

Appendix C

*Architectural and  
Landscape Drawings*

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EMAIL: office@coastlinesurveying.ca

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CONTACT: Mehran Saraie  
NRCAN #: 58A3  
EMAIL: nehal.patel@cadaconsultants.com

# CARIBOO STREET

## NEW WESTMINSTER, B.C.

ARCHITECTURAL:

- A0.00 COVER SHEET AND LIST OF DRAWINGS
- A0.10 PROJECT INFORMATION
- A0.11 SITE CONTEXT - FIRE HYDRANT LOCATIONS
- A0.12 SITE CONTEXT - VIEWS
- A0.13 CONTEXT ELEVATIONS
- A0.14 SITE PLAN - ADJACENT BUILDINGS

- A1.00 SITE PLAN

- A2.10 MAIN FLOOR PLAN
- A2.20 SECOND FLOOR PLAN
- A2.30 THIRD FLOOR PLAN
- A2.40 FOURTH FLOOR PLAN
- A2.50 FIFTH FLOOR PLAN
- A2.60 ROOF PLAN

- A3.01 ELEVATION - NORTH
- A3.02 ELEVATION - EAST
- A3.03 ELEVATION - SOUTH
- A3.04 ELEVATION - WEST

- A4.01 BUILDING SECTION A-A
- A4.02 BUILDING SECTION B-B

- A8.01 SHADOW STUDY

LANDSCAPE:

- L1 LANDSCAPE SITE PLAN
- L2 TREE MANAGEMENT PLAN
- L3 LANDSCAPE PLANTING PLAN
- L4 LANDSCAPE LIGHTING PLAN
- L5.1 LANDSCAPE DETAILS AND SPECIFICATIONS
- L5.2 LANDSCAPE DETAILS AND SPECIFICATIONS



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| 5   | 13.04.2022 | ISSUED FOR DESIGN PANEL  |
| 4   | 15.02.2022 | DEVELOPMENT PERMIT REV 5 |
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SEAL

PROJECT

CARIBOO STREET  
1321 CARIBOO STREET  
-----  
NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON  
THE TRADITIONAL TERRITORY OF THE  
QAYQAYT FIRST NATIONS AND THE COAST SALISH  
PEOPLES

SHEET TITLE

COVER SHEET &  
LIST OF DRAWINGS

|             |            |             |              |
|-------------|------------|-------------|--------------|
| SCALE:      |            | SHEET NO.   |              |
| DRAWN BY:   | SD/INH/RGB |             | A0.00        |
| CHECKED BY: | RB         | PROJECT NO: | FILE: 19BA14 |

| AREAS |   | GROSS AREA (INCLUDING CORE AND CIRCULATION) |         | RESIDENTIAL GROSS AREA |         | SERVICE AREAS (ELEC/MECH/GARBAGE) |       | BIKE / SCOOTER ROOMS/UNIT STORAGE |       | OPEN SPACES (PATIOS AND BALCONIES) |        | ADAPTABLE DWELLING |        | AMENITY |       |
|-------|---|---|---------|------------------------|---------|-----------------------------------|-------|-----------------------------------|-------|------------------------------------|--------|--------------------|--------|---------|-------|
| FLOOR |   | SQ FT                                       | SQ M    | SQ FT                  | SQ M    | SQ FT                             | SQ M  | SQ FT                             | SQ M  | SQ FT                              | SQ M   | SQ FT              | SQ M   | SQ FT   | SQ M  |
|       | 1 | 2219.70                                     | 206.21  | 1302.69                | 121.02  | 0.00                              | 0.00  | 546.21                            | 50.74 | 670.50                             | 62.29  | 0.00               | 0.00   | 0.00    | 0.00  |
|       | 2 | 3687.67                                     | 342.58  | 2733.51                | 253.94  | 383.98                            | 35.67 | 0.00                              | 0.00  | 252.87                             | 23.49  | 1377.91            | 128.01 | 0.00    | 0.00  |
|       | 3 | 3687.67                                     | 342.58  | 2679.07                | 248.89  | 0.00                              | 0.00  | 383.98                            | 35.67 | 249.50                             | 23.18  | 1858.14            | 172.62 | 0.00    | 0.00  |
|       | 4 | 3500.17                                     | 325.17  | 2891.63                | 268.63  | 0.00                              | 0.00  | 0.00                              | 0.00  | 240.45                             | 22.34  | 2069.25            | 192.23 | 0.00    | 0.00  |
|       | 5 | 3111.62                                     | 289.07  | 1794.23                | 166.68  | 0.00                              | 0.00  | 0.00                              | 0.00  | 285.92                             | 26.56  | 0.00               | 0.00   | 718.56  | 66.75 |
| TOTAL |   | 16206.83                                    | 1505.61 | 11401.13               | 1059.16 | 383.98                            | 35.67 | 930.19                            | 86.41 | 1699.24                            | 157.86 | 5305.30            | 492.86 | 719.82  | 66.75 |

| TOTAL NUMBER OF UNITS | 15         |             |
|-----------------------|------------|-------------|
| UNIT MIX              | # OF UNITS | % BREAKDOWN |
| STUDIO                | 1          | 7%          |
| 1 BEDROOM             | 5          | 33%         |
| 2 BEDROOM             | 6          | 40%         |
| 3 BEDROOM             | 3          | 20%         |
| TOTAL                 | 15         | 100%        |

| SETBACKS            | REQUIRED | PROPOSED      | REFERENCE             |
|---------------------|----------|---------------|-----------------------|
| FRONT (CARIBOO ST.) | 20 FT    | 2.43M (8 FT)  | Density Bonus Setback |
| REAR                | 20 FT    | 6.1 M (20 FT) | Density Bonus Setback |
| SIDE (14TH ST.)     | 20 FT    | 4.57M (15 FT) | Density Bonus Setback |
| SIDE                | 20 FT    | 6.1 M (20 FT) | Density Bonus Setback |

| ADAPTABLE DWELLING UNITS EXCLUSION |   |                    |        |
|------------------------------------|---|--------------------|--------|
| 1 BEDROOM                          | 7 | 1.85 SM (19.90 SF) | 139.30 |
| 2 BEDROOM                          | 1 | 2.80 SM (30.14 SF) | 30.14  |
| ADP                                | 8 | 53%                | 169.44 |

RESIDENTIAL FLOOR BREAKDOWN

| FLOOR | AREA          | GROSS AREA (SQ FT) | GROSS AREA (SQ M) | # OF BEDROOMS | ADAPTABLE UNITS |
|-------|---------------|--------------------|-------------------|---------------|-----------------|
| 1     | TOWNHOUSE     |                    |                   |               |                 |
|       | TH-1          | 437.41             | 40.64             |               |                 |
|       | TH-2          | 426.29             | 39.60             |               |                 |
|       | DWELLING UNIT |                    |                   |               |                 |
|       | UNIT 101      | 438.99             | 40.78             | STUDIO        |                 |
|       | FLOOR TOTAL   | 1302.69            | 121.02            |               | 0               |

| FLOOR      | UNIT #          | GROSS AREA (SQ FT) | GROSS AREA (SQ M) | # OF BEDROOMS | ADAPTABLE UNITS |
|------------|-----------------|--------------------|-------------------|---------------|-----------------|
| 2          | 201             | 820.93             | 76.26             | 2             | ADAPTABLE       |
|            | 202             | 556.98             | 51.74             | 1             | ADAPTABLE       |
|            | 2               | 1377.91            | 128.01            |               | 2               |
| # OF UNITS | TOWNHOUSE       |                    |                   |               |                 |
|            | TH-1            | 721.07             | 66.99             | 2             |                 |
|            | TH-2            | 634.53             | 58.95             | 3             |                 |
|            | TOWNHOUSE TOTAL | 1147.36            | 106.59            |               |                 |
|            | FLOOR TOTAL     | 2733.51            | 253.94            |               | 2               |

| FLOOR      | UNIT # | GROSS AREA (SQ FT) | GROSS AREA (SQ M) | # OF BEDROOMS | ADAPTABLE UNITS |
|------------|--------|--------------------|-------------------|---------------|-----------------|
| 3          | 301    | 820.93             | 76.26             | 2             |                 |
|            | 302    | 556.98             | 51.74             | 1             | ADAPTABLE       |
|            | 303    | 505.25             | 46.94             | 1             | ADAPTABLE       |
|            | 304    | 795.91             | 73.94             | 2             | ADAPTABLE       |
| # OF UNITS | 4      | 2679.07            | 248.89            |               | 3               |

| FLOOR      | UNIT # | GROSS AREA (SQ FT) | GROSS AREA (SQ M) | # OF BEDROOMS | ADAPTABLE UNITS |
|------------|--------|--------------------|-------------------|---------------|-----------------|
| 4          | 401    | 822.38             | 76.40             | 2             |                 |
|            | 402    | 559.36             | 51.96             | 1             | ADAPTABLE       |
|            | 403    | 546.74             | 50.79             | 1             | ADAPTABLE       |
|            | 404    | 963.15             | 89.48             | 3             | ADAPTABLE       |
| # OF UNITS | 4      | 2891.63            | 268.63            |               | 3               |

| FLOOR      | UNIT # | GROSS AREA (SQ FT) | GROSS AREA (SQ M) | # OF BEDROOMS | ADAPTABLE UNITS |
|------------|--------|--------------------|-------------------|---------------|-----------------|
| 5          | 501    | 822.38             | 76.40             | 2             |                 |
|            | 502    | 971.85             | 90.28             | 3             |                 |
|            | 2      | 1794.23            | 166.68            |               | 0               |
| # OF UNITS |        |                    |                   |               |                 |

| FSR            |          |         |
|----------------|----------|---------|
| FLOOR AREAS    | SQ FT    | SQ M    |
| GROSS AREA     | 16206.83 | 1505.61 |
| FSR EXCLUSIONS | 2033.99  |         |
| ADP EXCLUSION  | 169.44   | 15.74   |
| TOTAL          | 14003.40 | 1300.91 |
| FSR            | 1.61     | 1.61    |

| FSR EXEMPTION BREAKDOWN |         |        |
|-------------------------|---------|--------|
| FLOOR AREAS             | SQ FT   | SQ M   |
|                         |         |        |
| AMENITY                 | 719.82  | 0.00   |
| BIKES/ STORAGE          | 930.19  | 86.41  |
| MECH/ELEC               | 383.98  | 35.67  |
| TOTAL                   | 2033.99 | 122.09 |

| SITE & ZONING INFO |         |        |
|--------------------|---------|--------|
| SITE AREA          | SQ FT   | SQ M   |
|                    | 8716.00 | 809.72 |

|               |         |        |
|---------------|---------|--------|
| EXISTING ZONE | RM-2    |        |
| LOT COVERAGE  | SQ FT   | SQ M   |
| FOOTPRINT     | 2219.70 | 206.21 |
| % COVERAGE    | 25.47%  | 25.47% |

| HEIGHT   |                 |                    |
|----------|-----------------|--------------------|
| BUILDING | ALLOWED         | PROPOSED           |
|          | 45 ft (13.72 M) | 44.83 ft (13.67 M) |

150.8.7

PARKING RESIDENTIAL

| REQUIRED PARKING (NEW WESTMINSTER)   |                       | UNITS | STALLS | REFERENCE       |
|--------------------------------------|-----------------------|-------|--------|-----------------|
| RESIDENTIAL STUDIO/1 BED/2 BED/3 BED | 1.0 /UNIT             | 15    | 15     | 150.8.7 (a)     |
| VISITOR                              | 0.1/UNIT              | 15    | 2      | 150.8.7 (c)     |
| *ACCESSIBLE                          | 1 FOR EVERY 15 SPACES |       | 1      | 150.72          |
| LOADING CLASS A                      | N/A                   | N/A   | N/A    | 160.3           |
| TOTAL RESIDENTIAL STALLS REQUIRED    |                       |       | 17     | STALLS REQUIRED |
| TOTAL (WITH 53% REDUCTION)**         |                       |       | 8      | PROPOSED        |

\*FOR EVERY 15 SPACES, 1 MUST BE ACCESSIBLE  
\*\*APPLIED REDUCTIONS ARE BASED ON CLOSED PROXIMITY TO A FREQUENT TRANSIT NETWORK , CAR SHARE PROVISIONS, SECURE BIKE STORAGE, EV PARKING REDUCTIONS.

150.8.7

PARKING RESIDENTIAL BREAKDOWN

| REQUIRED PARKING (NEW WESTMINSTER) |               | UNITS    | PROPOSED | REFERENCE       |
|------------------------------------|---------------|----------|----------|-----------------|
| COMPACT                            | 2.44M X 4.57M | 30% MAX. | 2        | 150.8.7(a)      |
| STANDARD                           | 2.74M X 5.33M |          | 6        | 150.72          |
| CAR SHARE                          | 2.74M X 5.33M |          | 0        | 150.74          |
| *ACCESSIBLE                        | 3.90M X 5.50M |          | 1        | 150.72          |
| TOTAL                              |               |          | 8        | STALLS PROPOSED |

| BICYCLE PARKING (NEW WESTMINSTER) |                        | UNITS | STALLS | REFERENCE       |
|-----------------------------------|------------------------|-------|--------|-----------------|
| BICYCLE PARKING REQUIRED          | 1.25 / UNIT            | 15    | 19     | 155.5           |
| BICYCLE LOCKERS (MIN. 20%)        |                        |       | 4      | 155.5 (g)       |
| VERTICAL STALLS (MAX 50%)         |                        |       | 9      | 155.5(f)        |
| TOTAL                             |                        |       | 19     | STALLS REQUIRED |
|                                   | BIKE ROOM-LOCKERS      |       | 5      | STALLS PROPOSED |
|                                   | BIKE ROOM - HORIZONTAL |       | 5      | PROPOSED        |
|                                   | BIKE ROOM - VERTICAL   |       | 9      | PROPOSED        |
|                                   | SHORT TERM             |       | 3      | PROPOSED        |
|                                   | TOTAL                  |       | 22     | PROPOSED        |

| BICYCLE PARKING BREAKDOWN (NEW WESTMINSTER) |              | PROPOSED | REFERENCE       |
|---|--------------|----------|-----------------|
| BICYCLE LOCKERS (MIN. 20%)                  | 0.6 M x1.8 M | 5        | 155.5           |
| LONG TERM WALL HUNG                         | 0.6 M x1.0 M | 9        | 155.5           |
| HORIZONTAL                                  | 0.6 M x1.8 M | 5        |                 |
| SHORT-TERM                                  | 0.6 M x1.8 M | 3        | 155.6           |
| TOTAL                                       |              | 22       | STALLS PROPOSED |

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SEAL

PROJECT

CARIBOO STREET

1321 CARIBOO STREET

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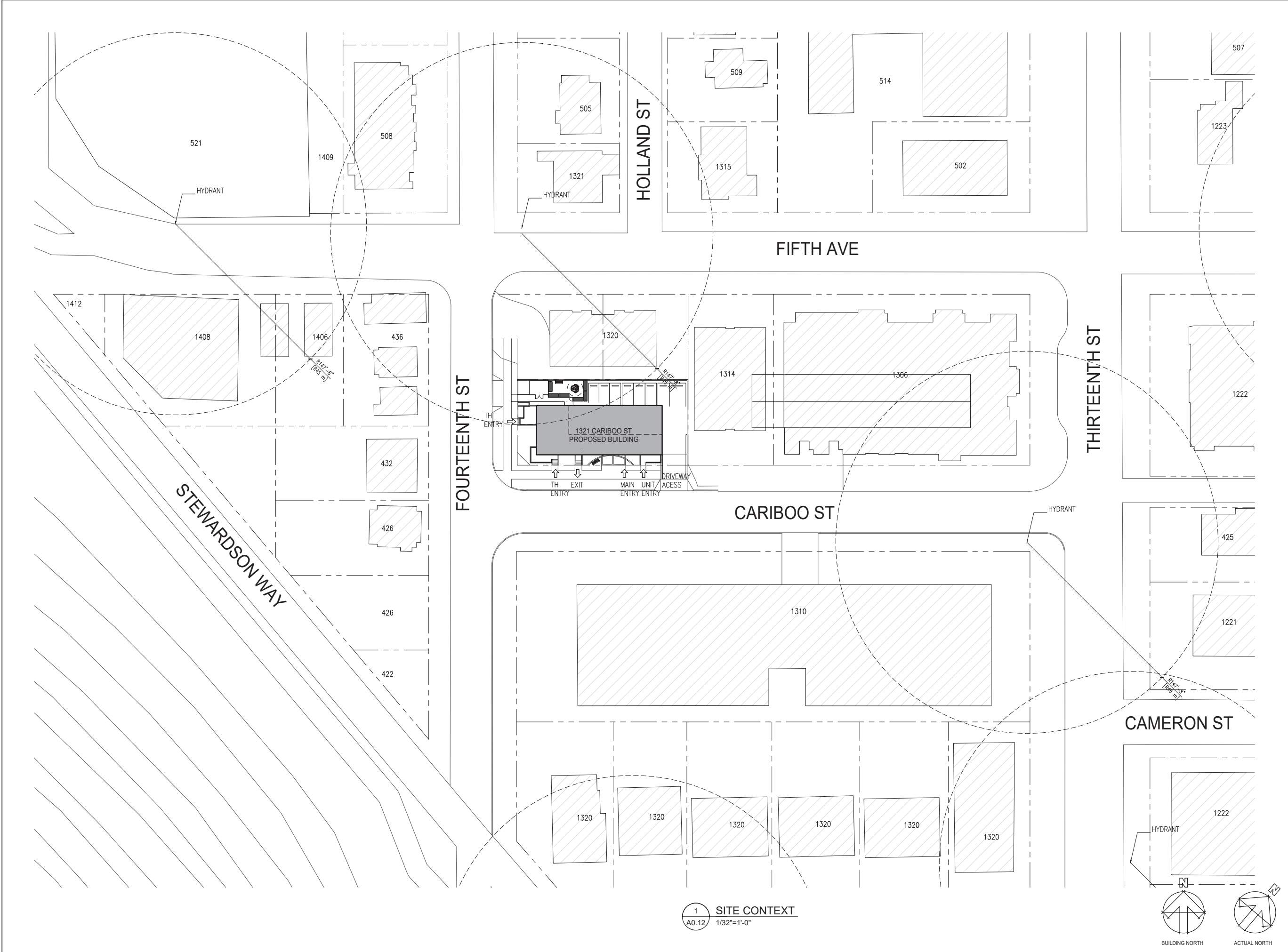
NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON THE TRADITIONAL TERRITORY OF THE QAYQAYT FIRST NATIONS AND THE COAST SALISH PEOPLES

SHEET TITLE

PROJECT INFORMATION

|             |            |                             |       |
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| SCALE:      | AS NOTED   | SHEET NO.                   | A0.10 |
| DRAWN BY:   | SD/INH/RGB |                             |       |
| CHECKED BY: | RB         | PROJECT NO:<br>FILE: 19BA14 |       |



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SEAL

PROJECT

**CARIBOO STREET**

1321 CARIBOO STREET

NEW WESTMINSTER, BC

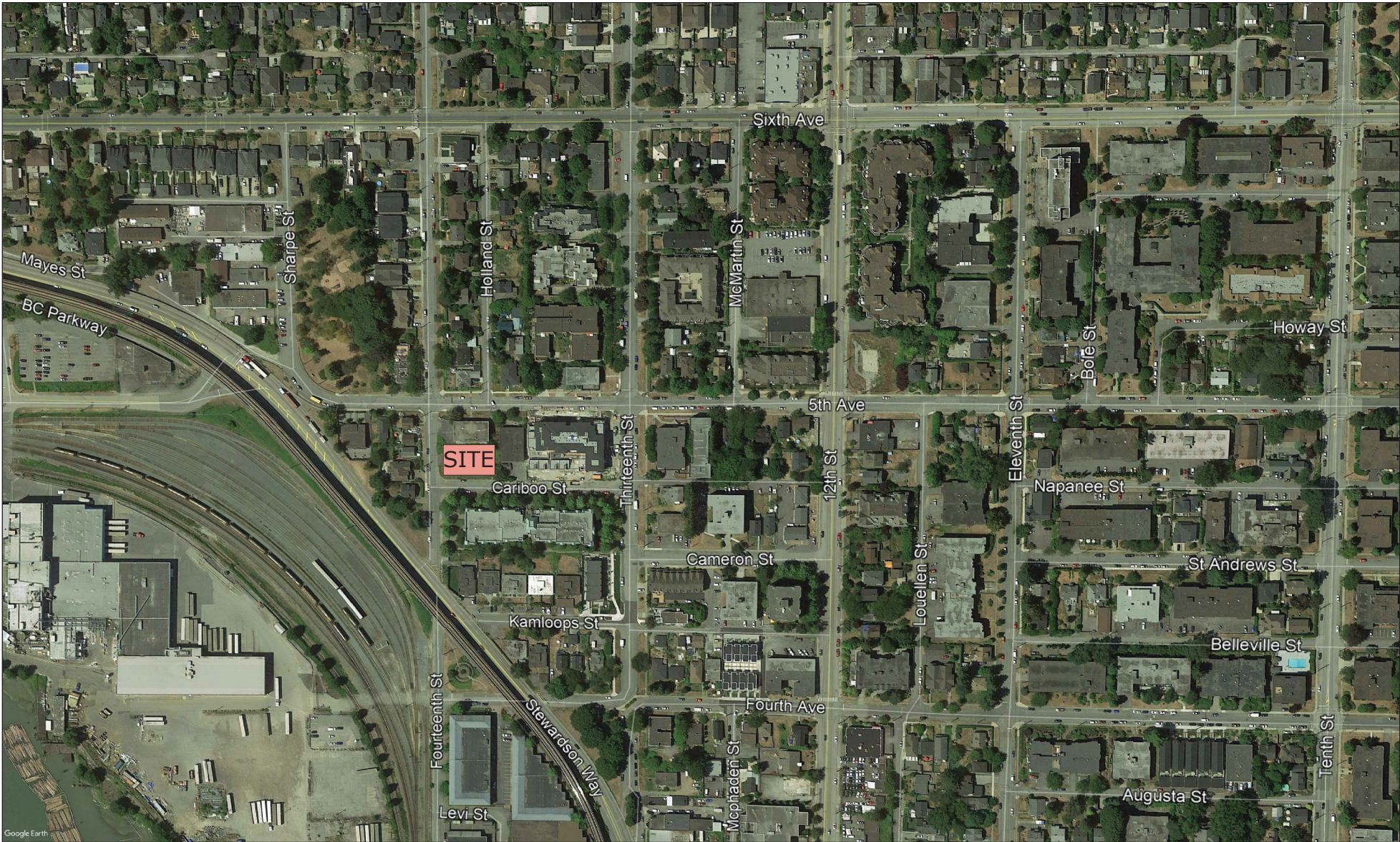
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SHEET TITLE

**SITE CONTEXT -  
FIRE HYDRANT  
LOCATIONS**

|                        |                             |
|------------------------|-----------------------------|
| SCALE:<br>1/32"=1'-0"  | SHEET NO.<br><b>A0.11</b>   |
| DRAWN BY:<br>SD/NH/RGB | PROJECT NO.<br>FILE: 19BA14 |
| CHECKED BY:<br>RB      |                             |





1 SITE CONTEXT PLAN  
SCALE: -



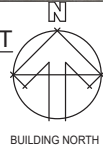
2 STREETSCAPE - 14TH ST  
SCALE: -



3 STREETSCAPE - INTERSECTION 14TH ST/ CARIBOO ST  
SCALE: -



4 STREETSCAPE - CARIBOO ST  
SCALE: -



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1321 CARIBOO STREET

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THIS ADDRESS IS LOCATED ON  
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PEOPLES

SHEET TITLE

SITE CONTEXT

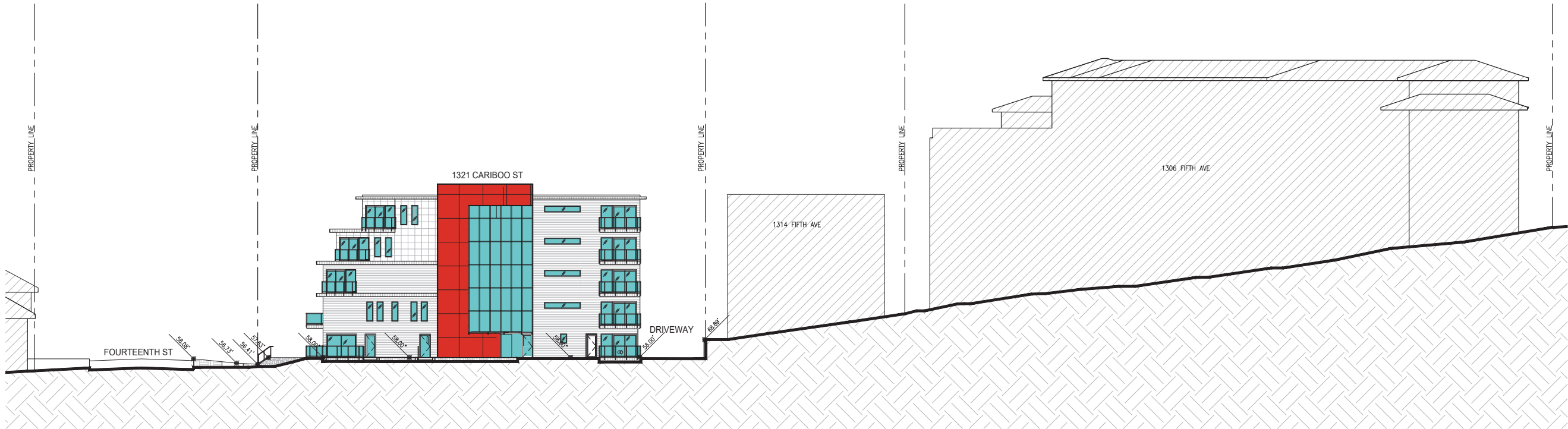
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DRAWN BY: SD/INH/RGB

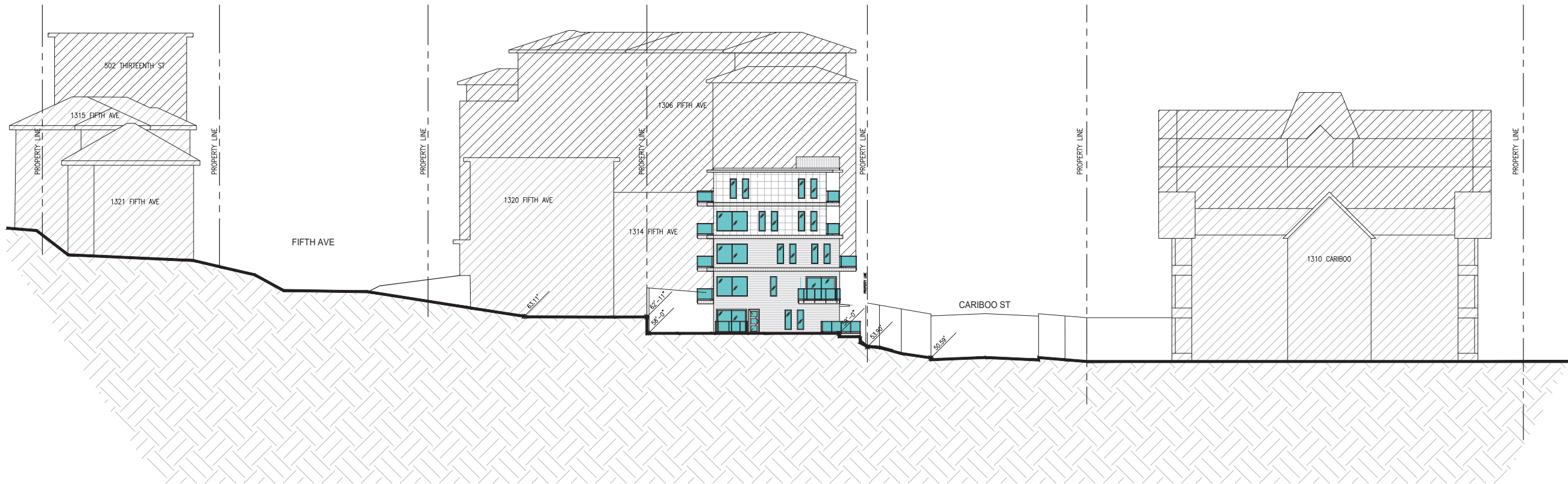
CHECKED BY: RB

PROJECT NO: 19BA14





1  
A0.14  
CONTEXT ELEVATION -SOUTH (CARIBOO ST)  
1/16"=1'-0"



2  
A0.14  
CONTEXT ELEVATION - WEST (FOURTEENTH ST)  
1/16"=1'-0"

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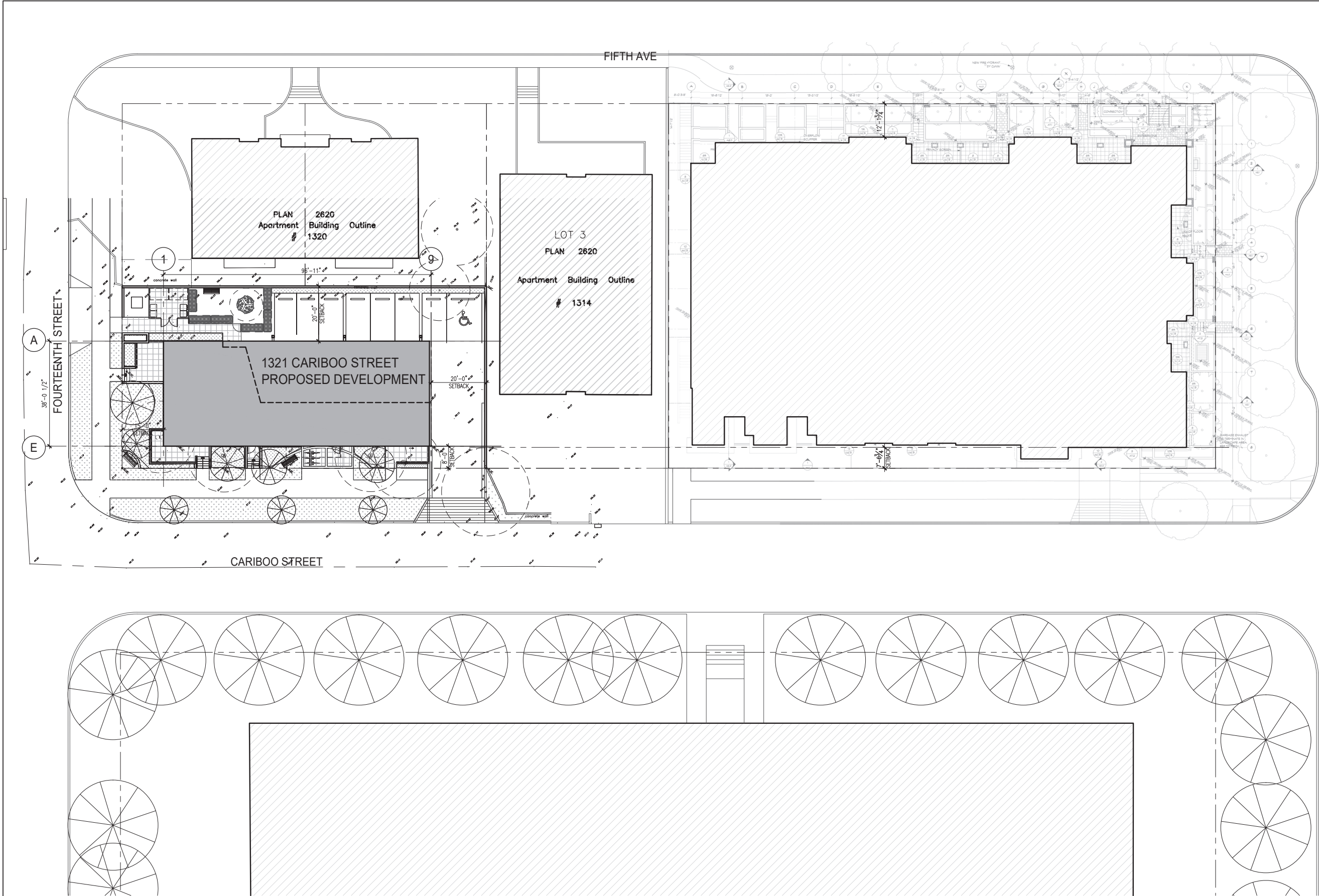
SEAL

PROJECT  
  
CARIBOO STREET  
  
1321 CARIBOO STREET  
  
NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON  
THE TRADITIONAL TERRITORY OF THE  
QAYQAYT FIRST NATIONS AND THE COAST SALISH  
PEOPLES

SHEET TITLE  
  
CONTEXT  
ELEVATIONS EAST  
& NORTH

|                        |                             |
|------------------------|-----------------------------|
| SCALE:<br>1/16"=1'-0"  | SHEET NO.<br><b>A0.13</b>   |
| DRAWN BY:<br>SD/NH/RGB | PROJECT NO.<br>FILE: 19BA14 |
| CHECKED BY:<br>RB      |                             |



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SEAL

PROJECT

CARIBOO STREET  
1321 CARIBOO STREET  
NEW WESTMINSTER, BC

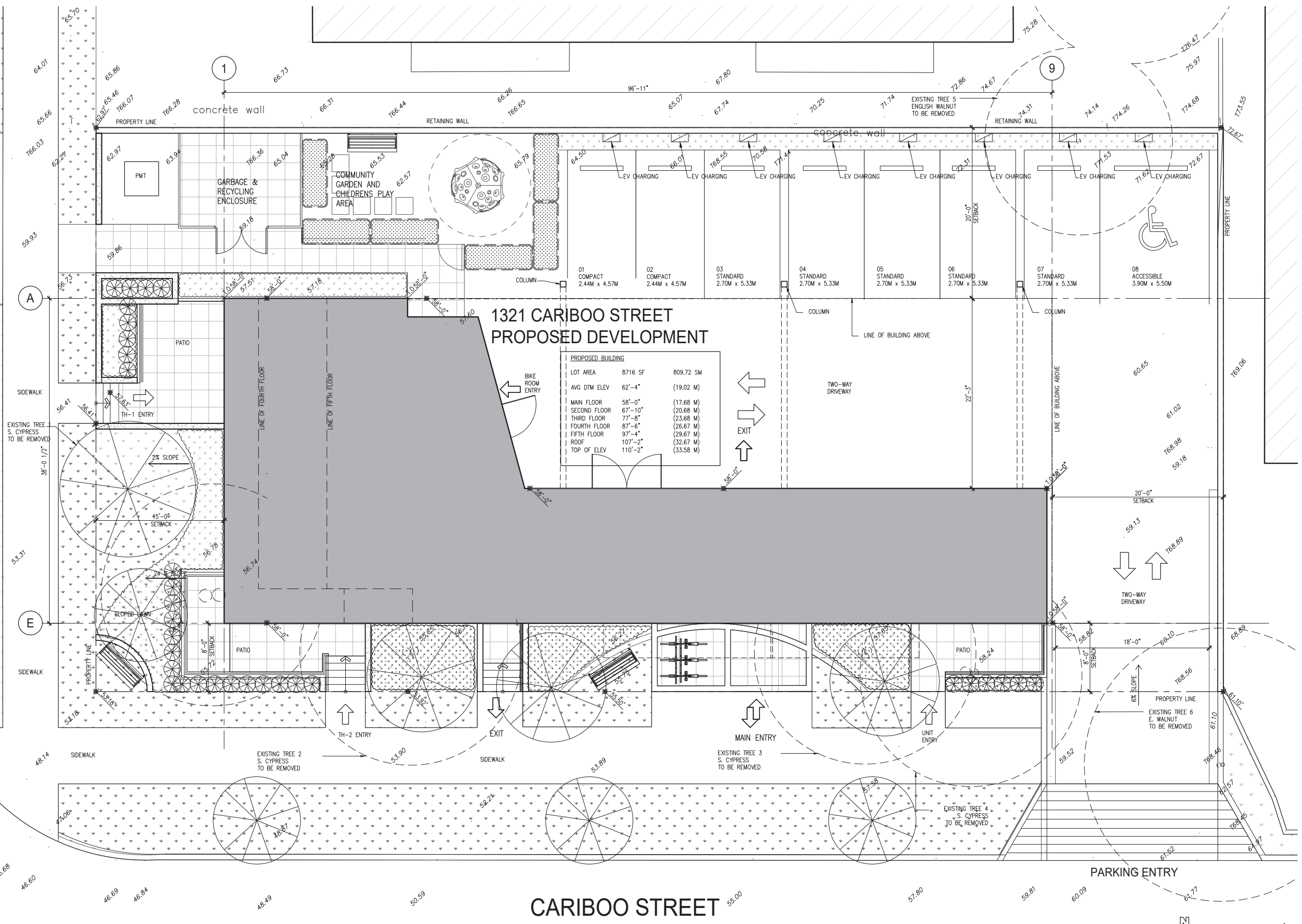
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PEOPLES

SHEET TITLE

SITE PLAN -  
ADJACENT  
BUILDINGS

| SCALE:      | 1/16"=1'-0" | SHEET NO.                |
|-------------|-------------|--------------------------|
| DRAWN BY:   | SD/NH/RGB   | A0.14                    |
| CHECKED BY: | RB          | PROJECT NO. FILE: 19BA14 |

FOURTEENTH STREET



1321 CARIBOO STREET  
PROPOSED DEVELOPMENT

| PROPOSED BUILDING |         |           |
|-------------------|---------|-----------|
| LOT AREA          | 8716 SF | 809.72 SM |
| AVG DTM ELEV      | 62'-4"  | (19.02 M) |
| MAIN FLOOR        | 58'-0"  | (17.68 M) |
| SECOND FLOOR      | 67'-10" | (20.68 M) |
| THIRD FLOOR       | 77'-8"  | (23.68 M) |
| FOURTH FLOOR      | 87'-6"  | (26.67 M) |
| FIFTH FLOOR       | 97'-4"  | (29.67 M) |
| ROOF              | 107'-2" | (32.67 M) |
| TOP OF ELEV       | 110'-2" | (33.58 M) |

1 SITE PLAN  
A1.00 3/16"=1'-0"

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1321 CARIBOO STREET  
NEW WESTMINSTER, BC

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SHEET TITLE

SITE PLAN

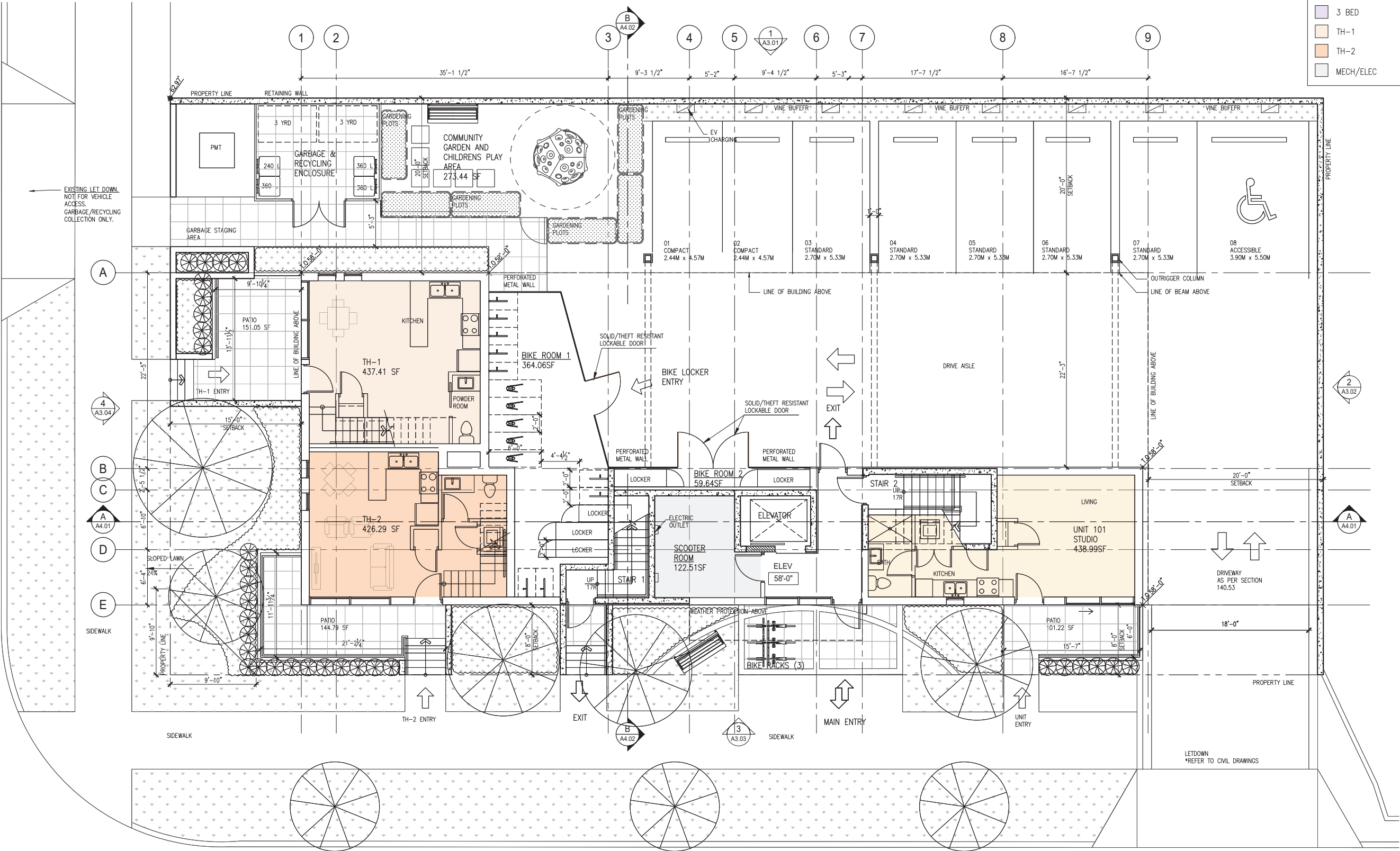
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DRAWN BY: SD/NH/RGB

CHECKED BY: RB

PROJECT NO. FILE: 19BA14





- LEGEND:
- STUDIO
  - 1 BED
  - 2 BED
  - 3 BED
  - TH-1
  - TH-2
  - MECH/ELEC

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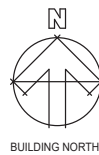
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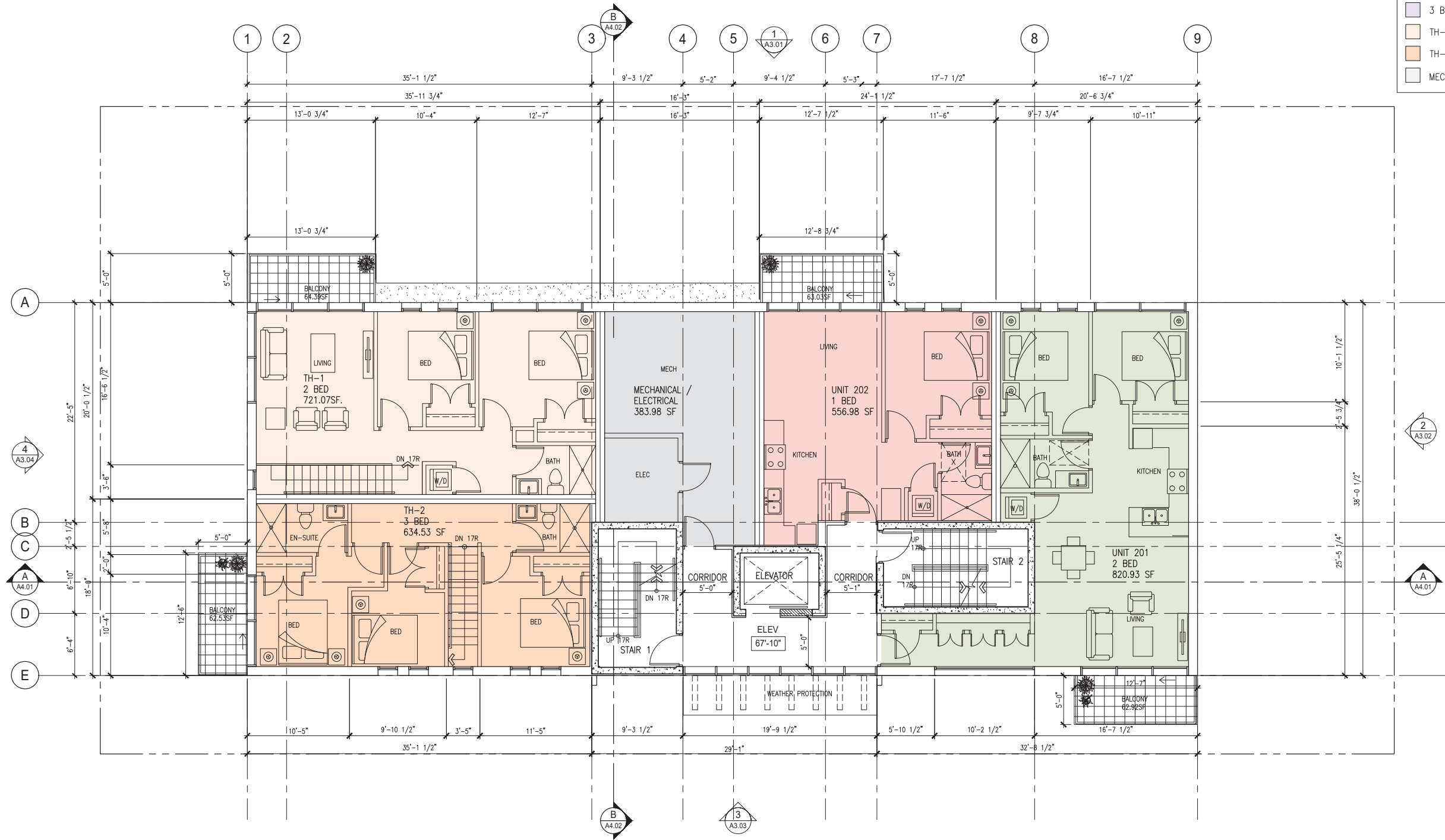
MAIN FLOOR PLAN

|             |             |             |        |
|-------------|-------------|-------------|--------|
| SCALE:      | 3/16"=1'-0" | SHEET NO.   | A2.10  |
| DRAWN BY:   | SD/NIH/RGB  | PROJECT NO. | 19BA14 |
| CHECKED BY: | RB          | FILE:       |        |

| WASTE AREA INFORMATION (RESIDENTIAL): |              |              |                         |                     |
|---------------------------------------|--------------|--------------|-------------------------|---------------------|
| Bin Type:                             | No. Of Bins: | Size of Bins | Footprint of 1 Bin(SQM) | Collection Service: |
| Recyclable Materials                  | 3            | 360 L        | 0.56                    | City                |
| Food Scrap                            | 1            | 240 L        | 0.43                    |                     |
| Garbage Bin                           | 1            | 3 YRD        | 1.96                    |                     |
| Carboard Bin                          | 1            | 3 YRD        | 1.96                    |                     |

1 MAIN FLOOR PLAN  
A2.10 3/16"=1'-0"





- LEGEND:
- STUDIO
  - 1 BED
  - 2 BED
  - 3 BED
  - TH-1
  - TH-2
  - MECH/ELEC

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1321 CARIBOO STREET

NEW WESTMINSTER, BC

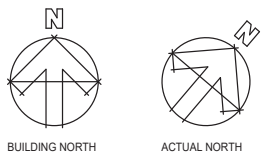
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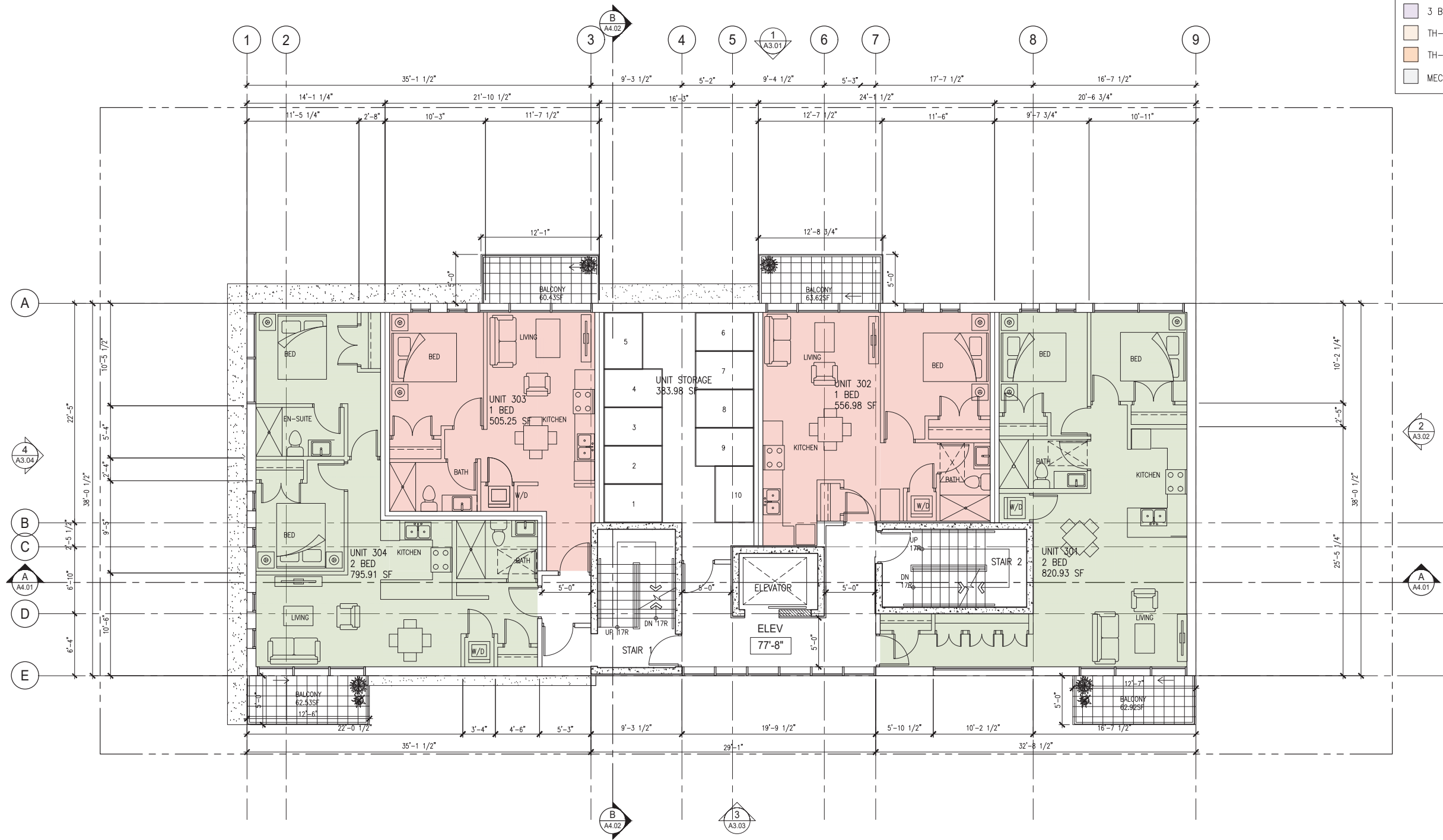
SHEET TITLE

SECOND FLOOR PLAN

|                     |                    |
|---------------------|--------------------|
| SCALE: 3/16"=1'-0"  | SHEET NO. A2.20    |
| DRAWN BY: SD/NH/RGB | PROJECT NO: 19BA14 |
| CHECKED BY: RB      | FILE:              |

1 SECOND FLOOR PLAN  
A2.20 3/16"=1'-0"





- LEGEND:
- STUDIO
  - 1 BED
  - 2 BED
  - 3 BED
  - TH-1
  - TH-2
  - MECH/ELEC

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CARIBOO STREET

1321 CARIBOO STREET

NEW WESTMINSTER, BC

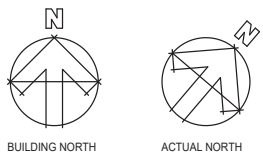
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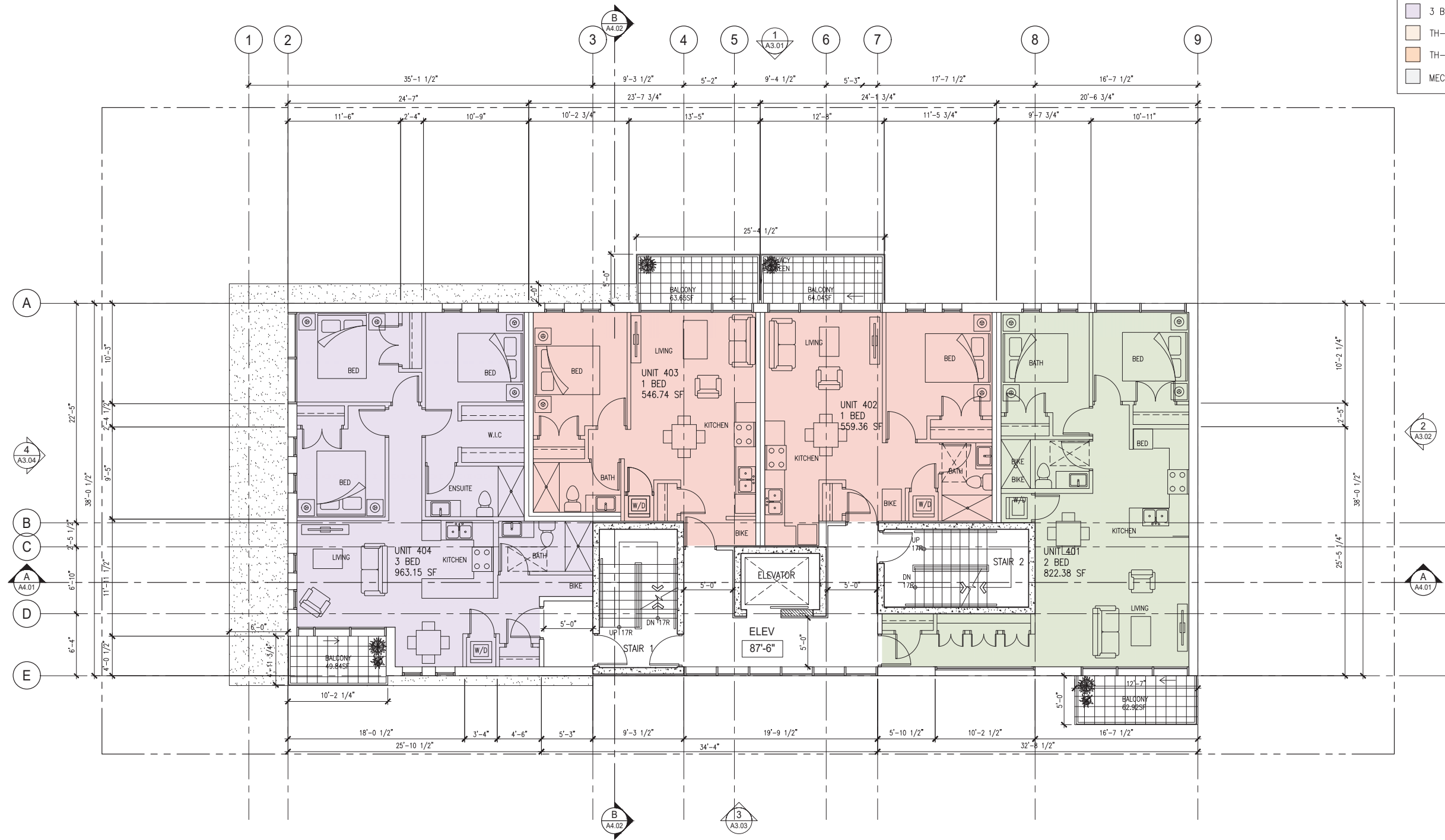
SHEET TITLE

THIRD FLOOR PLAN

|                     |                    |
|---------------------|--------------------|
| SCALE: 3/16"=1'-0"  | SHEET NO. A2.30    |
| DRAWN BY: SD/NH/RGB | PROJECT NO. 19BA14 |
| CHECKED BY: RB      | FILE: 19BA14       |

1 THIRD FLOOR PLAN  
A2.30 3/16"=1'-0"





- LEGEND:
- STUDIO
  - 1 BED
  - 2 BED
  - 3 BED
  - TH-1
  - TH-2
  - MECH/ELEC

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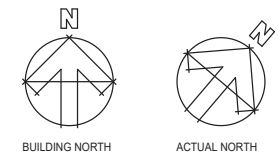
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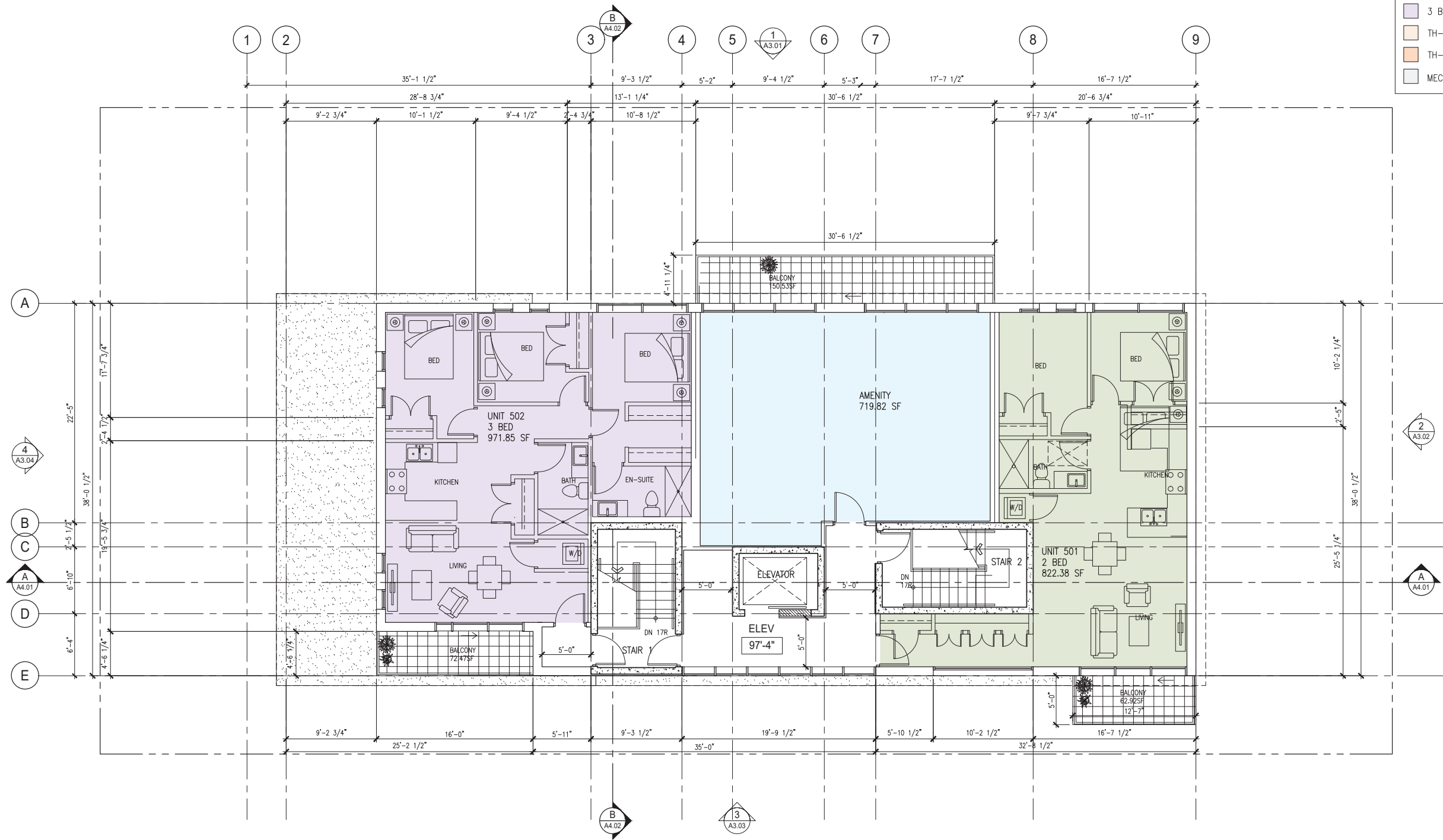
FOURTH FLOOR PLAN

|                      |                    |
|----------------------|--------------------|
| SCALE: 3/16"=1'-0"   | SHEET NO. A2.40    |
| DRAWN BY: SD/NIH/RGB | PROJECT NO. 19BA14 |
| CHECKED BY: RB       | FILE: 19BA14       |

1 FOURTH FLOOR PLAN  
A2.40 3/16"=1'-0"







- LEGEND:
- STUDIO
  - 1 BED
  - 2 BED
  - 3 BED
  - TH-1
  - TH-2
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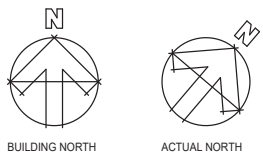
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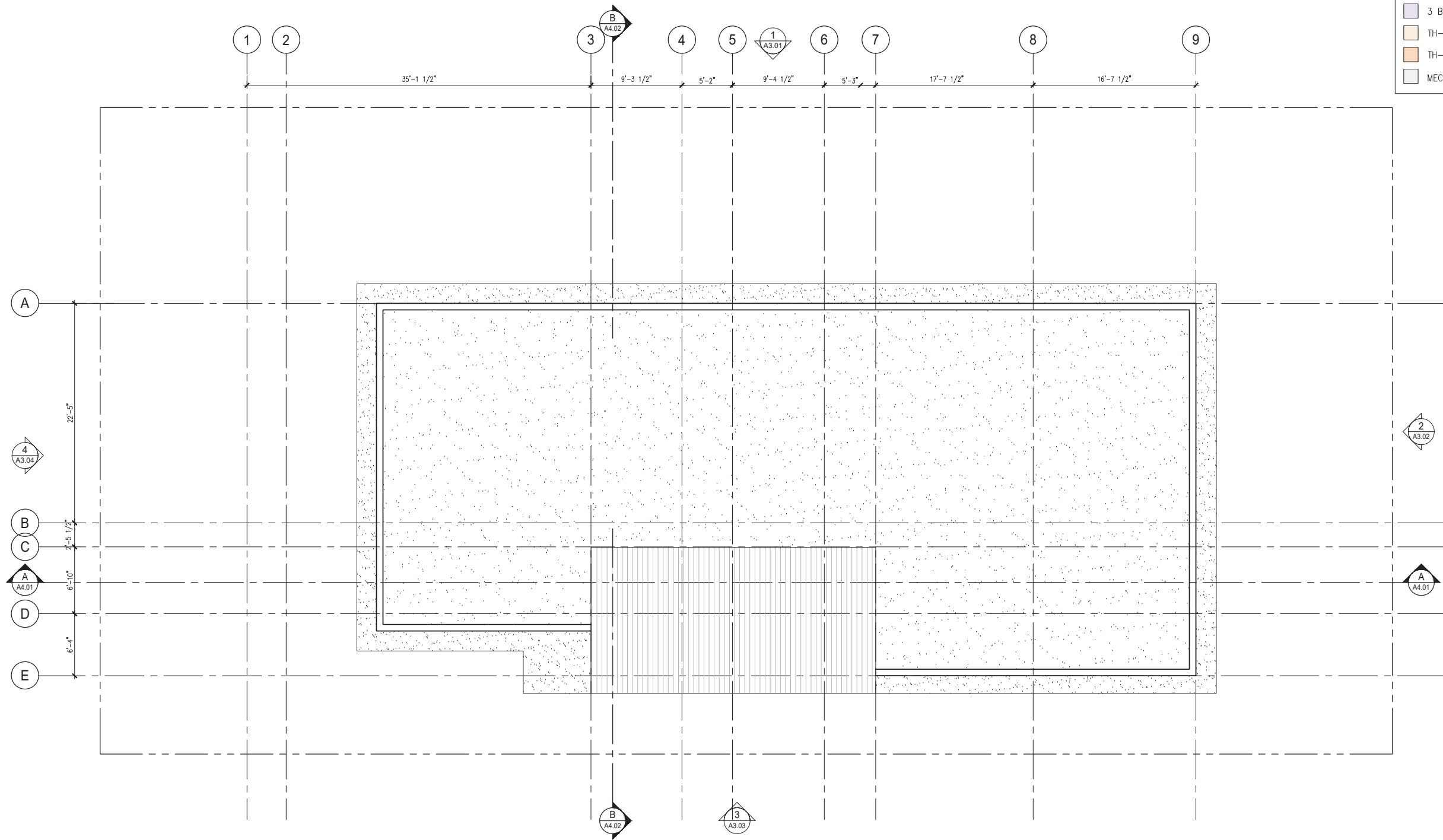
SHEET TITLE

FIFTH FLOOR PLAN

|             |             |             |        |
|-------------|-------------|-------------|--------|
| SCALE:      | 3/16"=1'-0" | SHEET NO.   | A2.50  |
| DRAWN BY:   | SD/HH/RGB   | PROJECT NO. | 19BA14 |
| CHECKED BY: | RB          | FILE:       | 19BA14 |

1 FIFTH FLOOR PLAN  
A2.40 3/16"=1'-0"





1 ROOF PLAN  
A2.60 3/16"=1'-0"

- LEGEND:
- STUDIO
  - 1 BED
  - 2 BED
  - 3 BED
  - TH-1
  - TH-2
  - MECH/ELEC

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SHEET TITLE

ROOF PLAN

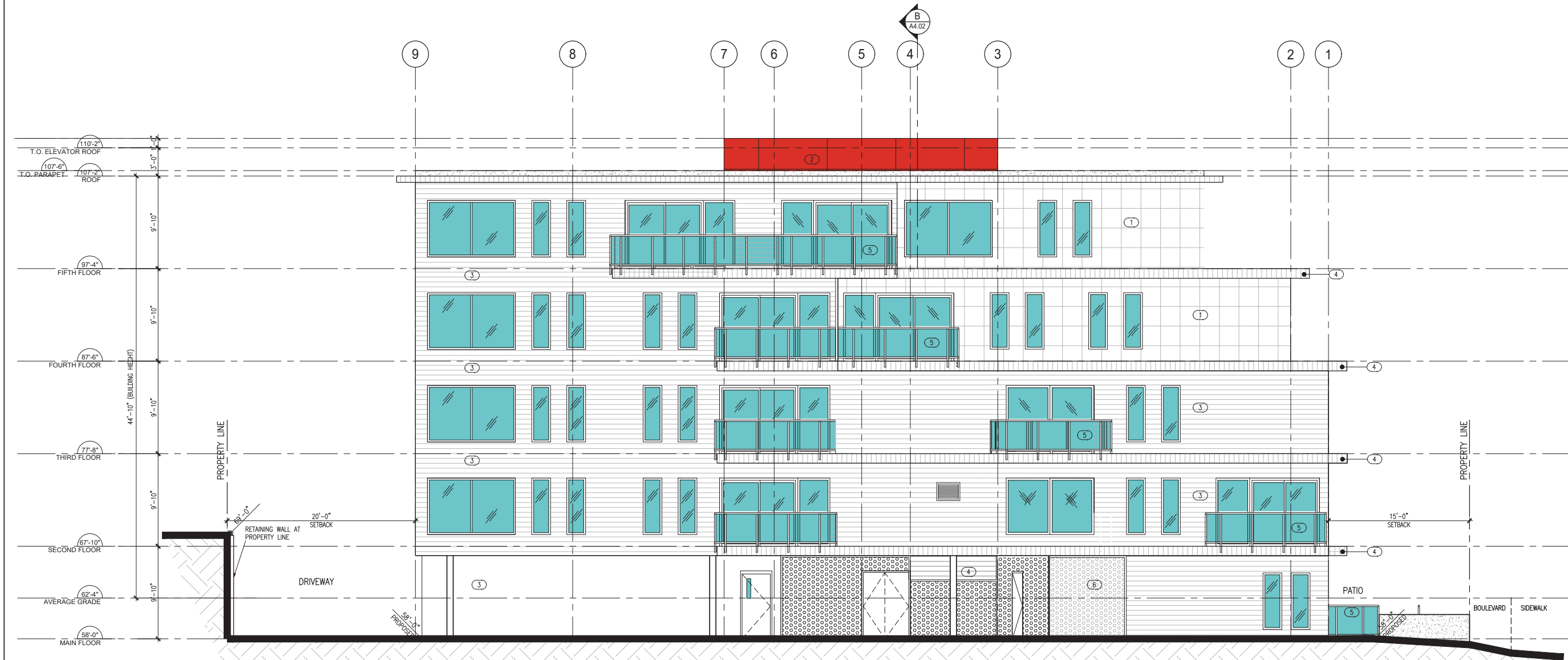
SCALE: 3/16"=1'-0"

DRAWN BY: SD/NIH/RGB

CHECKED BY: RB

SHEET NO. A2.60

PROJECT NO. 19BA14



| EXTERIOR FINISHES: |  |   |                           |
|--------------------|--|---|---------------------------|
| 1                  | COMPOSITE PANEL -- WHITE               | 6 | PERFORATED METAL          |
| 2                  | COMPOSITE PANEL --RED                  | 7 | EXPOSED CONCRETE(ROOFTOP) |
| 3                  | HORIZONTAL CEDAR SIDING                |   |                           |
| 4                  | VERTICAL CLEAR FINISH DARK BROWN CEDAR |   |                           |
| 5                  | TEMPERED CLEAR GLASS GUARD             |   |                           |

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| 2   | 29.06.2021 | ISSUED FOR REZONING/DP   |
| 1   | 18.09.2020 | ISSUED FOR REZONING      |

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SEAL

PATIO

BOULEVARD

SIDEWALK

PROJECT

CARIBOO STREET

1321 CARIBOO STREET

NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON THE TRADITIONAL TERRITORY OF THE QAYQAYT FIRST NATIONS AND THE COAST SALISH PEOPLES

SHEET TITLE

ELEVATION - NORTH

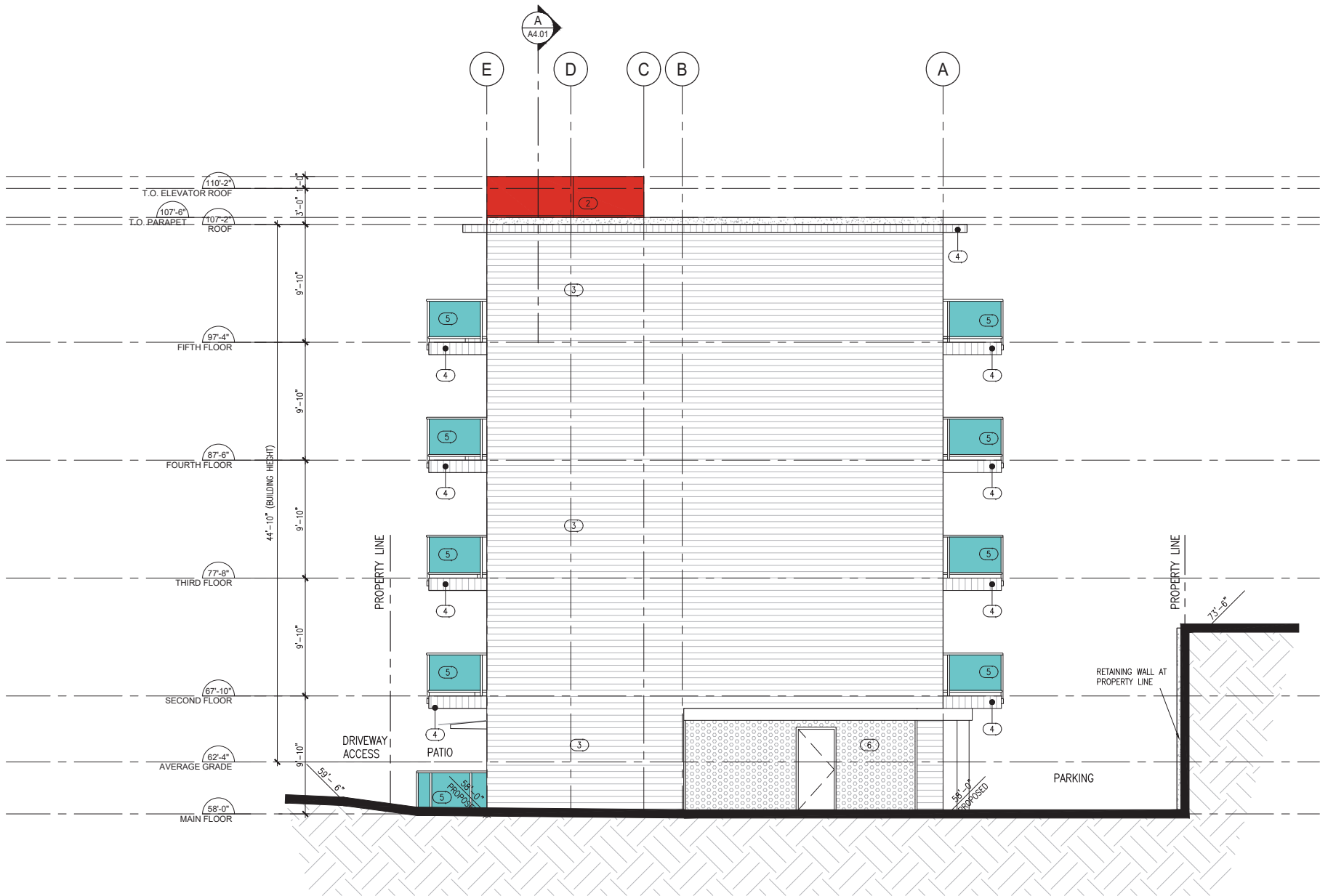
SCALE: 3/16"=1'-0"

DRAWN BY: SD/INH/RGB

CHECKED BY: RB

SHEET NO. A3.01

PROJECT NO. 19BA14



2 EAST ELEVATION  
A3.02 3/16"=1'-0"

- EXTERIOR FINISHES:
- |   |  |   |                           |
|---|--|---|---------------------------|
| 1 | COMPOSITE PANEL - WHITE                | 6 | PERFORATED METAL          |
| 2 | COMPOSITE PANEL -RED                   | 7 | EXPOSED CONCRETE(ROOFTOP) |
| 3 | HORIZONTAL CEDAR SIDING                |   |                           |
| 4 | VERTICAL CLEAR FINISH DARK BROWN CEDAR |   |                           |
| 5 | TEMPERED CLEAR GLASS GUARD             |   |                           |

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|   |            |                          |
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| 1 | 18.09.2020 | ISSUED FOR REZONING      |

| NO.               | DATE | REVISION |
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SEAL

PROJECT

CARIBOO STREET  
1321 CARIBOO STREET  
NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON  
THE TRADITIONAL TERRITORY OF THE  
QAYQAYT FIRST NATIONS AND THE COAST SALISH  
PEOPLES

SHEET TITLE

ELEVATION - EAST

SCALE:  
3/16"=1'-0"

SHEET NO.

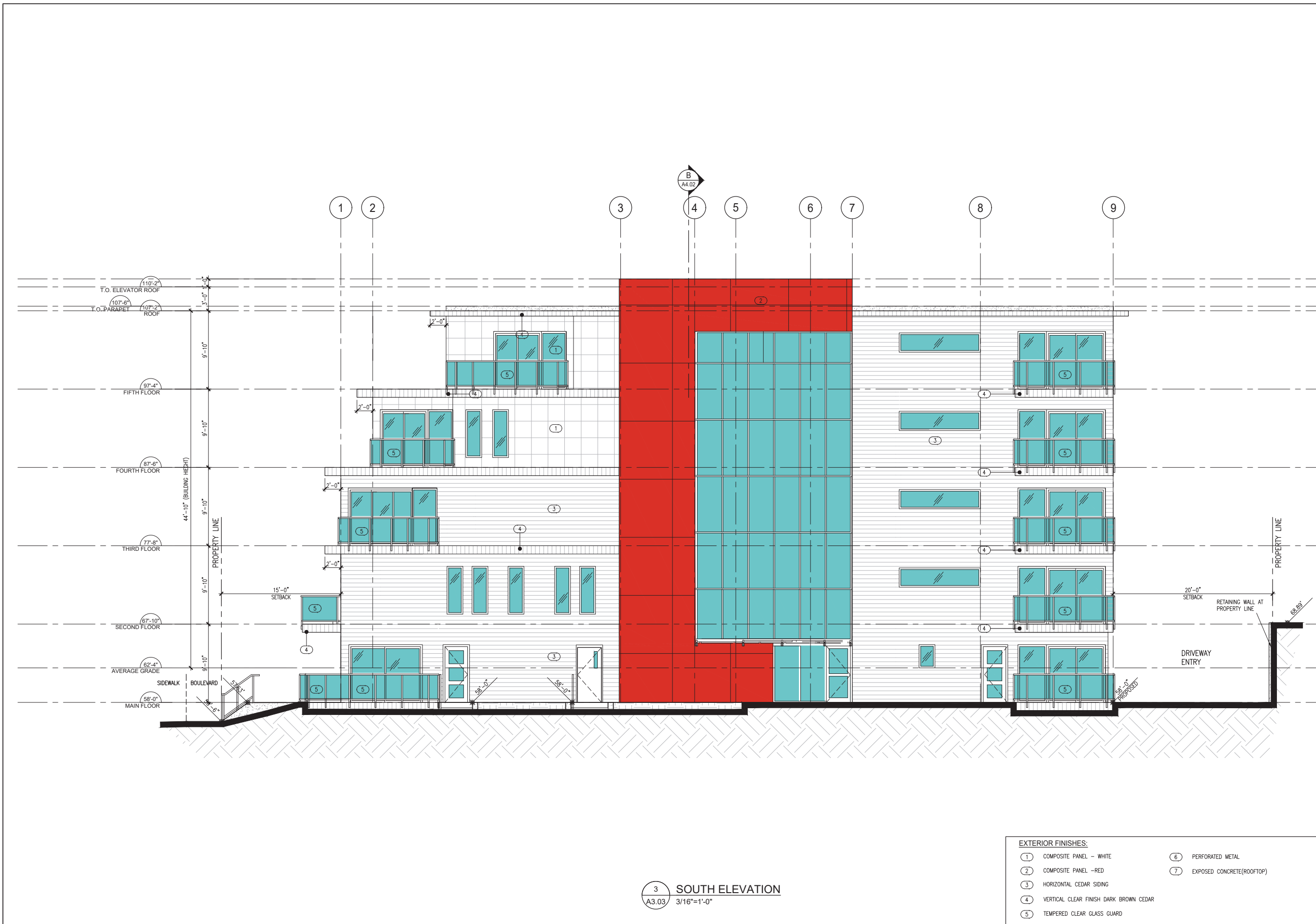
A3.02

DRAWN BY:  
SD/INH/RGB

CHECKED BY:  
RB

PROJECT NO.  
FILE: 19BA14





3 SOUTH ELEVATION  
A3.03 3/16"=1'-0"

- EXTERIOR FINISHES:
- |   |  |   |                           |
|---|--|---|---------------------------|
| 1 | COMPOSITE PANEL - WHITE                | 6 | PERFORATED METAL          |
| 2 | COMPOSITE PANEL -RED                   | 7 | EXPOSED CONCRETE(ROOFTOP) |
| 3 | HORIZONTAL CEDAR SIDING                |   |                           |
| 4 | VERTICAL CLEAR FINISH DARK BROWN CEDAR |   |                           |
| 5 | TEMPERED CLEAR GLASS GUARD             |   |                           |

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| NO. | DATE       | REVISION                 |

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SEAL

DAYWAY ENTRY

RETAINING WALL AT PROPERTY LINE

20'-0" SETBACK

63'-0" PROPOSED

PROJECT

CARIBOO STREET

1321 CARIBOO STREET

NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON THE TRADITIONAL TERRITORY OF THE QAYQAYT FIRST NATIONS AND THE COAST SALISH PEOPLES

SHEET TITLE

ELEVATION - SOUTH

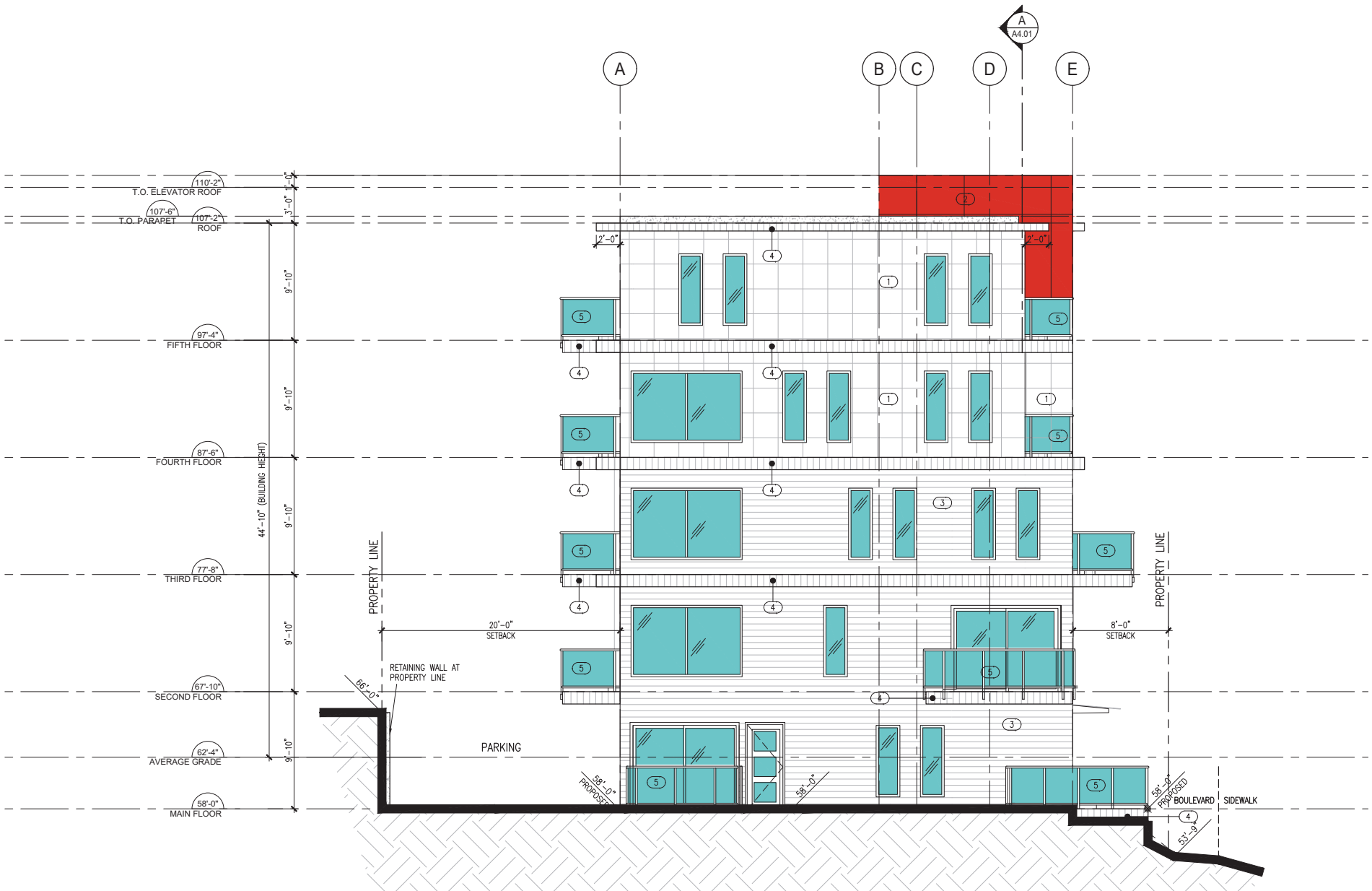
SCALE: 3/16"=1'-0"

DRAWN BY: SD/NH/RGB

CHECKED BY: RB

SHEET NO. A3.03

PROJECT NO. FILE: 19BA14



- EXTERIOR FINISHES:
- |   |  |   |                           |
|---|--|---|---------------------------|
| ① | COMPOSITE PANEL -- WHITE               | ⑥ | PERFORATED METAL          |
| ② | COMPOSITE PANEL --RED                  | ⑦ | EXPOSED CONCRETE(ROOFTOP) |
| ③ | HORIZONTAL CEDAR SIDING                |   |                           |
| ④ | VERTICAL CLEAR FINISH DARK BROWN CEDAR |   |                           |
| ⑤ | TEMPERED CLEAR GLASS GUARD             |   |                           |

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SEAL

PROJECT

CARIBOO STREET

1321 CARIBOO STREET

NEW WESTMINSTER, BC

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QAYQAYT FIRST NATIONS AND THE COAST SALISH  
PEOPLES

SHEET TITLE

ELEVATION - WEST

|             |             |             |        |
|-------------|-------------|-------------|--------|
| SCALE:      | 3/16"=1'-0" | SHEET NO.   | A3.04  |
| DRAWN BY:   | SD/NH/RGB   | PROJECT NO. | 19BA14 |
| CHECKED BY: | RB          | FILE:       | 19BA14 |



1 SECTION A-A  
A4.02 3/16"=1'-0"

- LEGEND:
- STUDIO
  - 1 BED
  - 2 BED
  - 3 BED
  - TH-1
  - TH-2
  - MECH/ELEC

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SEAL

PROJECT

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1321 CARIBOO STREET  
NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON  
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QAYQAYT FIRST NATIONS AND THE COAST SALISH  
PEOPLES

SHEET TITLE

BUILDING  
SECTION AA

|             |              |             |       |
|-------------|--------------|-------------|-------|
| SCALE:      | 3/16"=1'-0"  | SHEET NO.   | A4.01 |
| DRAWN BY:   | SD/NH/RGB    | CHECKED BY: | RB    |
| PROJECT NO. | FILE: 19BA14 |             |       |

LEGEND:

- STUDIO  
1 BED  
2 BED  
3 BED  
TH-1  
TH-2  
MECH/ELEC

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SEAL

PROJECT

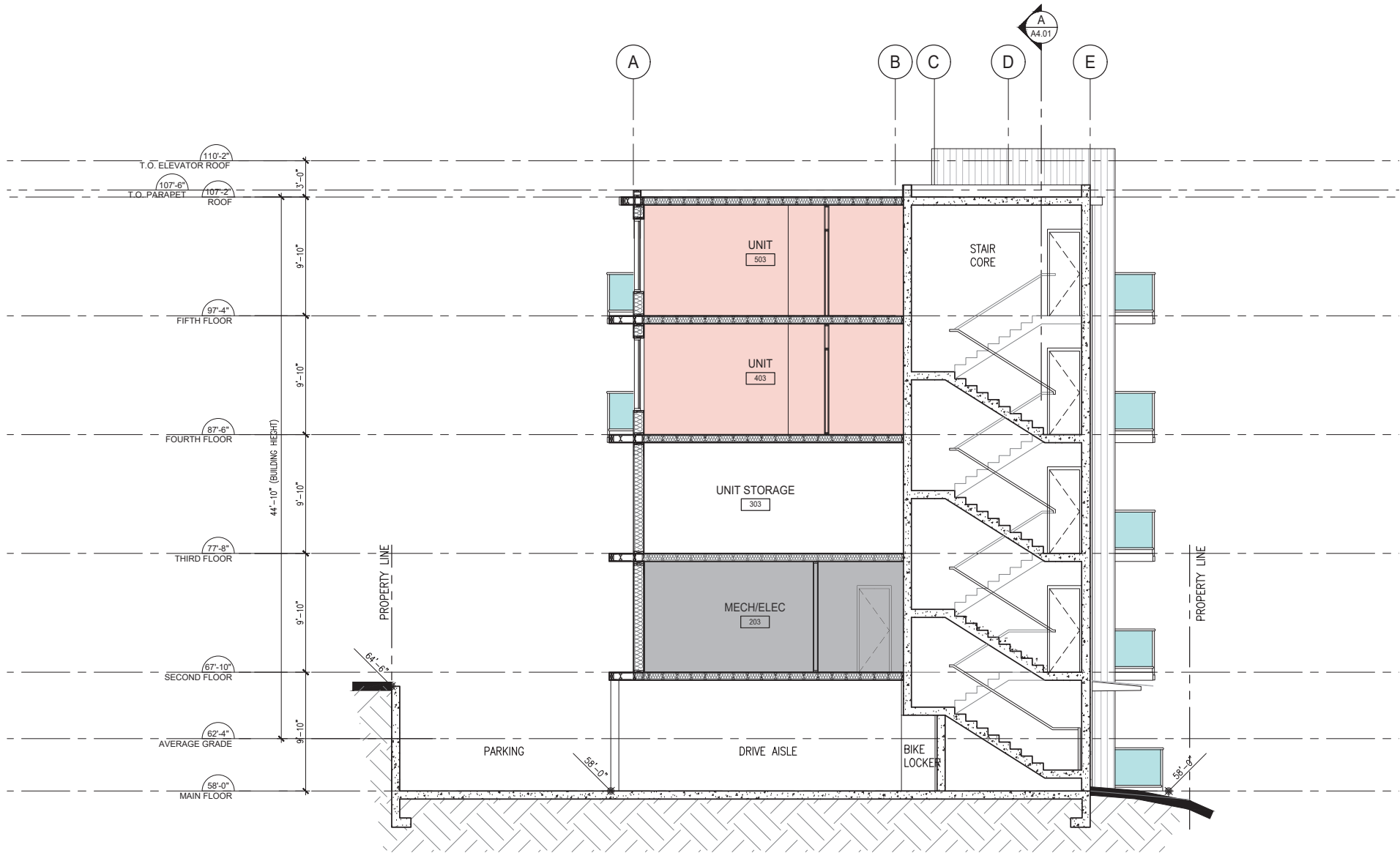
CARIBOO STREET  
1321 CARIBOO STREET  
NEW WESTMINSTER, BC

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QAYQAYT FIRST NATIONS AND THE COAST SALISH  
PEOPLES

SHEET TITLE

BUILDING  
SECTION BB

|                        |                             |
|------------------------|-----------------------------|
| SCALE:<br>3/16"=1'-0"  | SHEET NO.<br>A4.02          |
| DRAWN BY:<br>SD/NH/RGB | PROJECT NO.<br>FILE: 19BA14 |
| CHECKED BY:<br>RB      |                             |

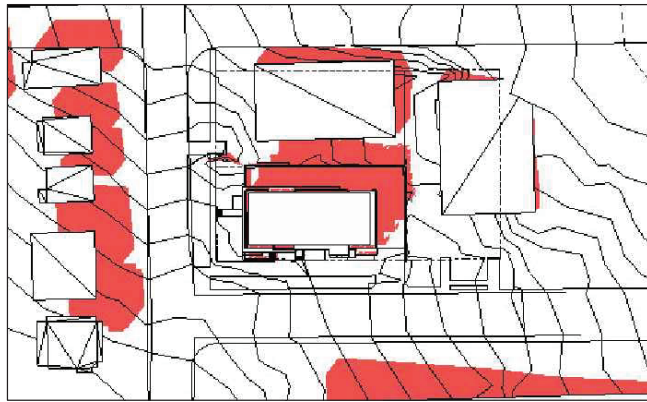


1 SECTION B-B  
A4.02 3/16"=1'-0"

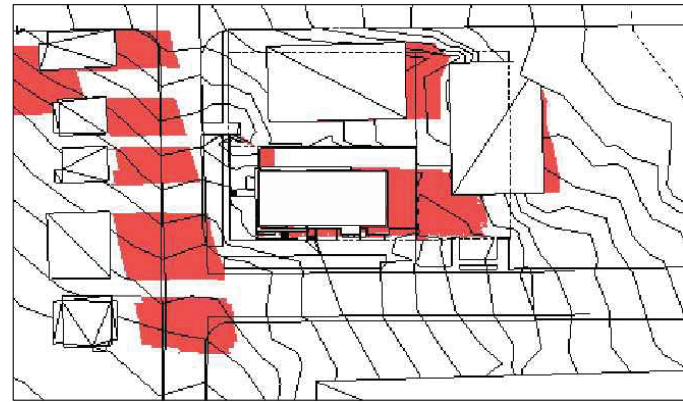




1 FALL EQUINOX 9.00 AM  
A8.01 NTS



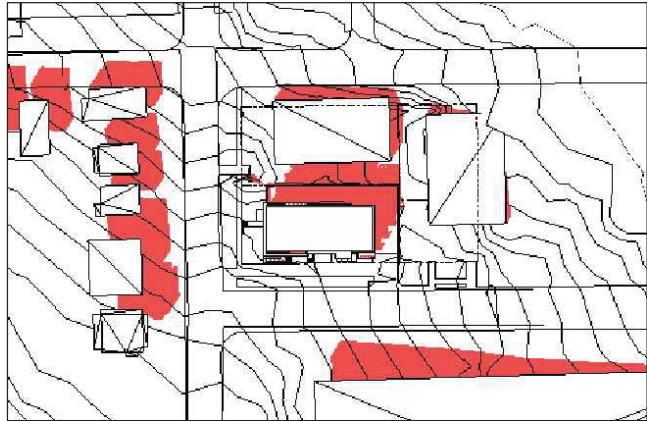
2 FALL EQUINOX- 12.00 PM  
A8.01 NTS



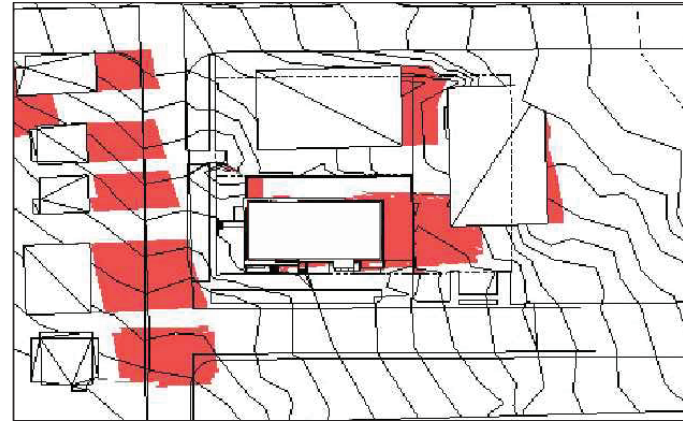
3 FALL EQUINOX-15.00 PM  
A8.01 NTS



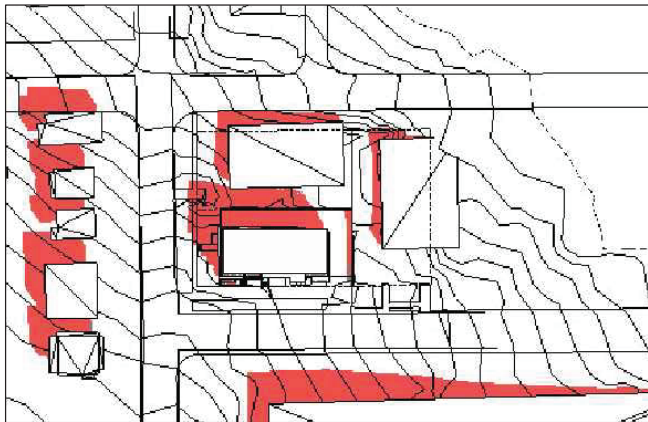
4 SPRING EQUINOX-9.00 AM  
A8.01 NTS



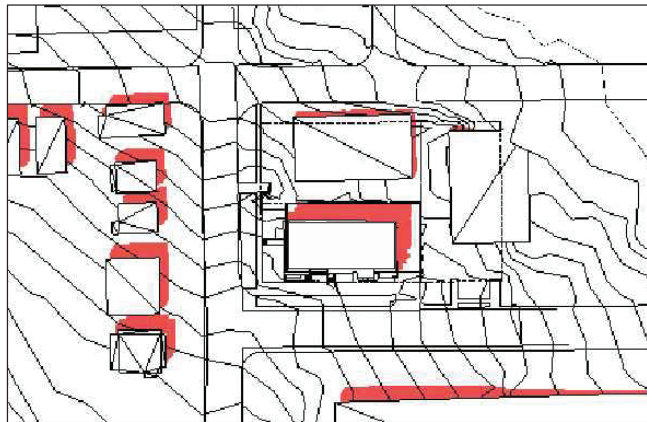
5 SPRING EQUINOX-12.00 PM  
A8.01 NTS



6 SPRING EQUINOX-3.00 PM  
A8.01 NTS



7 SUMMER SOLSTICE-9.00 AM  
A8.01 NTS



8 SUMMER SOLSTICE 12.00 PM  
A8.01 NTS



9 SUMMER SOLSTICE 3.00 PM  
A8.01 NTS



10 WINTER SOLSTICE 9.00 AM  
A8.01 NTS



11 WINTER SOLSTICE 12.00 PM  
A8.01 NTS



12 WINTER SOLSTICE 3.00 PM  
A8.01 NTS

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|     |            |                          |
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PROJECT

CARIBOO STREET

1321 CARIBOO STREET

NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON  
THE TRADITIONAL TERRITORY OF THE  
QAYQAYT FIRST NATIONS AND THE COAST SALISH  
PEOPLES

SHEET TITLE

SHADOW STUDY

SCALE: 3/16"=1'-0"

DRAWN BY: SD/NH/RGB

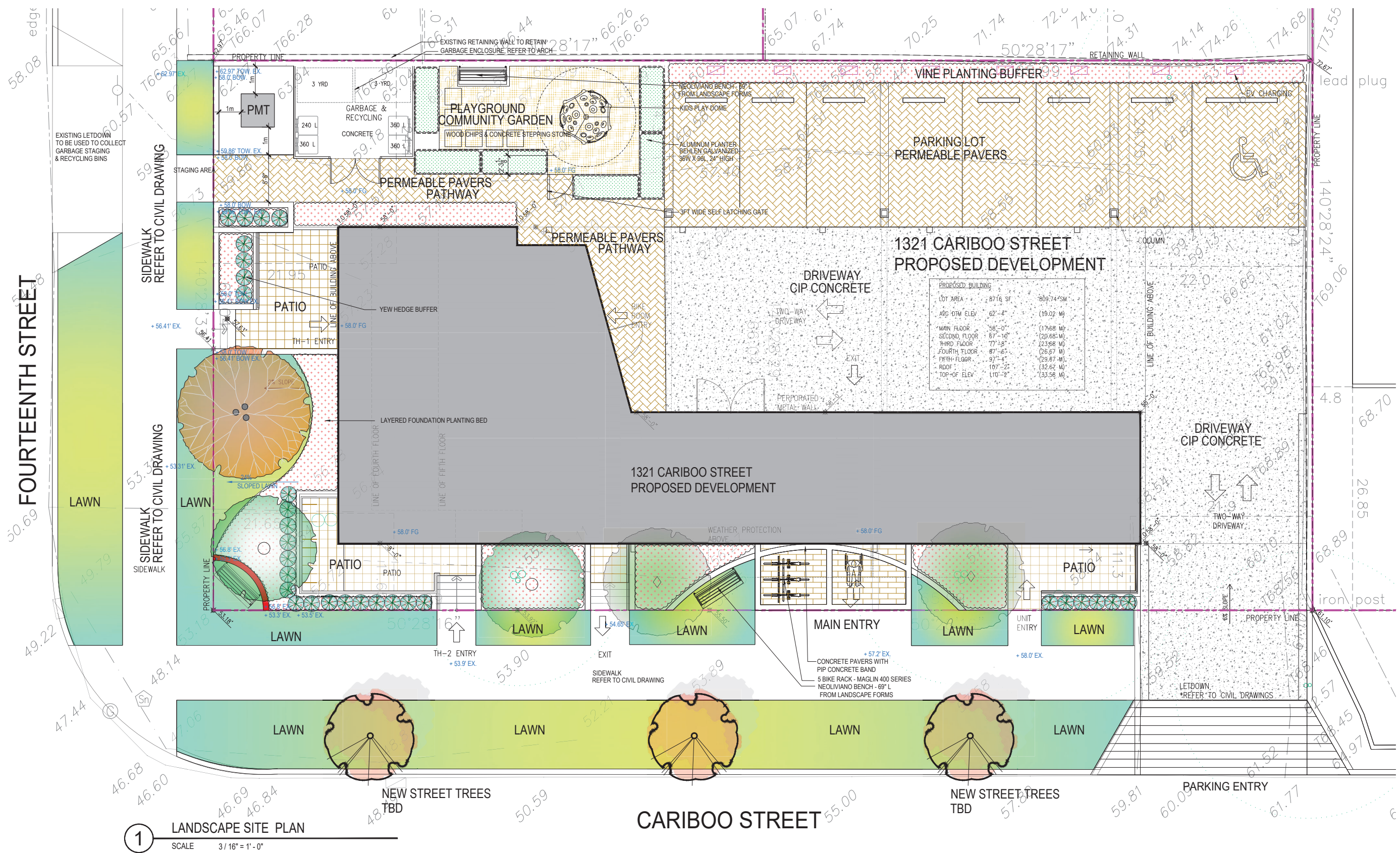
CHECKED BY: RB

SHEET NO. A8.01

PROJECT NO. 19BA14

FILE: 19BA14





LEGEND:

SODDED LAWN

PLANTING

WOOD CHIPS

CONCRETE SLAB  
ABBOTSFORD CONCRETE - TEXADA  
STANDARD SIZE (24" X 24" X 2")  
COLOR: NATURAL, GRID PATTERN

CONCRETE PAVER  
ABBOTSFORD CONCRETE - METROPOLITAN  
TYPE 1(15 3/4" X 7 7/8" X 3 15/16") TYPE 2(7 7/8" X 7 7/8" X 3 15/16")  
COLOR: NATURAL&CHARCOAL MIX, RUNNING BOND PATTERN

CIP CONCRETE

PERMEABLE PAVERS  
ABBOTSFORD CONCRETE  
AQUA PAVE - STANDARD  
SIZE: 8 3/4"(L) X 4 5/16"(W) X 3 1/8"(THICK)  
COLOR: NATURAL  
PATTERN: HERRIBONE

AGRICULTURE PLANTER  
BEHLEN GALVANIZED  
36W X 96L, 24" HIGH

EXISTING TREE TO REMOVE

EXISTING TREE TO RETAIN  
WITH TREE PROTECTION FENCE

NEW STREET TREES

NEW HEDGE

NEOLIVIANO BENCH - 69" L  
FROM LANDSCAPE FORMS

5 BIKE RACK  
MAGLIN 400 SERIES

1 LANDSCAPE SITE PLAN  
SCALE 3/16" = 1' - 0"

Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services. New trees must be of good standard, minimum 6cm caliper, and installed with approved root barriers, tree guards and appropriate soil. Root barriers shall be 8 feet long and 18 inches in. Planting depth of root ball must be below sidewalk grade. Call Park Board for inspection after tree planting completion".

This plan is "NOT FOR CONSTRUCTION" and is to be submitted for review to Engineering Services a minimum of 8 weeks prior to the start of any construction proposed for public property. No work on public property may begin until such plans receive "For Construction" approval and related permits are issued. Please contact Engineering, Development Services and/or your Engineering, Building Site Inspector for details."

8

7

6

5 ISSUED FOR DESIGN PANEL MEETING 2022.04.14

4 ISSUED FOR DP R2 2022.02.07

3 ISSUED FOR DP R1 2021.06.23

2 ISSUED FOR DP 2020.09.01

1 ISSUED FOR CITY REVIEW 2020.06.26

ISSUES DATE

PROJECT NUMBER LF19

DRAWN BY LX/LZ

CHECKED BY LX

DATE CHECKED

WWW.RPLPROJECTS.COM

lu@rplprojects.com

604-338-5035

PROJECT

1321 CARIBOO ST.  
NEW WESTMINSTER, BC

DRAWING TITLE

LANDSCAPE  
SITE PLAN

DRAWING No.

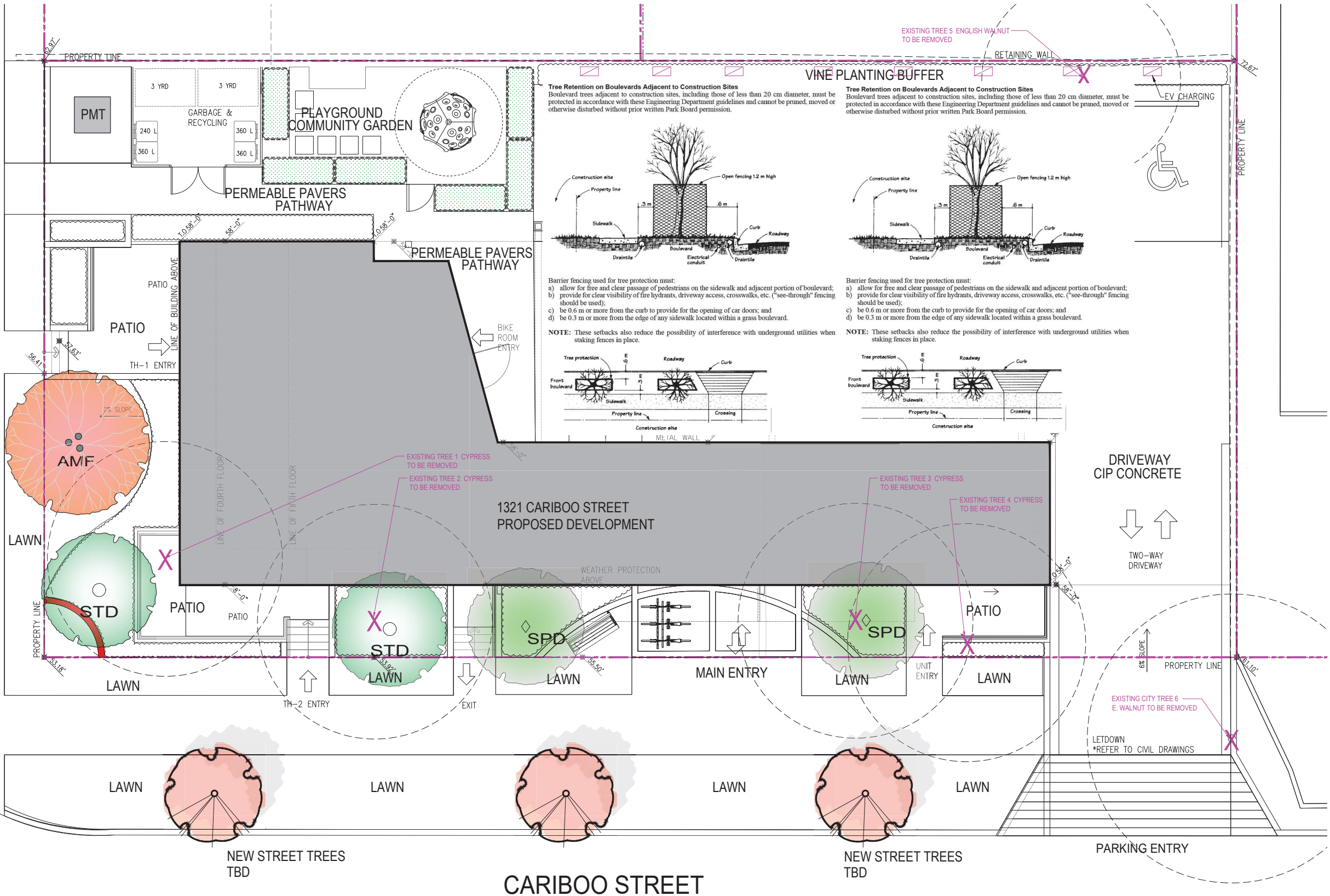
L1



FOURTEENTH STREET

SIDEWALK  
REFER TO CIVIL DRAWING

SIDEWALK  
REFER TO CIVIL DRAWING



1 TREE MANAGEMENT PLAN  
SCALE 3/16" = 1'-0"

X

EXISTING TREE TO REMOVE

O

EXISTING TREE TO RETAIN  
WITH TREE PROTECTION FENCE

TMC

NEW STREET TREES

TMC

NEW HEDGE

PLANT LIST:

| KEY             | QTY. | BOTANICAL NAME           | COMMON NAME        | SIZE & COND.         |
|-----------------|------|--------------------------|--------------------|----------------------|
| HEDGES          |      |                          |                    |                      |
| TMC **          | 30   | TAXUS MEDIA*HM EDDIE*    | EDDIE YEWS         | 5FT HT. 18" O.C. B&B |
| DECIDUOUS TREES |      |                          |                    |                      |
| AMF **          | 1    | AMELANCHIER GRANDIFLORA  | APPLE SERVICEBERRY | 3M HT. B&B           |
| SPD **          | 2    | STYRAX JAPONICUS         | JAPANESE SNOWBELL  | 6CM CAL. B&B         |
| STD **          | 2    | STEWARTIA PSEUDOCAMELLIA | JAPANESE STEWARTIA | 6CM CAL. B&B         |

|        |  |
|--------|--|
| 8      |  |
| 7      |  |
| 6      |  |
| 5      | ISSUED FOR DESIGN PANEL MEETING 2022.04.14 |
| 4      | ISSUED FOR DP R2 2022.02.07                |
| 3      | ISSUED FOR DP R1 2021.06.23                |
| 2      | ISSUED FOR DP 2020.09.01                   |
| 1      | ISSUED FOR CITY REVIEW 2020.06.26          |
| ISSUES | DATE                                       |

|                |       |
|----------------|-------|
| PROJECT NUMBER | LF19  |
| DRAWN BY       | LX/LZ |
| CHECKED BY     | LX    |
| DATE CHECKED   |       |

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604-338-5035

PROJECT  
**1321 CARIBOO ST.**  
NEW WESTMINSTER, BC

DRAWING TITLE  
**TREE  
MANAGEMENT PLAN**

DRAWING No.  
**L2**

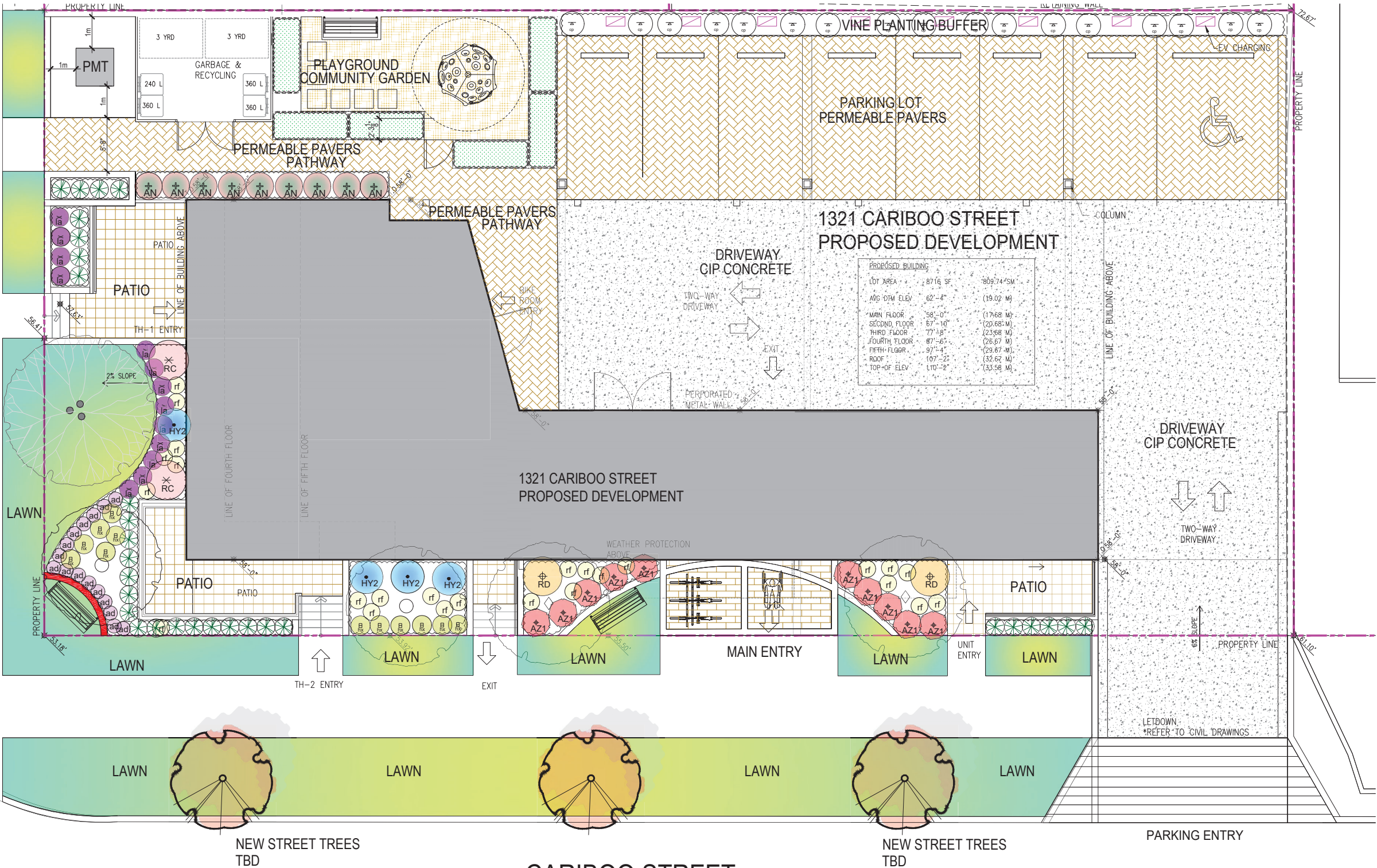


FOURTEENTH STREET

SIDEWALK  
REFER TO CIVIL DRAWING

SIDEWALK  
REFER TO CIVIL DRAWING

SIDEWALK

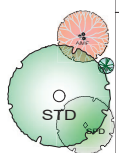


NOTES:

1. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCNTA OR BCSLA GUIDELINES.
2. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE, SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
3. AMMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
4. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
  - A. GROUND COVERS: 300MM (12")
  - B. SHRUBS: 450MM (18")
  - C. TREE PITS: 1000MM (36") WITH 300MM(12")BELOW ROOT BALL
5. ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 16" O.C.
6. 1"MINUS COMPOSTED MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS - DEPTH 2".
7. SOD SHALL BE #1 PREMIUM GRADE RESIDENTIAL GRASS MIXTURE GROWN IN TOPOIL MEDIUM. NO MESH.
8. HIGH EFFICIENCY IRRIGATION SYSTEM REQUIRED - (AUTOMATIC).
9. ALL TREES SHALL BE REVIEWED BY LANDSCAPE ARCHITECT AT NURSERY BEFORE DELIVERING TO SITE.

1 LANDSCAPE PLANTING PLAN

SCALE 3/16" = 1'-0"



PLANT LIST:

| KEY                       | QTY. | BOTANICAL NAME                    | COMMON NAME                  | SIZE & COND.         |
|---------------------------|------|-----------------------------------|------------------------------|----------------------|
| HEDGES                    |      |                                   |                              |                      |
| TMC **                    | 30   | TAXUS MEDIA"HM EDDIE"             | EDDIE YEWE                   | 5FT HT. 18" O.C. B&B |
| DECIDUOUS TREES           |      |                                   |                              |                      |
| AMF **                    | 1    | AMELANCHIER GRANDIFLORA           | APPLE SERVICEBERRY           | 3M HT. B&B           |
| SPD **                    | 2    | STYRAX JAPONICUS                  | JAPANESE SNOWBELL            | 6CM CAL. B&B         |
| STD **                    | 2    | STEWARTIA PSEUDOCAMELLIA          | JAPANESE STEWARTIA           | 6CM CAL. B&B         |
| SHRUBS & GROUNDCOVERS     |      |                                   |                              |                      |
| AZ1 **                    | 10   | GIRARD'S FUCHSIA AZALEA           | HINO CRIMSON AZALEA          | #2 @ 2'-6" O.C.      |
| AN **                     | 9    | ARBUTUS UNEDO COMPACTED           | COMPACT STRAWBERRY BUSH      | #2 @ 2'-6" O.C.      |
| HY2 **                    | 4    | HYDRANGEA MACROPHYLLA "MONMAR"    | HYDRANGEA (REPEAT BLOOMER)   | #2 @ 4' O.C.         |
| RC **                     | 2    | RHODODENDRON "CHRISTMAS CHEER"    | CHEER RHODO. (WHITE PINK)    | #2 @ 3'-6" O.C.      |
| RD **                     | 2    | RHODODENDRON HONEY BUTTER         | RHODO. SPS (ORANGE PINK)     | #2 @ 4' O.C.         |
| la **                     | 13   | LAVANDULA ANGUSTIFOLIA            | ENGLISH LAVENDER             | #2 POT @ 18" O.C.    |
| PERENNIALS & GRASS & VINE |      |                                   |                              |                      |
| rf **                     | 25   | RUDBECKIA FULGIDA var 'GOLDSTRUM' | BLACK EYED SUSAN             | #1 POT @ 18" O.C.    |
| hx **                     | 12   | HAKONECHLOA MACRA "AUREOLA"       | GOLDEN JAPANESE FOREST GRASS | #1 POT @ 30CM O.C.   |
| ad **                     | 16   | AUBRIETA DELTOIDEA                | PURPLE ROCK CRESS            | #1 POT @ 30CM O.C.   |
| cp **                     | 17   | CLEMATIS 'THE PRESIDENT'          | 'THE PRESIDENT' CLEMATIS     | #3 STAKE TO SCREEN   |

\*\* BIRD FRIENDLY PLANTS



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| ISSUES         | DATE                                       |
| PROJECT NUMBER | LF19                                       |
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PROJECT  
**1321 CARIBOO ST.**  
NEW WESTMINSTER, BC

DRAWING TITLE  
**LANDSCAPE PLANTING PLAN**

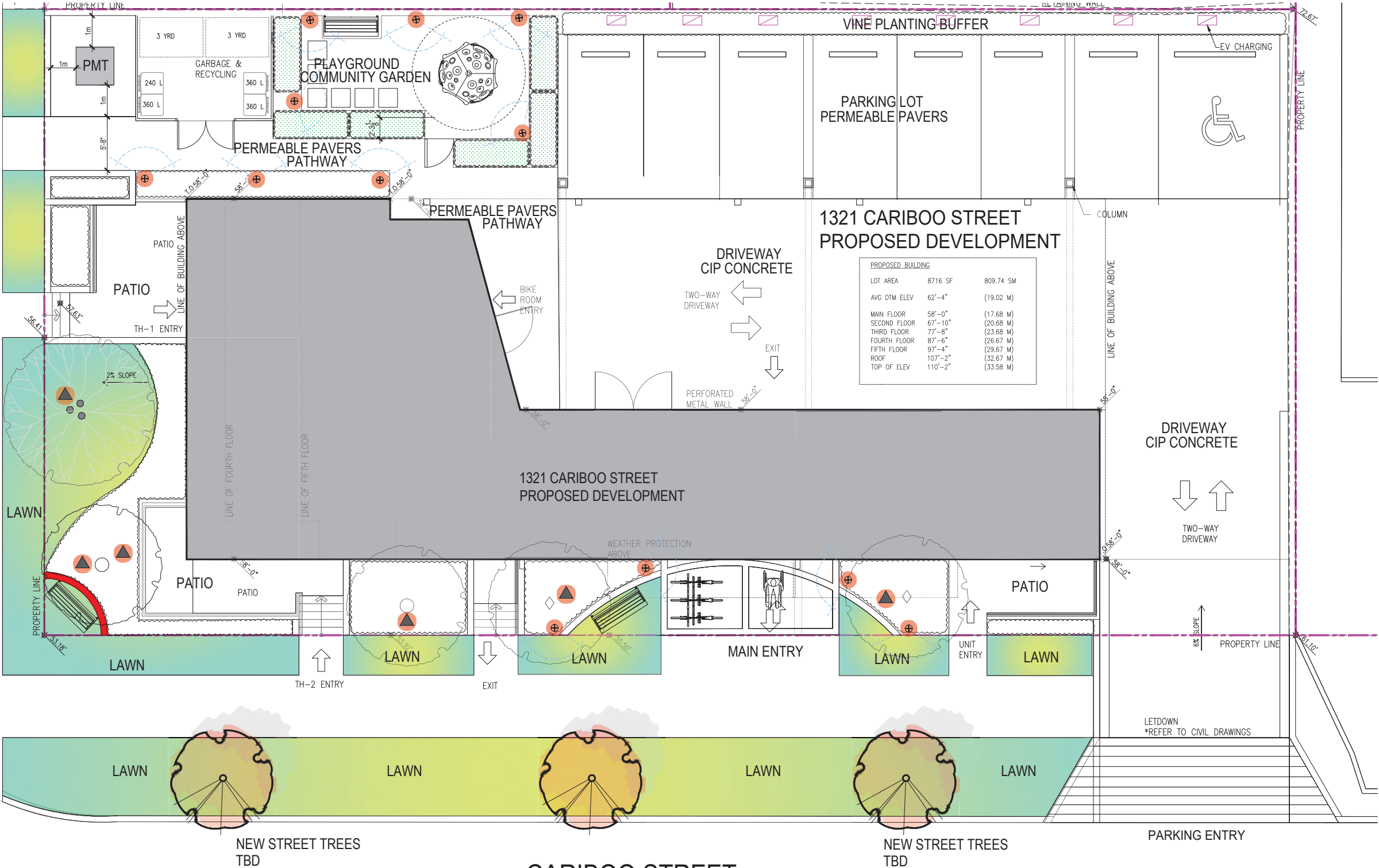
DRAWING No.  
**L3**

FOURTEENTH STREET

SIDEWALK  
REFER TO CIVIL DRAWING

SIDEWALK  
REFER TO CIVIL DRAWING

SIDEWALK



NEW STREET TREES  
TBD

NEW STREET TREES  
TBD

PARKING ENTRY

CARIBOO STREET

LANDSCAPE LIGHTING PLAN

LIGHTING NOTES:

- ALL FIXTURES AND OTHER PRODUCTS TO BE CSA APPROVED. ALL WIRES TO FIXTURES TO BE BURIED TO MEET CSA AND BUILDING CODE. ALL 12V WIRES TO BE BURIED MIN. 18" BELOW GRADE.
- INSTALL WITH CAREFUL ATTENTION TO PREVENT CORROSION, USING APPROPRIATE PRODUCTS AND METHODS AS REQUIRED.
- LAYOUT OF FIXTURES IS SCHEMATIC ONLY. ACTUAL POSITION OF EACH LIGHT TO BE VERIFIED ON SITE AND APPROVED BY LANDSCAPE ARCHITECT.
- AFTER FORMWORK FOR ALL VISIBLE CONCRETE WORKS, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ON SITE TO REVIEW ANY WALL LIGHTS POSITION, BEFORE POURING THE CONCRETE WORKS.
- EACH FIXTURE TO HAVE MIN. 6'-0" EXTRA WIRE TO ALLOW RELOCATION.
- ALL EXTERIOR LIGHTS TO BE ON PHOTOELECTRIC CELL AND TIMER WITH MANUAL OVERRIDE WATTAGE FOR INDIVIDUAL LIGHTS TO BE VERIFIED ON SITE AND APPROVED BY LANDSCAPE ARCHITECT.
- DOWNLIGHTS TO BE MOUNTED WITH STAINLESS STEEL SCREWS FOR ALL TREE BRANCHES OVER 4" DIAMETER EXPANDABLE STRAPS OR ALTERNATE PRE-APPROVED BY LANDSCAPE ARCHITECT EVERYTHING ELSE AND MAIN TRUNK. ALL OTHER FIXTURES TO BE MOVABLE STAKES.
- POSITION OF BAFFLES ON INDIVIDUAL LIGHT FIXTURES TO BE DETERMINED ON SITE AND APPROVED BY LANDSCAPE ARCHITECT.
- COLOUR OF FIXTURES TO BE APPROVED BY LANDSCAPE ARCHITECT.
- WIRES TO BE MIN. OF 12 / 2 WITH A HEAVY CSA APPROVED JACKET.
- RUN WIRE IN THE "HUB" METHOD, WITH EACH FIXTURE ON ITS OWN SEPARATE RUN FROM THE HUB POINT. ALLOW MIN. 6" EXTRA WIRE PER FIXTURE FOR PROPER AIMING AND ADJUSTMENT AS THE LANDSCAPE MATTERS.
- CONNECTORS TO BE OF THE MARRETTE TYPE, WITH ANTI-CORROSION (NOALOX, DIELECTRIC GREASE) FILLING MARRETTE TO COVER ALL THE BARE COPPER INSIDE CONNECTOR. TO INSURE PROPER CONNECTIONS WITH MARRETTES, TUG ALL WIRES ENTERING MARRETTE INDIVIDUALLY SO THAT THEY ARE PROPERLY BOUND TOGETHER IN THE MARRETTE.
- IF USING A STANDARD MARRRETTE, IT SHALL BE WRAPPED WITH BLACK TAPE COVERING THE MARRETTE AND 2 INCH DOWN THE WIRE JACKET. A COMMERCIAL PRODUCED DIRECT BURY MARRETTE IS ALSO APPROVED FOR USE.
- A PRESS TOGETHER CONNECTOR IS UNACCEPTABLE IN A DIRECT BURY SITUATION. IT SHALL ONLY BE USED IN A DECK SITUATION WHERE THE MARRETTE METHOD WOULD BE TO BE VISIBLE.
- TRANSFORMERS TO BE USED FOR 12V LANDSCAPE LIGHTING SHALL HAVE A STAINLESS STEEL CASING, A TRI-TAP 12-VOLT SIDE WHICH INCLUDES 11V, 12V & 13V TAPS, AND RE-SEATABLE (BREAKER TYPE) SECONDARY PROTECTION BUILT INTO THE TRANSFORMER.
- ALL TRANSFORMER AND ELECTRIC PULL STATION LOCATIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE EXECUTION ON SITE.

LIGHTING LEGEND

\*\*LIGHTING IMAGES ARE NOT LIGHTING SPECIFICATION



LIGHTING SCHEDULE

| SYMBOL | QUANTITY | DESCRIPTION    | MANUFACTURE | SPECIFICATIONS  |
|--------|----------|----------------|-------------|---|
|        | 6        | ACCENT UPLIGHT | KITCHLER    | 16151 AZT27, 35 DEGREE FLOOD, 2700K WARM WHITE, ARCHITECTURAL BRONZE FINISH 200LUMEN, 35 DEGREE FLOOD |
|        | 12       | PATH LIGHT     | KITCHLER    | LED PIERCED DOME 15857 AZT, 2700K WARM WHITE, ARCHITECTURAL BRONZE FINISH 12V LED PATH/SPREAD         |



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| DATE CHECKED   |        |

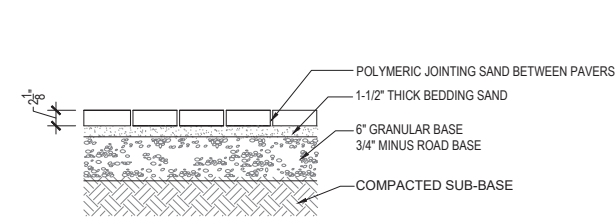
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PROJECT  
**1321 CARIBOO ST.**  
NEW WESTMINSTER, BC

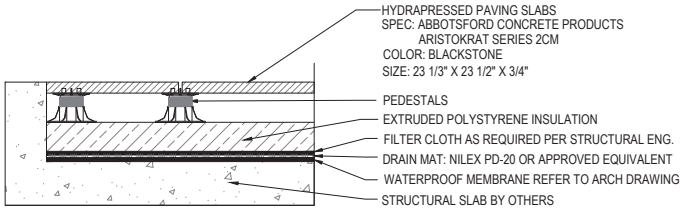
DRAWING TITLE  
**LANDSCAPE  
LIGHTING PLAN**

DRAWING No.  
**L4**

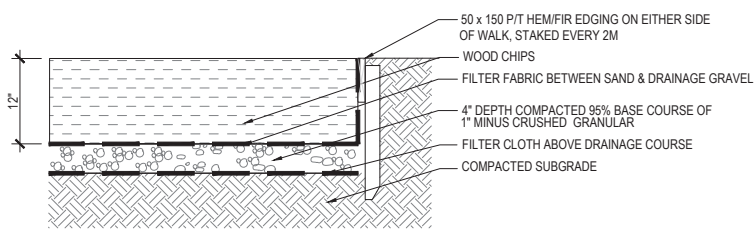




1 UNIT PAVERS ON GRADE  
SCALE: 1" = 1'



2 PORCELAIN SLAB OVER STRUCTURE SLAB  
SCALE: 1" = 1'



3 WOOD CHIPS W/ WOOD EDGING  
SCALE: 1" = 1'

**Standard Colors**

While the colors shown here are represented as accurately as possible, they should only be used as a guide. Actual samples should be viewed before making a final color selection.

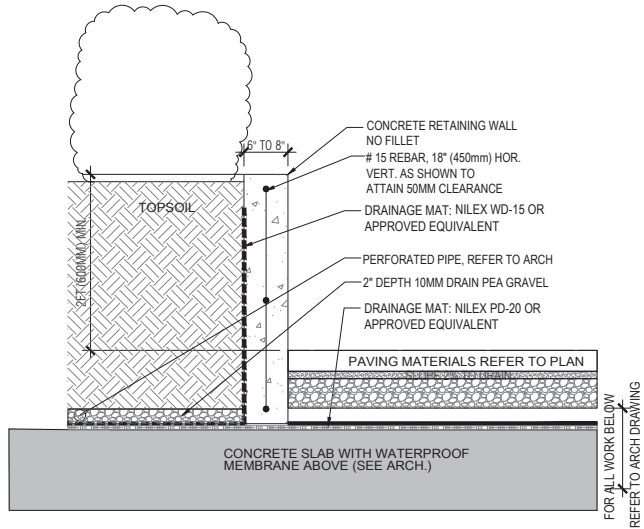
Shadow • Charcoal • Red • Red/Black • Indian Summer • Desert Sand • Sand/Brown • Brown •

\*For best results, pavers should be installed from several pallets to ensure color consistency, especially with multi-color blends.

Westbrook Shopping Centre courtesy of Stone Age Cobblestones

4 PERMEABLE PAVERS SPECIFICATION  
SCALE: NTS

PARKING LOT PAVING  
ABBOTSFORD CONCRETE  
AQUA PAVE STANDARD  
SIZE: 8 3/4"(L) x 4 5/16"(W) x 3 1/8"(THICK)  
COLOR: NATURAL



7 CONCRETE PLANTER OVER STRUCTURE SLAB  
SCALE: 1" = 1'

**Abbotsford Concrete**

**Piazza Series: Natural**

**Type 1 & 2 - Random Round Pattern**

5 ENTRANCE PAVING SPECIFICATION  
SCALE: NTS

ABBOTSFORD CONCRETE  
PIAZZA SERIES, TYPE 1 & TYPE 2  
COLOR: NATURAL

**Standard Size:**  
23 1/3" x 23 1/2" x 3/4" (595mm x 595mm x 20mm)  
23 1/3" x 23 1/2" x 3/4" (595mm x 595mm x 20mm)  
23 1/3" x 23 1/2" x 3/4" (595mm x 595mm x 20mm)  
23 1/3" x 23 1/2" x 3/4" (595mm x 595mm x 20mm)  
23 1/3" x 23 1/2" x 3/4" (595mm x 595mm x 20mm)

**Wide Plank Size:**  
48 1/2" x 23 1/2" x 3/4" (1230mm x 595mm x 20mm)  
(As recommended)

Both standard and wide plank sizes are available in all colors. (30mm x 60mm x 20mm)

6 PATIO PAVING SPECIFICATION  
SCALE: NTS

PATIO PAVING  
ABBOTSFORD CONCRETE  
ABBOTSFORD CONCRETE  
ARISTOKRAT SERIES 2CM  
SIZE: 23 1/3" X 23 1/2" X 3/4"  
COLOR: BLACKSTONE

**328 Galvanized Round End Tank (approx. 294 gal.)**

Galvanized Round End Stock Tanks

SKU: 50130088  
Categories: Tanks & Waterers, Galvanized Round End Stock Tanks

| Description | Additional information |
|-------------|------------------------|
| Item        | 50130088               |
| Color       | Galvanized             |
| Width       | 36                     |
| Height      | 24                     |
| Length      | 96                     |
| Weight      | 94 lb                  |

**Additional Information**

8 BEHLEN GARDEN POT  
SCALE: NTS

**Wicking Bed Design (with modified inlet)**

Watering Inlet Pipe  
Pond Liner  
Raised Garden Bed  
Erosion Control Fabric or Shade Cloth  
Water Overflow Pipe  
Coarse Gravel  
Soil

|        |                                 |
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| DATE CHECKED   |        |

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PROJECT

**1321 CARIBOO ST.**  
NEW WESTMINSTER, BC

DRAWING TITLE

**LANDSCAPE DETAILS  
& SPECIFICATIONS**

DRAWING No.

**L5.1**



habitat

Cozy Dome®

Landscape Structures Inc. Model #168099, Ages 2-12



The Cozy Dome® offers kids a place to escape the hustle and bustle of a busy playground, take time by themselves or socialize together. It can provide a quiet place for over-stimulated kids with peek holes to let kids and supervisors keep an eye on the action. Various textures on the outer surface create a perfect climbing experience as well.

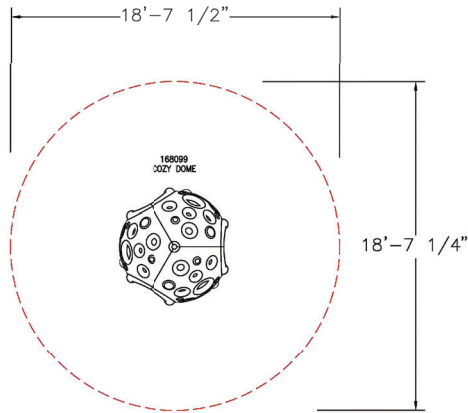
Available for direct bury or surface mount - \$5,991

\*Above pricing is budgetary only, and does not include freight/shipping, remote area fees, installation, site requirements or applicable taxes.

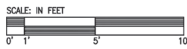
info@habitat-systems.com | 1.866.422.4828 | www.habitat-systems.com

Freestanding Play  
(5-12 years)

TOTAL SQUARE FOOTAGE  
272 SQ.FT.  
MAX FALL HEIGHT  
FOR THIS STRUCTURE  
46"



|  |   |          |   |
|--|---|----------|---|
| TOTAL ELEVATED PLAY COMPONENTS                   | 0 | REQUIRED | 0 |
| TOTAL ELEVATED COMPONENTS ACCESSIBLE BY RAMP     | 0 | REQUIRED | 0 |
| TOTAL ELEVATED COMPONENTS ACCESSIBLE BY TRANSFER | 0 | REQUIRED | 0 |
| TOTAL ACCESSIBLE GROUND LEVEL COMPONENTS SHOWN   | 1 | REQUIRED | 0 |
| TOTAL DIFFERENT TYPES OF GROUND LEVEL COMPONENTS | 1 | REQUIRED | 1 |



Design  
2700

Landscape  
Structures

SYSTEM TYPE:  
Freestanding  
DRAWING #: 2700

landscape  
structures®



The play equipment specified on this plan was field tested. It meets or exceeds all applicable ASTM and CPSC safety standards. It is a proven, durable, and safe play structure. It is designed to last for many years of use. It is a safe, fun, and challenging play structure. It is a safe, fun, and challenging play structure.

THIS PLAY AREA & PLAY EQUIPMENT IS DESIGNED FOR KIDS 5-12 YEARS UNLESS OTHERWISE NOTED ON PLAN.  
IT IS THE USER'S RESPONSIBILITY TO ENSURE THAT THIS PLAY AREA DOES CONFORM TO THE A.S.A. ACCESSIBILITY GUIDELINES. ASSUMING AN ACCESSIBLE PROTECTIVE SURFACING IS PROVIDED, AS INDICATED, FOR WITHIN THE ENTIRE USE ZONE.

THIS CONSTRUCTION PLAN WAS BASED ON INFORMATION PROVIDED BY THE USER. IT IS THE USER'S RESPONSIBILITY TO ENSURE THAT THE INFORMATION PROVIDED IS CORRECT. LANDSCAPE STRUCTURES, INC. DOES NOT ASSUME ANY LIABILITY FOR ANY INJURY OR DAMAGE TO PERSONS OR PROPERTY. LANDSCAPE STRUCTURES, INC. DOES NOT ASSUME ANY LIABILITY FOR ANY INJURY OR DAMAGE TO PERSONS OR PROPERTY.

CHOOSE A PROTECTIVE SURFACING SYSTEM THAT MEETS ALL APPLICABLE SAFETY STANDARDS. THE SURFACING SHOULD BE INSTALLED TO THE FULL DEPTH OF THE PLAY AREA. THE SURFACING SHOULD BE INSTALLED TO THE FULL DEPTH OF THE PLAY AREA. THE SURFACING SHOULD BE INSTALLED TO THE FULL DEPTH OF THE PLAY AREA.

DESIGNED BY:  
Landscape Structures, Inc.  
4000 W. 10th Avenue, Suite 100  
Denver, CO 80202  
Tel: 303.755.1100 Fax: 303.755.1101  
Web: www.landscapestructures.com

DATE: 10/10/2019

PROJECT: 10/10/2019

DRAWING: 10/10/2019

SCALE: 1/2\"/>

DATE: 10/10/2019

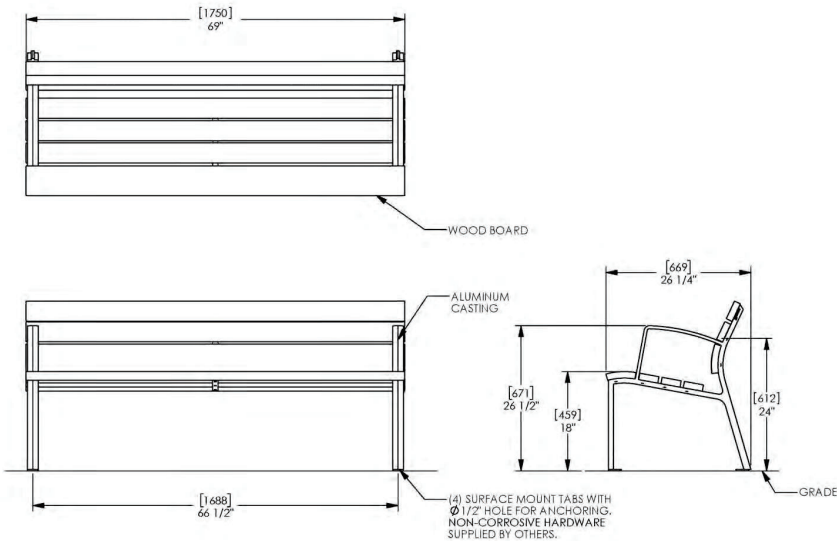


1 KIDS PLAY - COZY DOME

SCALE NTS

SANTA & COLE Neoliviano Backed Bench, 60in, Surface Mount, Wood  
Product Drawing

Date: 10/10/2019  
www.landscapeforms.com Ph: 800.521.2546



landscapeforms Drawing: NL099-02  
Dimensions are in inches (mm)  
Spanish Industrial Design 151,245

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2 NEOLIVIANO BENCH - LANDSCAPE FORMS

SCALE NTS

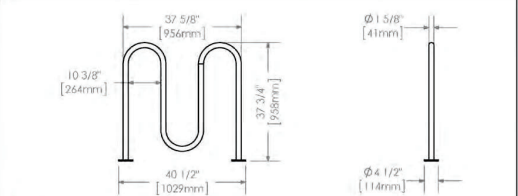
400 SERIES

MBR-0400-00007  
Legacy # MBR400-S-S



MATERIALS: All parts of the MBR-0400 Series Bicycle Racks are made from H.S. Steel tube. This bike rack can hold up to 5 bicycles.  
FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.  
INSTALLATION: The bike racks are delivered pre-assembled. It is available with a surface mount installation.  
TO SPECIFY: Select MBE-0400-00007  
Choose:  
- Powdercoat Color:

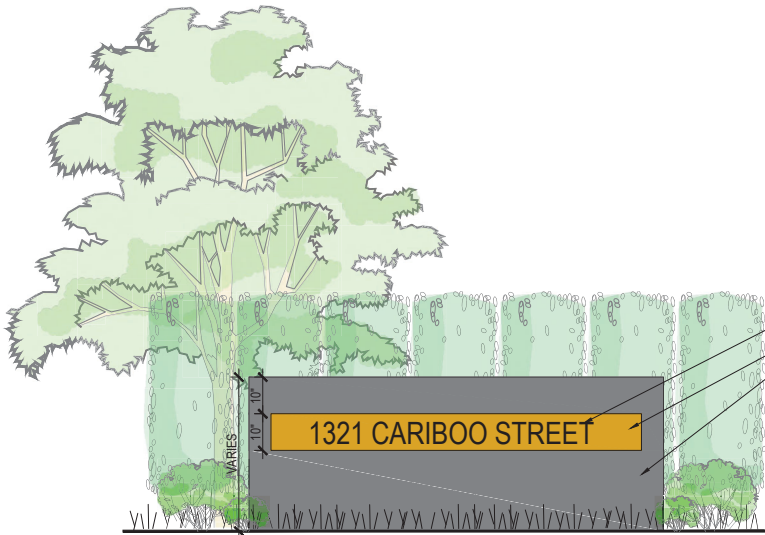
HEIGHT: 37.5\"/>



MAGLIN®  
Steel Furniture  
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Details and specifications may vary due to product or manufacturing process changes.

3 5 BIKE RACK - MAGLIN 400 SERIES

SCALE NTS



ADDRESS NUMBER, WITH BACK LIGHTING  
1x5 CEDAR BOARD ATTACHED TO ALL  
PIP CONCRETE, NO CHAMFER AT CORNER  
HEIGHT REFER TO LANDSCAPE PLAN

4 SIGN WALL DETAILS

SCALE 1/2\"/>

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PROJECT  
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NEW WESTMINSTER, BC

DRAWING TITLE  
**LANDSCAPE DETAILS  
& SPECIFICATIONS**

DRAWING No.  
**L5.2**