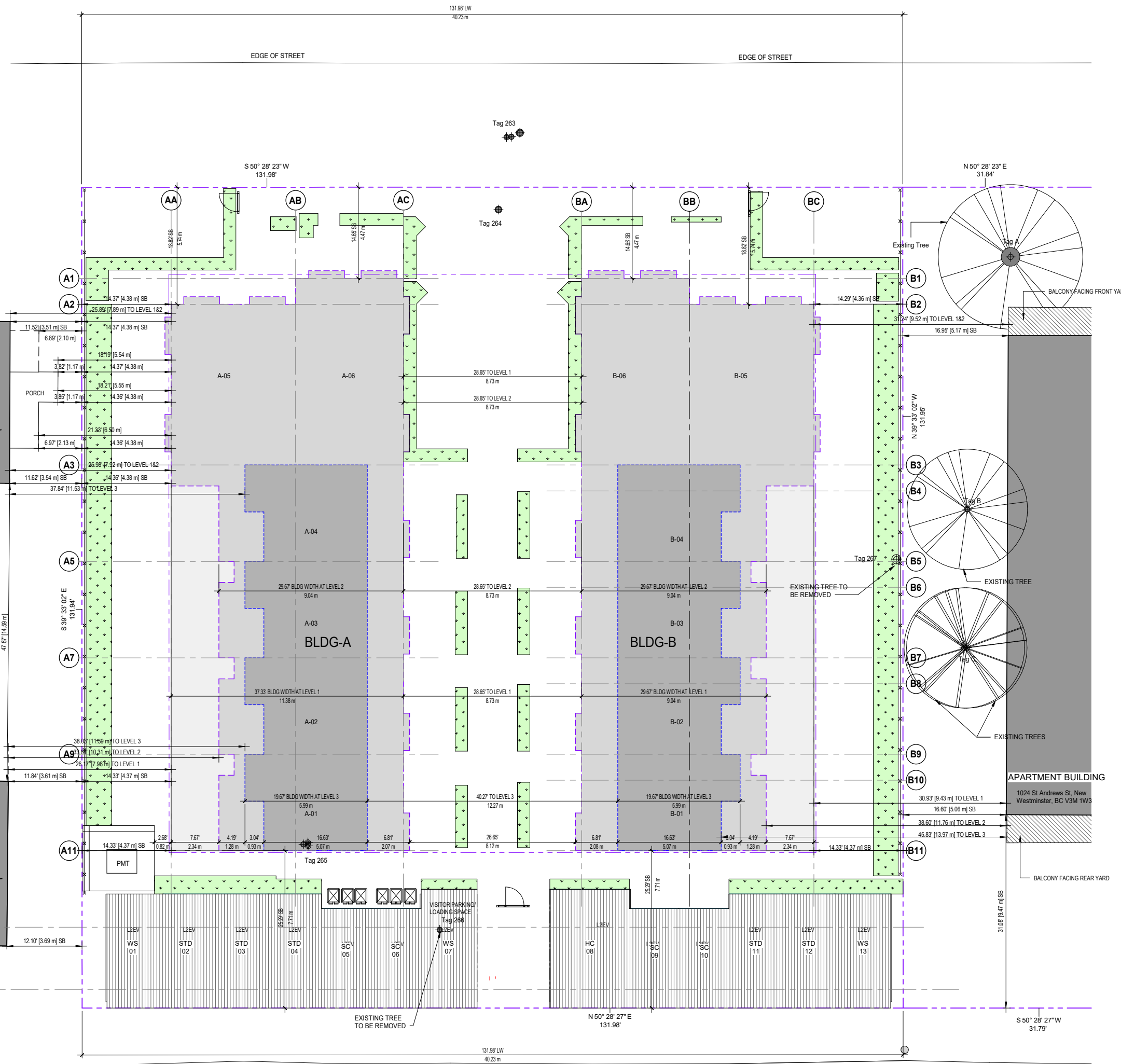
PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
SITE PLAN-BUILDING SITING

DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MT
18203	MAY 16 2022		

DRAWING NO.	SCALE	REVIEWED	AF	REVISION
A0100	As indicated			3



SITE SITING LEGEND

- PARKING AREA
- PRIVACY/ PERIMETER LANDSCAPING
- BUILDING FOOTPRINT LEVEL 1
- BUILDING FOOTPRINT LEVEL 2
- BUILDING FOOTPRINT LEVEL 3
- NEIGHBOURS' BUILDING FOOTPRINT
- NEIGHBOUR'S BALCONY

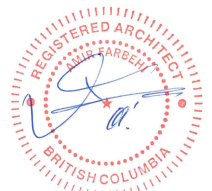
SITE PLAN LINE TYPES

- OLD PROPERTY LINE
- PROPERTY LINE
- SETBACK LINE
- LEVEL 1 OUTLINE
- LEVEL 2 OUTLINE
- LEVEL 3 OUTLINE
- LOWER ROOF OUTLINE
- UPPER ROOF OUTLINE
- 6' HIGH SECURITY FENCE

1 SITE PLAN-BUILDING SITING
SCALE: 1/8" = 1'-0"

BELLEVILLE STREET

ST. ANDREWS STREET



TREE TABLE – IDENTIFICATION & OVERVIEW						
Tree #	Tree type	Location	DBH (cm)	TPZ	General tree observations & condition	Action
263	Sawara Cypress	North boulevard	80	RQD	City of New Westminster tree, tree will require removal to create main access to the proposed development	RETAIN
264	Lawson Cypress	Northwest corner of #1032 St. Andrew's St	33	NOT RQD	Small, semi mature tree. Previously topped at 6 ft above ground, multiple regrown stems from this...	REMOVE
265	Lawson Cypress	Centre of rear garden #1036	54	NOT RQD	Mature Cypress multi-stem tree. Canopy of the tree appears to be 80% dead, which...	REMOVE
266	Lawson Cypress	Southeast corner of #1036	19	NOT RQD	Semi-mature tree, appears in good condition	REMOVE
267	Lawson Cypress	East property line of #1036	45	NOT RQD	Mature Cypress tree, with a significant lean to the west. Potentially a shared tree with the neighbouring property to the east	REMOVE
A	Willow	East neighbour's Northwest corner	90	RQD	Neighbour's tree has been identified purely for the purpose of highlighting the tree protection requirements	RETAIN
B	Apple	East neighbour's property	19	RQD	Neighbour's tree has been identified purely for the purpose of highlighting the tree protection requirements	RETAIN
C	Apple	East neighbour's property	20	RQD	Neighbour's tree has been identified purely for the purpose of highlighting the tree protection requirements	RETAIN

The development proposal for the two properties listed in this report is to combine the properties and create a townhouse complex. For such a project, this will mean the removal of all trees on the two properties to make way for the construction of all proposed houses, access roadway, walkways and landscaping. At this time the above trees have been highlighted to indicate if removal at this time is recommended due to health, risk and structural integrity.

- SITE PLAN LINE TYPES**
- OLD PROPERTY LINE - - - - -
 - PROPERTY LINE - - - - -
 - SETBACK LINE - - - - -
 - LEVEL 1 OUTLINE - - - - -
 - LEVEL 2 OUTLINE - - - - -
 - LEVEL 3 OUTLINE - - - - -
 - LOWER ROOF OUTLINE - - - - -
 - UPPER ROOF OUTLINE - - - - -
 - 6' HIGH SECURITY FENCE x x x x x

- SITE PLAN LEGEND**
- SAND SURFACING
 - PERMEABLE CONCRETE PAVER
 - STAMPED ASPHALT
 - WOOD DECKING
 - CONCRETE SLAB (GRAY)
 - LAWN
 - GARDEN
 - COMMUNITY GARDEN
 - BUILDING FOOTPRINT LEVEL 1
 - LIGHT WELL

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
6	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
5	2022-02-14	REISSUED FOR SECOND HEARING	AF
4	2021-10-14	REISSUED FOR FIRST HEARING	AF
3	2021-04-14	REISSUED FOR FIRST HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF

PROJECT

INFINITY TOWNHOMES

1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE

SITE PLAN

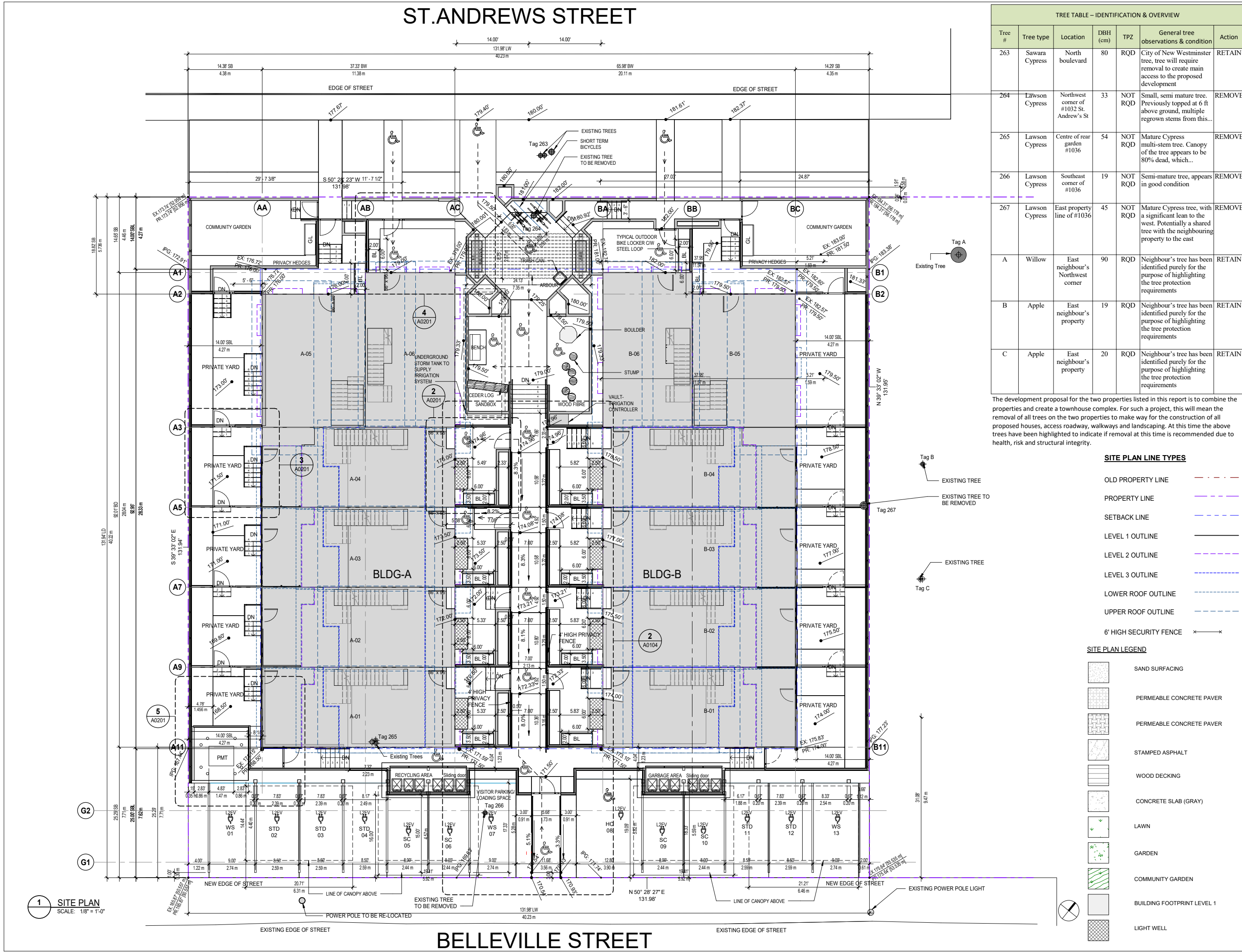
DRAWING ISSUE

ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022		
DRAWING NO.	SCALE	REVIEWED	AF
A0101	As indicated		

REVISION

6



1 SITE PLAN
SCALE: 1/8" = 1'-0"



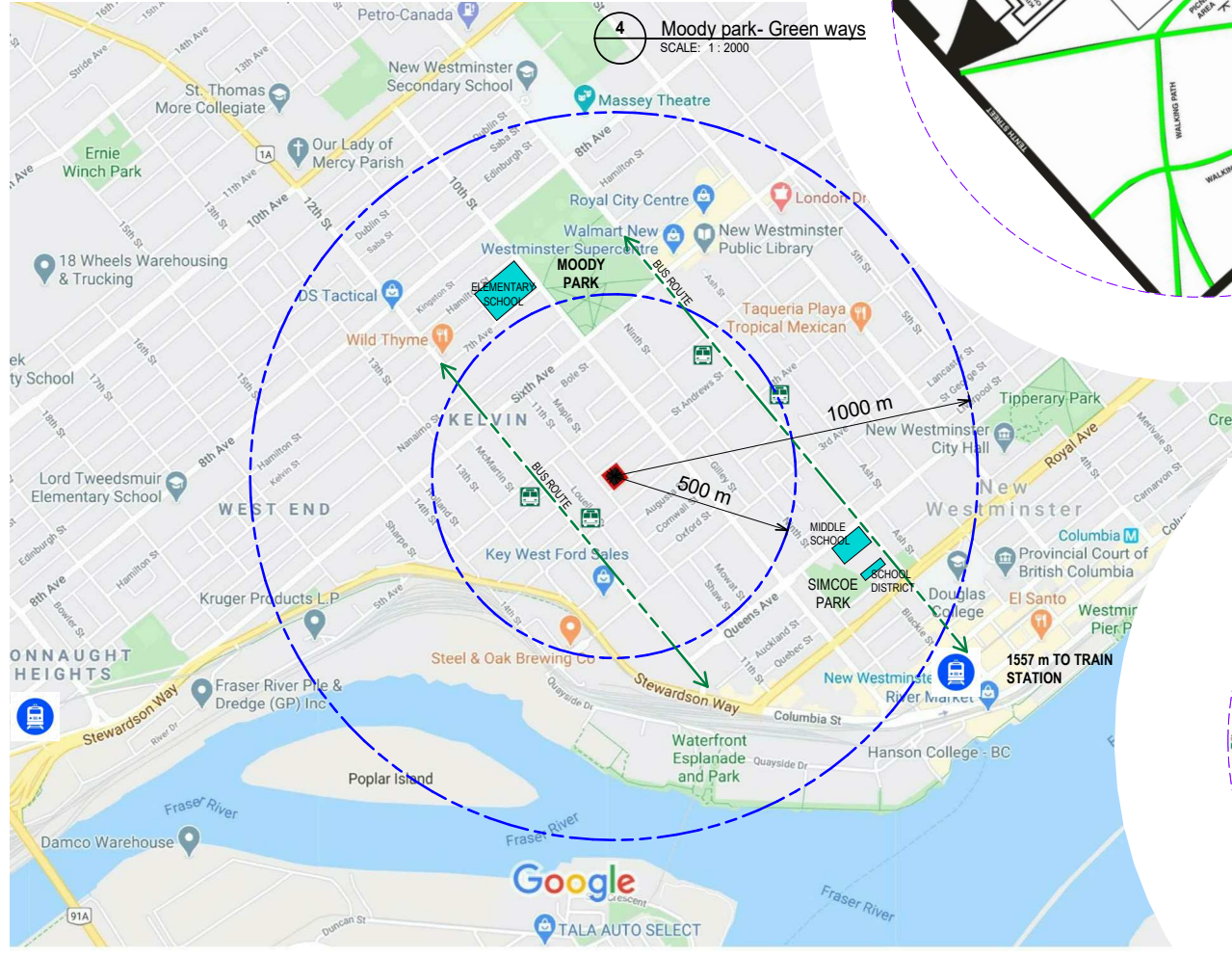
2 Existing Streetscape View- St. Andrews
SCALE: 1/2" = 1'-0"

SUBJECT LOTS

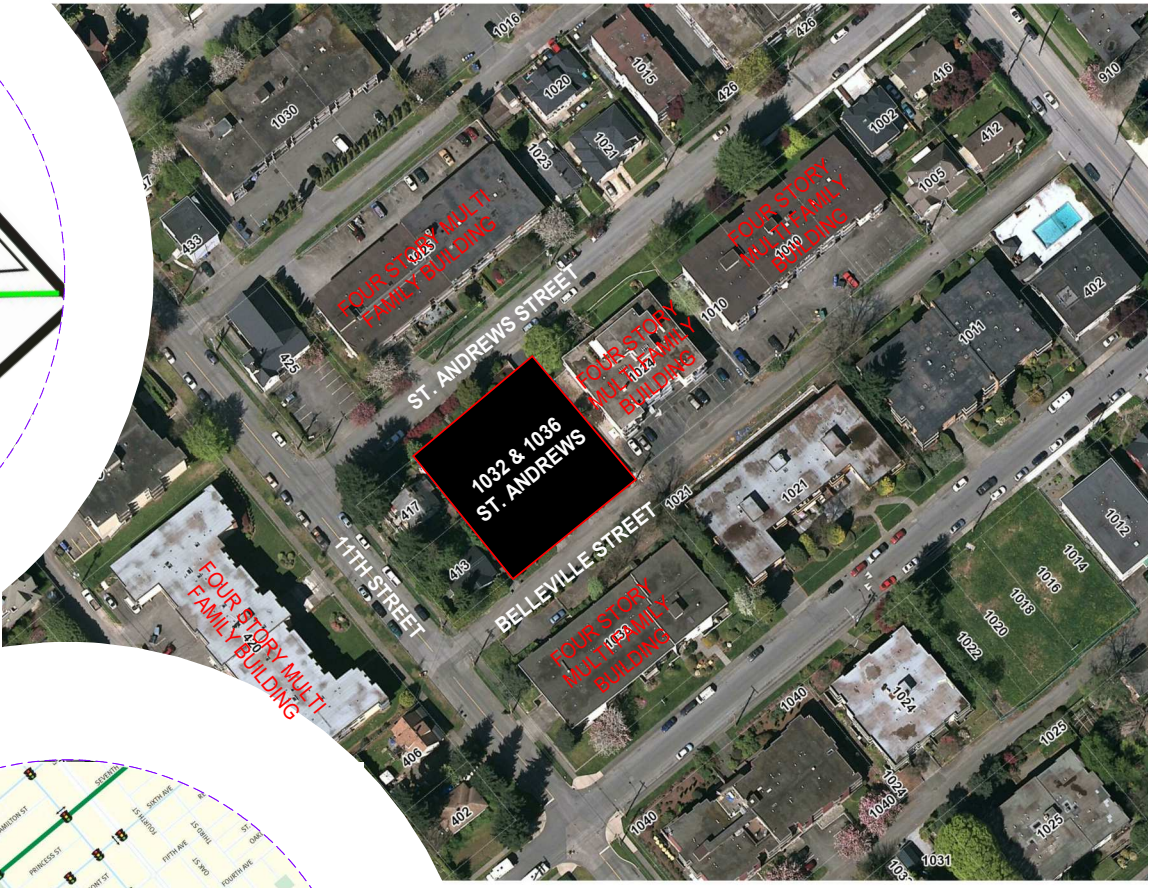
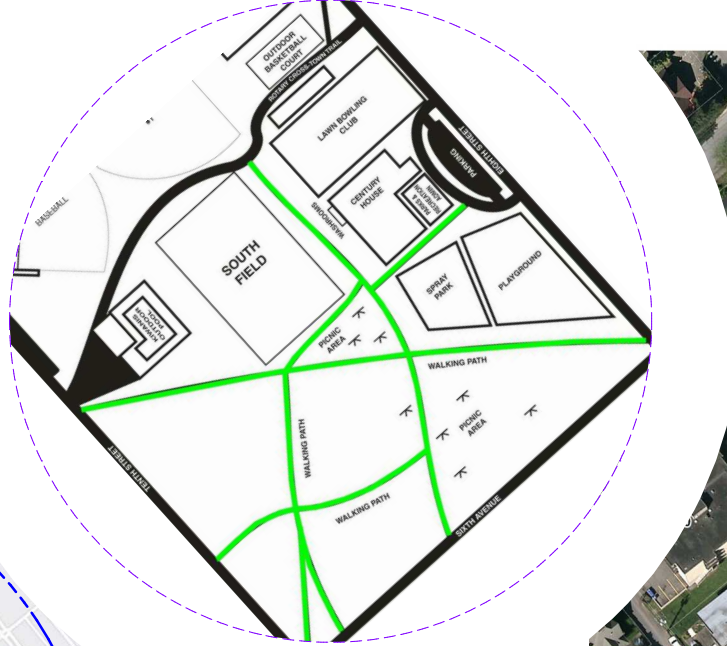


6 Existing Streetscape View- Belleville Street
SCALE: 1/2" = 1'-0"

SUBJECT LOTS



4 Moody park- Green ways
SCALE: 1: 2000

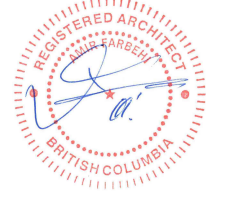


1 Context Plan 200 m
SCALE: 1: 1000

3 Context plan- 1 Km
SCALE: 1: 10000

5 Bike routes
SCALE: 1: 15000

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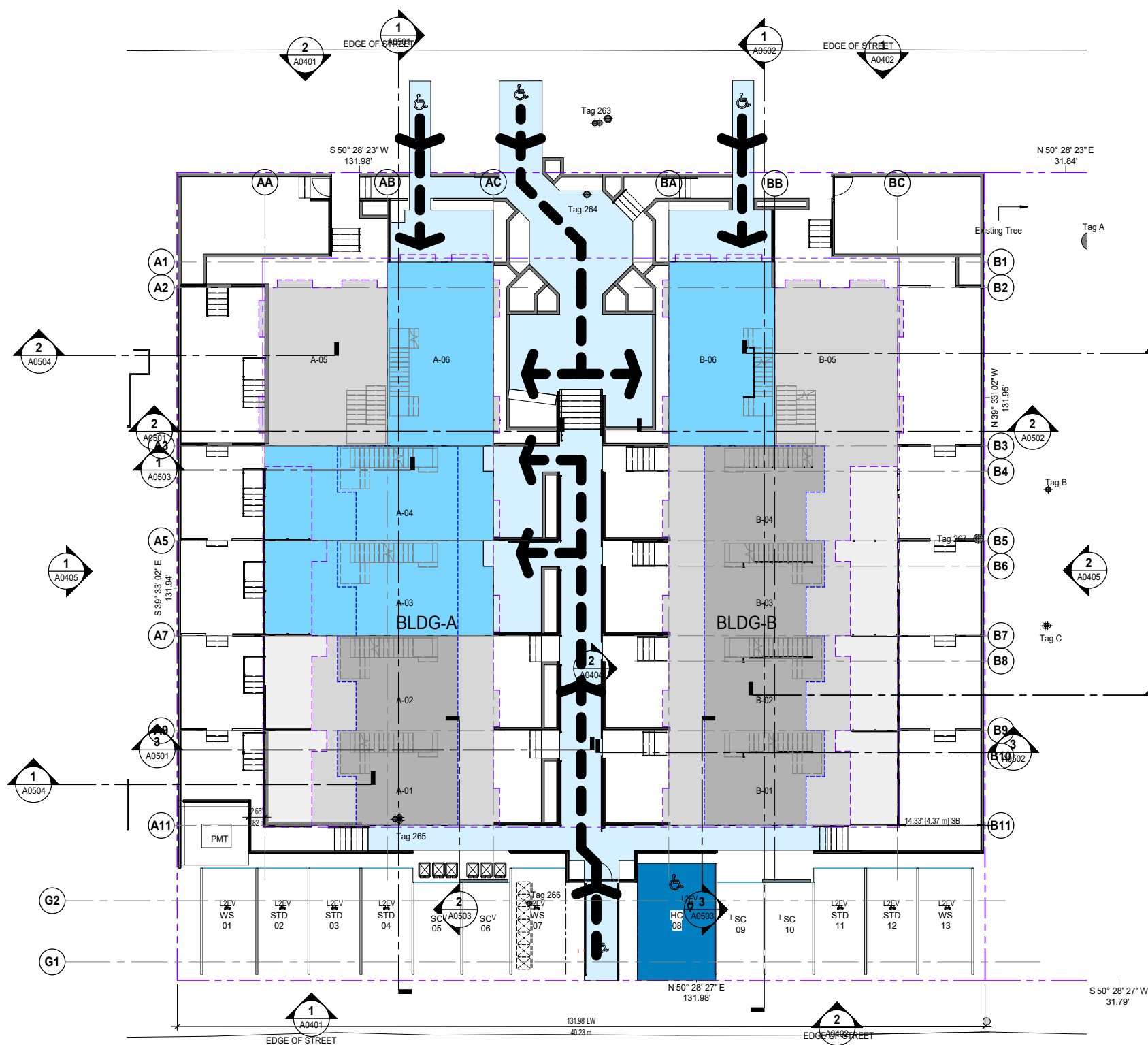


REV.	DATE	REVISION / DRAWING ISSUE	REVIEW
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1	2020-02-24	REISSUED FOR FIRST HEARING	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.
DRAWING TITLE
CONTEX PLAN & EXISTING STREETScape VIEW
DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO. 18203	PLOT DATE MAY 16 2022	DRAWN NN
DRAWING NO. A0102	SCALE As indicated	REVIEWED AF
		REVISION 3

ST. ANDREWS STREET



BELLEVILLE STREET

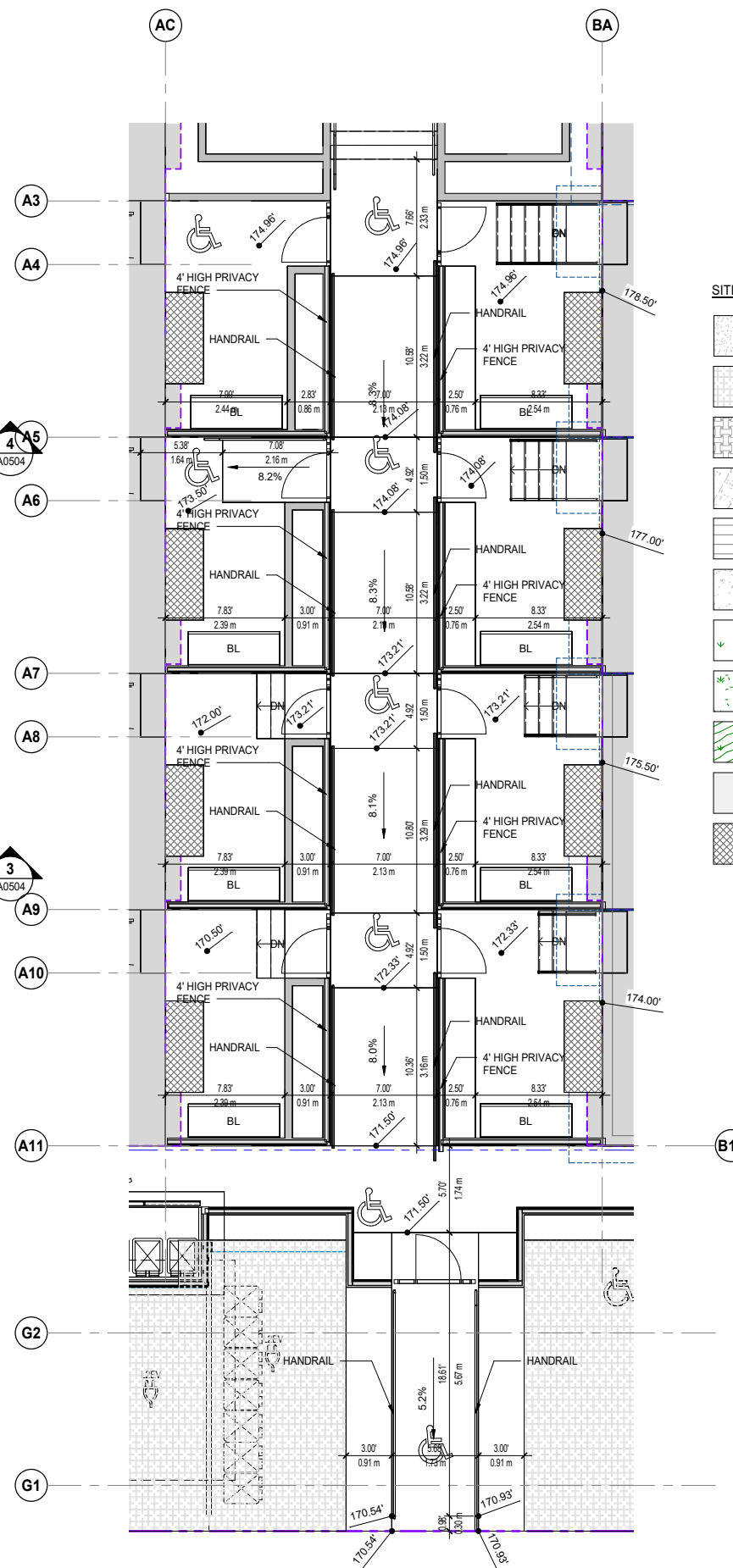
1 SITE PLAN-ACCESSIBILITY
SCALE: 3/32" = 1'-0"

SITE ACCESSIBILITY LEGEND

- ACCESSIBLE PATH
- ACCESSIBLE UNIT
- ACCESSIBLE PARKING STALL
- BUILDING FOOTPRINT LEVEL 1
- BUILDING FOOTPRINT LEVEL 2
- BUILDING FOOTPRINT LEVEL 3
- ACCESSIBLE AXIS

SITE PLAN LINE TYPES

- OLD PROPERTY LINE
- PROPERTY LINE
- SETBACK LINE
- LEVEL 1 OUTLINE
- LEVEL 2 OUTLINE
- LEVEL 3 OUTLINE
- LOWER ROOF OUTLINE
- UPPER ROOF OUTLINE
- 6' HIGH SECURITY FENCE



SITE PLAN LEGEND

- SAND SURFACING
- PERMEABLE CONCRETE PAVER
- PERMEABLE CONCRETE PAVER
- STAMPED ASPHALT
- WOOD DECKING
- CONCRETE SLAB (GRAY)
- LAWN
- GARDEN
- COMMUNITY GARDEN
- BUILDING FOOTPRINT LEVEL 1
- LIGHT WELL

2 SITE PLAN - INTERIOR WALKWAY LAYOUT
SCALE: 3/16" = 1'-0"



REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
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1	2021-04-14	REISSUED FOR FIRST HEARING	AF

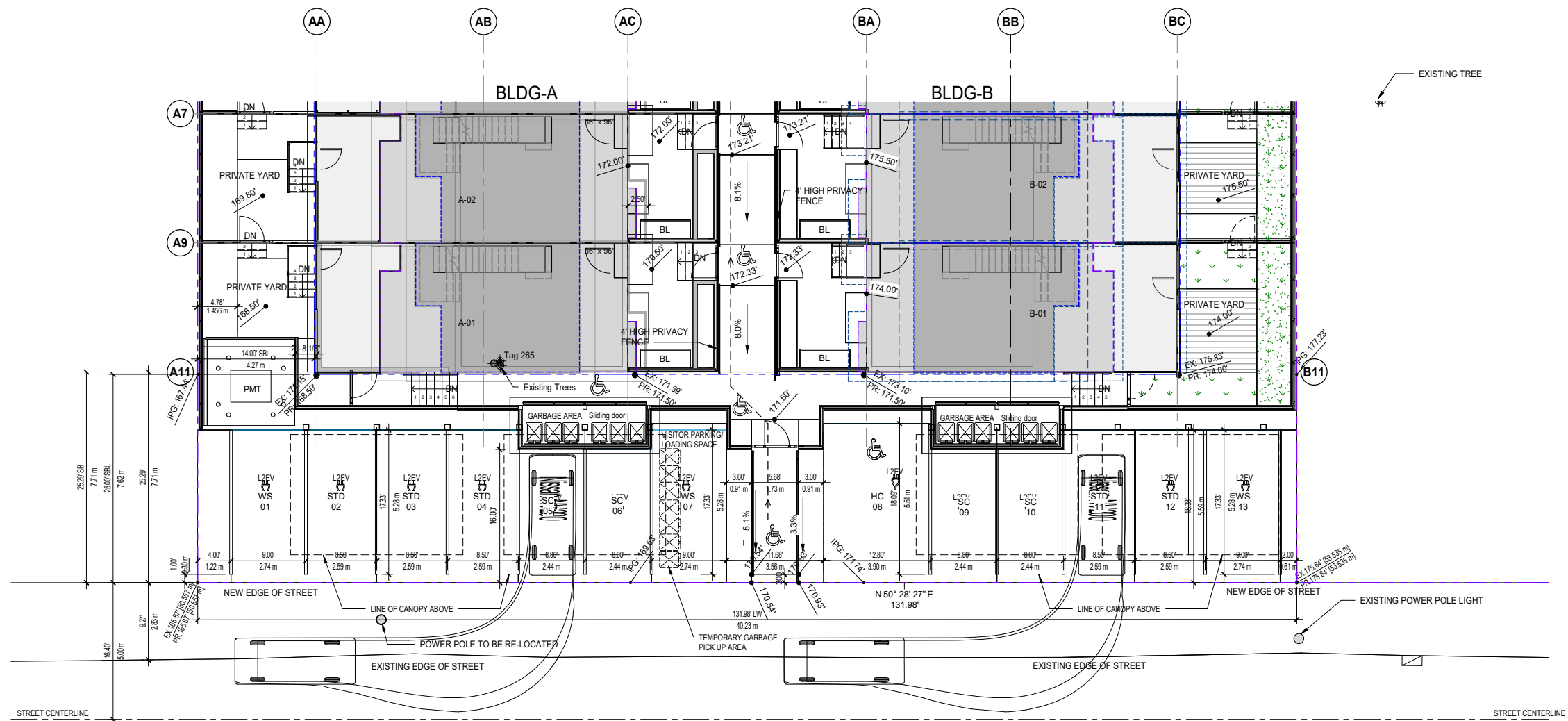
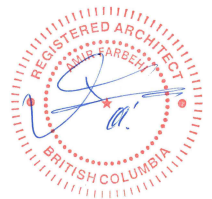
PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
SITE PLAN-ACCESSIBILITY

DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MT
18203	MAY 16 2022		
DRAWING NO.	SCALE	REVIEWED	AF
A0104	As indicated		

REVISION
3



BELLEVILLE STREET

1 SITE PLAN VEHICLE MANEUVERING
 SCALE: 1/8" = 1'-0"

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
3	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
2	2022-02-14	REISSUED FOR SECOND HEARING	AF
1	2021-10-14	REISSUED FOR FIRST HEARING	AF

PROJECT
INFINITY TOWNHOMES
 1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

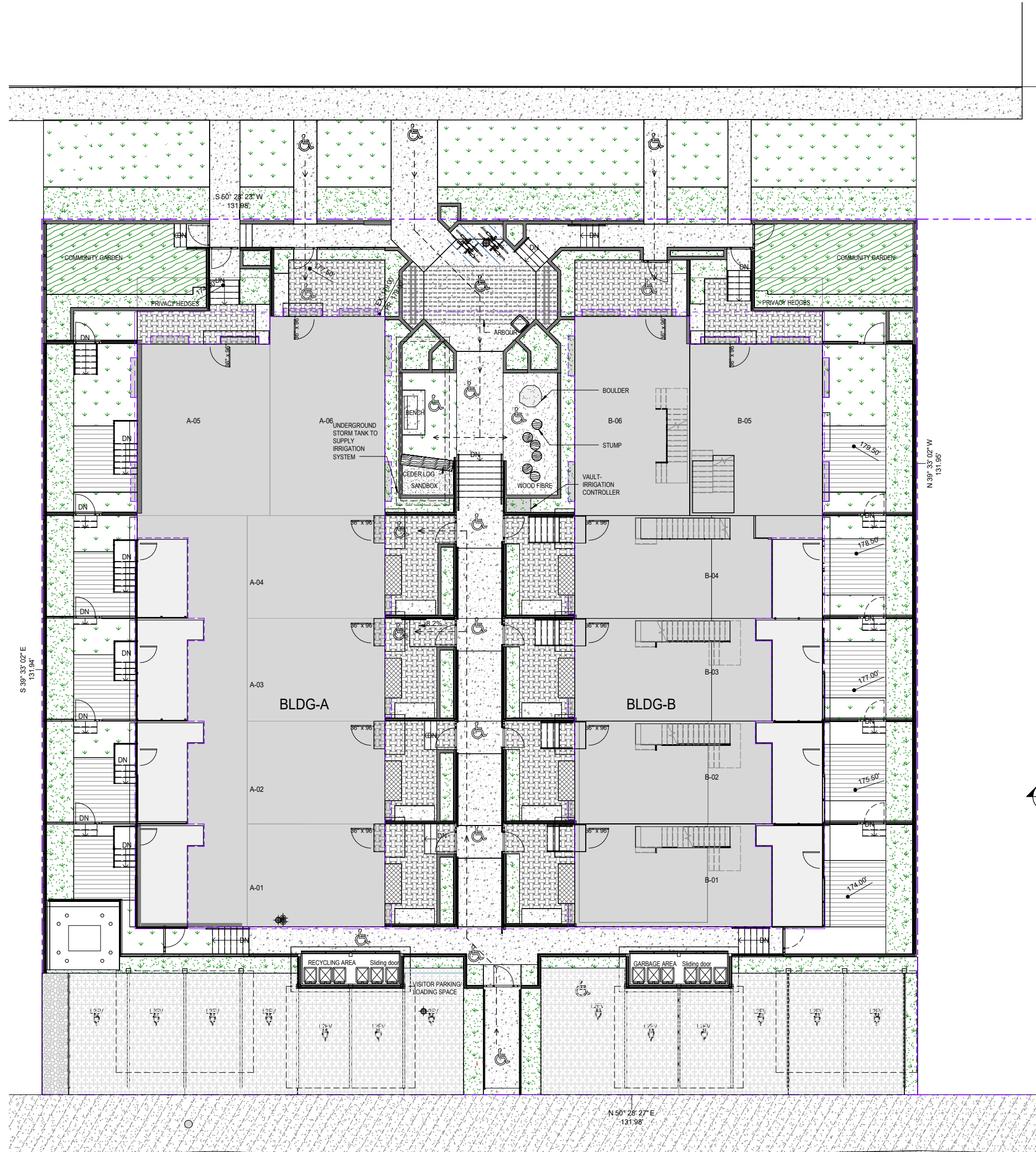
DRAWING TITLE
VEHICLE MANEUVERING

DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	Author
18203	MAY 16 2022		
SCALE	REVIEWED	Checker	REVISION
1/8" = 1'-0"			

DRAWING NO. **A0105** 3

ST. ANDREWS STREET

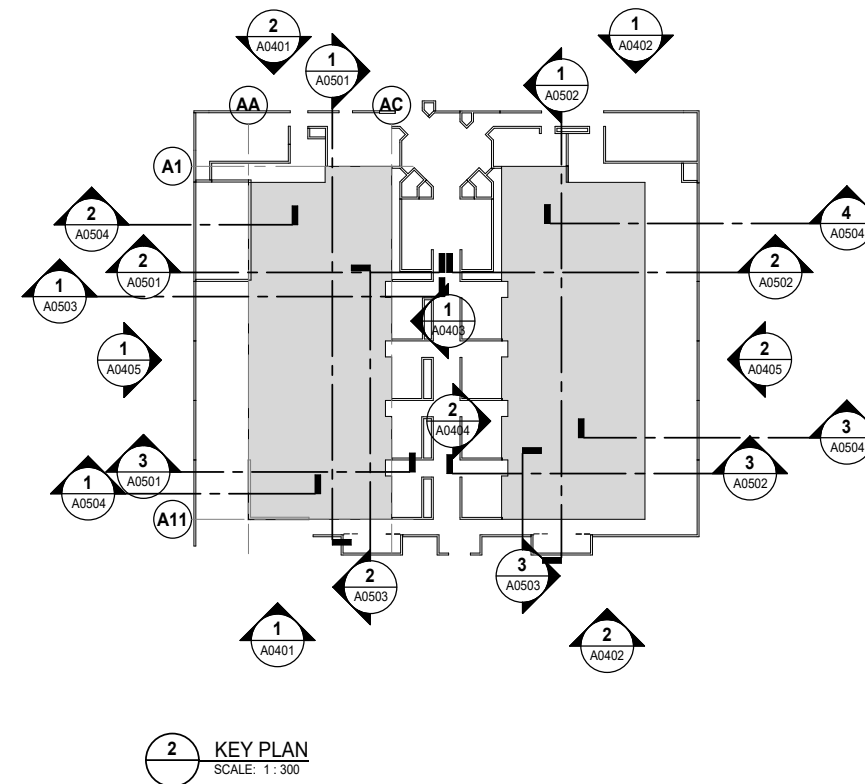


SITE PLAN LINE TYPES

- OLD PROPERTY LINE ---
- PROPERTY LINE ---
- SETBACK LINE ---
- LEVEL 1 OUTLINE ---
- LEVEL 2 OUTLINE ---
- LEVEL 3 OUTLINE ---
- LOWER ROOF OUTLINE ---
- UPPER ROOF OUTLINE ---
- 6' HIGH SECURITY FENCE x-x

SITE PLAN LEGEND

- SAND SURFACING
- PERMEABLE CONCRETE PAVER
- STAMPED ASPHALT
- WOOD DECKING
- CONCRETE SLAB (GRAY)
- LAWN
- GARDEN
- COMMUNITY GARDEN
- BUILDING FOOTPRINT LEVEL 1
- LIGHT WELL



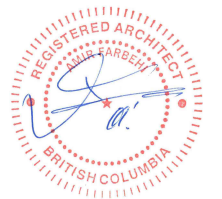
1 SITE PLAN - MATERIAL & FINISHES
SCALE: 1/8" = 1'-0"

BELLEVILLE STREET

Inspired Architecture

5-1430 MARINE DRIVE, NORTH VANCOUVER
BRITISH COLUMBIA V7P 1T6 CANADA
EMAIL: INFO@INSPIREDARCHITECTURE.CA
TEL: 604-770-2088

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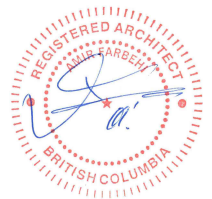
REV.	DATE	DESCRIPTION	BY
3	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
2	2022-02-14	REISSUED FOR SECOND HEARING	AF
1	2021-04-14	REISSUED FOR FIRST HEARING	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
SITE PLAN MATERIAL & FINISHES

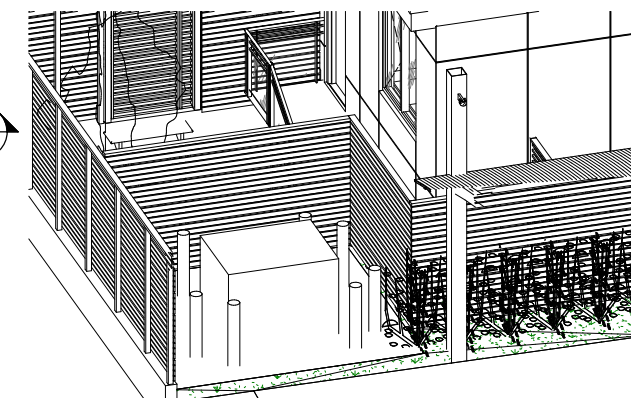
DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	SCALE	REVIEWED	REVISION
18203	MAY 16 2022	SG	As indicated	AF	3
DRAWING NO.	A0106				

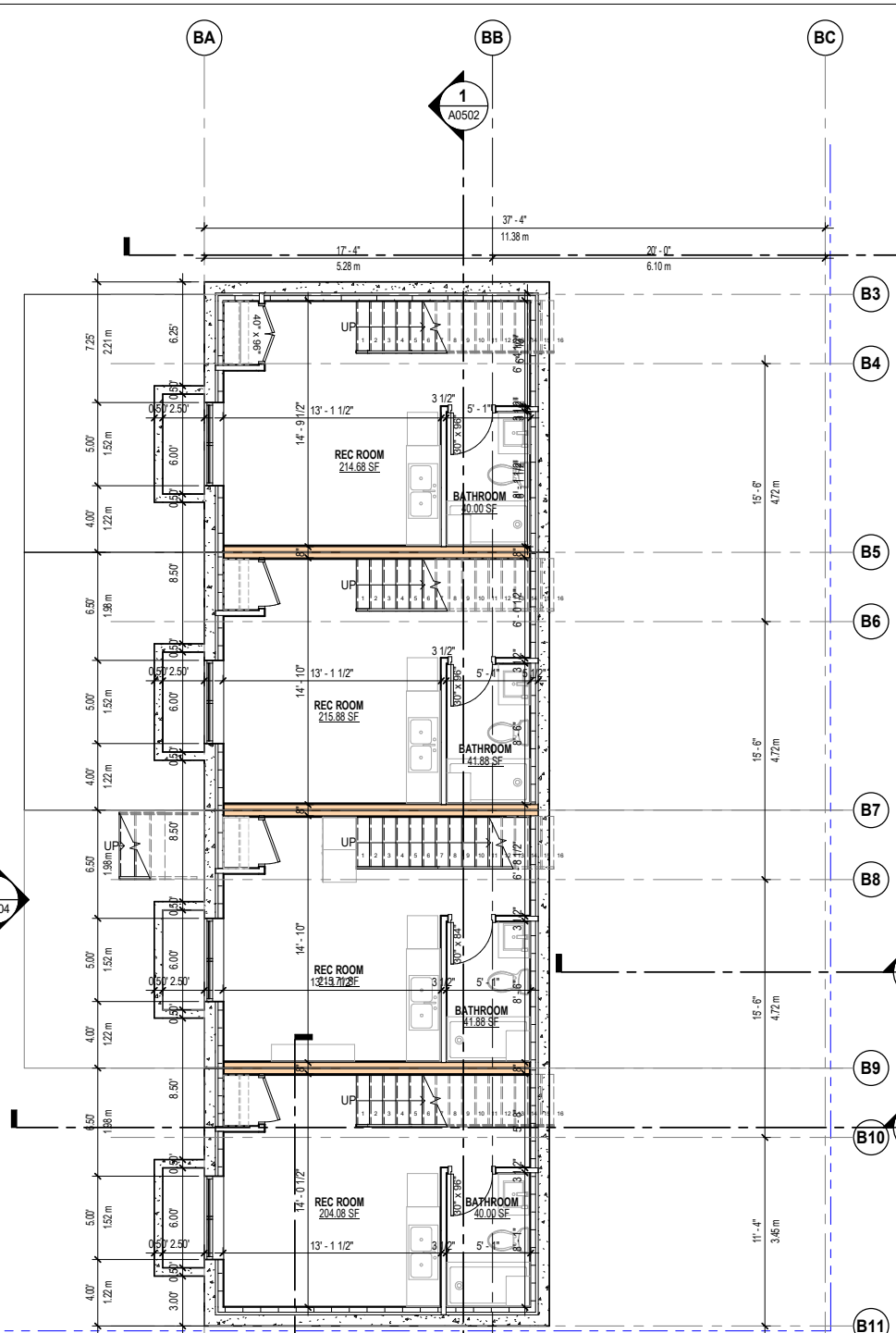
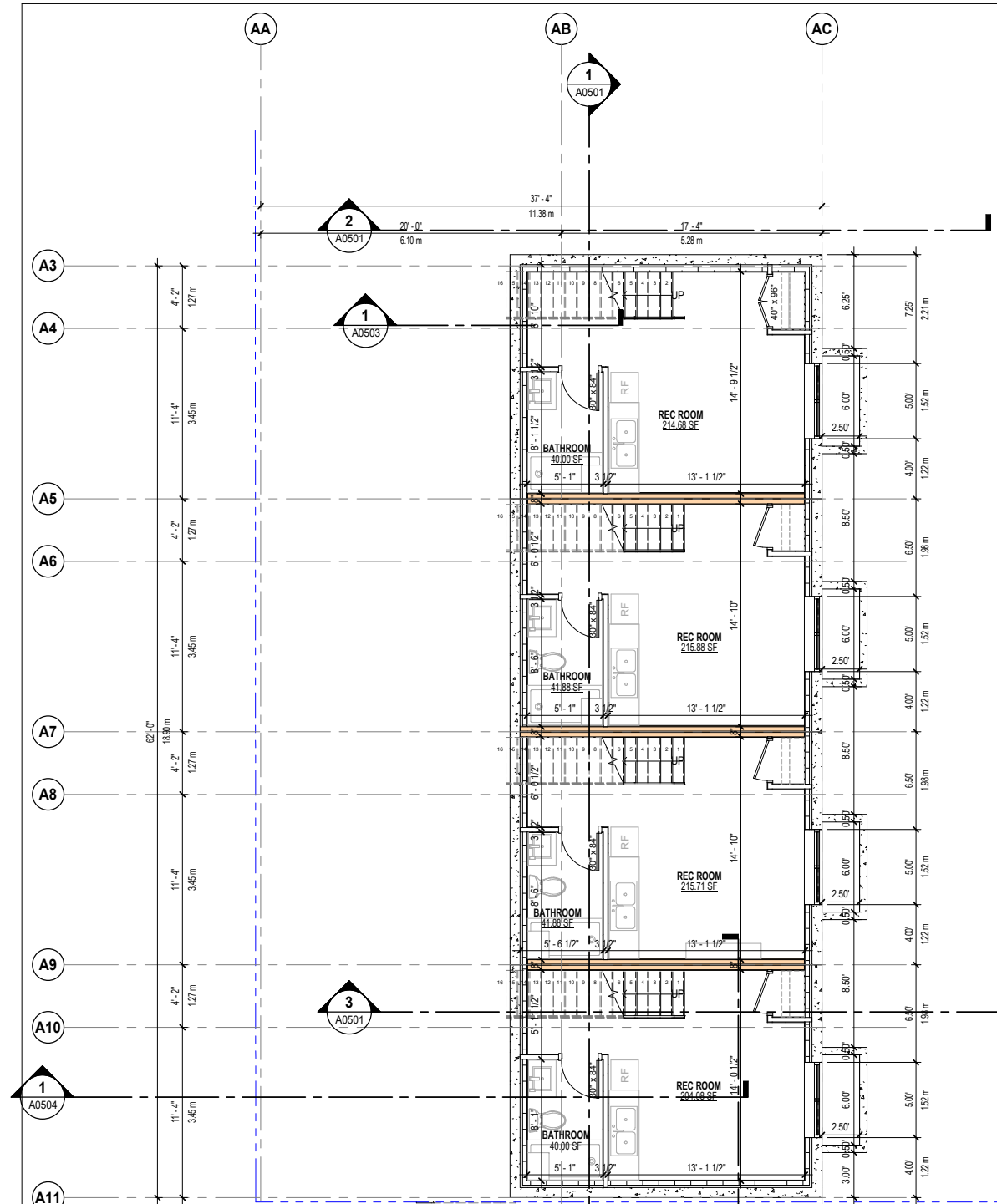


SITE PLAN LEGEND

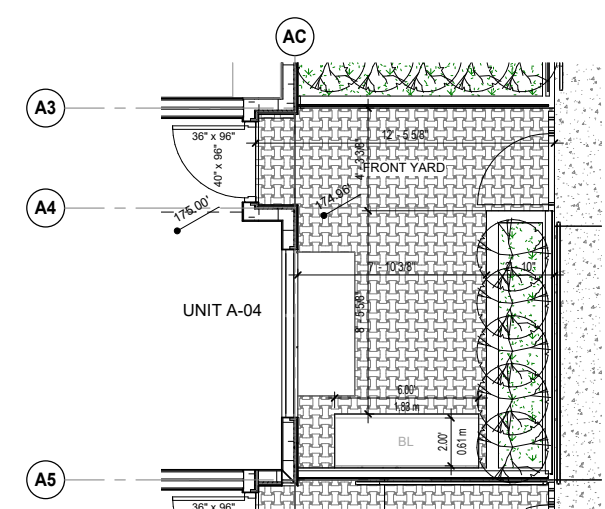
- SAND SURFACING
- PERMEABLE CONCRETE PAVER
- PERMEABLE CONCRETE PAVER
- STAMPED ASPHALT
- WOOD DECKING
- CONCRETE SLAB (GRAY)
- LAWN
- GARDEN
- COMMUNITY GARDEN
- BUILDING FOOTPRINT LEVEL 1
- LIGHT WELL



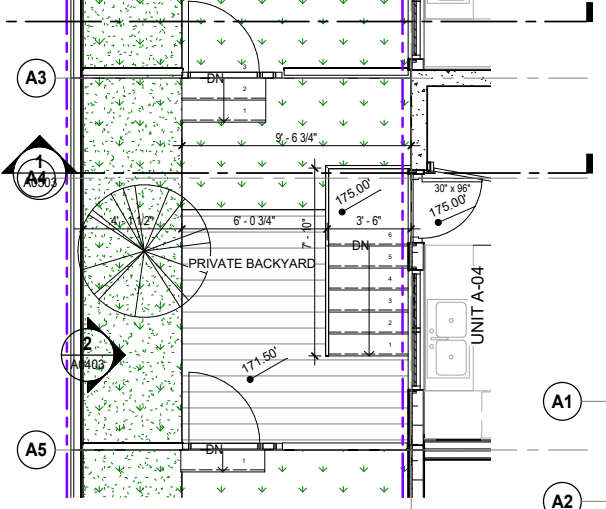
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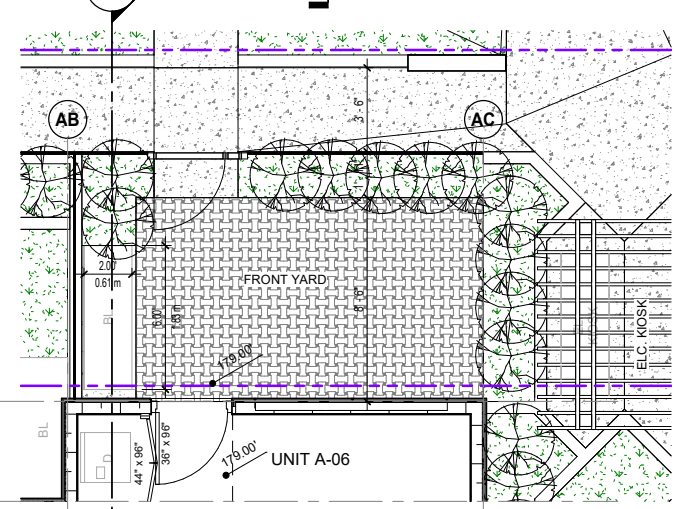
1 OVERALL BASEMENT
SCALE: 3/16" = 1'-0"



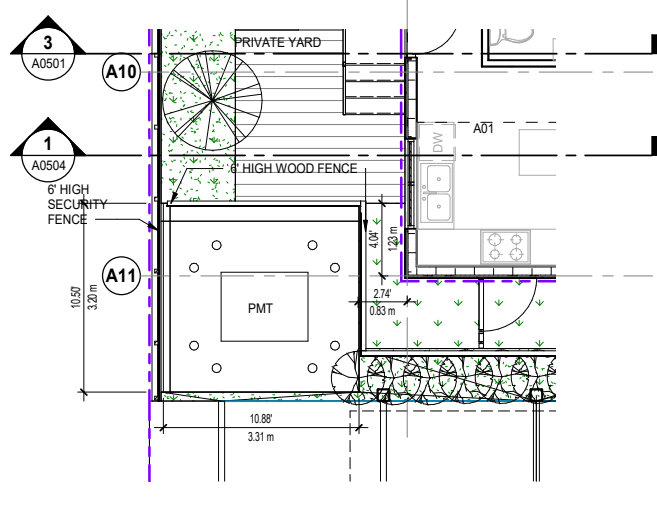
2 SITE PLAN - UNIT A-04 - FRONT YARD LAYOUT
SCALE: 1/4" = 1'-0"



3 SITE PLAN - UNIT A-04 - BACKYARD LAYOUT
SCALE: 1/4" = 1'-0"



4 SITE PLAN - UNIT A-06-FRONT YARD-LAYOUT
SCALE: 1/4" = 1'-0"

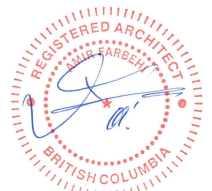


5 SITE PLAN - PMT LAYOUT
SCALE: 3/16" = 1'-0"

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
5	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
4	2022-02-14	REISSUED FOR SECOND HEARING	AF
3	2021-04-14	REISSUED FOR FIRST HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF

PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.
DRAWING TITLE
BASEMENT FLOOR PLAN & PATIO LAYOUTS
DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A0201	As indicated		



REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
4	2022-02-14	REISSUED FOR SECOND HEARING	AF
3	2021-04-14	REISSUED FOR FIRST HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF

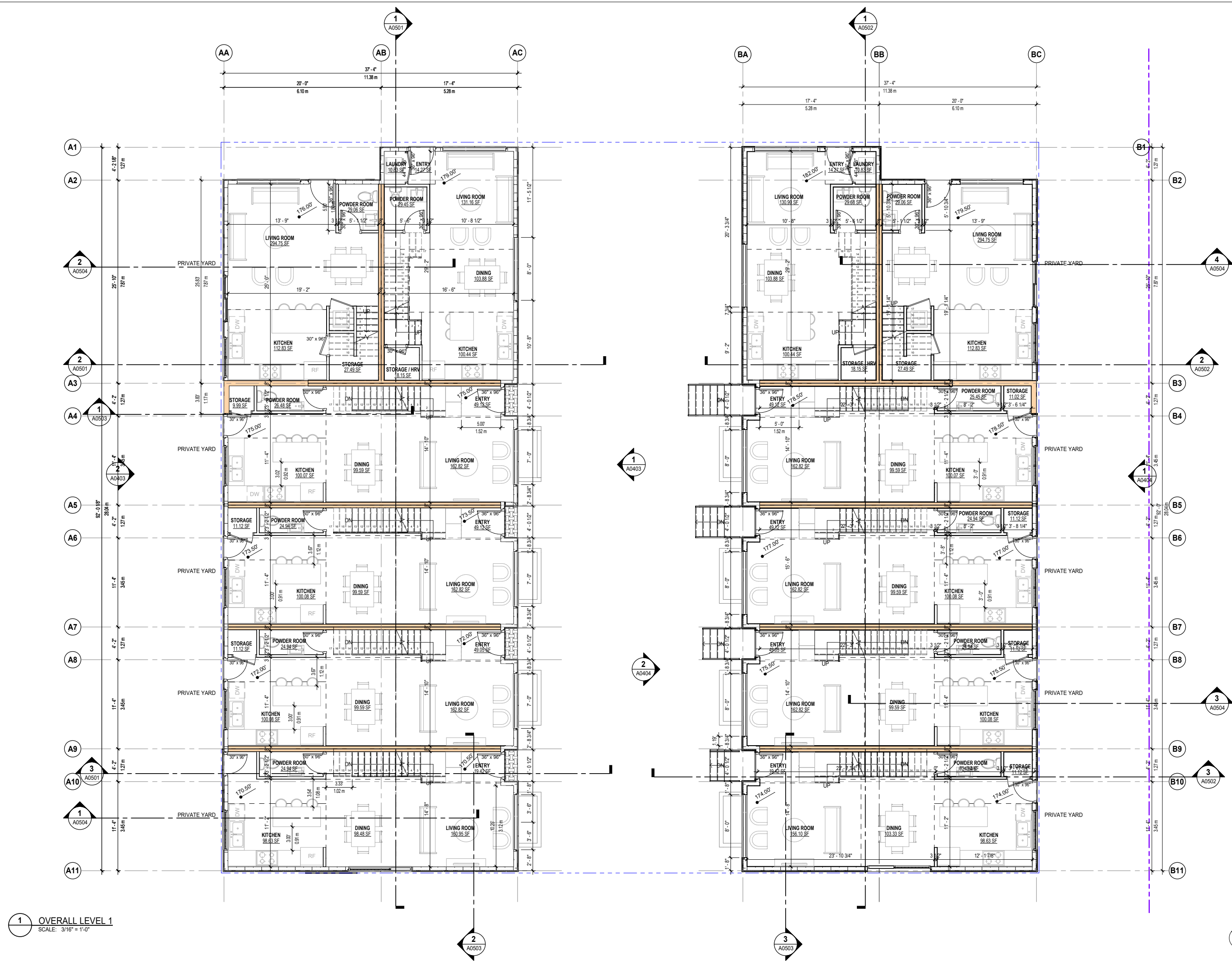
PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
LEVEL 1 FLOOR PLAN

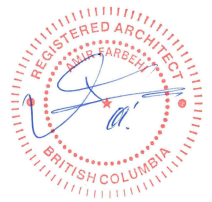
DRAWING ISSUE
REISSUED FOR SECOND HEARING

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022		
DRAWING NO.	SCALE	REVIEWED	AF
A0202	3/16" = 1'-0"		

REVISION
4



1 OVERALL LEVEL 1
SCALE: 3/16" = 1'-0"

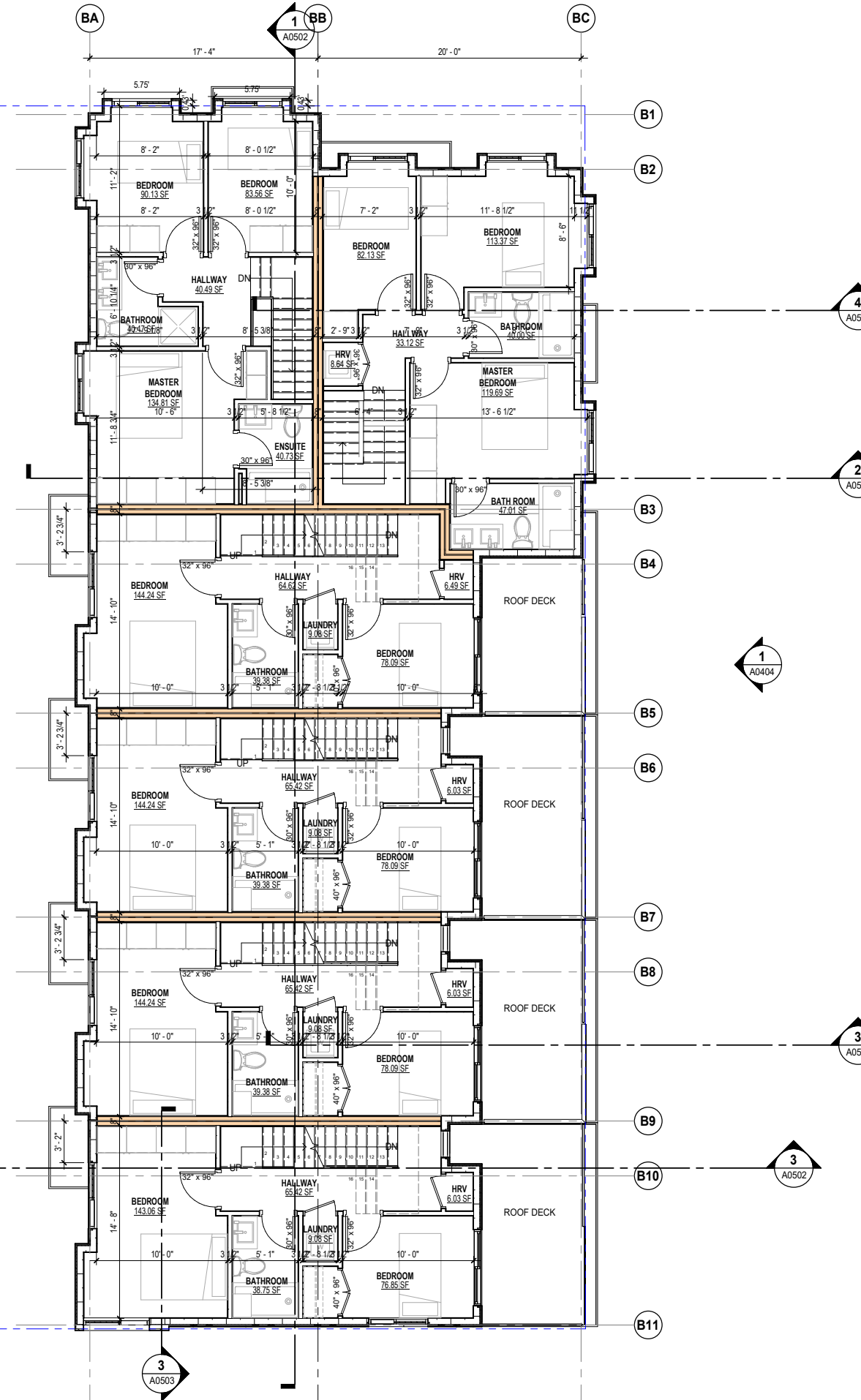
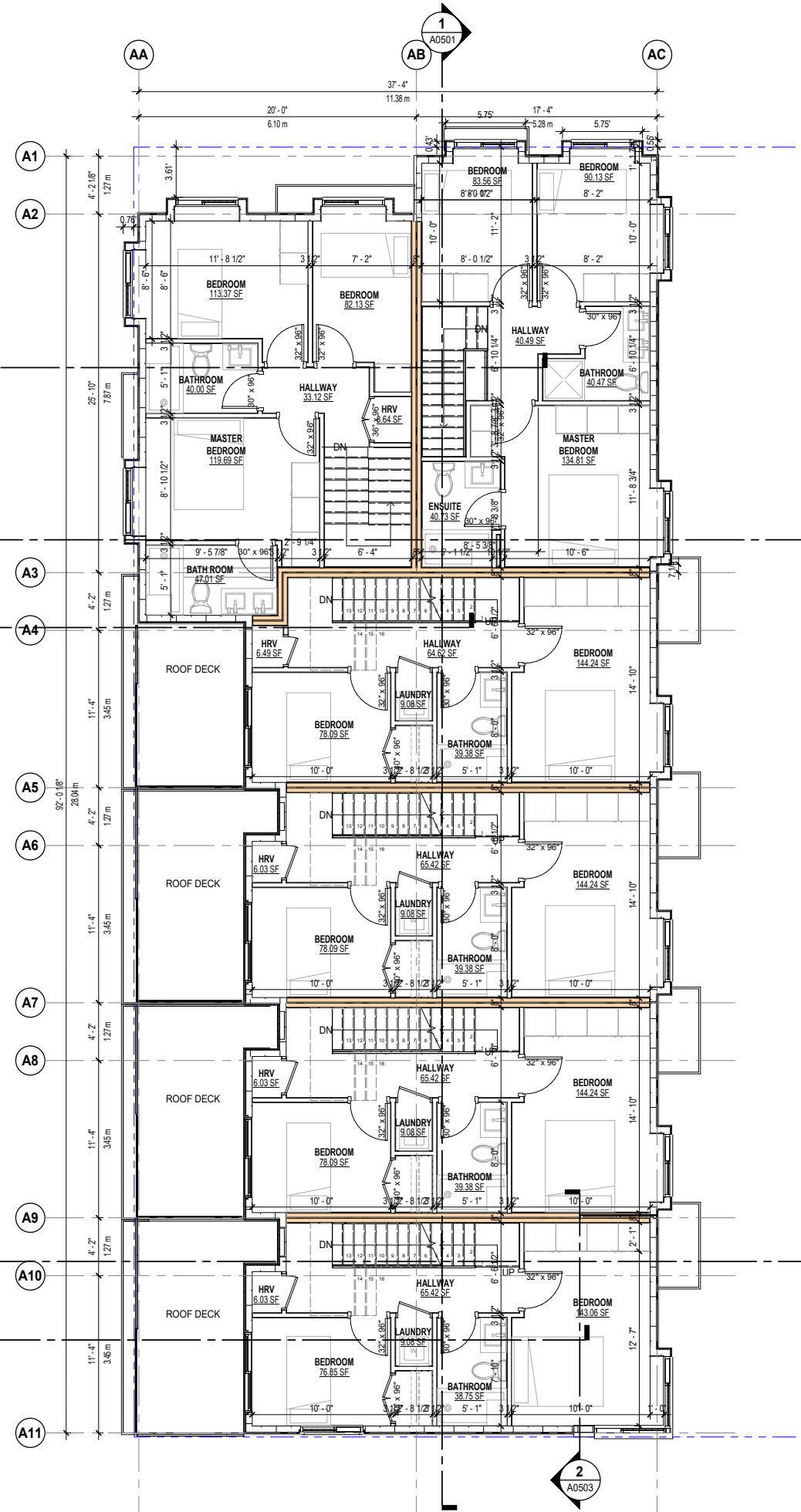


REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
5	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
4	2022-02-14	REISSUED FOR SECOND HEARING	AF
3	2021-04-14	REISSUED FOR FIRST HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF

PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

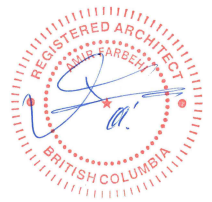
DRAWING TITLE
LEVEL 2 FLOOR PLAN
DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	5
A0203	3/16" = 1'-0"		



1 OVERALL LEVEL 2
SCALE: 3/16" = 1'-0"





REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
5	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
4	2022-02-14	REISSUED FOR SECOND HEARING	AF
3	2021-04-14	REISSUED FOR FIRST HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF

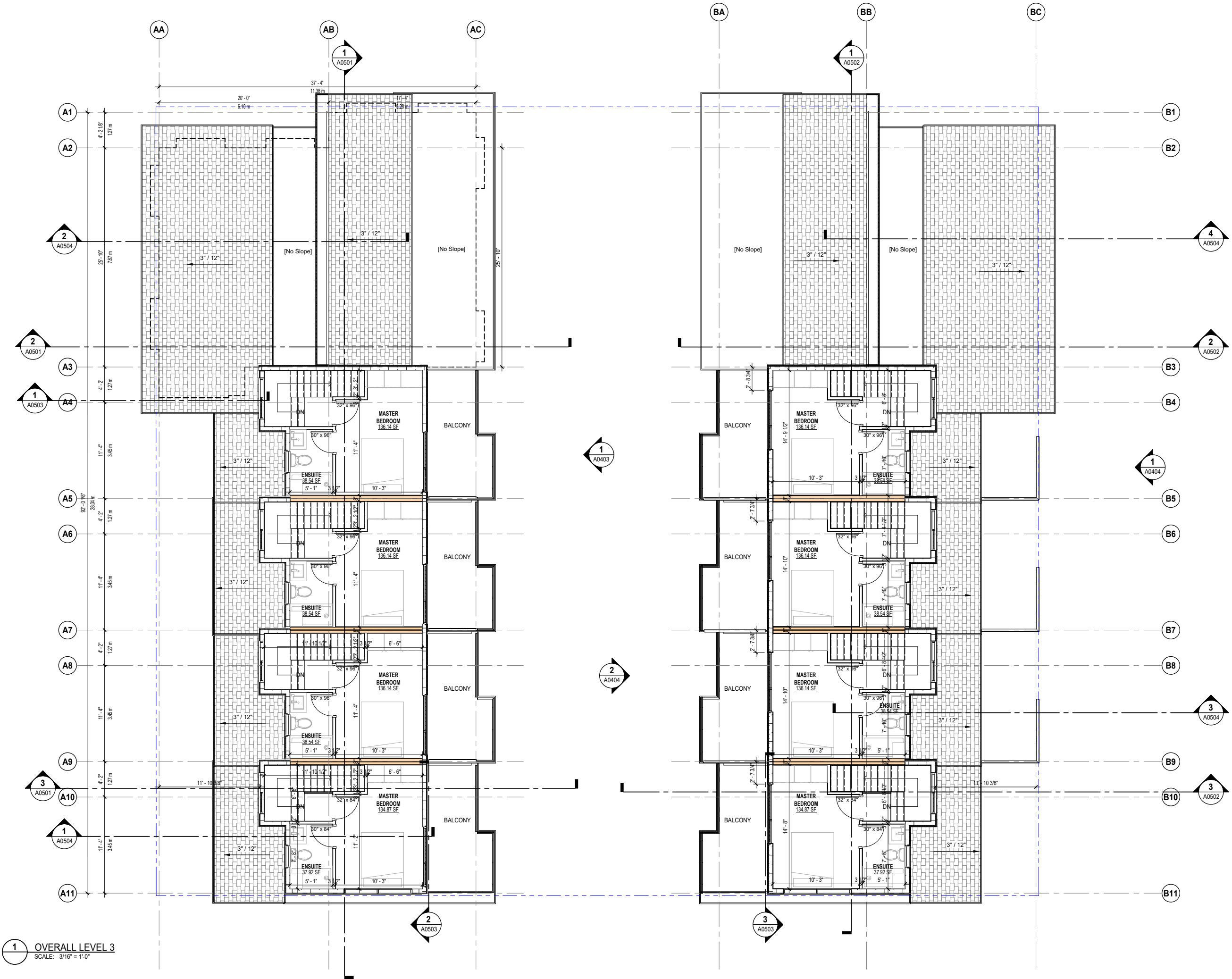
CONSULTANT	REVISION / DRAWING ISSUE	REVIEW

PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

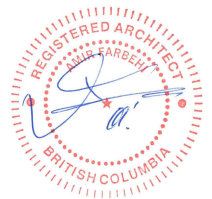
DRAWING TITLE
LEVEL 3 FLOOR PLAN

DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022		
DRAWING NO.	SCALE	REVIEWED	REVISION
A0204	3/16" = 1'-0"		5



1 OVERALL LEVEL 3
SCALE: 3/16" = 1'-0"



REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
5	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
4	2022-02-14	REISSUED FOR SECOND HEARING	AF
3	2021-04-14	REISSUED FOR FIRST HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF

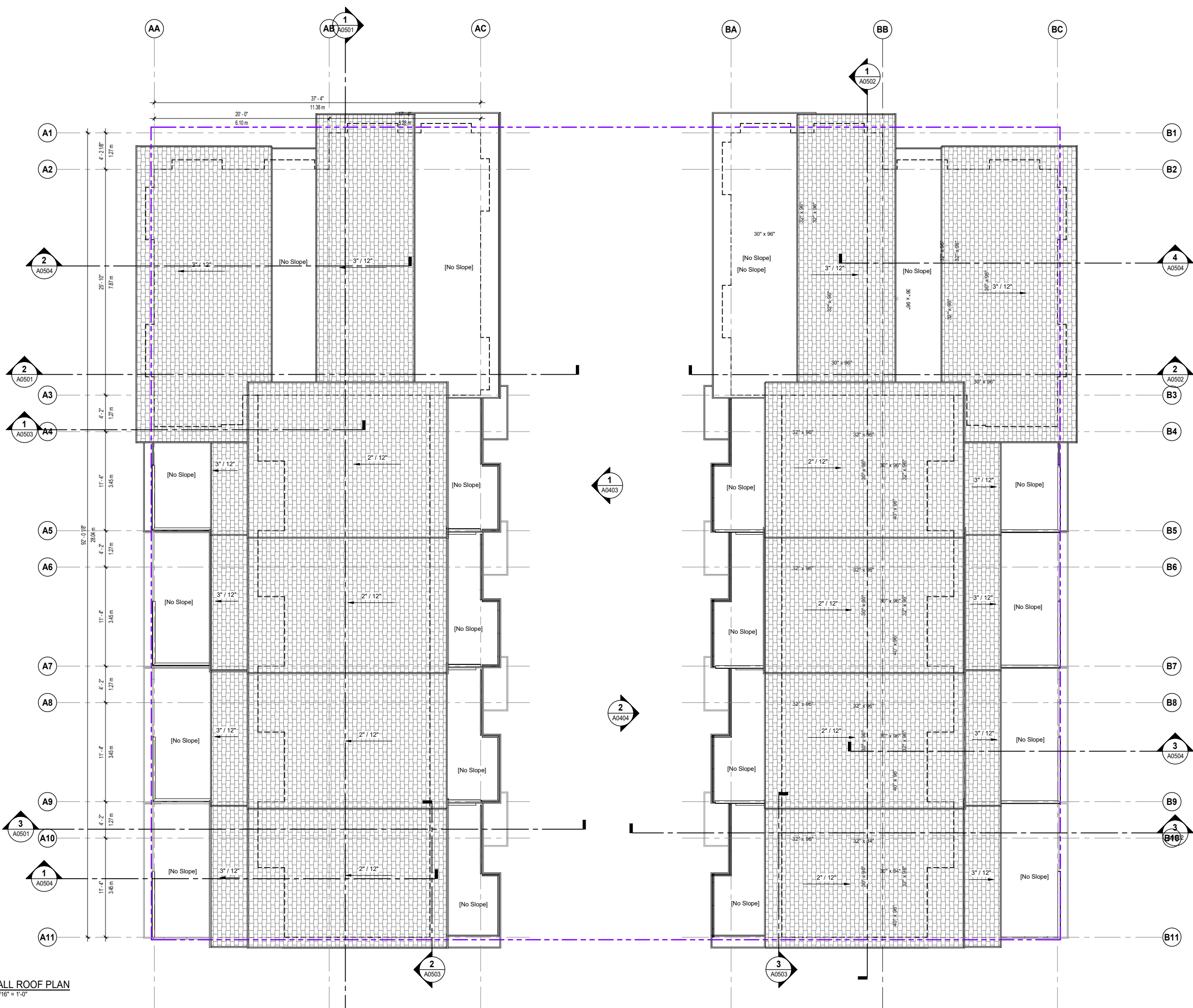
CONSULTANT	REVISION / DRAWING ISSUE	REVIEW

PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
ROOF PLAN

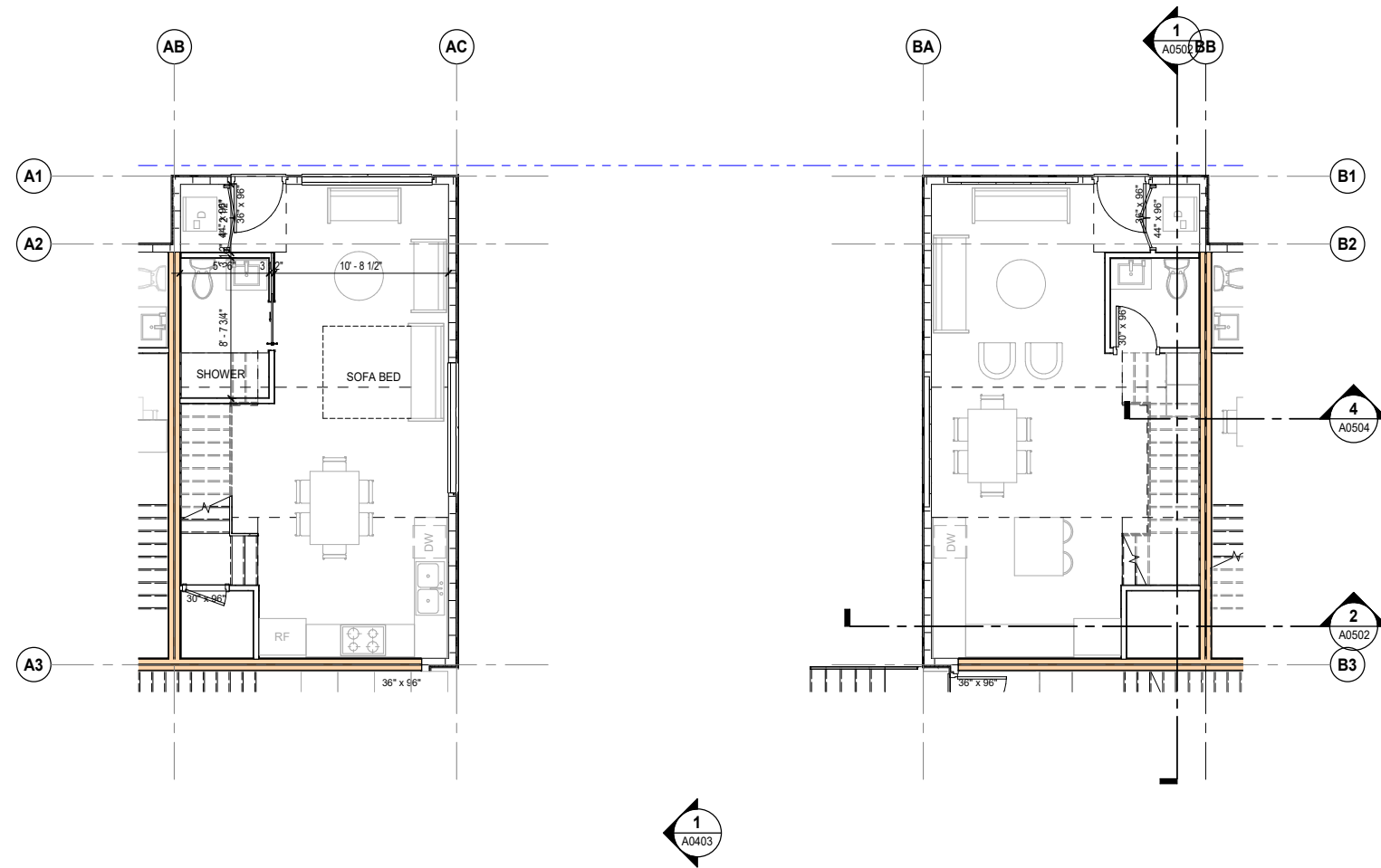
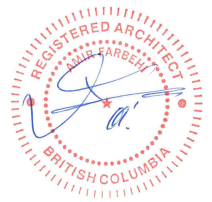
DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022		
SCALE	3/16" = 1'-0"	REVIEWED	AF
DRAWING NO.	A0205	REVISION	5

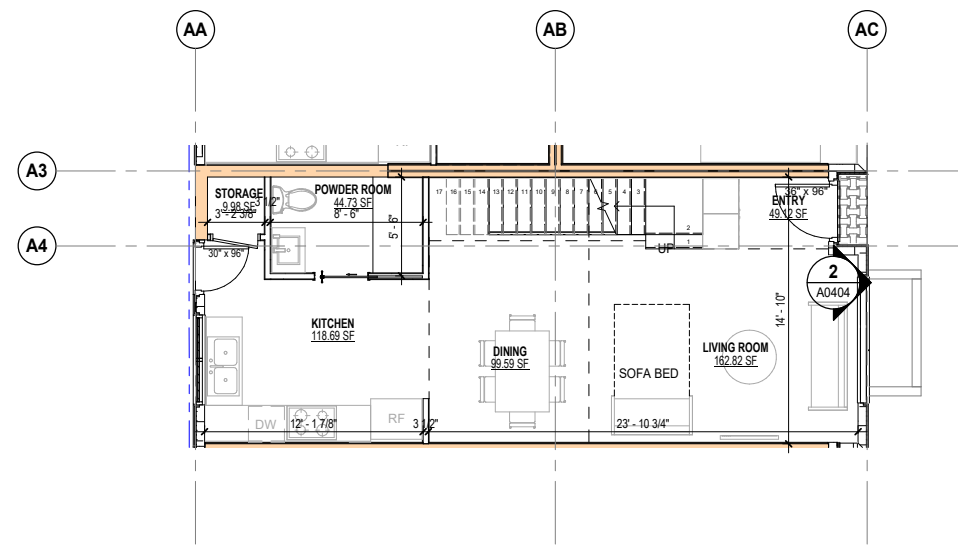


1 OVERALL ROOF PLAN
SCALE: 3/16" = 1'-0"





2 TH6-LEVEL 1 -ADAPTABLE LAYOUT
 SCALE: 3/16" = 1'-0"



1 TH 3&4-LEVEL 1 -ADAPTABLE LAYOUT
 SCALE: 3/16" = 1'-0"

2	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
1	2022-02-14	REISSUED FOR SECOND HEARING	AF
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

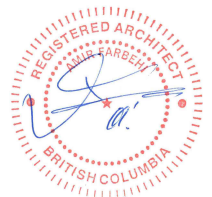
PROJECT
INFINITY TOWNHOMES
 1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
ADAPTABLE SUITE LAYOUT

DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	Author
18203	MAY 16 2022		
DRAWING NO.	SCALE	REVIEWED	Checker
	3/16" = 1'-0"		

2



Area Schedule (Gross Building & FSR Calculation)					
Levels	Name	Area	Area Sq.ft	Area Category	Area Use
BLDG-A BASEMENT	TOWN HOUSE A01	29.88 m²	321.59 ft²	Town House	BELOW GRADE
BLDG-A BASEMENT	TOWN HOUSE A02	29.88 m²	321.59 ft²	Town House	BELOW GRADE
BLDG-A BASEMENT	TOWN HOUSE A03	29.88 m²	321.59 ft²	Town House	BELOW GRADE
BLDG-A BASEMENT	TOWN HOUSE A04	31.32 m²	337.15 ft²	Town House	BELOW GRADE
		120.95 m²	1,301.93 ft²		
BLDG-A LEVEL 1	TOWN HOUSE A01	53.12 m²	571.83 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 1	TOWN HOUSE A02	53.14 m²	572.04 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 1	TOWN HOUSE A03	53.14 m²	572.04 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 1	TOWN HOUSE A04	53.14 m²	572.04 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 1	TOWN HOUSE A05	48 m²	516.67 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 1	TOWN HOUSE A06	48.33 m²	520.21 ft²	Town House	ABOVE GARDE
		308.89 m²	3,324.81 ft²		
BLDG-A LEVEL 2	TOWN HOUSE A01	42.52 m²	457.65 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 2	TOWN HOUSE A02	42.51 m²	457.59 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 2	TOWN HOUSE A03	42.51 m²	457.59 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 2	TOWN HOUSE A04	42.41 m²	456.52 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 2	TOWN HOUSE A05	50.58 m²	544.47 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 2	TOWN HOUSE A06	53.69 m²	577.91 ft²	Town House	ABOVE GARDE
		274.22 m²	2,951.73 ft²		
BLDG-A LEVEL 3	TOWN HOUSE A01	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 3	TOWN HOUSE A02	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 3	TOWN HOUSE A03	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 3	TOWN HOUSE A04	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
		104.28 m²	1,122.51 ft²		
BLDG-B BASEMENT	TOWN HOUSE B01	29.88 m²	321.59 ft²	Town House	BELOW GRADE
BLDG-B BASEMENT	TOWN HOUSE B02	29.88 m²	321.59 ft²	Town House	BELOW GRADE
BLDG-B BASEMENT	TOWN HOUSE B03	29.88 m²	321.59 ft²	Town House	BELOW GRADE
BLDG-B BASEMENT	TOWN HOUSE B04	31.32 m²	337.15 ft²	Town House	BELOW GRADE
		120.95 m²	1,301.93 ft²		
BLDG-B LEVEL 1	TOWN HOUSE B01	53.12 m²	571.83 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 1	TOWN HOUSE B02	53.14 m²	572.04 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 1	TOWN HOUSE B03	53.14 m²	572.04 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 1	TOWN HOUSE B04	53.14 m²	572.04 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 1	TOWN HOUSE B05	48 m²	516.67 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 1	TOWN HOUSE B06	48.33 m²	520.21 ft²	Town House	ABOVE GARDE
		308.89 m²	3,324.81 ft²		
BLDG-B LEVEL 2	TOWN HOUSE B01	42.52 m²	457.65 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 2	TOWN HOUSE B02	42.51 m²	457.59 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 2	TOWN HOUSE B03	42.51 m²	457.59 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 2	TOWN HOUSE B04	42.41 m²	456.52 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 2	TOWN HOUSE B05	50.58 m²	544.47 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 2	TOWN HOUSE B06	53.69 m²	577.91 ft²	Town House	ABOVE GARDE
		274.22 m²	2,951.73 ft²		
BLDG-B LEVEL 3	TOWN HOUSE B01	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 3	TOWN HOUSE B02	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 3	TOWN HOUSE B03	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 3	TOWN HOUSE B04	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
		104.28 m²	1,122.51 ft²		
Grand total: 40		1,616.69 m²	17,401.96 ft²		

BLDG-A LEVEL 1	TOWN HOUSE A01	53.12 m²	571.83 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 1	TOWN HOUSE A02	53.14 m²	572.04 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 1	TOWN HOUSE A03	53.14 m²	572.04 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 1	TOWN HOUSE A04	53.14 m²	572.04 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 1	TOWN HOUSE A05	48 m²	516.67 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 1	TOWN HOUSE A06	48.33 m²	520.21 ft²	Town House	ABOVE GARDE
		308.89 m²	3,324.81 ft²		

BLDG-A LEVEL 2	TOWN HOUSE A01	42.52 m²	457.65 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 2	TOWN HOUSE A02	42.51 m²	457.59 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 2	TOWN HOUSE A03	42.51 m²	457.59 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 2	TOWN HOUSE A04	42.41 m²	456.52 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 2	TOWN HOUSE A05	50.58 m²	544.47 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 2	TOWN HOUSE A06	53.69 m²	577.91 ft²	Town House	ABOVE GARDE
		274.22 m²	2,951.73 ft²		

BLDG-A LEVEL 3	TOWN HOUSE A01	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 3	TOWN HOUSE A02	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 3	TOWN HOUSE A03	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
BLDG-A LEVEL 3	TOWN HOUSE A04	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
		104.28 m²	1,122.51 ft²		

BLDG-B BASEMENT	TOWN HOUSE B01	29.88 m²	321.59 ft²	Town House	BELOW GRADE
BLDG-B BASEMENT	TOWN HOUSE B02	29.88 m²	321.59 ft²	Town House	BELOW GRADE
BLDG-B BASEMENT	TOWN HOUSE B03	29.88 m²	321.59 ft²	Town House	BELOW GRADE
BLDG-B BASEMENT	TOWN HOUSE B04	31.32 m²	337.15 ft²	Town House	BELOW GRADE
		120.95 m²	1,301.93 ft²		

BLDG-B LEVEL 1	TOWN HOUSE B01	53.12 m²	571.83 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 1	TOWN HOUSE B02	53.14 m²	572.04 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 1	TOWN HOUSE B03	53.14 m²	572.04 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 1	TOWN HOUSE B04	53.14 m²	572.04 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 1	TOWN HOUSE B05	48 m²	516.67 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 1	TOWN HOUSE B06	48.33 m²	520.21 ft²	Town House	ABOVE GARDE
		308.89 m²	3,324.81 ft²		

BLDG-B LEVEL 2	TOWN HOUSE B01	42.52 m²	457.65 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 2	TOWN HOUSE B02	42.51 m²	457.59 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 2	TOWN HOUSE B03	42.51 m²	457.59 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 2	TOWN HOUSE B04	42.41 m²	456.52 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 2	TOWN HOUSE B05	50.58 m²	544.47 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 2	TOWN HOUSE B06	53.69 m²	577.91 ft²	Town House	ABOVE GARDE
		274.22 m²	2,951.73 ft²		

BLDG-B LEVEL 3	TOWN HOUSE B01	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 3	TOWN HOUSE B02	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 3	TOWN HOUSE B03	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
BLDG-B LEVEL 3	TOWN HOUSE B04	26.07 m²	280.63 ft²	Town House	ABOVE GARDE
		104.28 m²	1,122.51 ft²		

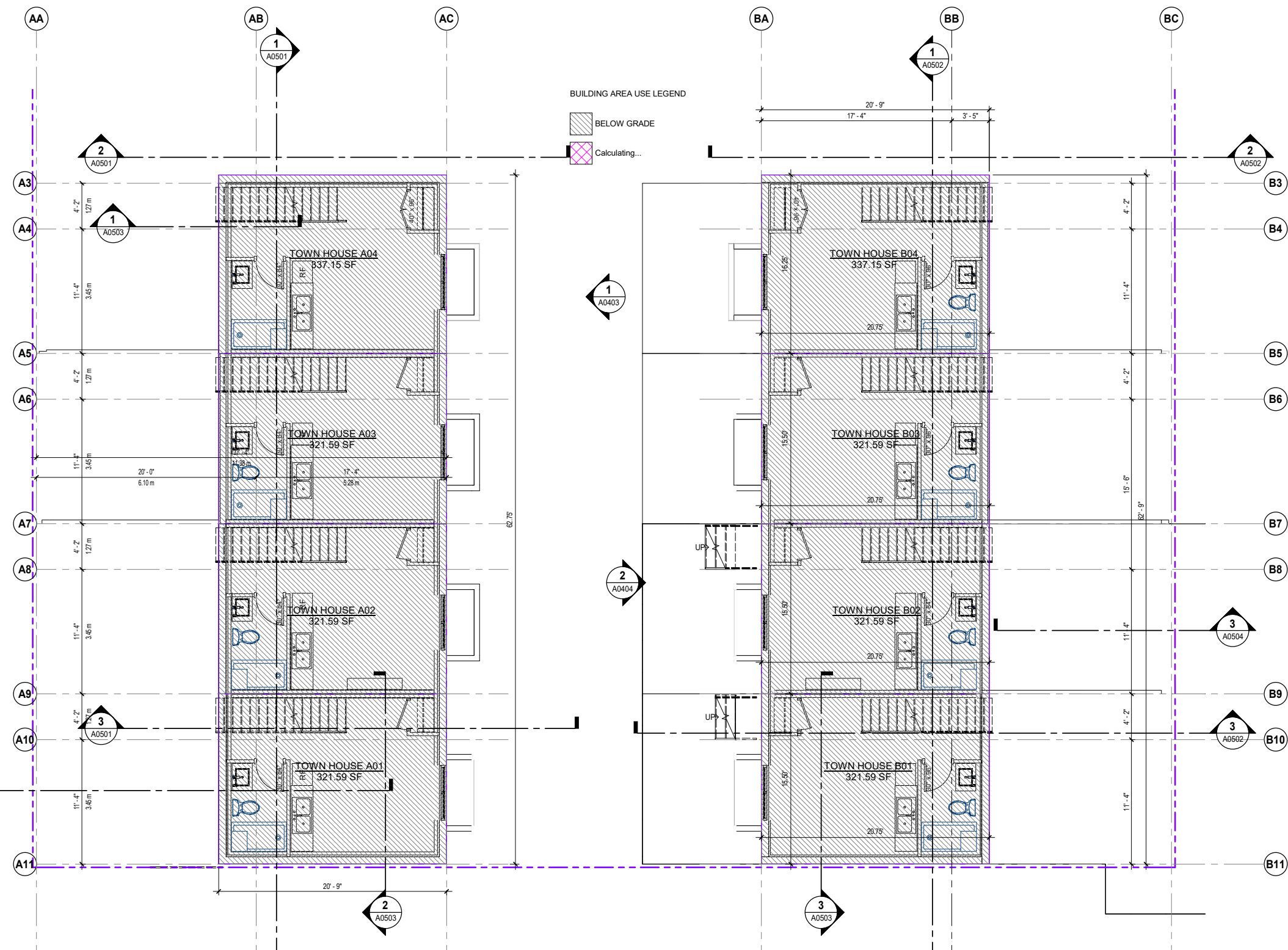
Grand total: 40

Area Schedule - Private Patio (Usable Space)					
Name	Area	Area Sq.ft	Area Category	Area Type	Relative Level

Private Patio (Usable Space) A01	14.82 m²	159.52 SF	Patio	Exterior Area	A-TH1-LEVEL 1
Private Patio (Usable Space) A02	18.69 m²	201.17 SF	Patio	Exterior Area	A-TH2-LEVEL 1
Private Patio (Usable Space) A03	19.57 m²	210.61 SF	Patio	Exterior Area	A-TH3-LEVEL 1
Private Patio (Usable Space) A04	18.75 m²	201.83 SF	Patio	Exterior Area	A-TH4-LEVEL 1
Private Patio (Usable Space) A05	19.60 m²	211.02 SF	Patio	Exterior Area	A-TH5-LEVEL 1
Private Patio (Usable Space) A06	15.50 m²	166.89 SF	Patio	Exterior Area	A-TH6-LEVEL 1
Private Patio (Usable Space) B01	26.94 m²	289.94 SF	Patio	Exterior Area	B-TH1-LEVEL 1
Private Patio (Usable Space) B02	21.38 m²	230.15 SF	Patio	Exterior Area	B-TH2-LEVEL 1
Private Patio (Usable Space) B03	21.42 m²	230.57 SF	Patio	Exterior Area	B-TH3-LEVEL 1
Private Patio (Usable Space) B04	21.38 m²	230.14 SF	Patio	Exterior Area	B-TH4-LEVEL 1
Private Patio (Usable Space) B05	32.10 m²	345.53 SF	Patio	Exterior Area	B-TH6-LEVEL 1
Private Patio (Usable Space) B06	14.85 m²	159.83 SF	Patio	Exterior Area	B-TH6-LEVEL 1
Grand total: 20		245.00 m²	2637.21 SF		

Number Of Units: 12

Private Usable Space / Unit: 20.41 m² / 219.76 SF



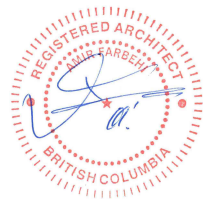
1 BASEMENT
SCALE: 3/16" = 1'-0"

PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
BASEMENT AREA PLAN

DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022	REVIEWED	AF
SCALE		REVISION	
3/16" = 1'-0"		REVISION	
DRAWING NO.	REVISION		
A0221			5



REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
5	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
4	2022-02-14	REISSUED FOR SECOND HEARING	AF
3	2021-04-14	REISSUED FOR FIRST HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF

CONSULTANT	PROJECT
	INFINITY TOWNHOMES
	1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

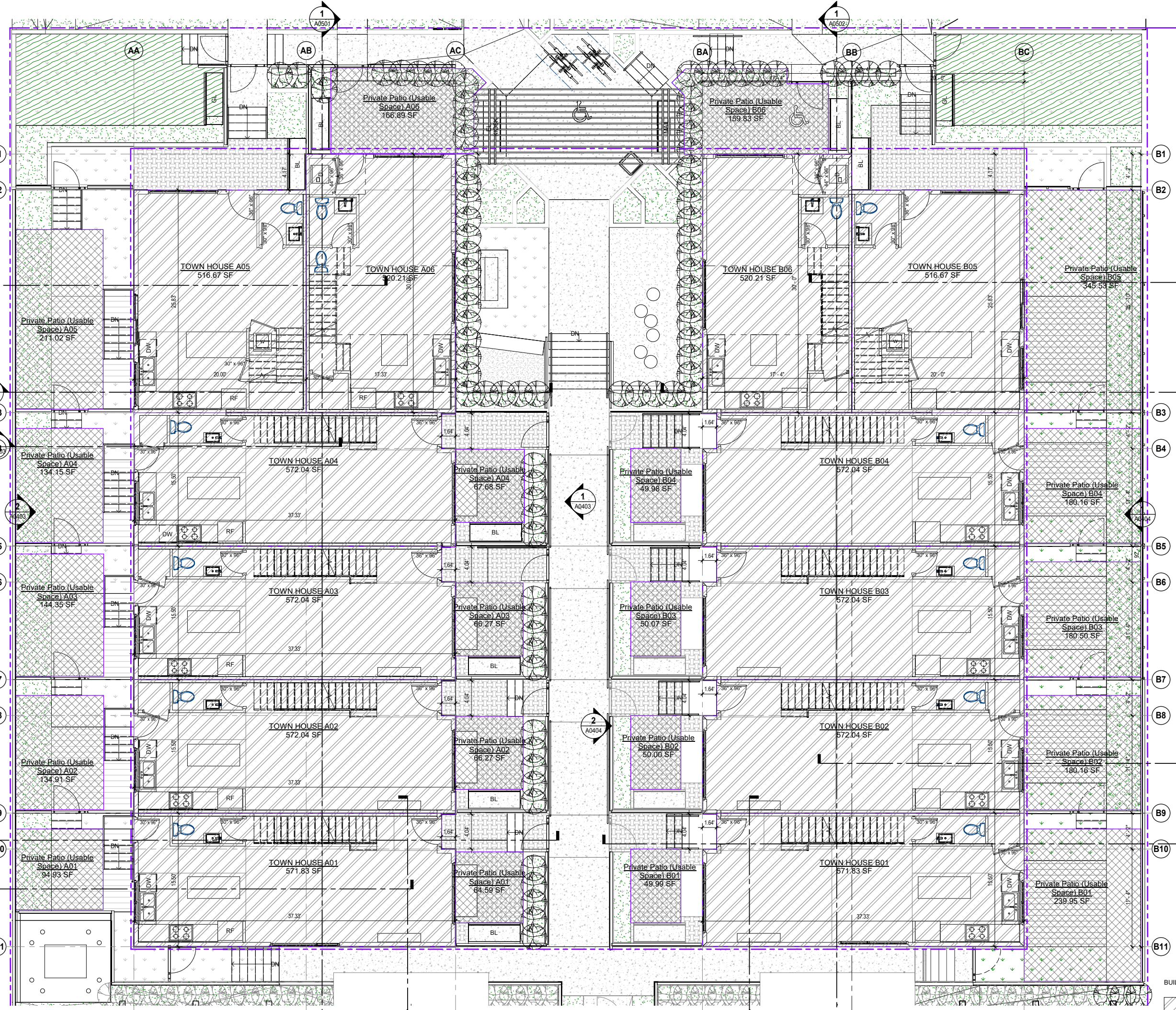
DRAWING TITLE
INFINITY TOWNHOMES

DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022		

SCALE	REVIEWED	AF	REVISION
3/16" = 1'-0"			5

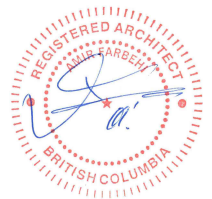
DRAWING NO. A0222



1 LEVEL 1
SCALE: 3/16" = 1'-0"

BUILDING AREA USE LEGEND

- ABOVE GARDE
- Exterior Area
- Calculating...



BUILDING AREA USE LEGEND

- ABOVE GARDE
- EXTERIOR AREA
- Calculating...



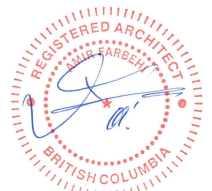
1 LEVEL 2
SCALE: 3/16" = 1'-0"

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
4	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
3	2022-02-14	REISSUED FOR SECOND HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF

PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
LEVEL 2 AREA PLAN
DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022		
DRAWING NO.	SCALE	REVIEWED	AF
A0223	3/16" = 1'-0"		



REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
4	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
3	2022-02-14	REISSUED FOR SECOND HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF

PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
LEVEL 3 AREA PLAN

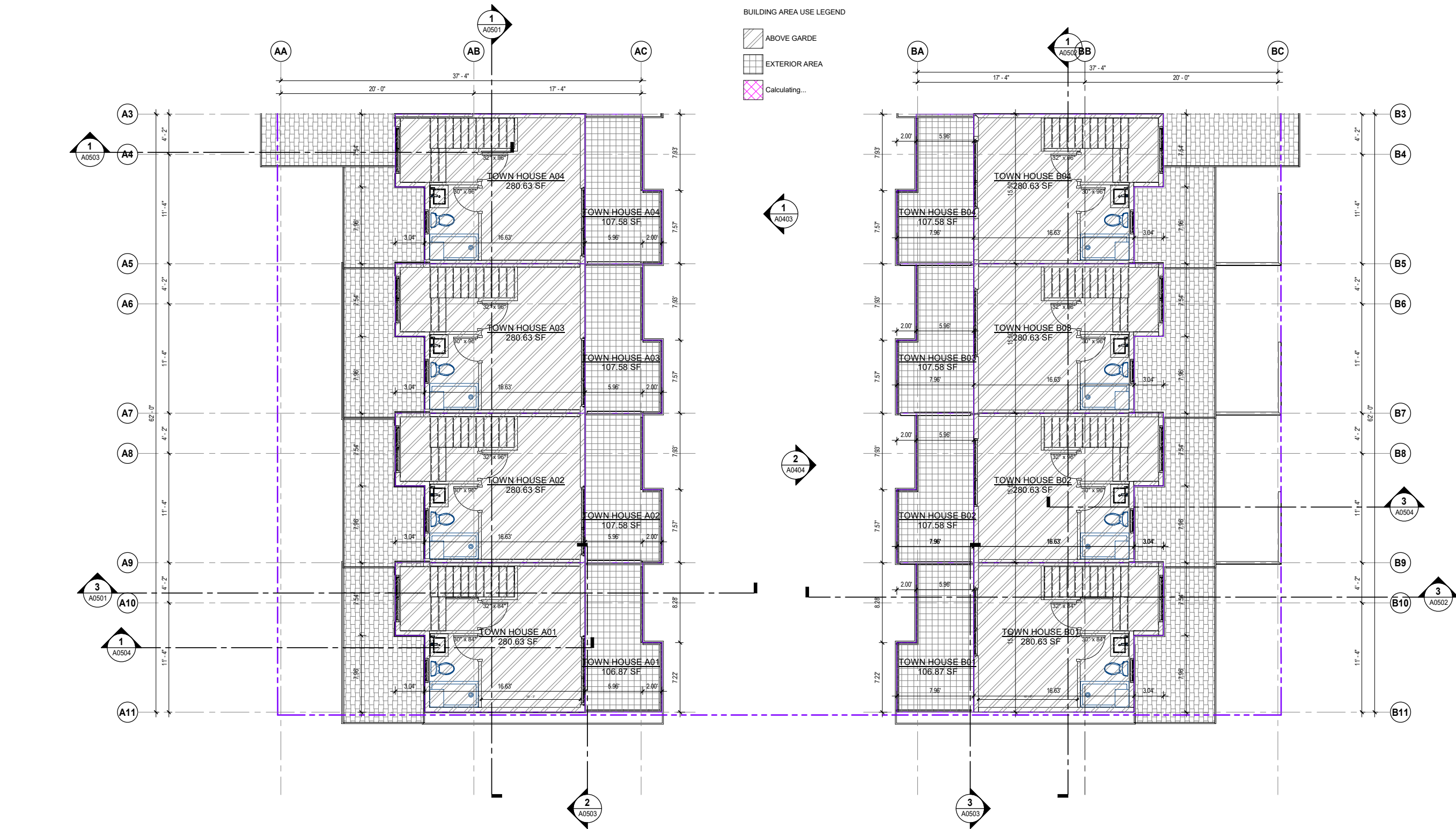
DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022		
SCALE	REVIEWED	AF	
3/16" = 1'-0"			

DRAWING NO. **A0224** REVISION **4**

BUILDING AREA USE LEGEND

- ABOVE GARDE
- EXTERIOR AREA
- Calculating...



1 LEVEL 3
SCALE: 3/16" = 1'-0"

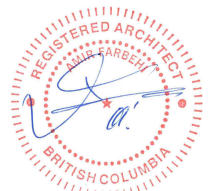
Area Schedule (Gross Building Balcony)				
Name	Area	Area Sq.ft	Area Category	Area Use
TOWN HOUSE A01	21.683 m ²	233.4 ft ²	Balcony	EXTERIOR AREA
TOWN HOUSE A02	21.749 m ²	234.11 ft ²	Balcony	EXTERIOR AREA
TOWN HOUSE A03	21.749 m ²	234.1 ft ²	Balcony	EXTERIOR AREA
TOWN HOUSE A04	18.418 m ²	198.25 ft ²	Balcony	EXTERIOR AREA
TOWN HOUSE B01	21.683 m ²	233.4 ft ²	Balcony	EXTERIOR AREA
TOWN HOUSE B02	21.749 m ²	234.11 ft ²	Balcony	EXTERIOR AREA
TOWN HOUSE B03	21.749 m ²	234.11 ft ²	Balcony	EXTERIOR AREA
TOWN HOUSE B04	18.418 m ²	198.25 ft ²	Balcony	EXTERIOR AREA
Grand total: 16	167.198 m ²	1,799.74 ft ²		

1 A0401

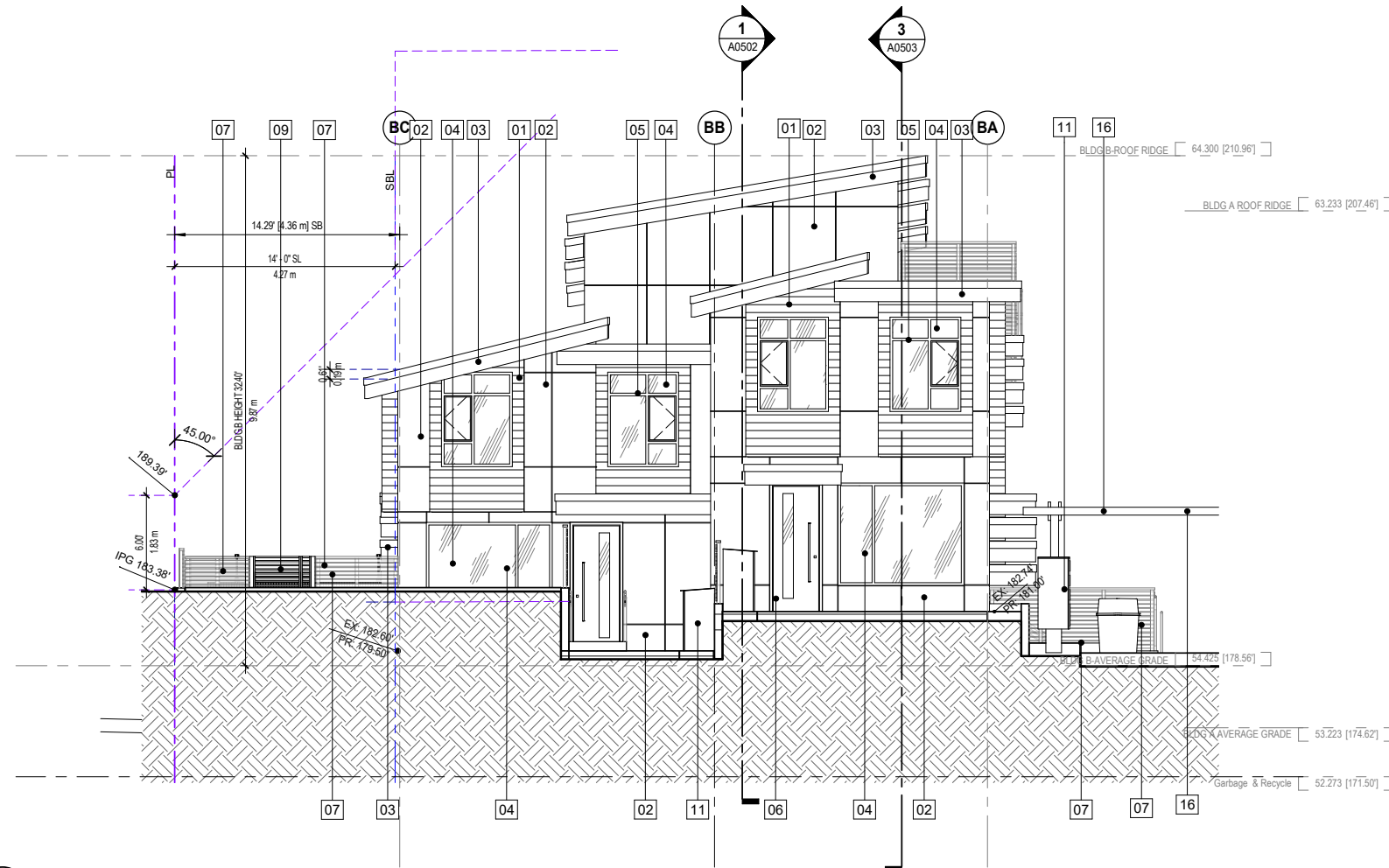
1 A0403

2 A0404

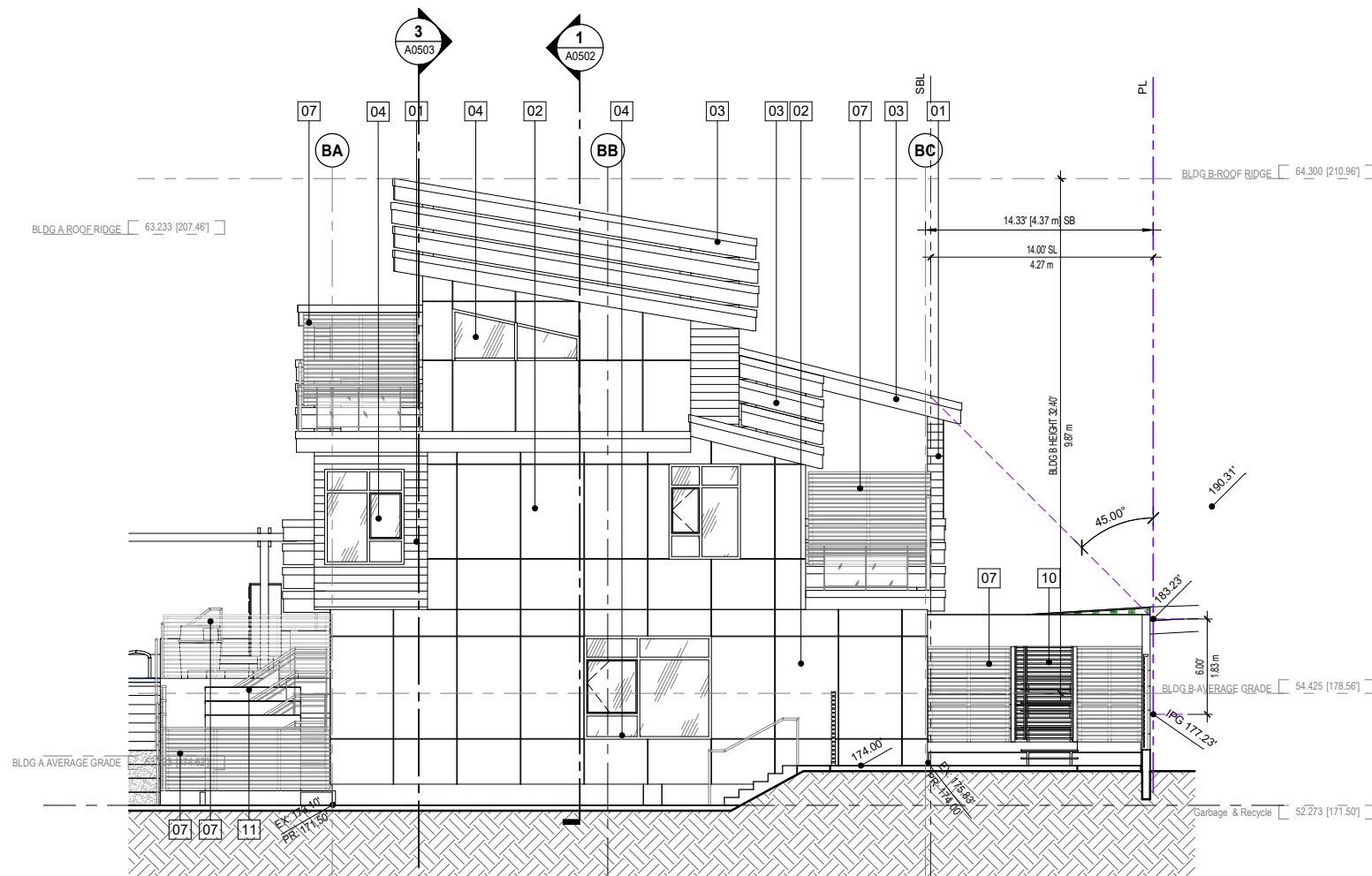
2 A0402



Material Legend		
Mark	Material: Description	Material: Model
01	HARDIEPLANK LAP SIDING	IRON GRAY- 6" EXPOSE
02	HARDI-PANEL	SMOOT, SANDSTONE BEIGE
03	2 PIECE WOOD FASCIA	WOOD FINISH, CHARCOAL
04	DUBLE GLAZED PANEL	CLEAR
05	VINYL WINDOW MULLION	THERMALLY BROKEN, CHARCOAL
06	SOLID WOOD DOOR	WOOD CHERRY, STAINED
07	6' HIGH PRIVACY SCREEN	CEDAR, STAINED
08	3' HIGH PATIO GATE	HOLLOW METAL STEEL, CHARCOAL
09	6' HIGH BACK YARD ACCESS GATE	CEDAR, STAINED
10	CAST-IN-PLACE CONCRETE	ARCHITECTURAL, GRAY
11	OUTDOOR BIKE CLOSET	METAL , METALLIC GRAY
12	ALUMINUM GUARD & GLASS PANEL	ANODIZED, CHARCOAL
13	6X6 DOUGLOAS FIR WOOD POST	STAINED
14	WOOD SHINGLES ROOF DECK	CEDAR
15	LAMINATED FIBERGLASS SHINGLE ROOF	ARMOURSHAKE, WEATHERED STONE
16	ALUMINUM ARBOUR	ANODIZED, CHARCOAL
18	DOUGLOAS FIR WOOD BEAM	STAINED
19	4' HIGH PRIVACY SCREEN	CEDAR, STAINED
20	PERFORATED METAL SOFFIT	PERFINISHED -WHITE



1 NORTH ELEVATION - BLDG B
A0104 SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION - BLDG B
A0104 SCALE: 3/16" = 1'-0"

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
5	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
4	2022-02-14	REISSUED FOR SECOND HEARING	AF
3	2021-04-14	REISSUED FOR FIRST HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF

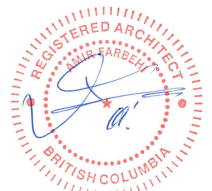
PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
BLDG B-NORTH&SOUTH ELEVATIONS

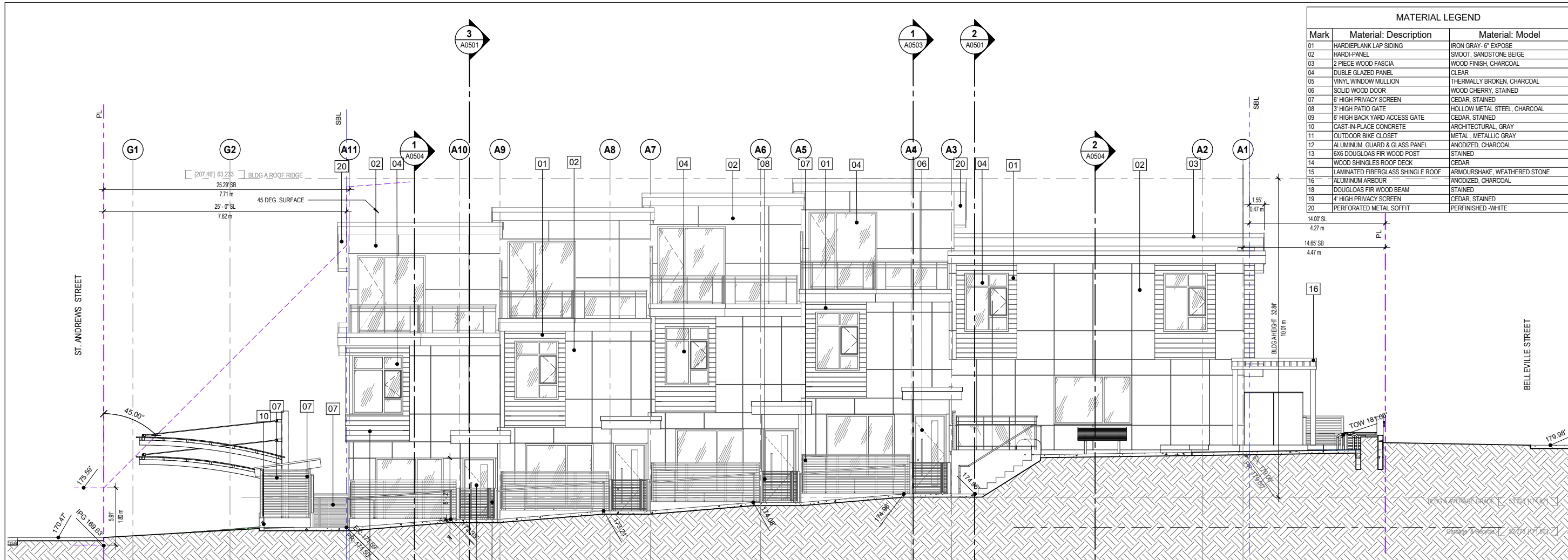
DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MG
18203	MAY 16 2022		
SCALE	3/16" = 1'-0"	REVIEWED	AF

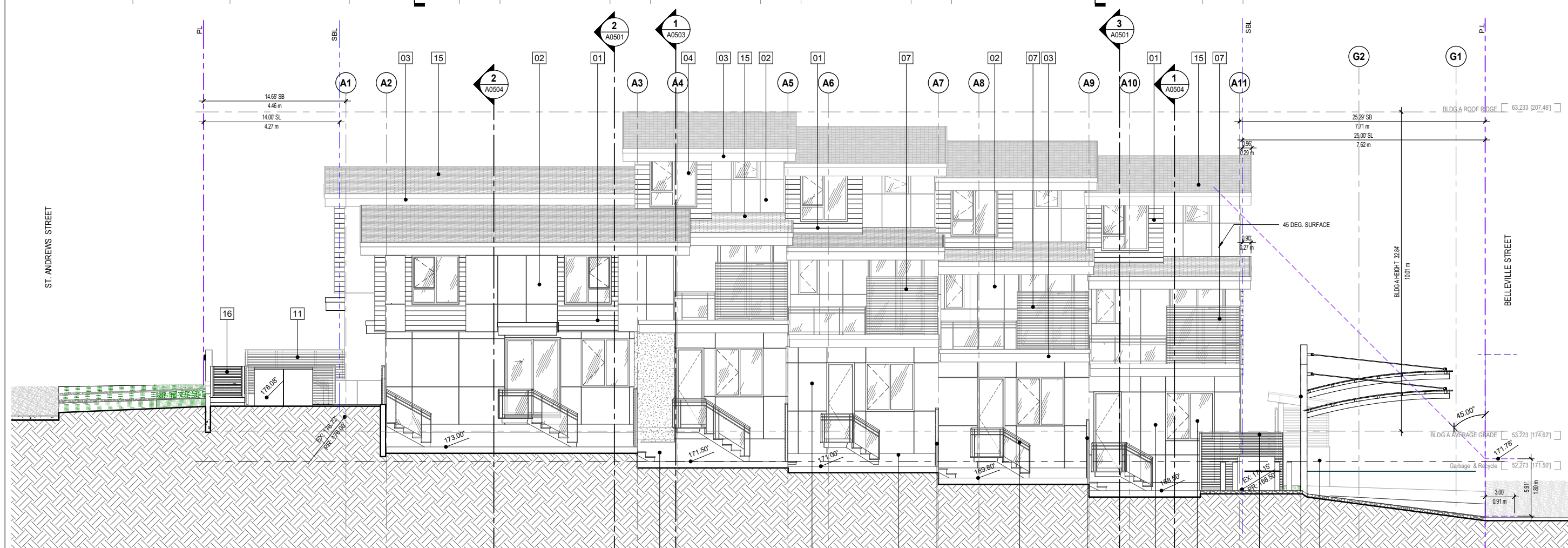
DRAWING NO. **A0402** REVISION **5**



MATERIAL LEGEND		
Mark	Material: Description	Material: Model
01	HARDIEPLANK LAP SIDING	IRON GRAY- 6" EXPOSE
02	HARDI-PANEL	SMOOTH, SANDSTONE BEIGE
03	2 PIECE WOOD FASCIA	WOOD FINISH, CHARCOAL
04	DOUBLE GLAZED PANEL	CLEAR
05	VINYL WINDOW MULLION	THERMALLY BROKEN, CHARCOAL
06	SOLID WOOD DOOR	WOOD CHERRY, STAINED
07	6" HIGH PRIVACY SCREEN	CEDAR, STAINED
08	3' HIGH PATIO GATE	HOLLOW METAL STEEL, CHARCOAL
09	6" HIGH BACK YARD ACCESS GATE	CEDAR, STAINED
10	CAST-IN-PLACE CONCRETE	ARCHITECTURAL GRAY
11	OUTDOOR BIKE CLOSET	METAL, METALLIC GRAY
12	ALUMINUM GUARD & GLASS PANEL	ANODIZED, CHARCOAL
13	6X6 DOUGLAS FIR WOOD POST	STAINED
14	WOOD SHINGLES ROOF DECK	CEDAR
15	LAMINATED FIBERGLASS SHINGLE ROOF	ARMOURSHAKE, WEATHERED STONE
16	ALUMINUM ARBOUR	ANODIZED, CHARCOAL
18	DOUGLAS FIR WOOD BEAM	STAINED
19	4" HIGH PRIVACY SCREEN	CEDAR, STAINED
20	PERFORATED METAL SOFFIT	PERFINISHED-WHITE



1 SIDE ELEVATION-A EAST
SCALE: 3/16" = 1'-0"



2 SIDE ELEVATION-A WEST 1
SCALE: 3/16" = 1'-0"

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
5	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
4	2022-02-14	REISSUED FOR SECOND HEARING	AF
3	2021-04-14	REISSUED FOR FIRST HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF

PROJECT

INFINITY TOWNHOMES

1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

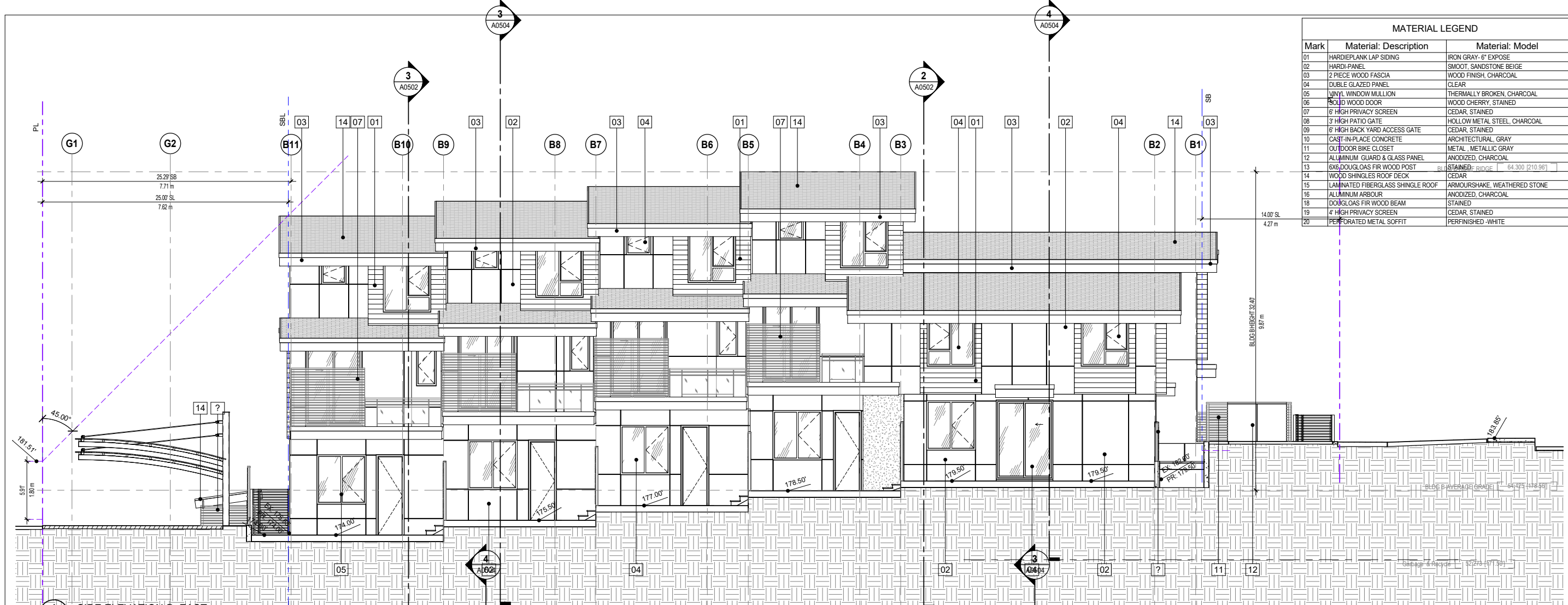
DRAWING TITLE

BLDG A - EAST&WEST ELEVATIONS

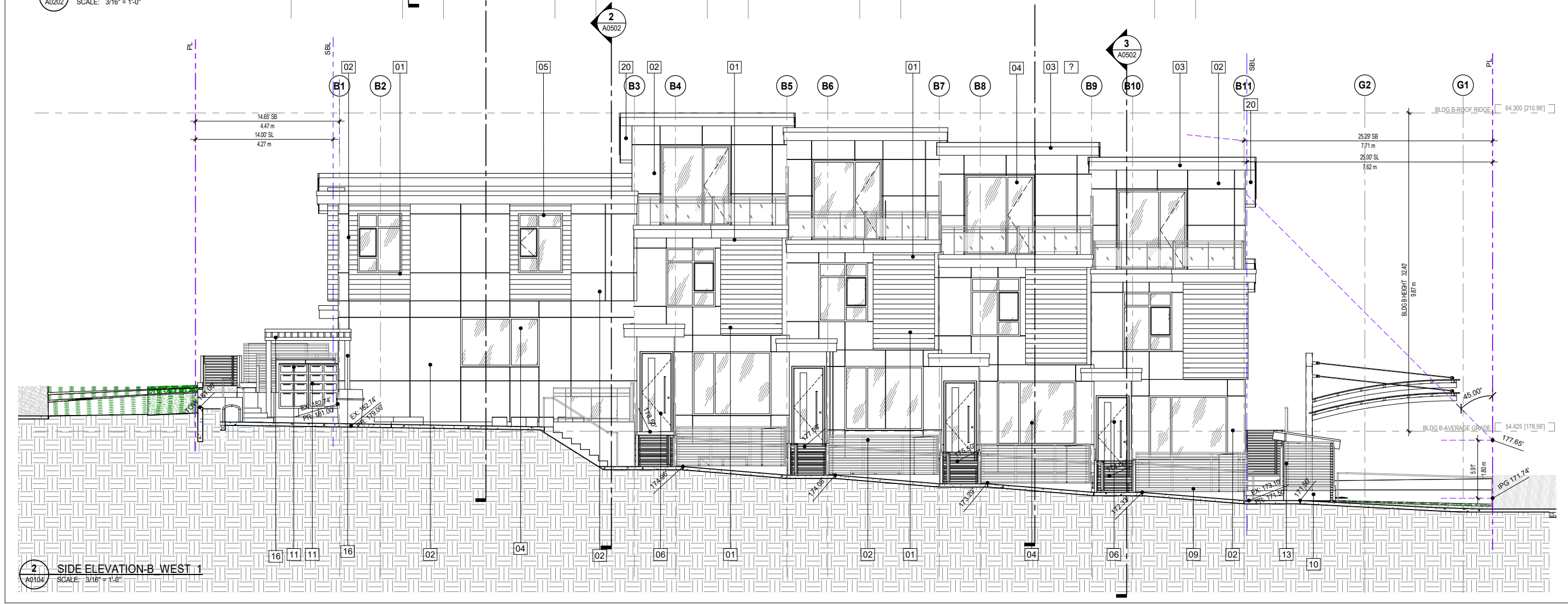
DRAWING ISSUE

ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	18203	PLOT DATE	MAY 16 2022	DRAWN	MT
DRAWING NO.	A0403	SCALE	3/16" = 1'-0"	REVIEWED	AF
				REVISION	5

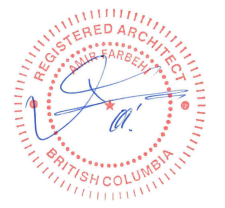


1 SIDE ELEVATION-B EAST
SCALE: 3/16" = 1'-0"



2 SIDE ELEVATION-B WEST 1
SCALE: 3/16" = 1'-0"

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REV.	DATE	DESCRIPTION	BY
5	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
4	2022-02-14	REISSUED FOR SECOND HEARING	AF
3	2021-04-14	REISSUED FOR FIRST HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF

PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
BLDG B - EAST&WEST ELEVATIONS

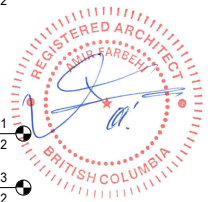
DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MT
18203	MAY 16 2022	REVIEWED	AF
DRAWING NO.	SCALE	REVISION	
A0404	3/16" = 1'-0"		5

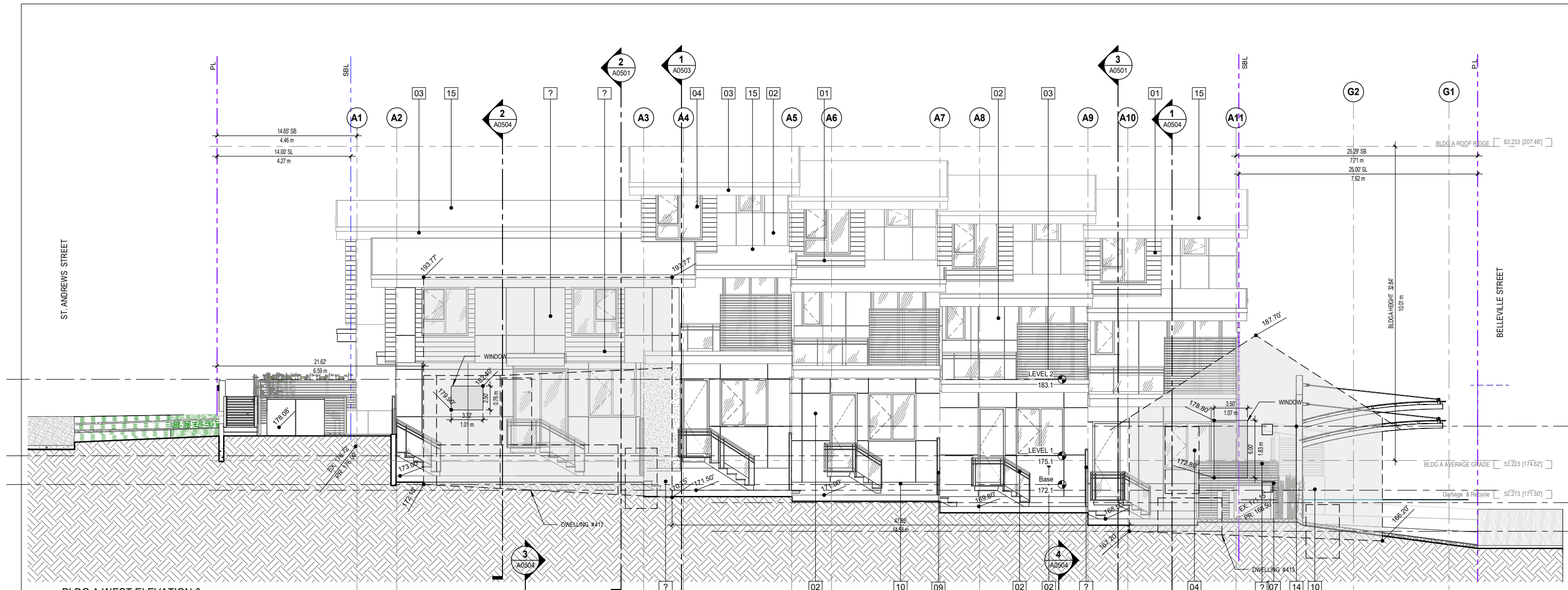
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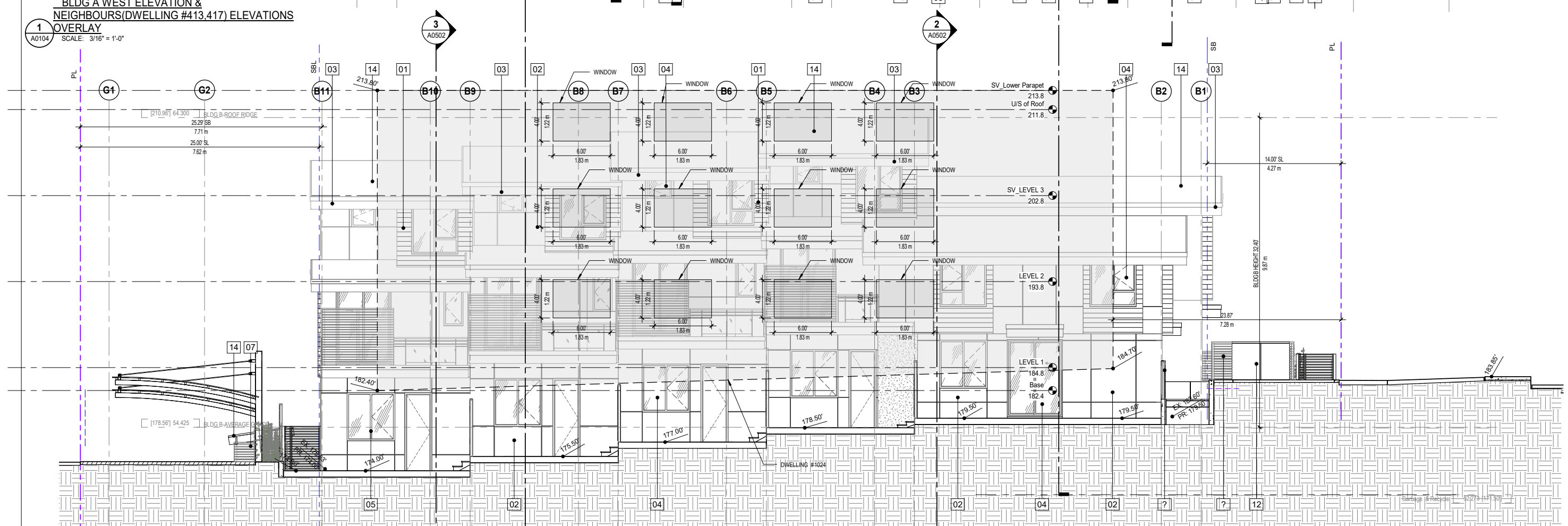


LEVEL 2
178.2
LEVEL 1
170.2
SV LEVEL 3
167.2



BLDG A WEST ELEVATION & NEIGHBOURS (DWELLING #413,417) ELEVATIONS OVERLAY

1 OVERLAY
A0104 SCALE: 3/16" = 1'-0"



BLDG B EAST ELEVATION & NEIGHBOUR (DWELLING #1024) ELEVATION OVERLAY

2 OVERLAY
A0104 SCALE: 3/16" = 1'-0"

REV	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
3	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
2	2022-02-14	REISSUED FOR SECOND HEARING	AF
1	2021-04-14	REISSUED FOR FIRST HEARING	AF

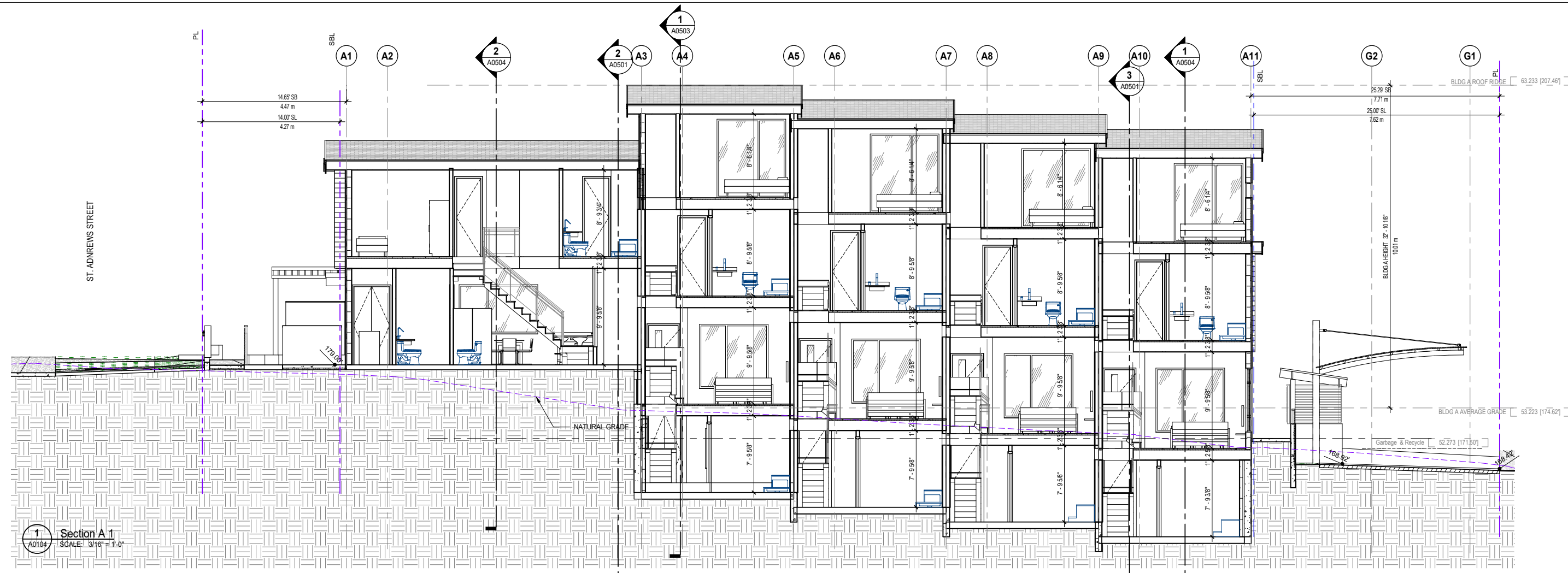
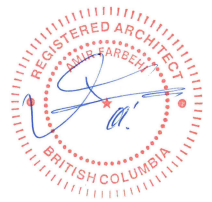
PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
BLDG A&B&NEIGHBOURS ELEVATIONS OVERLAY

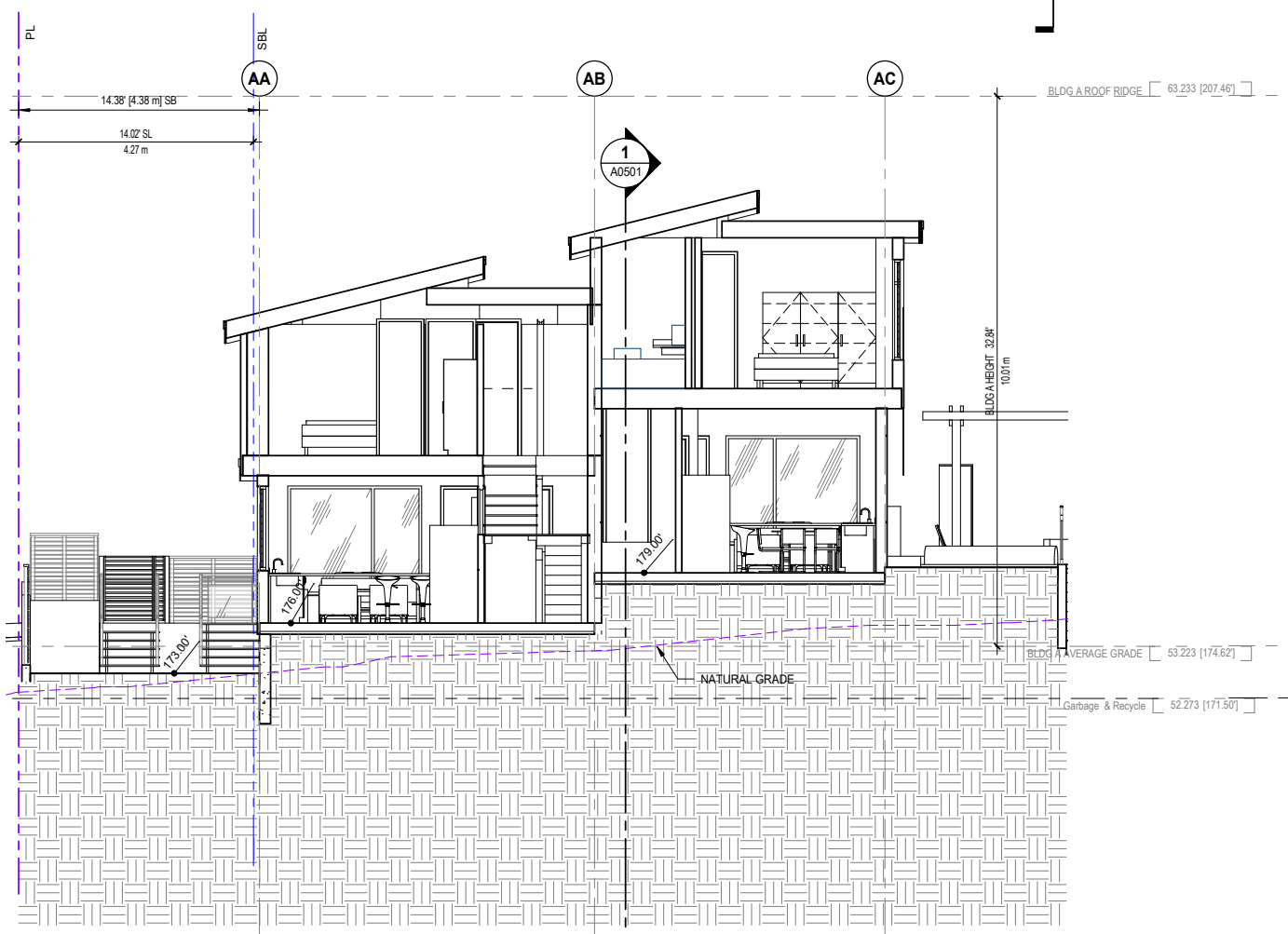
DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MT
18203	MAY 16 2022		
DRAWING NO.	SCALE	REVIEWED	AF
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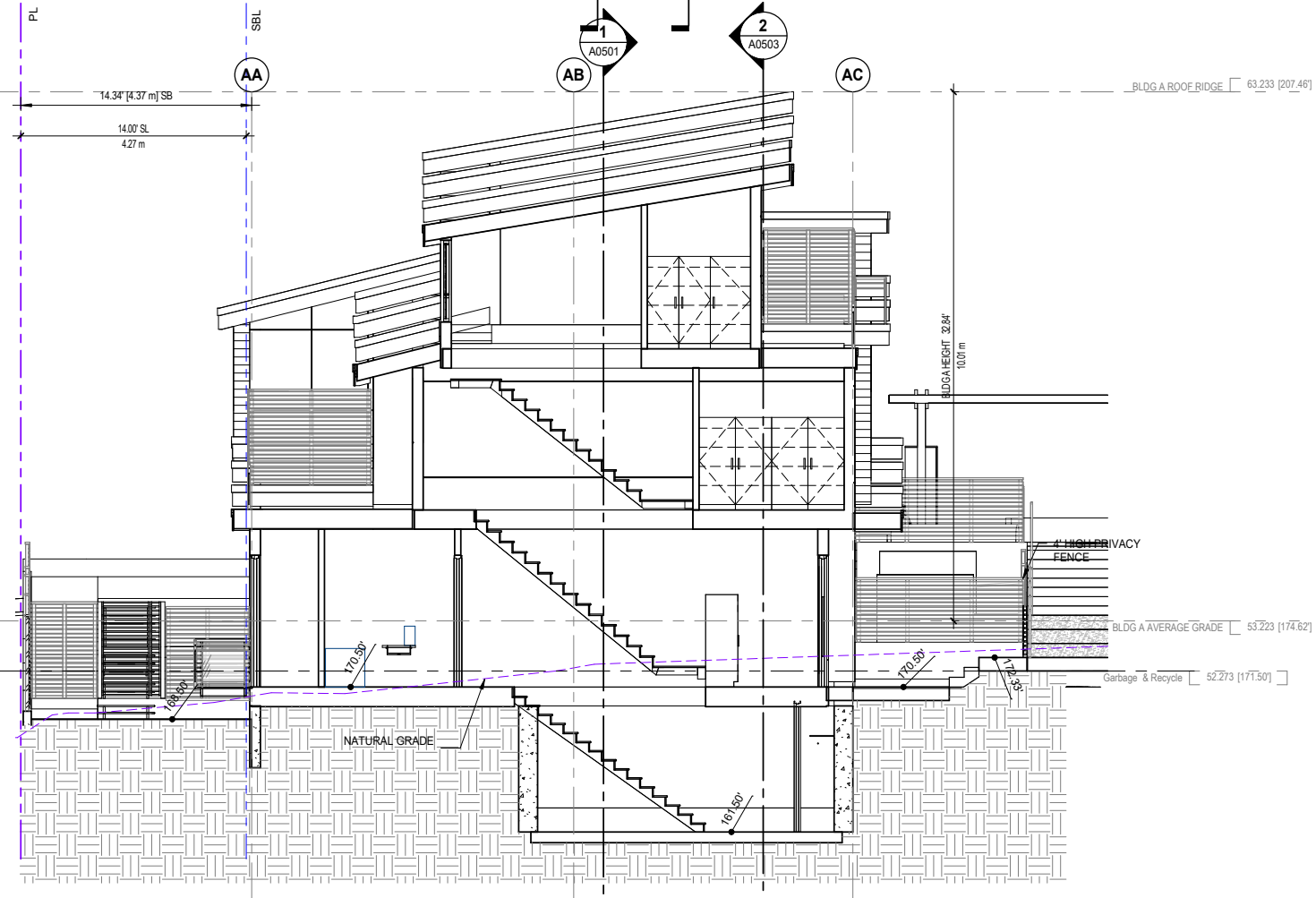
REVISION
3



1 Section A-1
SCALE: 3/16" = 1'-0"



2 Section A-2
SCALE: 3/16" = 1'-0"

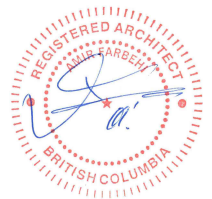


3 Section A-3
SCALE: 3/16" = 1'-0"

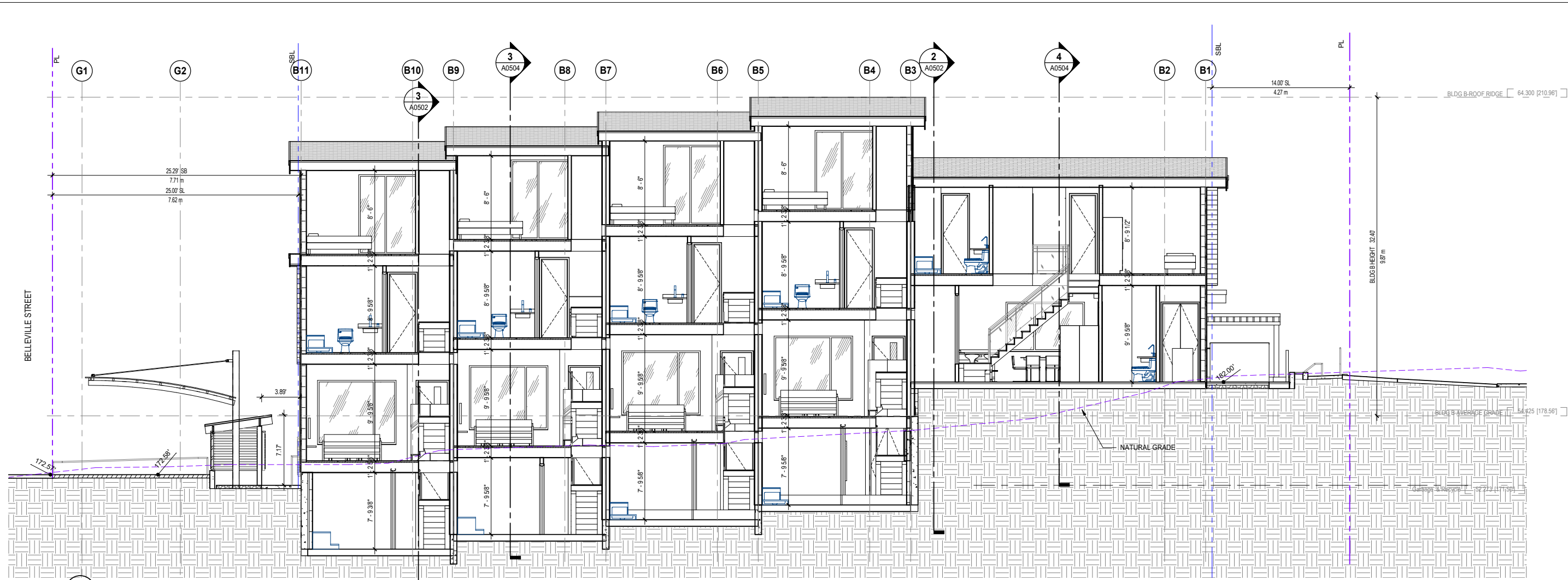
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
5	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
4	2022-02-14	REISSUED FOR SECOND HEARING	AF
3	2021-04-14	REISSUED FOR FIRST HEARING	AF
2	2020-02-24	REISSUED FOR FIRST HEARING	AF
1	2019-07-17	ISSUED FOR FIRST HEARING	AF

PROJECT	INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.	
DRAWING TITLE	BUILDING A SECTIONS
DRAWING ISSUE	ISSUED FOR NEW WESTMINSTER DESIGN PANEL

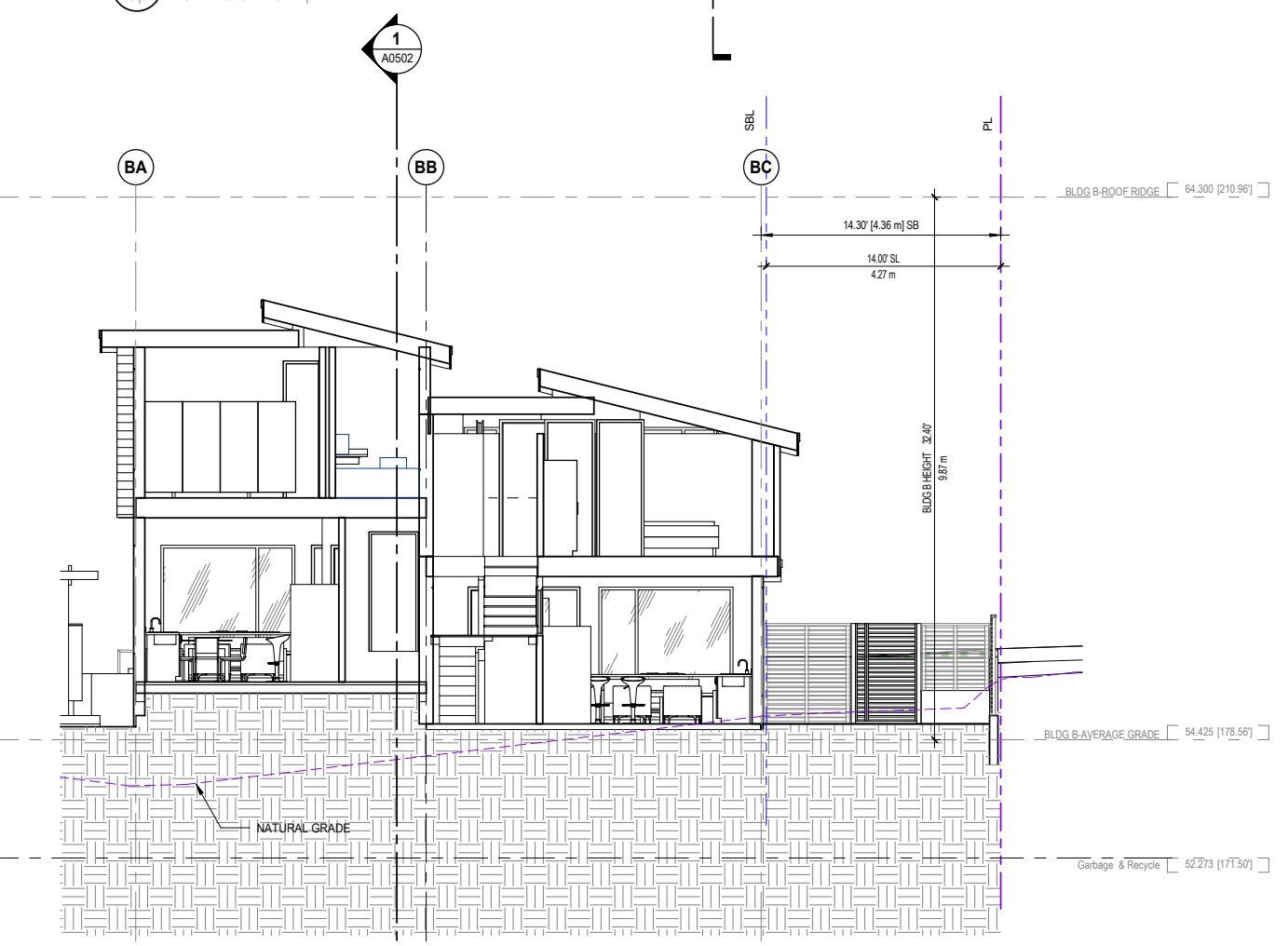
PROJECT NO.	18203	PLOT DATE	MAY 16 2022	DRAWN	MT
SCALE	3/16" = 1'-0"	REVIEWED		REVIEWED	AF
DRAWING NO.	A0501	REVISION		REVISION	5



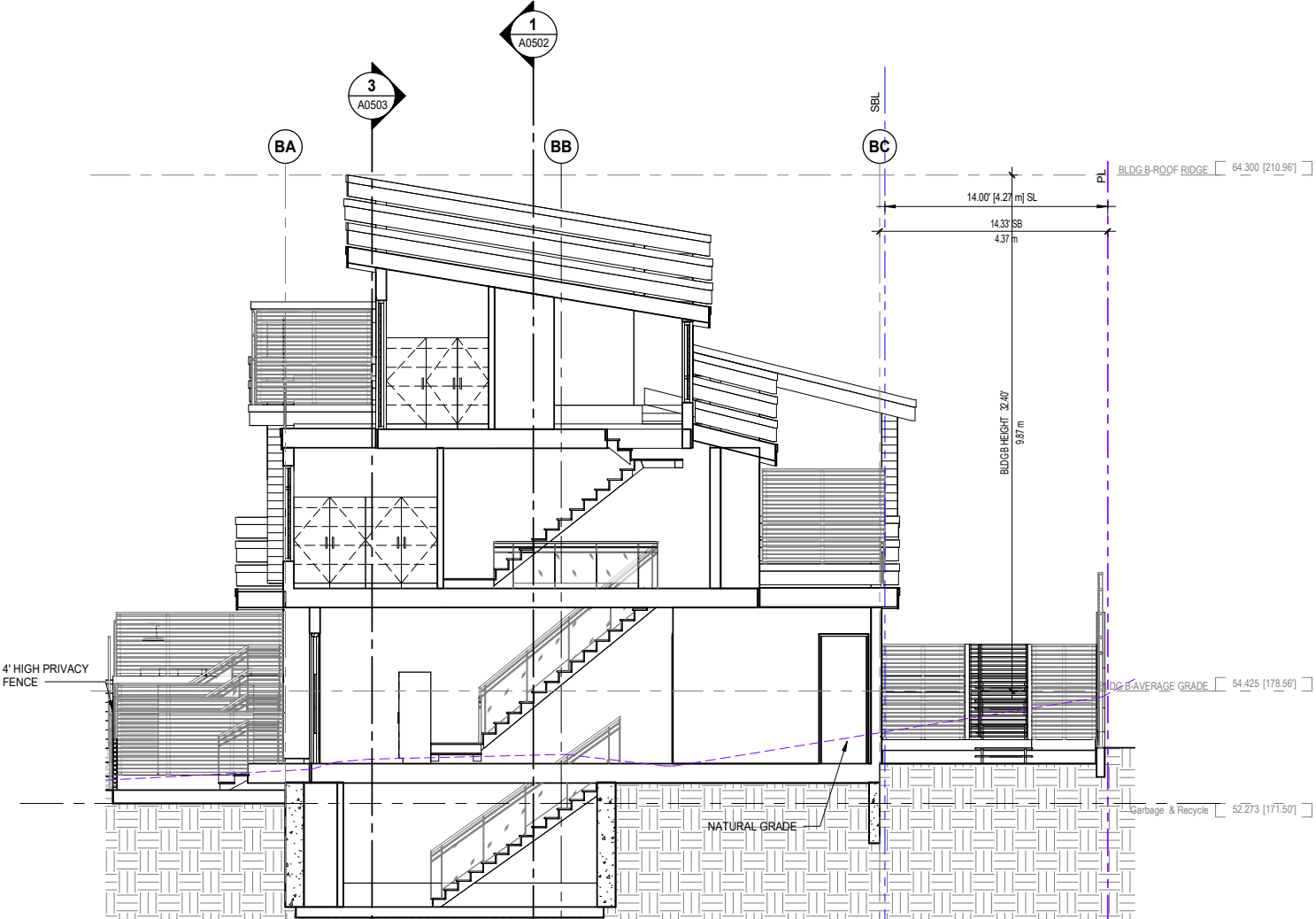
ST. ANDREWS STREET



1 Section B-1
 A0104 SCALE: 3/16" = 1'-0"



2 Section B-2
 A0104 SCALE: 3/16" = 1'-0"



3 Section B-3
 A0104 SCALE: 3/16" = 1'-0"

REV.	DATE	REVISION / DRAWING ISSUE	REVIEW
3	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
2	2022-02-14	REISSUED FOR SECOND HEARING	AF
1	2021-04-14	REISSUED FOR FIRST HEARING	AF

CONSULTANT	REVISION / DRAWING ISSUE	REVIEW

PROJECT
INFINITY TOWNHOMES
 1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
BUILDING B SECTIONS

DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MT
18203	MAY 16 2022		
DRAWING NO.	SCALE	REVIEWED	AF
A0502	3/16" = 1'-0"		
			REVISION
			3

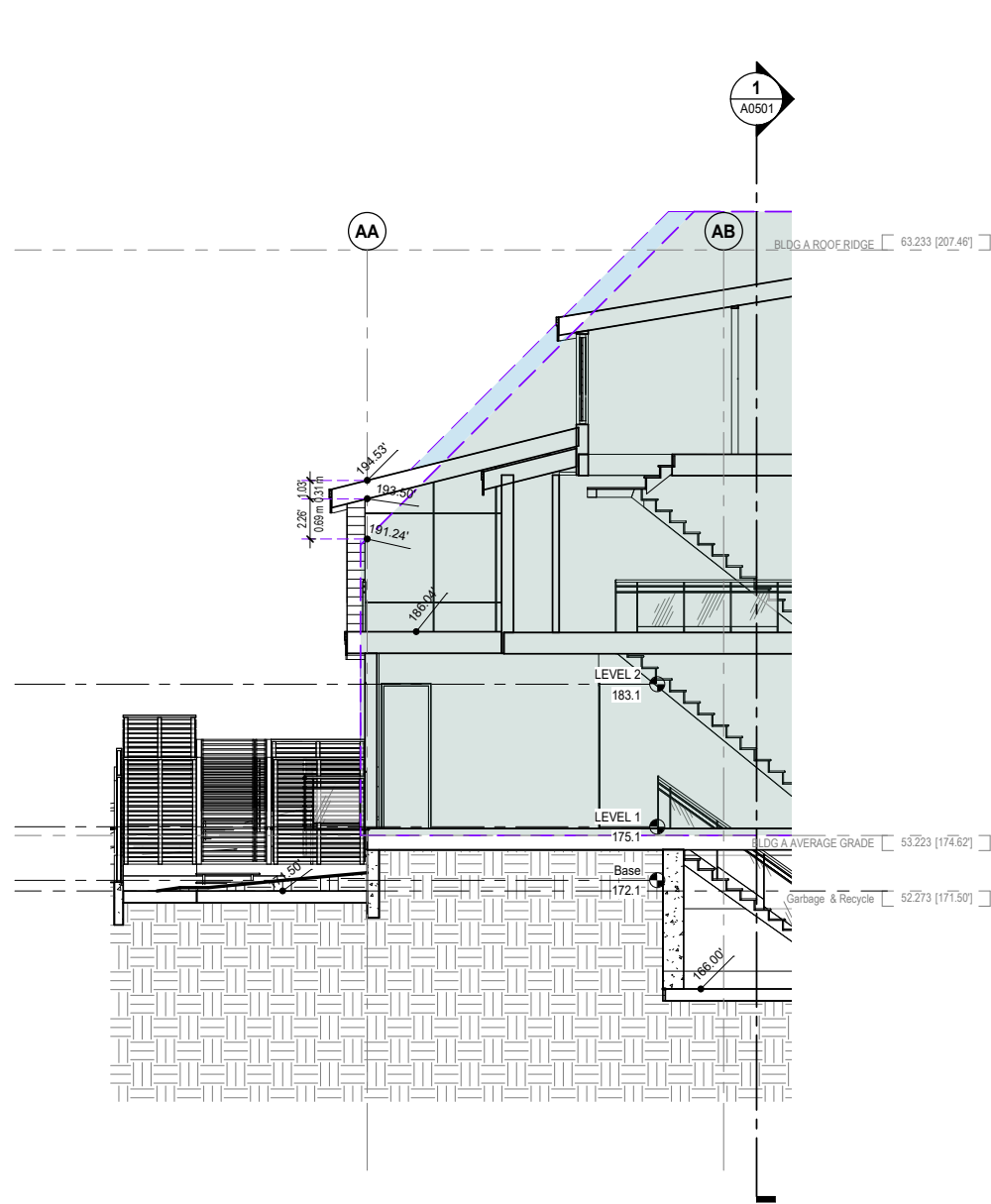
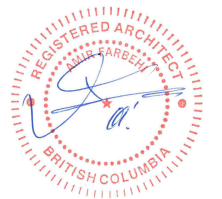
3D BUILDING ENVELOPE LEGEND

- ELEVATION SURFACE
- CUT SURFACE

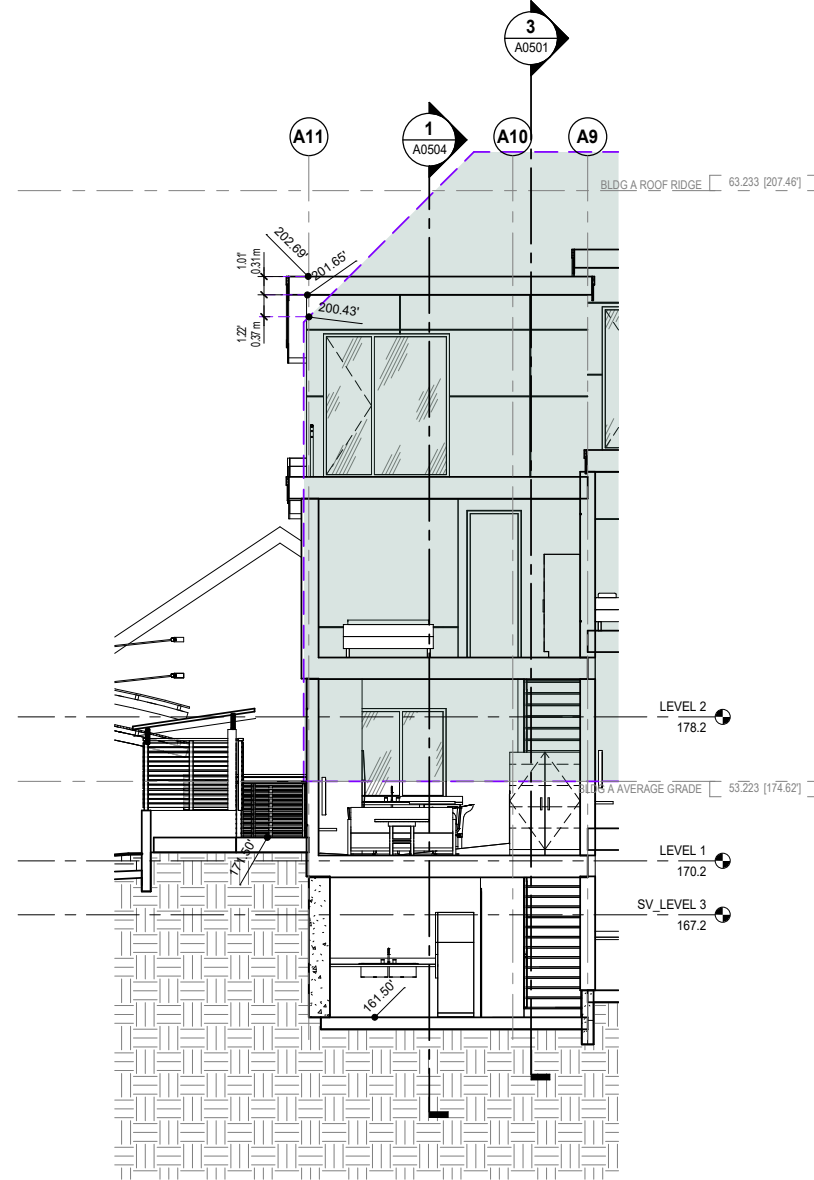
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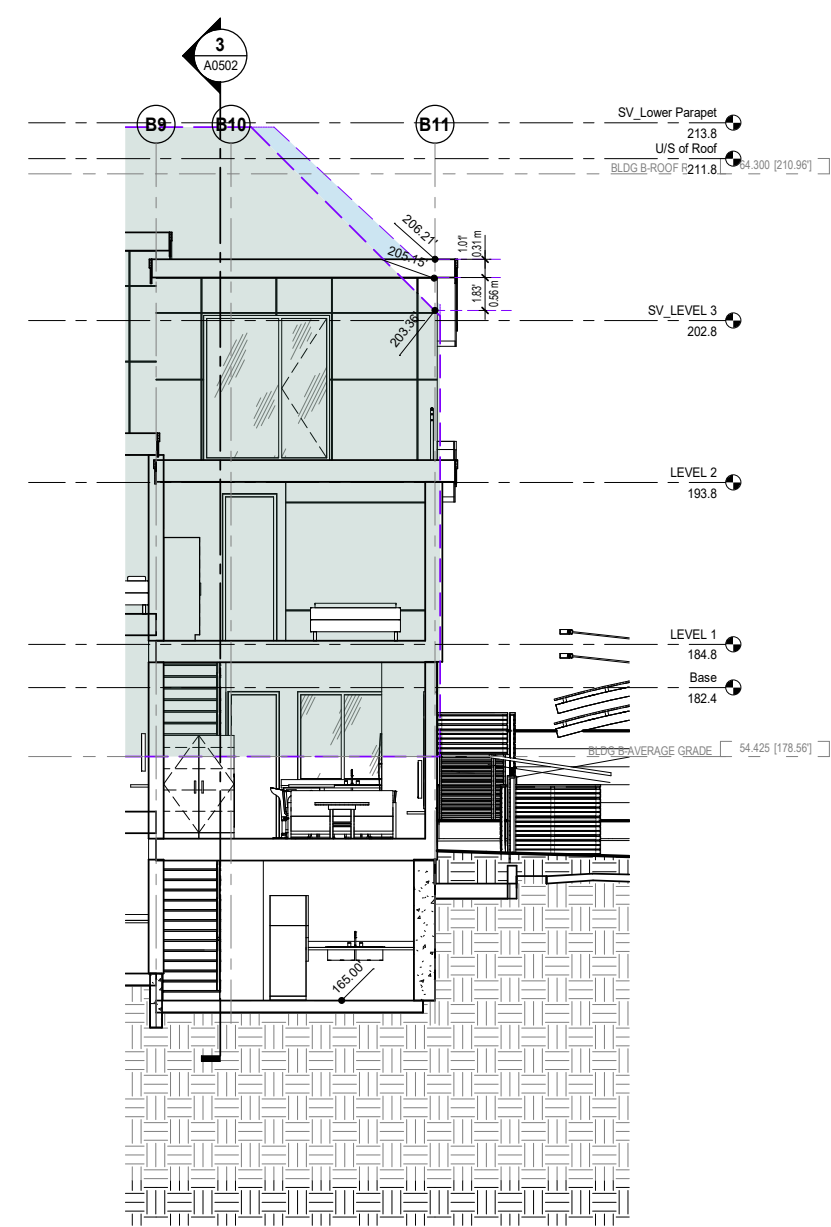
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1 Envelope Projection-Section A-4
A0104 SCALE: 3/16" = 1'-0"



2 Envelope Projection-Section A-5
A0104 SCALE: 3/16" = 1'-0"



3 Envelope Projection-Section B-4
A0104 SCALE: 3/16" = 1'-0"

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
3	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
2	2022-02-14	REISSUED FOR SECOND HEARING	AF
1	2021-04-14	REISSUED FOR FIRST HEARING	AF

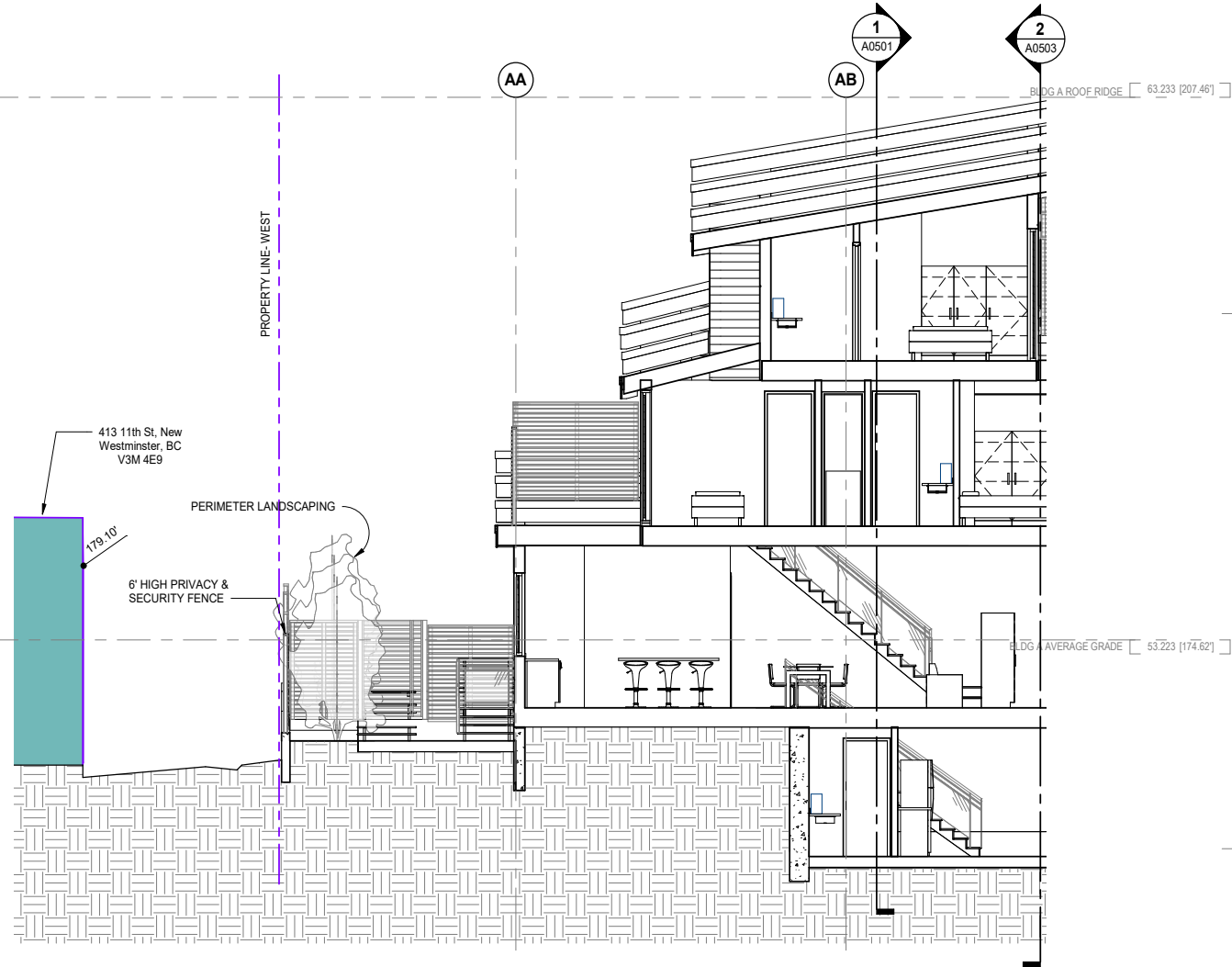
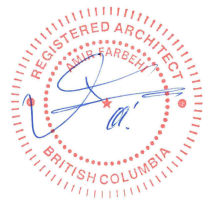
PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
ENVELOPE PROJECTION SECTIONS

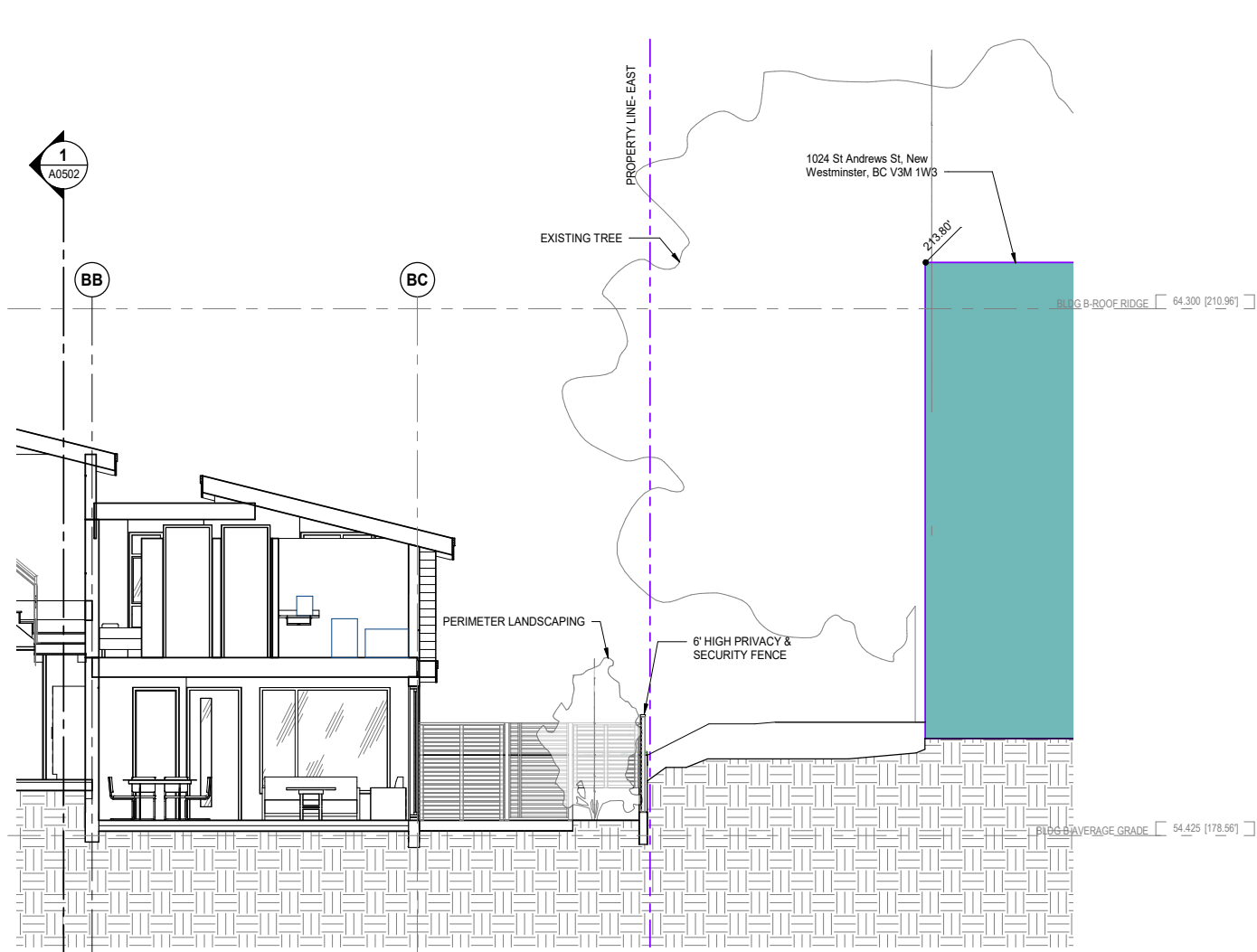
DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MT
18203	MAY 16 2022		
SCALE	As indicated	REVIEWED	AF

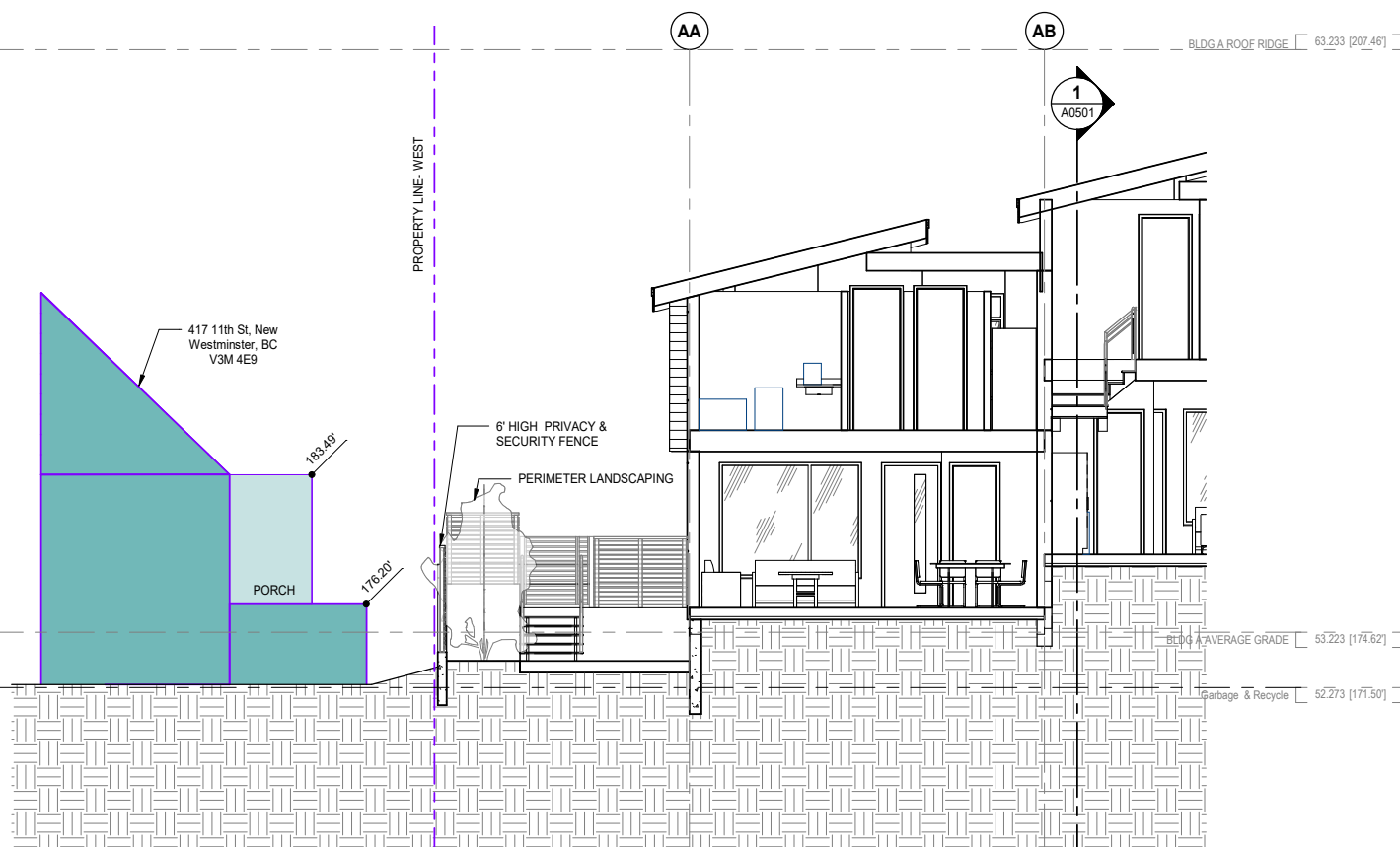
DRAWING NO. **A0503** REVISION **3**



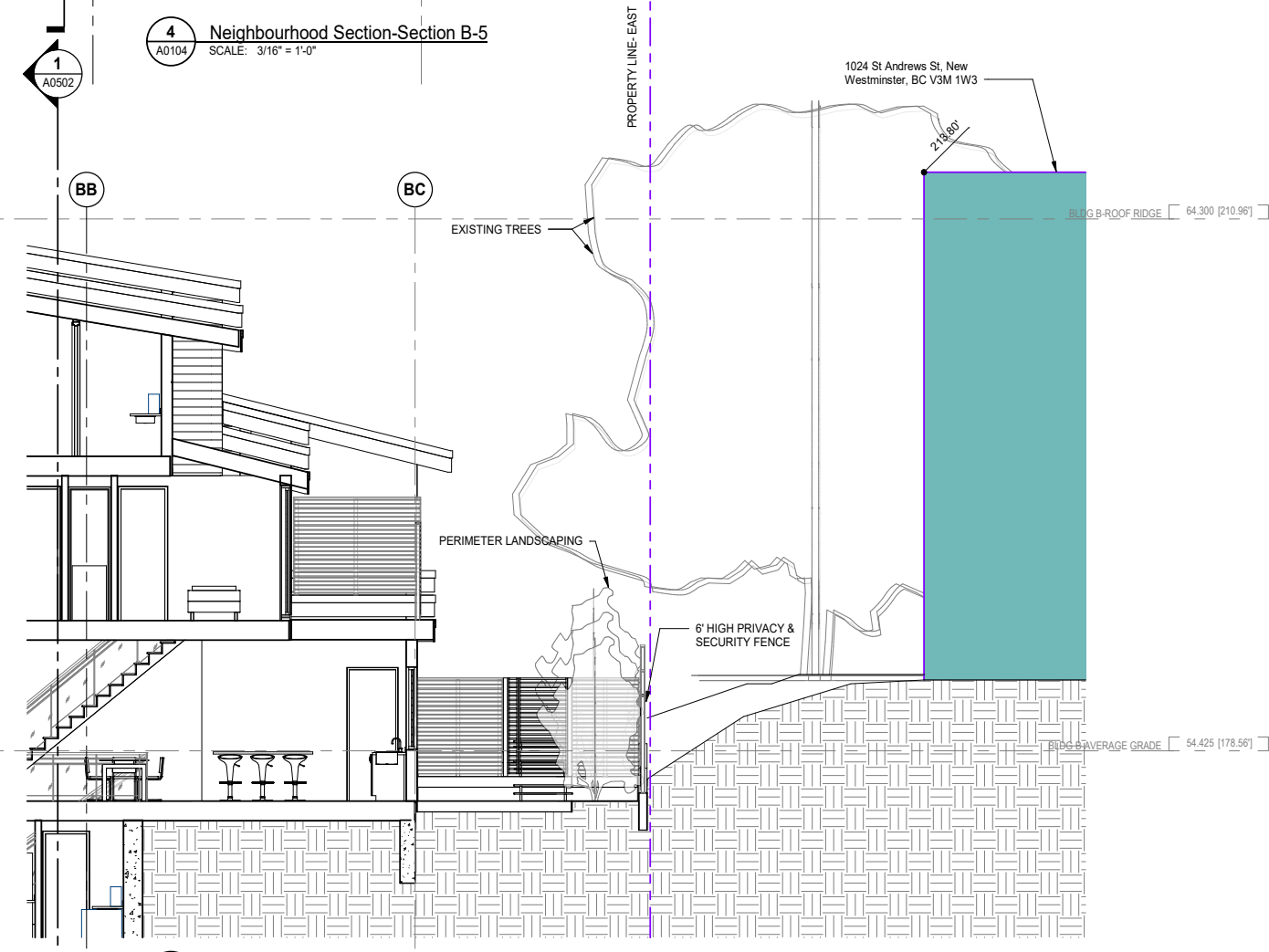
1 Neighbourhood Section-Section A-6
A0104 SCALE: 3/16" = 1'-0"



4 Neighbourhood Section-Section B-5
A0104 SCALE: 3/16" = 1'-0"



2 Neighbourhood Section-Section A-7
A0104 SCALE: 3/16" = 1'-0"



3 Neighbourhood Section-Section B-6
A0104 SCALE: 3/16" = 1'-0"

REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW
3	2022-05-16	ISSUED FOR NEW WESTMINSTER DESIGN PANEL	AF
2	2022-02-14	REISSUED FOR SECOND HEARING	AF
1	2021-04-14	REISSUED FOR FIRST HEARING	AF

PROJECT
INFINITY TOWNHOMES
1032 AND 1036 ST. ANDREWS STREET, NEW WESTMINSTER, B.C.

DRAWING TITLE
NEIGHBOURHOOD SECTIONS

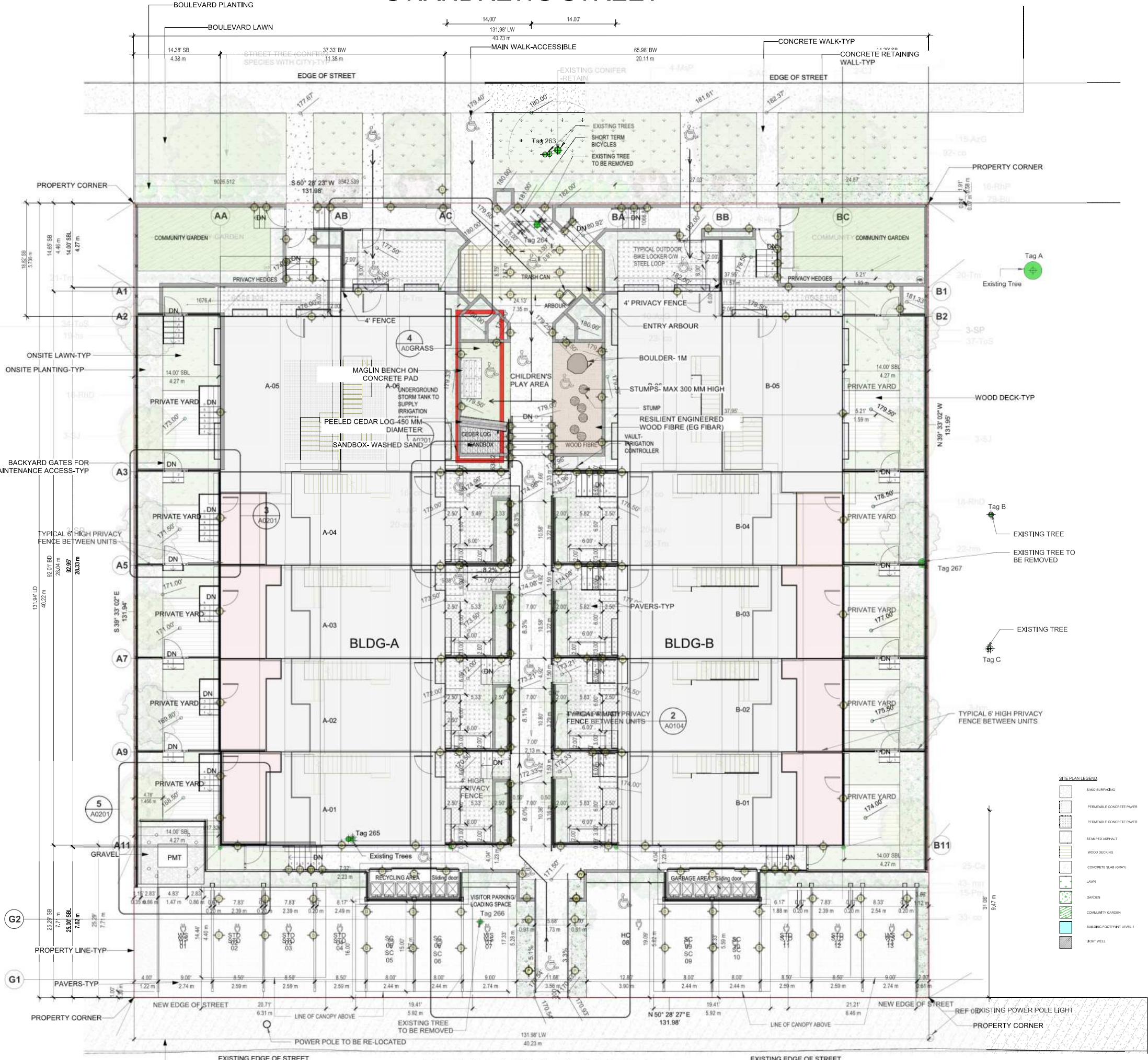
DRAWING ISSUE
ISSUED FOR NEW WESTMINSTER DESIGN PANEL

PROJECT NO.	PLOT DATE	DRAWN	MT
18203	MAY 16 2022		
DRAWING NO.	SCALE	REVIEWED	AF
A0504	3/16" = 1'-0"		
		REVISION	3

ST. ANDREWS STREET

GENERAL NOTES

1. Contractor shall review these plans thoroughly, make a detailed site visit, and shall immediately bring any inconsistency, site layout problem, or any other request for clarification to the Landscape Architect for resolution prior to the delivery of any bid. Failure to do so shall cause the Contractor to be ineligible for extras relating to such matters.
2. Contractor shall submit reproducible shop drawings to Landscape Architect for Owner's approval.
3. Contractor shall co-ordinate with all trades to provide complete working systems.
4. Drawings of existing facilities are, in general, diagrammatic. Exact locations shall be determined by the Contractor from field measurements taken by Contractor's personnel. Actual arrangement of the work shall follow locations shown on the drawings within the constraints of existing equipment and construction. Dimensions shall govern these drawings and they are not to be scaled. Any scales on drawings are only for the Contractor's convenience. Drawing and notes to drawings are correlative and have equal authority and priority. Should there be discrepancies in themselves or between them, Contractor shall base bid pricing on the most expensive combination of quality and/or quantity of the work indicated. In the event of discrepancies, the appropriate method of performing the work and/or items to be incorporated into the scope of the work shall be determined by the appropriate design professional (eg Landscape Architect, Architect, Engineer)
5. Contractor is responsible for the safety, actions and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity.
6. All work described by these documents shall be performed in full accordance with all applicable codes and standards.
7. All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations or these documents, whichever is more stringent.
8. Requests to substitute any product, technique, or material shall be submitted in writing to Landscape Architect for approval. Samples, product information, and drawings shall be required prior to substitution approval. Proposed substitution shall be of equal quality and performance specification to that originally specified.
9. All workmanship, material, and equipment shall be guaranteed for one year from date of Owner acceptance. Any failure or deterioration within this period shall be corrected by the contractor at the contractor's expense.
10. Coordinate landscape drawings with all other consultant drawings.



HARDSCAPE MATERIALS LIST

1. BENCHES: by Maglin, wood bech with backrest MBE-0720 on 4' by 8' concrete pad.
2. BOULDERS: Accent boulders to be minimum 1m in diameter, naturally occurring rounded edges, set with 1/3 in ground
3. ENGINEERED WOOD FIBER (eg FIBAR): 250 mm compacted depth; Fibar or equivalent; meets ASTM F1292/F1951/F2075/F2223/F355. Wood fiber over filter fabric and 50 mm of 19 mm clear crush drain rock over compacted subgrade
4. FENCE-WOOD: 1 X6 cedar boards, finished with Sikkens semi-transparent cedar stain
5. FILTER FABRIC: Nilex Nonwoven 4551 geotextile or equivalent; polypropylene, staple fiber, needle-punched nonwoven geotextile.
6. GRAVEL LAYER: 2" of 3/4" crushed granite, over 2" of well compacted 3/4" minus base course, over non-woven fabric
7. HANDRAILS FOR STAIRS: 36" high, powder coated medium gloss charcoal aluminum, installed to code
8. LIGHTING-BY KICHLER: Lighting fixtures and accessories to be Kichler 12 V, LED. STEP LIGHT: KIC-5782BKT27 .86W/ PATH LIGHT: KIC-15805BKT27 4W/ ACCENT LIGHT: KIC-16155BKT27 3.5W/ HARDSCAPE: KIC-16103GRY27 2.7W/ WALL WASH: KIC-16070BKT27R 4.3W/ BOLLARD: KIC-16070BKT27R 3.8W/ DECK LIGHT: KIC-15764CBR .86W/ 300 W Transformer-Kichler 15CS300SS; Photocell- Kichler 15565BK. Lighting to be installed as a complete working system with wires, connectors, mounting hardware, transformer and photocell/timer controller.
9. LOGS AND STUMPS: Yellow cedar or Western red cedar, to be peeled with ends chamfered and sanded with 40 grit sandpaper; no snags, slivers, sharp edges, protrusions or other hazards per CAN/CSA-Z614, latest edition.
10. PAVERS: by Abbotsford Concrete Products, Standard Series, 4 7/16" by 8 7/8" by 2 3/8" inches, Granite Blend, mixed with half standard and double standard sizes to suit owner; pavers over 1" bedding sand and minimum 4" compacted 3/4" minus base course. Perimeter edge restraint to be Edge-Pro or equivalent. Polymeric sand to be filled in joints.
11. RAILINGS: 42" high, powder coated medium gloss black charcoal, where there is a fall height of 2' or more, installed to code
12. STEPS-CONCRETE: Medium broom finish, sloped 2% to front of tread
13. WALKS-CONCRETE: Medium broom finish with 2% cross slope, over min. 4" compacted granular base, expansion joints as required, control joints 5'OC and where potential for cracking

No.	Date	Issue/Revision Notes
B	2/9/2021	REVIEW
C	3/31/2021	REVIEW
D	1/23/2022	REVIEW

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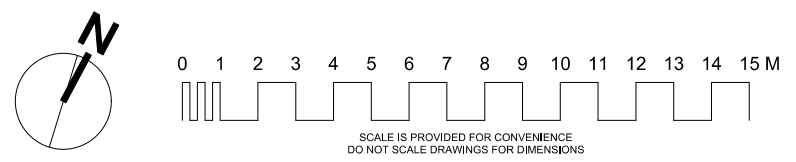
Client
CANWEST DEVELOPMENT
 1151840 BC LTD

Project Title
TOWNHOUSE COMPLEX

Sheet Title
LAYOUT AND MATERIALS

Project Manager STEVE WONG	Project ID 2019-2
Drawn By SW	Scale AS SHOWN
Date FEBRUARY 2019	Sheet No. L-1
CAD File Name ST ANDREW v3.vwx	of 5

NOTE: REFER TO, AND COORDINATE ALL DRAWINGS WITH ARCHITECT AND ENGINEER DRAWINGS



4 LAYOUT AND MATERIALS
 Scale: 1:100

ST. ANDREWS STREET

PLANTING AND IRRIGATION NOTES

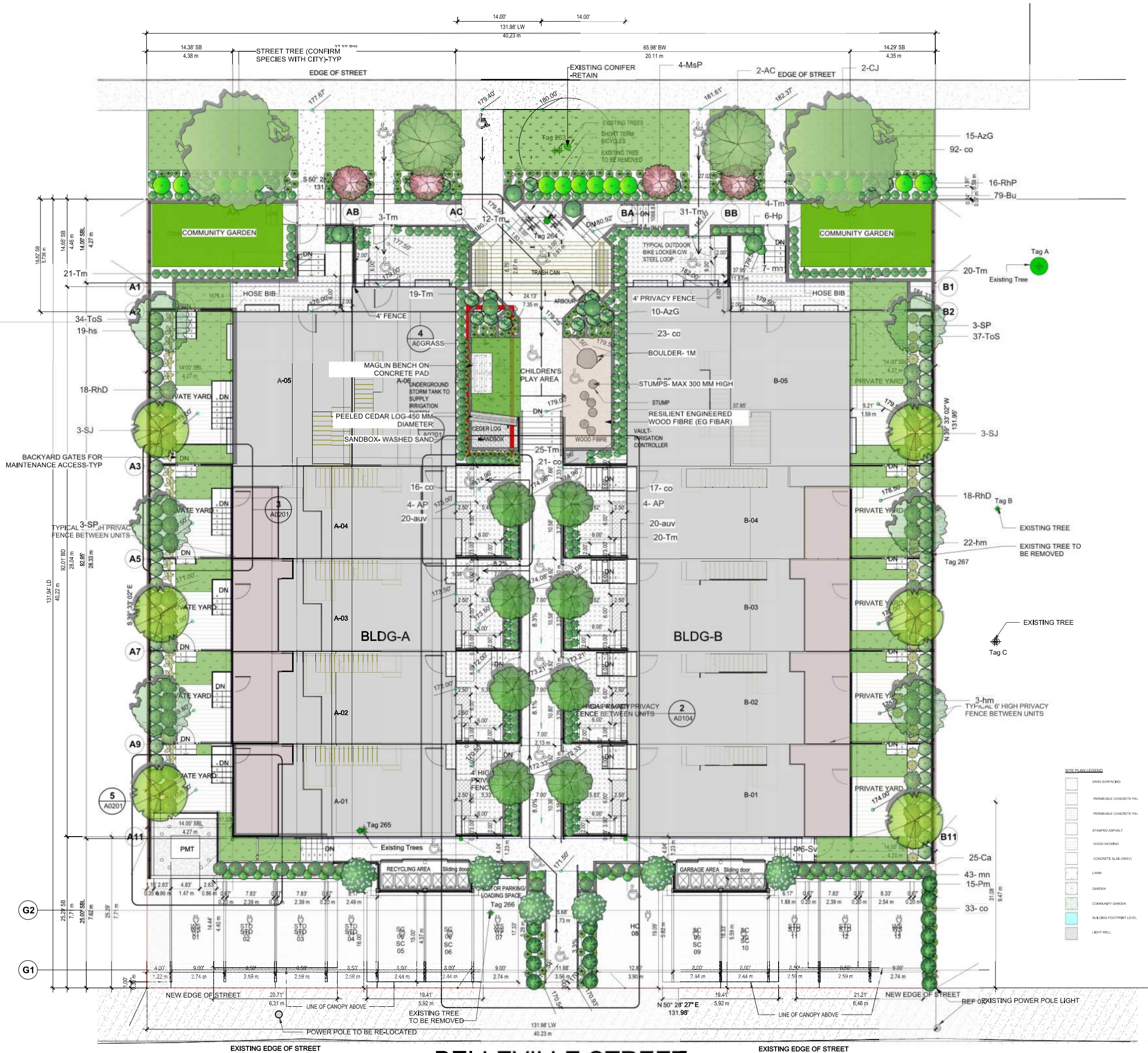
1. PLANT MATERIAL: All plant material are to meet current Canadian Landscape Standard (CLS) #1 and installed according to current CLS standards.

SOD: sand based sod (Perennial rye/Kentucky bluegrass) with no netting. Supplied by Bos Sod Farms, or equivalent

GROWING MEDIUM: in accordance with CLS standards; FOR TURF AREAS: Level 2H (High Traffic Lawn Areas), containing by weight: 70-90% sand, maximum 15% fines (max 15% clay), 3-5% organic matter, with pH between 6-7; FOR PLANTING AREAS: Level 2P (Planting Areas), containing by weight: 40-80% sand, maximum 35% fines (max 25% clay), 10-20% organic matter, with pH between 4.5-6.5. Supplied by Veratec Engineered Products, or equivalent; 6" min for lawn areas, 18" min for planted areas, over scarified base. Soil samples to be submitted by contractor to Pacific Soil Analysis for analysis to confirm conformance with CLS specifications. Address: 5-11720 Voyager Way Richmond, BC V6X 3G9; Phone (604) 273-8226

MULCH: to be composted fir bark, having dark brown, fine texture and 1/2" minus, applied evenly at a 2" depth over plant beds. Available from Augustine Soil and Mulch (604 465-5193) or equivalent.

2. IRRIGATION: Complete automatic, in-ground irrigation system. Rainbird ESP-mw WiFi compatible controller. 4-22 stations, or equivalent, with outdoor control box, mounted on side of building, with electrical plug-in. Shrub spray, turf heads and valves to be Rainbird, Toro or Hunter or equivalent, and installed per Canadian Landscape Standard (latest edition), with shrub and lawn areas on separate zones. Contractor to submit shop drawing of proposed irrigation system for approval by Landscape Architect prior to installation.



PLANT LIST 1032/1036 ST. ANDREWS STREET, NW

Botanical Name	Common Name	No.	Size	Spacing	Symbol
TREES					
<i>Acer circinatum</i>	Vine maple	2	2.4 m	as shown	AC
<i>Acer palmatum</i> 'Koto-no-ito'	Japanese maple	8	2.0 m	as shown	AP
<i>Cercidiphyllum japonicum</i>	Katsura (Street Tree)	2	7 cm cal	as shown	CJ
<i>Stewartia pseudocamellia</i>	Stewartia	6	7 cm cal	as shown	SP
<i>Styrax japonicus</i> 'Snowcone'	Japanese snowbell	6	7 cm cal	as shown	SJ
SHRUBS					
<i>Azalea</i> 'Girard Fuchsia'	Azalea	25	#2 pot	as shown	AG
<i>Buxus</i> 'Green Velvet'	Boxwood	79	#2 pot	as shown	Bu
<i>Cornus alba</i> 'Elegantissima'	Variiegated dogwood	25	#2 pot	as shown	Ca
<i>Hydrangea paniculata</i> 'Little Lime'	Hydrangea	6	#2 pot	as shown	Hp
<i>Magnolia stellata</i> 'Pink Star'	Star magnolia	4	#10 pot	as shown	MsP
<i>Pinus mugo mugo</i>	Dwarf mugo pine	15	#2 pot	as shown	Pm
<i>Rhododendron</i> 'Dora Amateis'	Rhododendron	36	#5 pot	as shown	RhD
<i>Rhododendron</i> 'PJM'	Rhododendron	16	#5 pot	as shown	RhP
<i>Syringa vulgaris</i> 'Belle de Nancy'	Common Lilac	6	#10 pot	as shown	Sv
<i>Taxus media</i> 'Hillii'	Yew	155	1.2 m	as shown	Tm
<i>Thuja occidentalis</i> 'Smaragd'	Emerald cedar	71	1.5 m	as shown	ToS
VINES, GROUND COVERS AND HERBACEOUS PERENNIALS					
<i>Arctostaphylos uva-ursi</i>	Kinnickinnick	84	#1 pot	as shown	auv
<i>Carex oshimensis</i> 'Evergold'	Sedge	202	#1 pot	as shown	co
<i>Hemerocallis</i> 'Stella de Oro'	Daylily	25	#1 pot	as shown	hm
<i>Hosta</i> 'Wide Brim'	Hosta	19	#1 pot	as shown	hs
<i>Mahonia nervosa</i>	Dull Oregon grape	50	#1 pot	as shown	mn

Contractor to be certified by BCLNA
 Plants and installation to meet or exceed latest Canadian Landscape Standard (CLS) #1 standards
 Contractor to verify numbers and placement of plants prior to installation

No.	Date	Issue/Revision Notes
B	2/9/2021	REVIEW
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D	1/23/2022	REVIEW

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Client
CANWEST DEVELOPMENT
 1151840 BC LTD

Project Title
TOWNHOUSE COMPLEX

Sheet Title
PLANTING PLAN

Project Manager
STEVE WONG Project ID
 2019-2

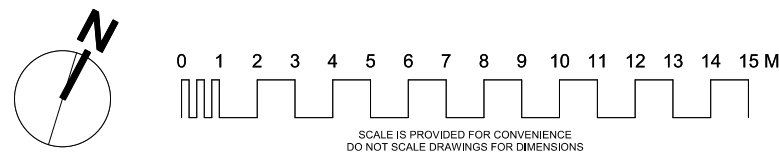
Drawn By
SW Scale
 1:1

Date
FEBRUARY 2019 Sheet No.
L-2

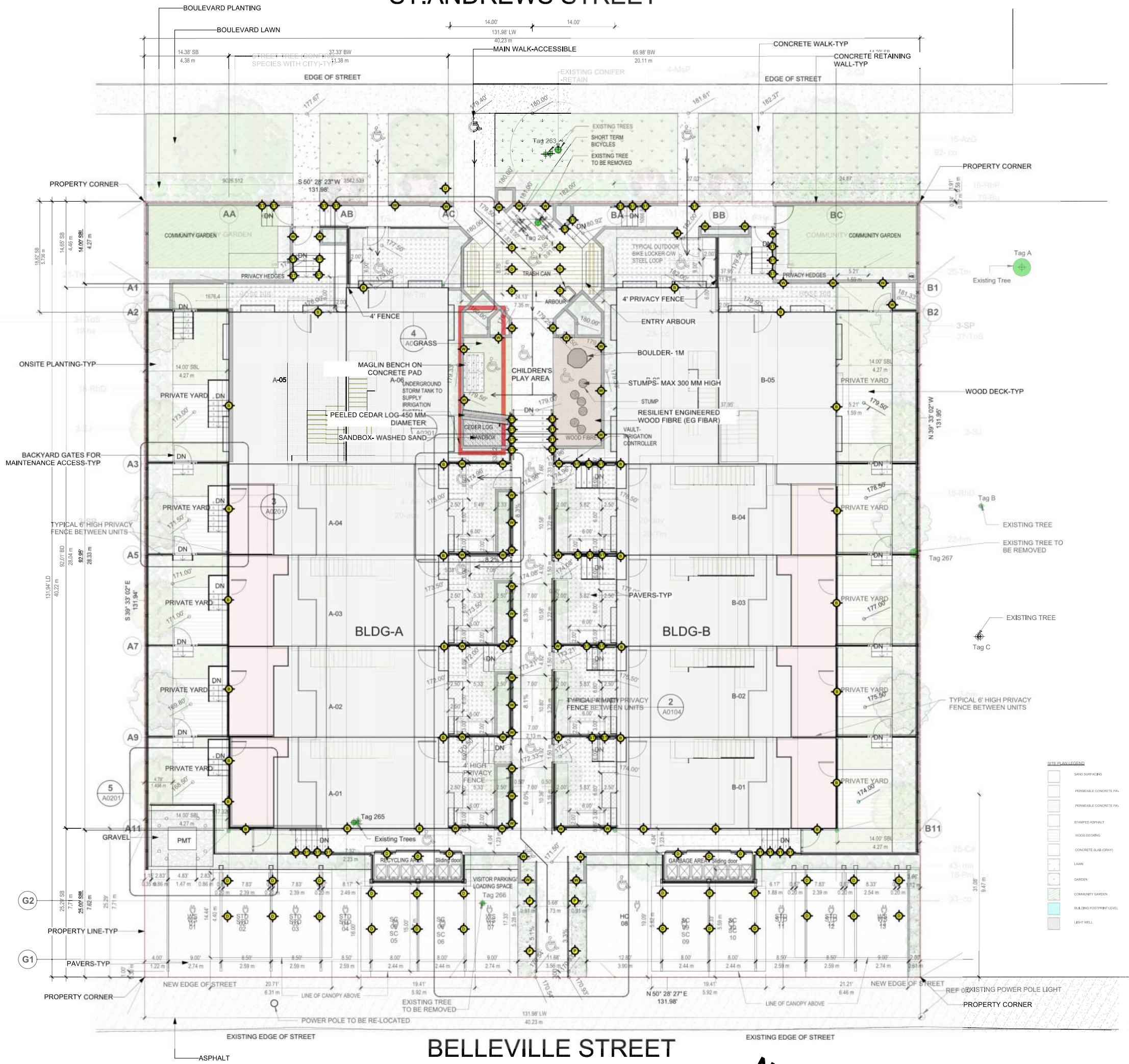
CAD File Name
ST ANDREW v3.vwx of
 5

IRRIGATION: Complete automatic, in-ground irrigation system. Rainbird ESP-mw WiFi compatible controller. 4-22 stations, or equivalent, with outdoor control box, mounted on side of building, with electrical plug-in. Shrub spray, turf heads and valves to be Rainbird, Toro or Hunter or equivalent, and installed per Canadian Landscape Standard (2020 or later), with shrub and lawn areas on separate zones. Contractor to submit shop drawing of proposed irrigation system for approval by Landscape Architect prior to installation.

1 LAYOUT AND MATERIALS PLAN
 Scale: 1:100



ST. ANDREWS STREET



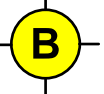


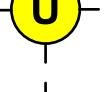
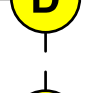

- 

2 ST-STEP OR W-WALL LIGHT
Scale: N/A
- 

3 U-UP OR D-DOWN ACCENT LIGHT
Scale: N/A
- 

4 P-PATH OR BOLLARD LIGHTING
Scale: N/A

LIGHTING LEGEND

-  BUILDING LIGHT-SEE ARCH
-  STEP LIGHT
-  WALL LIGHT
-  UP/ ACCENT LIGHT
-  DOWN/ ACCENT LIGHT
-  PATH/ BOLLARD LIGHT

No.	Date	Issue/Revision Notes
B	2/9/2021	REVIEW
C	3/31/2021	REVIEW
D	1/23/2022	REVIEW

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www.swlandscapearchitect.com

Client: CANWEST DEVELOPMENT
1151840 BC LTD

Project Title: TOWNHOUSE COMPLEX

Project Manager: STEVE WONG
Drawn By: SW

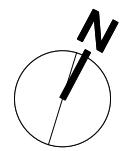
Project ID: 2019-2
Scale: 1:1

Sheet Title: LIGHTING PLAN

Date: FEBRUARY 2019
CAD File Name: ST ANDREW v3.vwx

Sheet No.: L-3
of 5

1 LIGHTING PLAN
Scale: 1:100



0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 M



SCALE IS PROVIDED FOR CONVENIENCE
DO NOT SCALE DRAWINGS FOR DIMENSIONS

LANDSCAPE STATEMENT OF INTENT

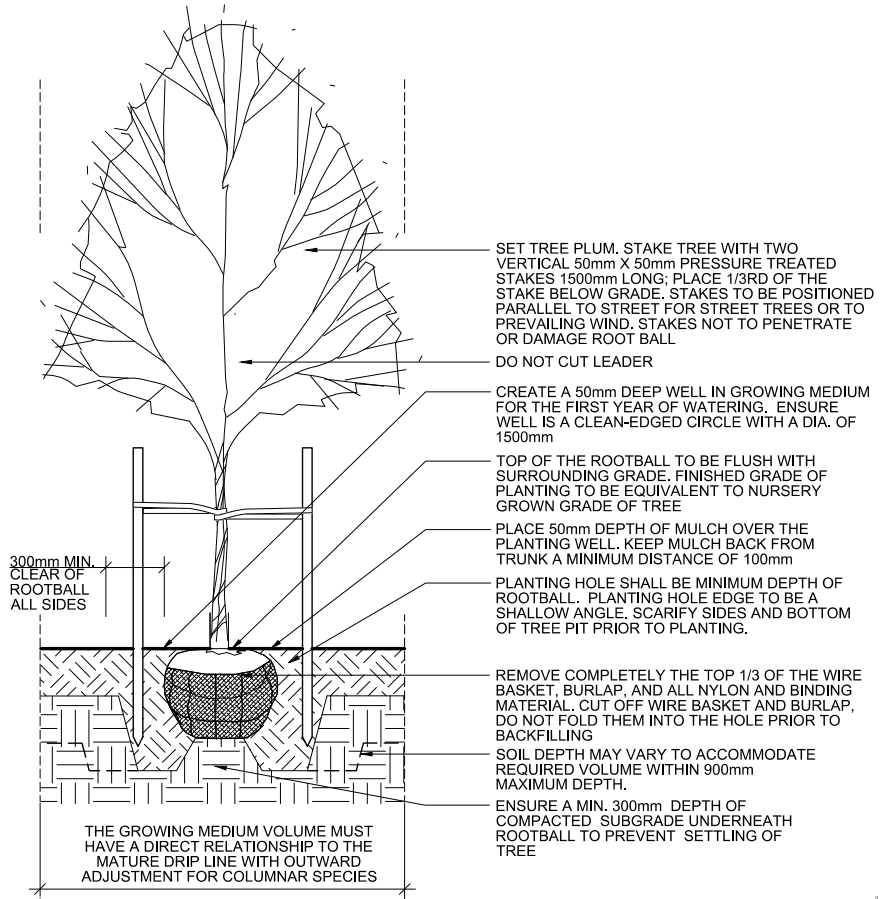
The intent of the landscape design is to have a landscape treatment that is attractive, low maintenance, sustainable and at a reasonable cost. Plants are chosen that are suited for the site conditions so the landscape will look good for many years to come.

GENERAL NOTES

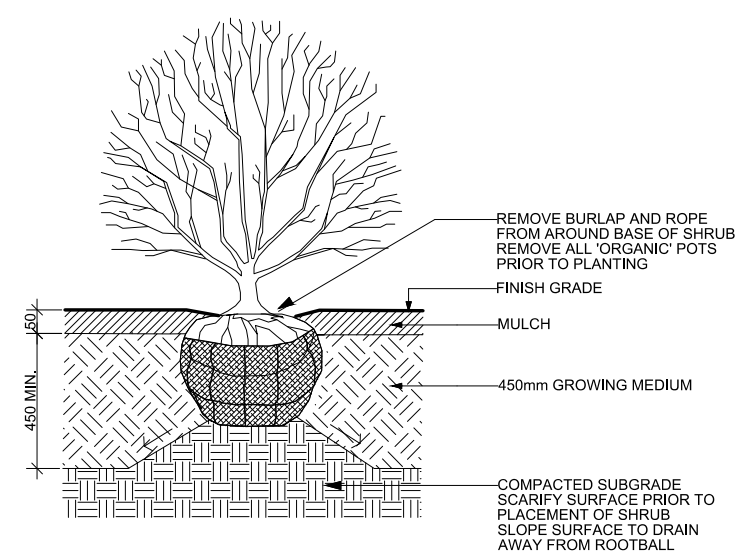
- Contractor and their subcontractors and workers to be sufficiently insured and have WCB coverage
- Work to be done by the industry certified personnel. All work to be done to meet or exceed industry standards
- Contractor to adhere to safe work practices on site
- Contractor to confirm location of all utilities and to protect throughout construction
- Contractor to verify layout dimensions, measurements and grades prior to bidding and construction and to inform consultant of any discrepancies
- The landscape drawings are intended to meet municipal Zoning and Building By-Laws. The Contractor is responsible for obtaining approved Engineering drawings and sign-off for all structural and geotechnical work, including all retaining walls over 4 feet in height, or where there are issues with soil stability
- All stairs to have handrails and all drops in elevation of 600 mm or more to have guardrails per BC Building By-Law
- All manufactured products (eg segmental block walls/stairs, pavers, irrigation, lighting) to be installed per manufacturer's instructions
- If there are retained trees on site, all work to be outside the tree protection zone unless approved by certified ISA arborist

LANDSCAPE NOTES

- All landscape works are to meet the specifications and standards of the latest edition of the CANADIAN LANDSCAPE STANDARD, published by the Canadian Society of Landscape Architects and the Canadian Nursery Landscape Association, per Specifications section.
- All landscape works to be carried out by a contractor with minimum 5 years' experience doing similar work, who is a member in good standing with the appropriate trade organization: eg, B.C. Landscape and Nursery Association (BCLNA), Irrigation Industry Association of B.C. (IIABC). Execution of work to be under the direct supervision of qualified industry certified technicians.
- All grades to meet adjacent grades at property line
- All stormwater is to be contained on site and away from adjacent properties
- All hard surfaces to be sloped a minimum of 1.0% to avoid standing water
- All lawns to be sloped a minimum of 2% to avoid standing water
- No slopes to be steeper than 2.5 horizontal: 1 vertical
- All plant material and growing medium to meet Canadian Landscape Standard #1 specifications
- All shrub beds to contain minimum 18" (450) mm depth of approved growing medium over scarified subgrade
- All lawn areas to contain minimum 6" (150) mm of approved growing medium over scarified subgrade
- Installation to be reviewed by a registered Landscape Architect

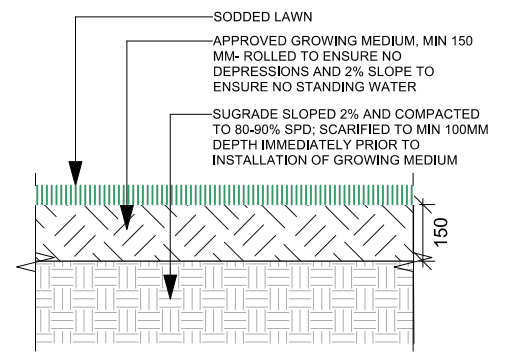


1 TREE PLANTING
Scale: N/A

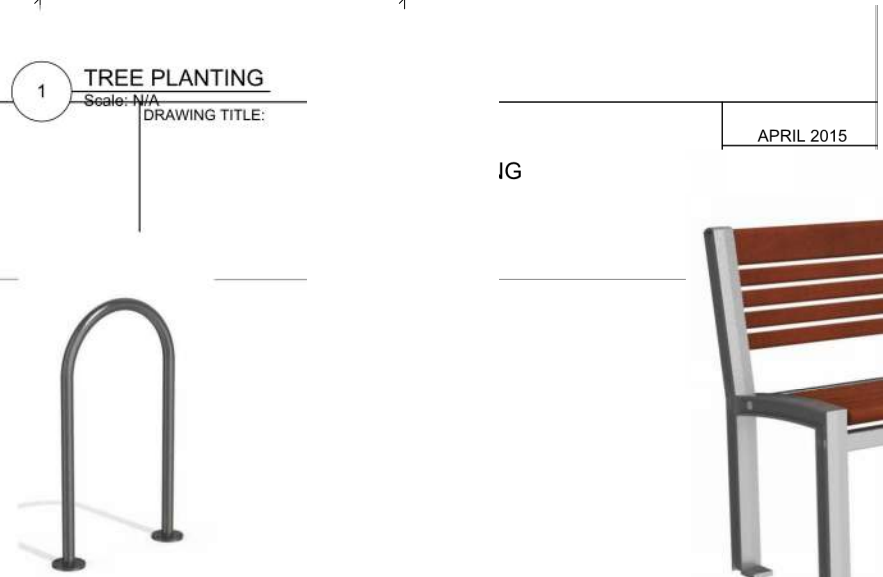


NOTES:
1. SHRUB TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL OR POT LEVEL WITH FINISH GRADE OF GROWING MEDIUM.
2. COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF SHRUB.
3. PLANTING PIT MUST BE FREE DRAINING

2 SHRUB PLANTING
Scale: N/A



3 SOD DETAIL
Scale: 1:10

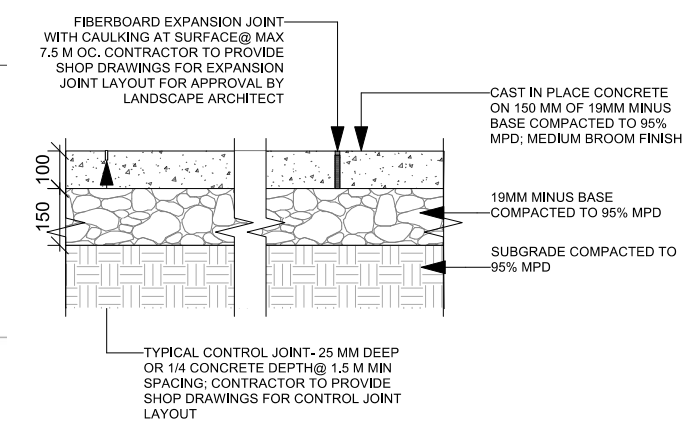


4 BIKE RACK-MAGLIN MBR-0500-00003
Scale: N/A

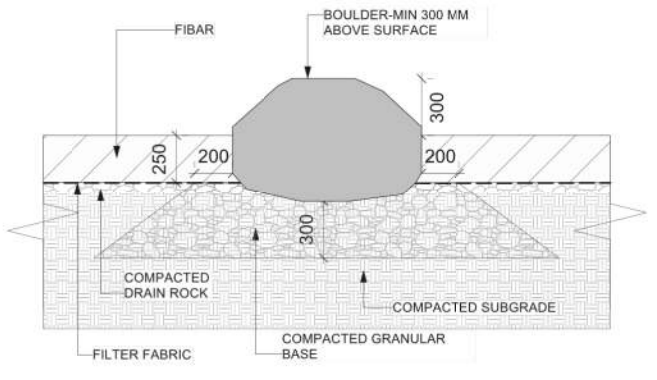


5 MAGLIN BENCH MBE-0720
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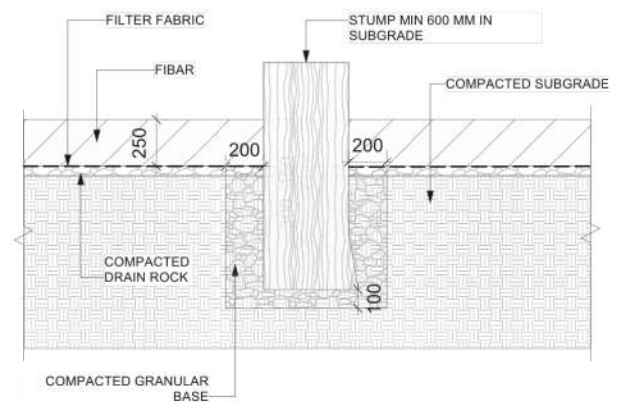
DRAWING TITLE:
SHRUB PLANTING



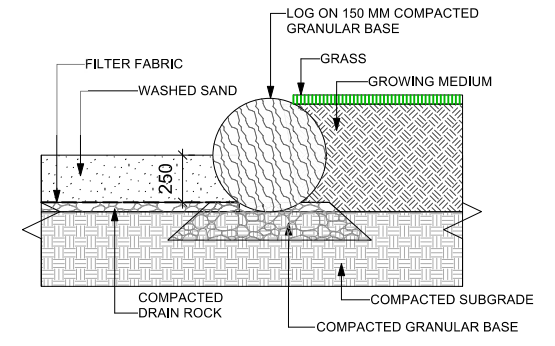
6 CIP CONCRETE DETAIL
Scale: 1:10



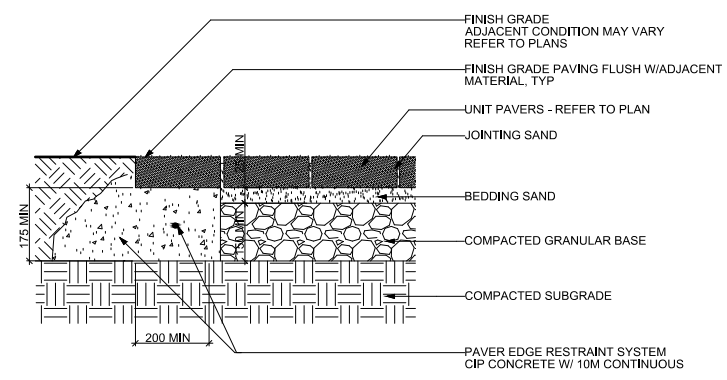
7 PLAYGROUND: BOULDER IN FIBAR
Scale: 1:20



8 PLAYGROUND: STUMP IN FIBAR
Scale: 1:20



9 PLAYGROUND: LOG EDGE AT SANDBOX
Scale: 1:20



10 PAVER DETAIL
Scale: 1:100

No.	Date	Issue/Revision Notes
B	2/9/2021	REVIEW
C	3/31/2021	REVIEW
D	1/23/2022	REVIEW

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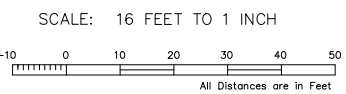
Client: **CANWEST DEVELOPMENT**
1151840 BC LTD

Project Title: **TOWNHOUSE COMPLEX**

Sheet Title: **DETAILS**

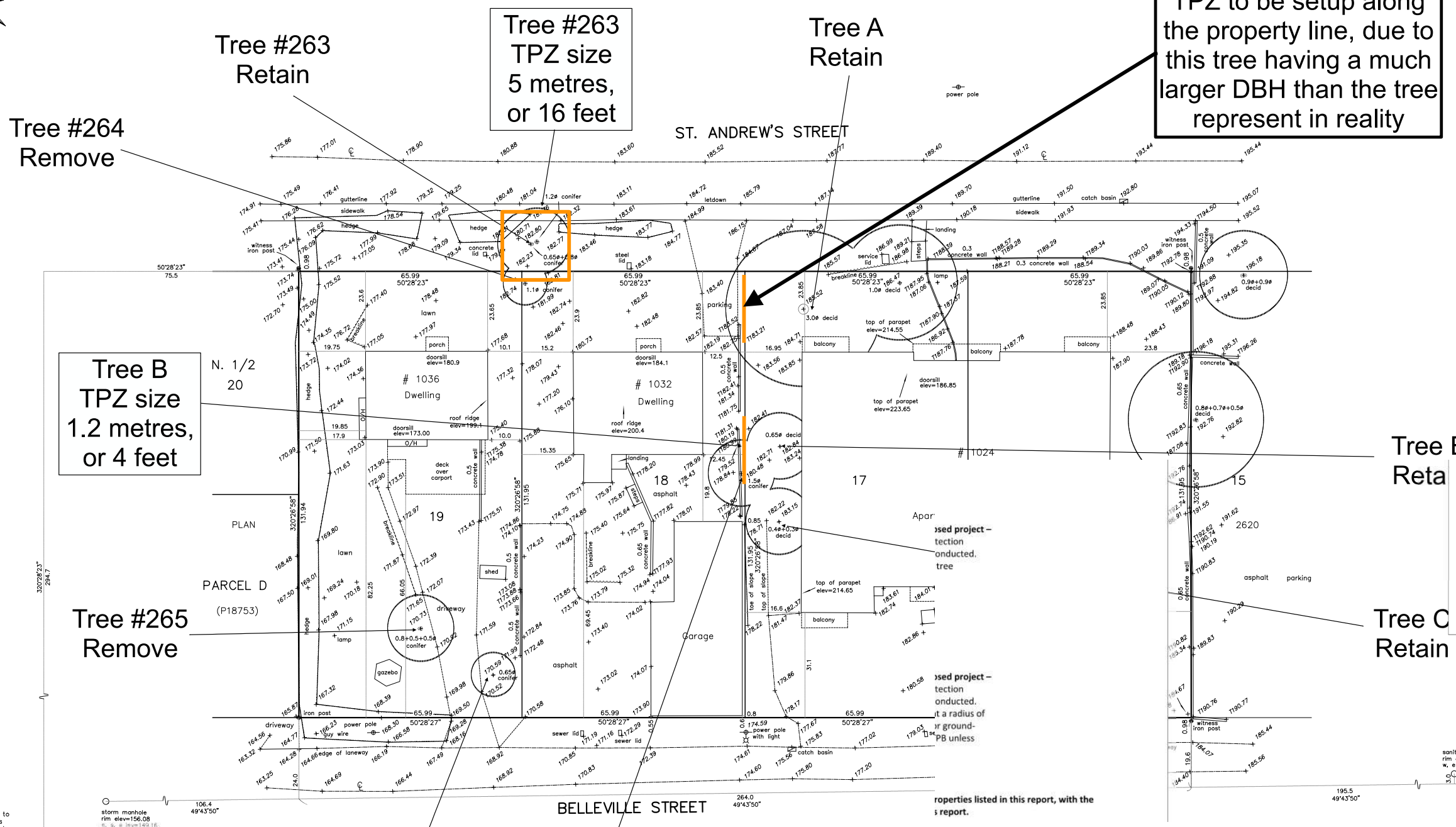
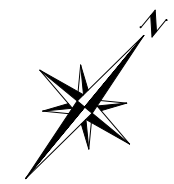
Project Manager: **STEVE WONG** | Project ID: 2019-2
Drawn By: **SW** | Scale: 1:1

Date: **FEBRUARY 2019**
CAD File Name: **ST ANDREW v3.vwx**
Sheet No.: **L-4**
of 5

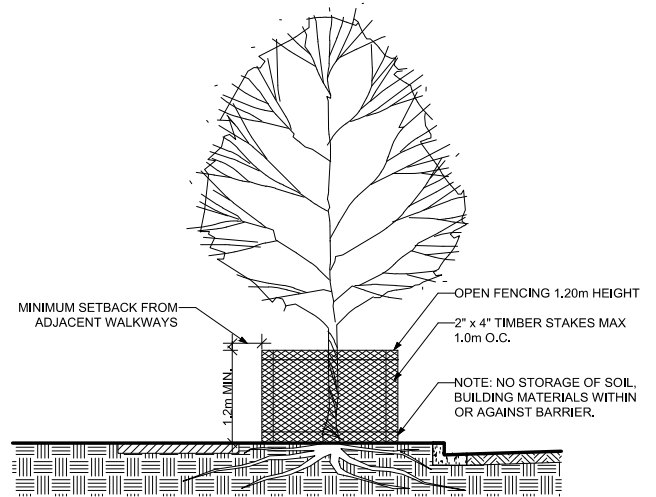


LOT 16 PARCEL IDENTIFIER
 LOT 17 PARCEL IDENTIFIER
 CIVIC ADDRESS 102
 LOT 18 PARCEL IDENTIFIER
 CIVIC ADDRESS 103
 LOT 19 PARCEL IDENTIFIER
 CIVIC ADDRESS 103
 N

1032 & 1036 St. Andrew's St, New Westminster - Tree inventory



TPZ to be setup along the property line, due to this tree having a much larger DBH than the tree represent in reality



SCHEDULE A - TREE PROTECTION BARRIER

TREE PROTECTION DISTANCE TABLE	
TRUNK DIAMETER	MINIMUM DISTANCE FROM TRUNK (METERS)
20	0.6
25	0.8
35	1.0
40	1.2
45	1.3
50	1.5
55	1.7
60	2.0
75	2.5
90	3.0
100	3.3

NOTE: TREE PROTECTION BARRIERS MUST BE AT LEAST 1.20m IN HEIGHT AND CONSTRUCTED OF EITHER SNOW FENCING SECURELY FASTENED TO 2x4 TIMBER STAKES, OR METAL STAKES SPACED NO FURTHER THAN 1.00m APART.

2 TREE PROTECTION BARRIER Scale: N/A

LEGEND:
 x 177.15 Spot Elevation
 x 178.51 Elevation of Top of Wall
 Topographic survey completed June 6th, 2017.
 Lot dimensions are based on field survey.
 Elevations are Geodetic, shown in feet, derived from Control Monument 89H6078 Elevation = 144.80 feet Datum: NAD83(CSR) GVRD2005.
 Offsets shown are not to be used to define property lines. This plan was prepared for a specific purpose and is for the exclusive use of our client. We assume no responsibility for the unauthorized use of this plan.

CERTIFIED CORRECT this 16th day of June, 2017.

1 TREE MANAGEMENT Scale: N/A

TREE TABLE - IDENTIFICATION & OVERVIEW						
Tree #	Tree type	Location	DBH (cm)	TPZ	General tree observations & condition	Action
263	Sawara Cypress	North boulevard	80	RQD	City of New Westminster tree, tree will require removal to create main access to the proposed development	RETAIN
264	Lawson Cypress	Northwest corner of #1032 St. Andrew's St	33	NOT RQD	Small, semi mature tree. Previously topped at 6 ft above ground, multiple regrown stems from this point	REMOVE
265	Lawson Cypress	Centre of rear garden #1036	54	NOT RQD	Mature Cypress multi-stem tree. Canopy of the tree appears to be 80% dead, which indicates potential root disease	REMOVE
266	Lawson Cypress	South east corner of #1036	19	NOT RQD	Semi-mature tree, appears in good condition	REMOVE
267	Lawson Cypress	East property line of #1036	45	NOT RQD	Mature Cypress tree, with a significant lean to the west. Potentially a shared tree with the neighbouring property to the east	REMOVE
A	Willow	East neighbour's Northwest corner	90	RQD	Neighbour's tree has been identified purely for the purpose of highlighting the tree protection requirements	RETAIN
B	Apple	East neighbour's property	19	RQD	Neighbour's tree has been identified purely for the purpose of highlighting the tree protection requirements	RETAIN
C	Apple	East neighbour's property	20	RQD	Neighbour's tree has been identified purely for the purpose of highlighting the tree protection requirements	RETAIN

This project does not require Arborist supervision at any point during construction based on information given at the time this report was written.

Tree protection requirements table			
Tree #	DBH	TPZ requirements	Arborist Supervision reqd
263	DBH - 80cm	5 metres, or 16 feet	NO
A	DBH - 90cm	Setup at the property line 6m in length	NO
C	DBH - 20cm	1.2 metres or 4 feet radius	NO

REFER TO ARBORIST REPORT AND DRAWING, PREPARED BY GRIZZLY TREE EXPERTS, FEBRUARY 11, 2019. REFER TO AND COORDINATE WITH OTHER PROJECT DRAWINGS.

No.	Date	Issue/Revision Notes
B	2/9/2021	REVIEW
C	3/31/2021	REVIEW
D	1/23/2022	REVIEW

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Client
CANWEST DEVELOPMENT
 1151840 BC LTD

Project Title
TOWNHOUSE COMPLEX

Sheet Title
TREE MANAGEMENT

Project Manager
STEVE WONG
 Project ID
 2019-2

Drawn By
SW
 Scale
 1:1

Date
FEBRUARY 2019
 Sheet No.
L-5

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