

Attachment 2
*Rationale Letter and
Project Drawings*

520 EIGHTH ST – PARKING RATIONALE LETTER

December 15, 2021

City of New Westminster
Planning Department
511 Royal Avenue
New Westminster, BC V3L 1H9

Attention: Wendee Lang, Planning Analyst

520 Eighth St New Westminster B.C, V3M 3S1 is a 3-story apartment building with 56 existing rental units. There is one floor of parking below grade, with 56 existing parking stalls. In the parking below there is existing storage and locker rooms.

We have proposed to re-use a portion of the existing storage and locker room areas and seven existing parking stalls to convert this area into 5 additional rental units: two studio units and three 1 bed units. All five rental units are over the recommended 350 SF and 525 SF from the B.C Housing Design Guidelines and Construction Standards. Unit#01 628.0 SF. Unit #02 668.1 SF. Unit #03 538.5 SF. Unit #04 536.5 SF. Unit #05 538.4 SF. All five units will have exterior entry from the patio wells along Eighth St. Units # 01 and #02 will also have interior access from the lobby area in the basement level. The patio wells will have stairs coming down from grade, as well as planters stepping up to grade. The patio wells will allow for ample sunlight to shine into the principal parts in the new rental units.

Presently there are 56 existing parking stalls. Upon surveying residents, it was found only 15 stalls are in use by residents, 14 stalls are in use by non-building residents living around the neighborhood and 27 stalls remain vacant. We will propose the relocation of 1 Accessible parking stall on the west side of the parkade. After upgrading the parking stalls into Rental Housing Units, the site will retain 49 parking stalls. Presently there are two existing Accessible parking stalls, & 2 Accessible parking stalls will remain along with an additional Accessible parking stall and a Van accessible parking stall, totaling to 4 Accessible parking stalls. There are no existing compact stalls.

Universally Accessible paths of travel identified on the proposed plan. Direct paths from the Accessible parking stalls to primary building entrances from the parkade identified. Accessible parking stalls not used as part of Accessible travel routes.

Residential & visitor parking stalls reductions consistent with New Westminster Seven Bold Step Program. Previously in 2019, New Westminster Council declared a climate emergency. One of the Seven Bold steps outlined by City is, Car Light Communities. The goal is for 60% of all trips within the City to be by sustainable modes of transportation. (Walk, Transit, Bicycle, Multi Occupant shared)

The 520 Eighth St site is on the Eighth Street Frequent Transit Network Corridor. A quick 1-minute walk will lead you to Frequent Transit Bus stops. The site is 67m from a Frequent Transit Bus stop, and 130m from another Frequent Transit Bus stop in the other direction. Most tenants in the

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building currently use Public Transportation as it is most beneficial for them. Most rental tenants do not own a personal vehicle. If they had their own vehicles, they would be renting parking stalls.

Approximately 28% of work commutes in New Westminster are taken by public transit every day. Integration of higher quality and more convenient transit connections can shift residents to optimize public transit over personal vehicles and result in a more balanced and sustainable transportation system. Frequent Transit Network Routes offer service every 15 minutes throughout the day, evenings, and weekends.

The site is also within a 5-minute walking distance to a variety of Markets, Restaurants, Shops and Religious Services in the Up-Town Neighbourhood.

Existing Parking stalls provided on site range from \$30 - \$50 per month fee set by building management for each tenant.

3 storage rooms proposed in the basement level. 6 long term bicycle stalls proposed in storage room directly across from main building entry in the parkade, conveniently located, Will be accessible to residents of the building only. Electric outlets shall be provided in all bicycle storage facilities. Long term Bicycle parking entry 21'-0 (6.4m) from Basement Level building entry. Long term bicycle stalls designed per Section 150 Zoning Bylaw

12 short term bicycle stalls (11'-7" x 10'-8 ¼") proposed on the North side of the main level of the building. Short term bicycle parking to be well lit. Directional signage to be provided from principal building entrance. Short Term Bicycle stalls designed per Sec. 150.16 – 150.19 Zoning Bylaw.

The existing garbage/ recycling area to be enclosed with Architectural wood screen. Additional garbage & recycling bins to be added to accommodate additional units. Currently the tenants exit the basement level and dispense of their waste in the existing bins. The same route will remain. Units #01-02 will be able to exit the basement level and go through the same process. Tenants residing in units #03-05 will be able to walk up their patios and down the drive aisle to dispense of any garbage/recycling waste.

520 EIGHTH ST – PARKING RATIONALE LETTER

PARKING RESIDENTIAL

EXISTING 520 EIGHTH ST PARKING (NEW WESTMINSTER)		STALLS
RESIDENTIAL	9'-0" x 17'-4" (2.74m X 5.30m)	5
	8'-6" x 17'-4" (2.59m x 5.30m)	10
VISITOR	9'-0" x 17'-4" (2.74m X 5.30m)	6
	8'-6" x 17'-4" (2.59m x 5.30m)	33
ACCESSIBLE	12'-10" x 18'-1" (3.9m x 5.5m)	2
TOTAL EXISTING STALLS		56

PARKING RESIDENTIAL

REQUIRED PARKING (NEW WESTMINSTER)		UNITS	STALLS	REFERENCE
SECURED RENTAL RESIDENTIAL UNITS	1.0 SPACE PER DWELLING UNIT	56	56	150.8.7 (a)
VISITOR	0.1 VISITOR PARKING SPACES PER DWELLING UNIT	56	6	150.8.7 (c)
TOTAL RESIDENTIAL STALLS REQUIRED		62 STALLS REQUIRED		

*FOR EVERY 70 SPACES, 3 STALLS MUST BE ACCESSIBLE

PARKING RESIDENTIAL		
PROPOSED 520 EIGHTH ST PARKING (NEW WESTMINSTER)		STALLS
RESIDENTIAL	9'-4" x 19'-0" (2.84m X 5.79m)	2
	11'-0" x 18'-8" (3.35m x 5.69m)	1
	8'-6" x 18'-8" (2.59m x 5.69m)	1
	9'-8" x 18'-8" (2.95m x 5.69m)	1
	9'-8" x 18'-1" (2.95m x 5.51m)	1
	8'-6" x 18'-1" (2.59m x 5.51m)	2
	8'-6" x 19'-0" (2.59m x 5.79m)	13
	9'-4" x 20'-0" (2.84m x 6.10m)	1
	9'-2" x 20'-0" (2.79m x 6.10m)	1
	8'-6" x 18'-0" (2.59m x 5.49m)	22
ACCESSIBLE	12'-10" x 18'-1" (3.91m x 5.51m)	3
	15'-9" x 25'-0" (4.80m x 7.62m)	1
TOTAL PROPOSED STALLS		49

EIGHTH ST
APTS RENO
520 EIGHTH STREET
NEW WESTMINSTER, B.C.

ARCHITECTURAL:

- A1.00 COVER SHEET , SITE PLAN, LIST OF DRAWINGS & PROJECT INFORMATION
- A1.50 DEMOLITION PLAN - BASEMENT FLOOR
- A2.01 PROPOSED RENOVATED PLAN - BASEMENT FLOOR
A2.02 ENLARGED RENOVATED PLAN - BASEMENT FLOOR
- A2.10 EXISTING - MAIN FLOOR PLAN
A2.11 EXISTING - SECOND & THIRD FLOOR PLAN
- A2.20 PROPOSED RENO PLAN - FSR OVERLAY
A2.21 EXISTING MAIN FLOOR PLAN - FSR OVERLAY
A2.22 EXISTING SECOND & THIRD FLOOR PLAN - FSR OVERLAY
- A3.01 NORTH & WEST ELEVATIONS
A3.02 SOUTH & EAST ELEVATIONS
A4.01 AA, BB & CC BUILDING SECTIONS
A4.02 DD BUILDING SECTION

CODE ANALYSIS

ITEM	BRITISH COLUMBIA BUILDING CODE 2018	REFERENCE
1. PROJECT DESCRIPTION	RENOVATIONS	PART 3
2. BUILDING AREA (SM)(EXISTING)	3,446 SM (37,102 SF)	1.4.1.2
3. NUMBER OF STOREYS	4 STOREY	3.2.1.1.(3)
4. BUILDING HEIGHT	4 STOREY	3.2.1.1.(3)
5. NUMBER OF STREETS	1	3.2.2.10 & 3.2.5.5
6. BUILDING CLASSIFICATION	GROUP C,(UP TO 4 STOREYS) NON COMPLIANT GRANDFATHER	3.2.2.51
7. SPRINKLER SYSTEM	PARTIAL PARKADE -- PROPOSED UNITS SPRINKLERED	-
8. STANDPIPE REQUIRED	NO	3.2.5.8
9. FIRE ALARM REQUIRED	YES	3.2.4.1
10. WATER SUPPLY ADEQUATE	N/A	3.2.5.7
11. HIGH BUILDING	NO	3.2.6
12. PERMITTED CONSTRUCTION	COMBUSTIBLE	-
13. EMERGENCY LIGHTING	YES, AT EXITS	3.2.7.3.(i)(i)
14. RENOVATED UNIT AREAS		-
	#B-01 58.3 SM (628.0 SF) #B-02 62.0 SM (668.1 SF) #B-03 50.0 SM (536.5 SF) #B-04 49.8 SM (536.5 SF) #B-05 50.0 SM (538.4 SF) TOTAL 270.1 SM (2909.5 SF)	
15. EXIT WIDTH REQUIRED	800mm (ALL EXISTING)	TABLE 3.4.3.2.A
16. BARRIER-FREE DESIGN	NO	3.8
17. HAZARDOUS SUBSTANCES	NO	3.3.6
18. REQUIRED FIRE RESISTANCE RATING (FRR)		
18.1. FLOORS	45 MINUTES	3.2.2.52
18.2. LOADBEARING WALLS	45 MINUTES	3.2.2.52
18.3. ROOF	45 MINUTES	3.2.2.52
19. SEPARATION OF SUITES		
19.1. GROUP C	45 MINUTES	3.2.2.52
20. PUBLIC CORRIDOR SEPARATIONS	45 MINUTES	3.3.1.4 (2)
21. EGRESS DOORWAYS	1 EXIT REQUIRED 1 EXIT PROVIDED	3.4.2.1.(2)
22. TRAVEL DISTANCE	BASEMENT 30M (98.42FT)	3.4.2.5.1.(F)

DOOR SCHEDULE

No.	LOCATION	WIDTH	HEIGHT	THICKNESS	DESCRIPTION
D101	UNIT ENTRY	3'-0"	6'-8"	0'-1 3/4"	45 F.R.R.
D102	BATH	2'-10"	6'-8"	0'-1 3/4"	
D103	CLOSET	2'-6"	6'-8"	0'-1 3/4"	
D104	CLOSET	(2) X 2'-0"	6'-8"	0'-1 3/4"	
D105	GATE	3'-0"	3'-6"	0'-2"	ENTRY GATE

WINDOW SCHEDULE

No.	LOCATION	WIDTH	HEIGHT	DESCRIPTION	FACE
G1	LIVING	5'-0"	3'-6"		NORTH
G2	BED	4'-0"	3'-6"		NORTH
G3	LIVING	3'-0"	3'-6"		NORTH
G4	KITCHEN	2'-0"	3'-6"		NORTH

CONSTRUCTION ASSEMBLIES

WE - EXISTING WALL

W1 - TYP. INTERIOR WALL (PARTITION WALL)

- 1 LAYER 1/2" GYPSUM WALLBOARD
- 2"x4" WOOD STUDS @ 16" O.C.
- 1 LAYER 1/2" GYPSUM WALLBOARD

W2 - FURRING WALL (1 HR FIRE RATED)
ULC DES W301 EQUIVALENT OR BETTER

- 2 LAYERS 5/8" TYPE "X" GYPSUM WALLBOARD
- 2"x4" WOOD STUDS @ 16" O.C.
- ACOUSTIC BATT INSULATION
- EXISTING CONCRETE WALL

W3 - WET WALL

- 2"x6" WOOD STUDS @ 16" O.C.
- 1 LAYER 1/2" GYPSUM WALLBOARD

W4 - TYP. EXTERIOR CONCRETE WALL

- 8" CONCRETE WALL c/w WATERPROOFING TO OUTSIDE FACE

W5 - EXTERIOR WALL (1.5 FIRE SEPERATION)

- 2 LAYERS 5/8" TYPE "X" GYPSUM WALLBOARD
- 2"x8" STEEL STUDS @ 16" O.C.
- ACOUSTIC BATT INSULATION
- PLYWOOD SHEATHING
- CEMENT STUCCO (TO MATCH EXISTING)

W6 - TYP. PARTY WALL (1 HR FIRE SEPERATION)
APPENDIX 'A' TABLE A-9.10.3.1.A, WALL TYPE W13b, STC57

- 1 LAYER 5/8" TYPE "X" GYPSUM WALLBOARD
- 2"x4" STEEL STUDS @ 16" O.C.
- 1" AIR GAP
- 2"x4" STEEL STUDS @ 16" O.C.
- 1 LAYER 5/8" TYPE "X" GYPSUM WALLBOARD

FE - EXISTING FLOOR

1 SITE PLAN

A1.00 3/32"=1'-0"

PARKING REQUIREMENTS

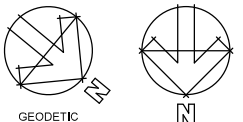
DISTRICT (NEW WEST)		REFERENCE
BROW OF THE HILL		150.8
UNIT CALCULATION		
	UNITS	REFERENCE
APARTMENT UNITS – EXISTING	56	–
APARTMENT UNITS – PROPOSED	5	–
TOTAL APARTMENT UNITS	61	–
FSR		
EXISTING	1.17	
NEW	1.26	
PARKING CALCULATION		
	STALLS	REFERENCE
PARKING STALLS – EXISTING	56	–
PARKING STALLS – PROPOSED	49	150.8.7
NUMBER OF ADDITIONAL PARKING STALLS	0	150.8.8.(a)

RENOVATION INFORMATION

RENOVATED UNIT AREA 2909.5 SF

NOTES

BUILDING 100% SECURED RENTAL RESIDENTIAL UNITS AS PER B/L 7688, 2014
PLANS & DESIGN TO BCBC 2018
CLIMATE ZONE 4, COMPLIANCE PATH: PRESCRIPTIVE
MONITORED FIRE ALARM SYSTEM
ANY PENETRATIONS THROUGH REQUIRED FIRE SEPARATIONS MUST BE PROPERLY FIRE STOPPED
ALL SMOKE DETECTION AND ALARMS WILL BE PROPERLY FUNCTIONING
ALL DOORS AND EXITS IN THE PUBLIC CORRIDOR WILL BE PROPERLY LATCHING
ALL REQUIRED HANDRAILS AND GUARDRAILS WILL BE SECURED IN PLACE



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PROJECT
520 - EIGHTH STREET
RENOVATION
NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON THE TRADITIONAL TERRITORY OF THE GAYQAYT FIRST NATION AND THE COAST SALISH PEOPLE

SHEET TITLE
COVER SHEET &
SITE PLAN

SCALE: 3/32"=1'-0"

DRAWN BY: SH/TZ

CHECKED BY: RB

SHEET NO.

A1.00

PROJECT NO.

FILE: 20BA08

WALL LEGEND:
- - - - - WALLS TO BE DEMOLISHED
AND DOORS TO BE
REPLACED. MAKE GOOD
BEFORE NEW CONSTRUCTION
-NEW DOOR OPENING

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1	2021.04.12	ISSUE FOR DP/DVP
NO.	DATE	REVISION

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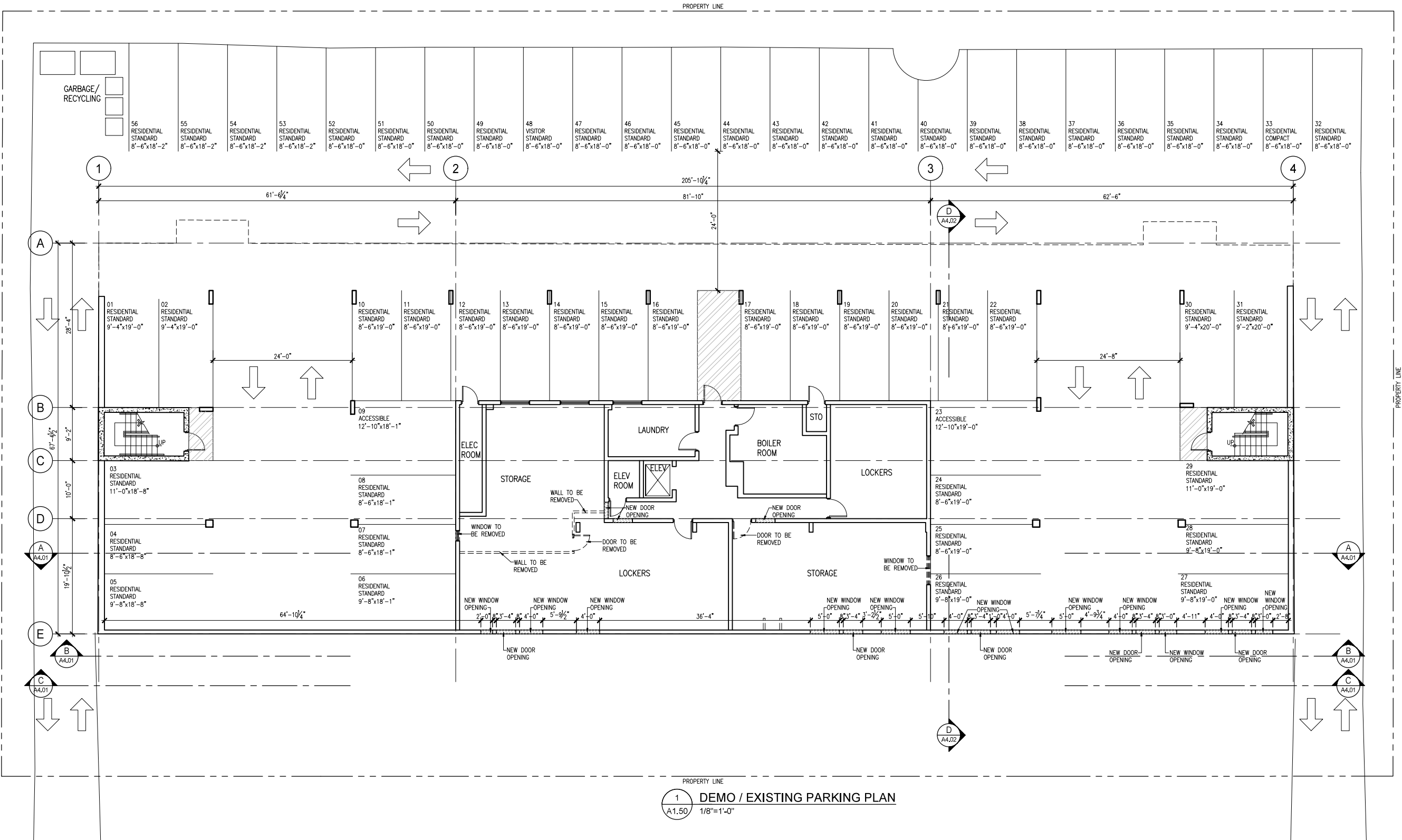
SEAL

PROJECT
520 - EIGHTH STREET
RENOVATION
NEW WESTMINSTER, BC

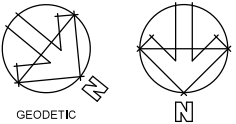
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TERRITORY OF THE QAYQAYT FIRST NATION AND
THE COAST SALISH PEOPLE

SHEET TITLE
DEMOLITION PLAN /
EXISTING PARKING PLAN

SCALE: 1/8"=1'-0"
DRAWN BY: SH/TZ
CHECKED BY: RB
SHEET NO.
A1.50
PROJECT NO.
FILE: 20BA08



1 DEMO / EXISTING PARKING PLAN
A1.50 1/8"=1'-0"



WALL LEGEND:

- NEW FULL HEIGHT WALLS TO BE CONSTRUCTED
- NEW LOW WALLS 48" HEIGHT TO BE CONSTRUCTED
- NEW CONCRETE WALLS TO BE CONSTRUCTED

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SCALE

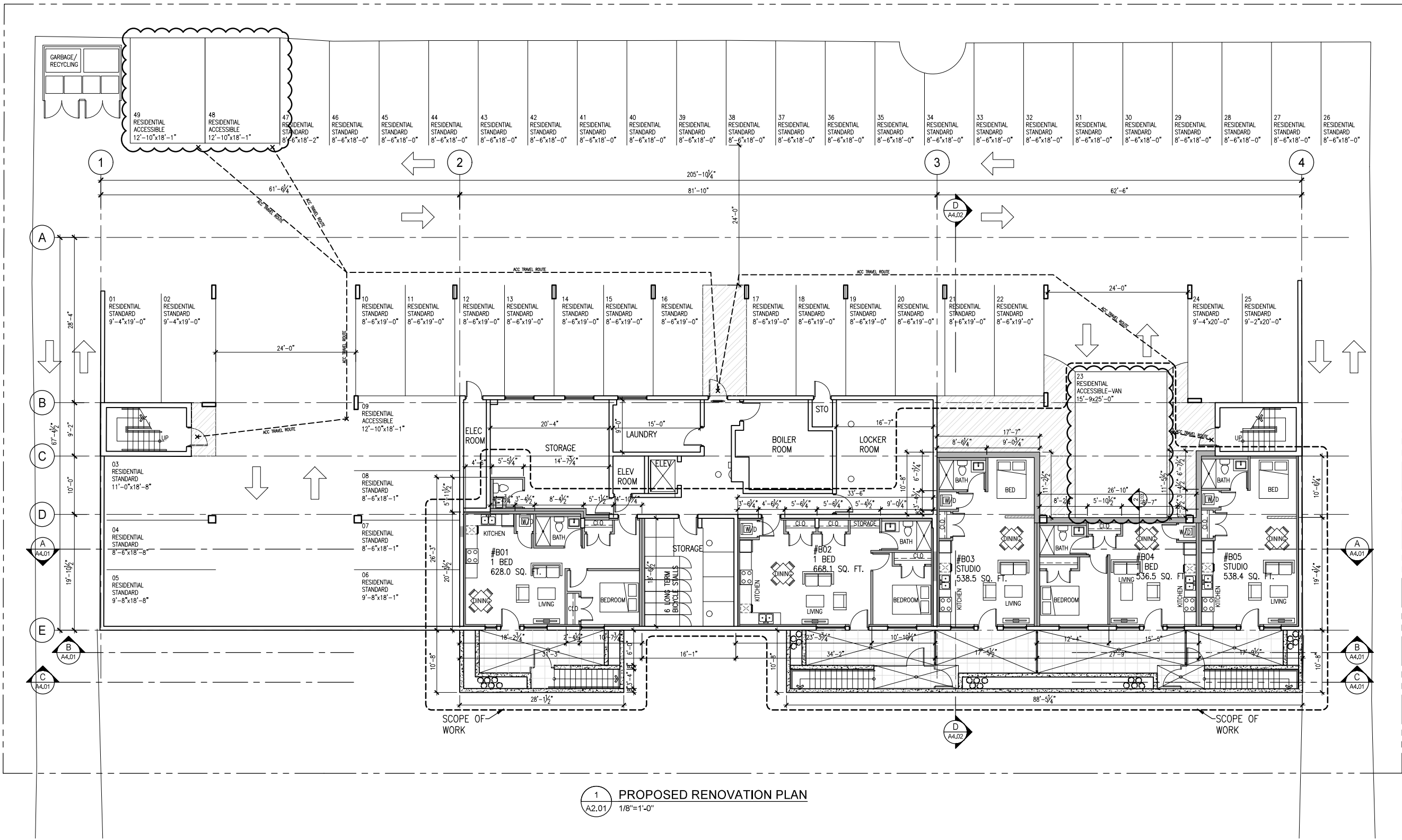
PROJECT
520 - EIGHTH STREET RENOVATION
NEW WESTMINSTER, BC

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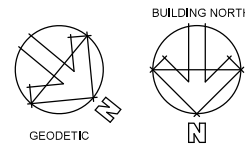
SHEET TITLE

PROPOSED RENOVATION PLAN

SCALE: 1/8"=1'-0"	SHEET NO. A2.01
DRAWN BY: SH/TZ	PROJECT NO. FILE: 20BA08
CHECKED BY: RB	



1 PROPOSED RENOVATION PLAN
A2.01 1/8"=1'-0"



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SEA

PROJECT

520 - EIGHTH STREET
RENOVATION

NEW WESTMINSTER, BC

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SHEET TITLE

ENLARGED
RENOVATION PLAN

SCALE:

3/16"=1'-0"

DRAWN BY:

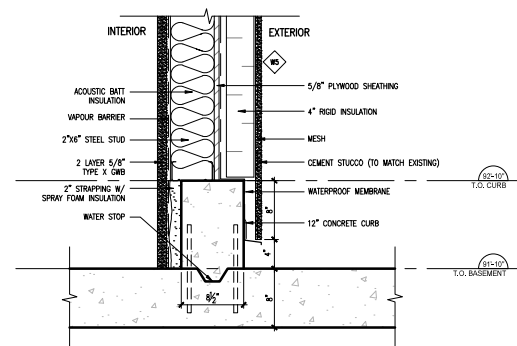
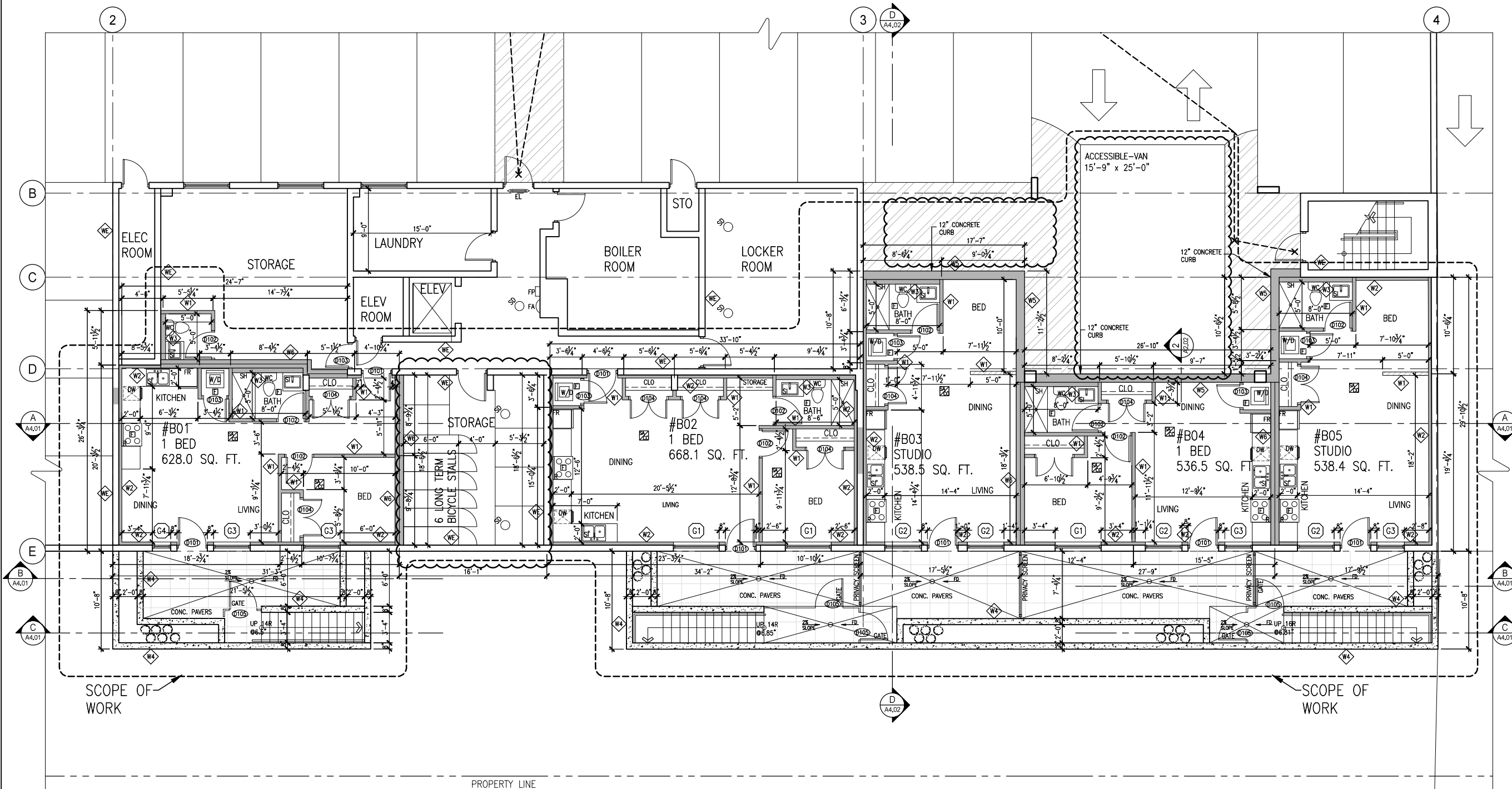
SH/12

SHEET NO.

A 2000

A2 02

	7/21/02
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2 EXTERIOR WALL CURB DETAIL
A2.02 1"=1'-0"

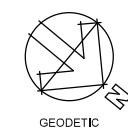
1 ENLARGED RENOVATION FLOOR PLAN
A2.02 3/16"=1'-0"

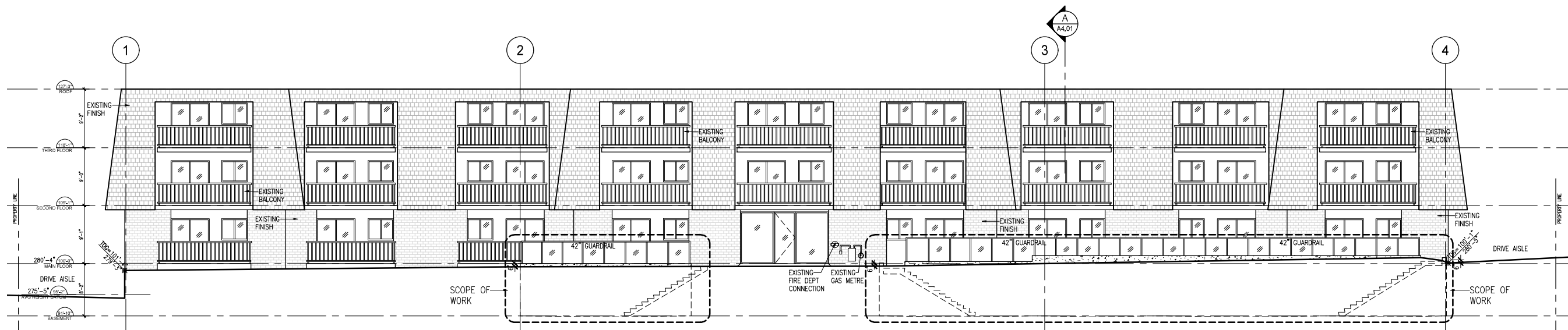
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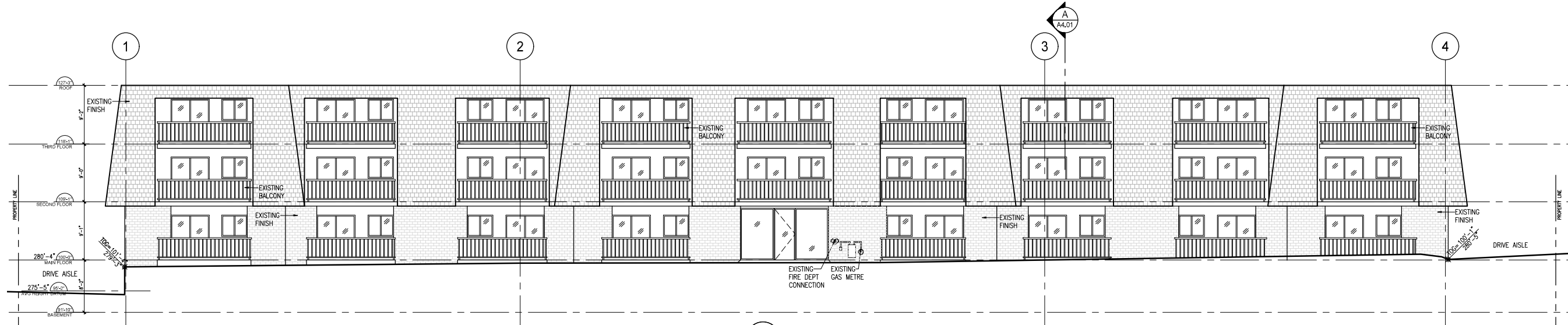
- SYMBOL LEGEND:

-  -SMOKE ALARM/CARBON MONOXIDE DETECTOR
-  -EXHAUST FAN
-  -FIRE ALARM PULL STATION
-  -FIRE ALARM
-  -SMOKE DETECTOR
-  -EMERGENCY LIGHTING AS PER 3.2.7.3

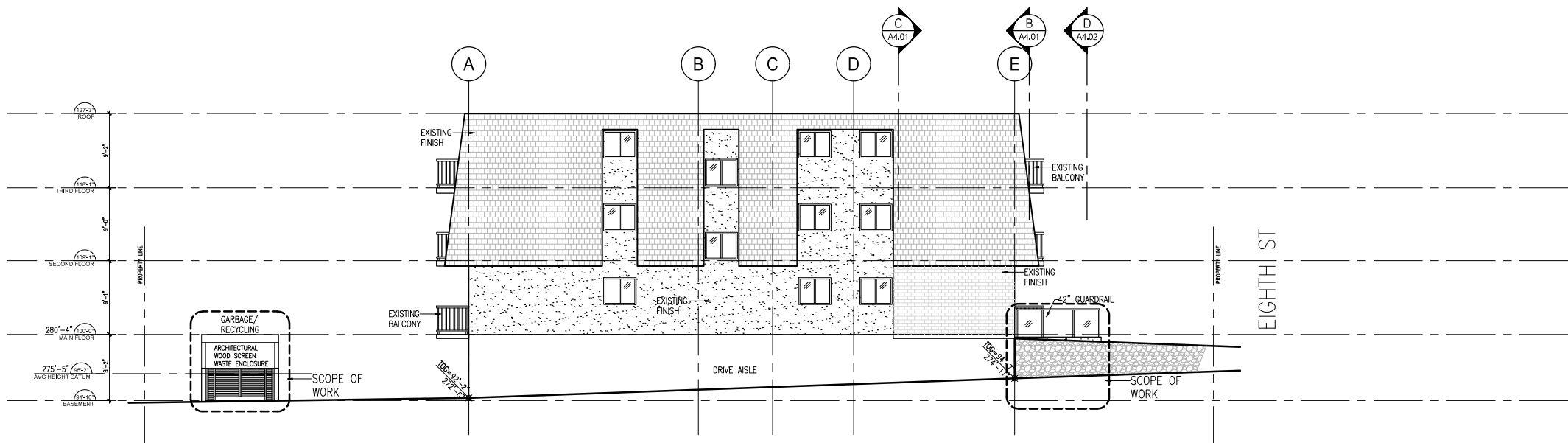




1 PROPOSED NORTH ELEVATION
A3.01 1/8"=1'-0"



2 EXISTING NORTH ELEVATION
A3.01 1/8"=1'-0"



3 PROPOSED EAST ELEVATION
A3.01 1/8"=1'-0"

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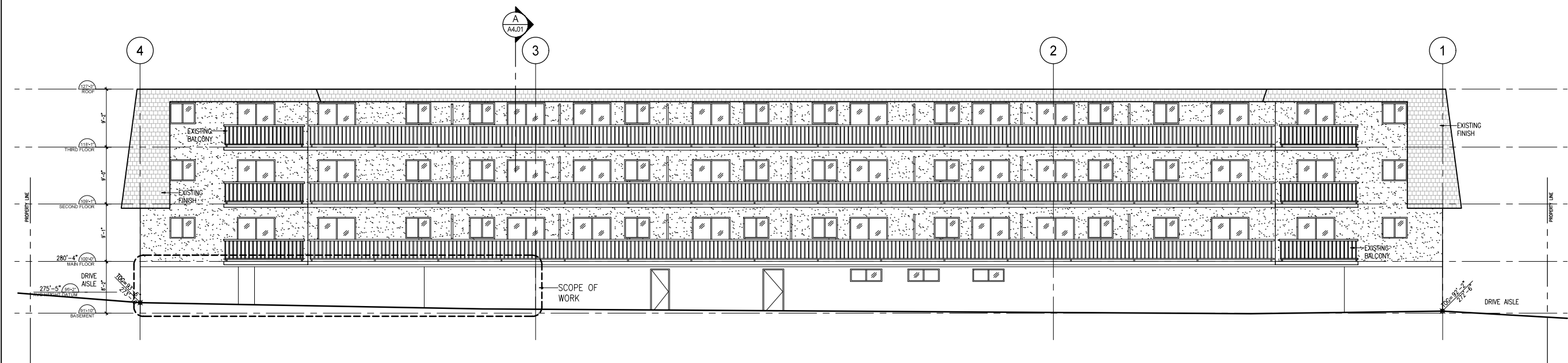
SEAL

PROJECT
**520 - EIGHTH STREET
RENOVATION**
NEW WESTMINSTER, BC

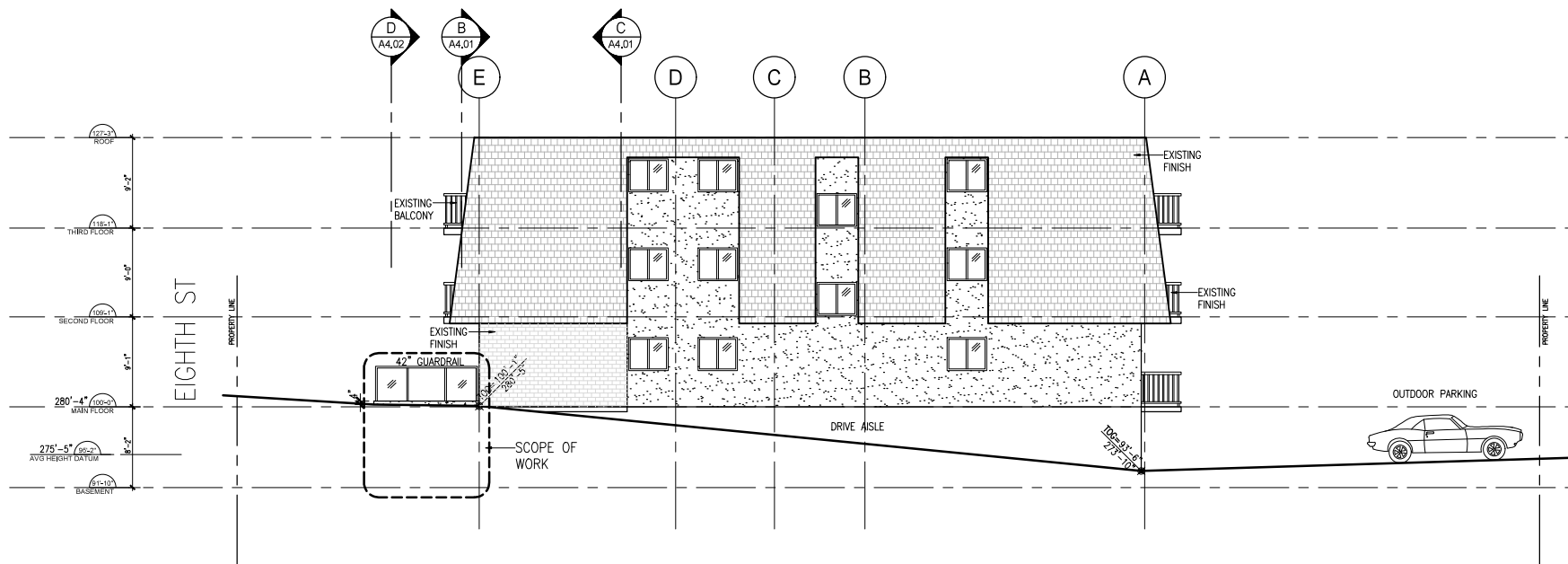
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**NORTH & EAST
ELEVATIONS**

SCALE: 1/8"=1'-0"	SHEET NO. A3.01
DRAWN BY: SH/TZ	PROJECT NO. FILE: 20BA08
CHECKED BY: RB	



1 PROPOSED SOUTH ELEVATION
A3.02 1/8"=1'-0"



2 PROPOSED WEST ELEVATION
A3.02 1/8"=1'-0"

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5	2021.09.17	ISSUE FOR DP/DVP REVISION 4
4	2021.08.11	ISSUE FOR DP/DVP REVISION 3
3	2021.06.30	ISSUE FOR DP/DVP REVISION 2
2	2021.06.07	ISSUE FOR DP/DVP REVISION 1
1	2021.04.12	ISSUE FOR DP/DVP
NO.	DATE	REVISION

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SEAL

PROJECT
**520 - EIGHTH STREET
RENOVATION**
NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON THE TRADITIONAL
TERRITORY OF THE QAYQAYT FIRST NATION AND
THE COAST SALISH PEOPLE

SHEET TITLE
**SOUTH & WEST
ELEVATIONS**

SCALE: 1/8"=1'-0"
DRAWN BY: SH/TZ
CHECKED BY: RB
SHEET NO.
A3.02
PROJECT NO.
FILE: 20BA08