

**THE CORPORATION OF THE CITY OF NEW WESTMINSTER
HERITAGE REVITALIZATION AGREEMENT (515 St George Street)
BYLAW NO. 8262, 2021**

**A Bylaw to enter into a Heritage Revitalization Agreement under
Section 610 of the *Local Government Act***

WHEREAS the City of New Westminister and the owners of the property located at 515 St George Street in New Westminister wish to enter into a Heritage Revitalization Agreement in respect of the property;

NOW THEREFORE, the Council of the City of New Westminister enacts as follows:

Citation

1. This Bylaw may be cited as “Heritage Revitalization Agreement (515 St George Street) Bylaw No. 8262, 2021”.

Heritage Revitalization Agreement

2. The City of New Westminister enters into a Heritage Revitalization Agreement with the registered owners of the property located at 515 St. George Street legally described as PID: 025-453-408; LOT 1 ST. GEORGE’S SQUARE, NEW WESTMINSTER DISTRICT PLAN BCP485
3. The Mayor and City Clerk are authorized on behalf of the City of New Westminister Council to sign and seal the Heritage Revitalization Agreement attached to this Bylaw as Schedule “A”.

READ A FIRST TIME this 18th day of October, 2021.

READ A SECOND TIME this 18th day of October, 2021.

PUBLIC HEARING held this 22nd day of November, 2021.

READ A THIRD TIME this 22nd day of November, 2021.

ADOPTED this _____ day of _____, 2021.

MAYOR JONATHAN X. COTE

JACQUE KILLAWEE, CITY CLERK

SCHEDULE "A"

HERITAGE REVITALIZATION AGREEMENT (515 St George Street)

THIS AGREEMENT dated for reference the 17th day of September, 2021 is

BETWEEN:

CHRISTINA MARINO and **PATRICK DONOVAN**,
515 St. George Street, New Westminster, BC
V3L 1L1

(together, the "Owners")

AND:

THE CORPORATION OF THE CITY OF NEW WESTMINSTER, City Hall, 511 Royal
Avenue, New Westminster, BC V3L 1H9

(the "City")

WHEREAS:

- A. The Owners are the registered owners in fee simple of the land and all improvements located at 515 St. George Street, New Westminster, British Columbia, legally described as PID: 025-453-408; LOT 1 ST. GEORGE'S SQUARE, NEW WESTMINSTER DISTRICT PLAN BCP485 (the "Land");
- B. There is one principal building situated on the Land, known as the Adams House (the "Heritage Building"), which building is listed on the City's Heritage Register, and which is shown on the site plan attached as Appendix 1 (the "Site Plan") labeled "#515 2 Storey SFD with Basement";
- C. The City and the Owner agree that the Heritage Building has heritage value and should be conserved;
- D. The Owner wishes to make certain alterations to restore and rehabilitate the Heritage Building (the "Work");
- E. The Owners intend to construct a single storey laneway house on the lands, measuring approximately 77 square meters in size (the "Laneway House");
- F. Section 610 of the *Local Government Act*, RSBC 2015, Chapter 1 authorizes a local government to enter into a Heritage Revitalization Agreement with the owner of heritage property, and to allow variations of, and supplements to, the provisions of a bylaw or a permit issued under Part 14 or Part 15 of the *Local Government Act*;

- G. The Owner and the City have agreed to enter into this Heritage Revitalization Agreement setting out the terms and conditions by which the heritage value of the Heritage Building is to be preserved and protected, in return for specified supplements and variances to City bylaws;

THIS AGREEMENT is evidence that in consideration of the sum of ten dollars (\$10.00) now paid by each party to the other and for other good and valuable consideration (the receipt of which each party hereby acknowledges) the Owner and the City each covenant with the other pursuant to Section 610 of the *Local Government Act* as follows:

Conservation of Heritage Building

1. Upon execution of this Agreement, the Owner shall promptly commence the Work in accordance with the Heritage Conservation Plan prepared by Katie Cummer, PhD CAHP, of Cummer Heritage Consulting dated September 21, 2021, a copy of which is attached hereto as Appendix 2 (the "Conservation Plan"), and the design plans and specifications prepared by D3 Design, dated August 10, 2021, a copy of which is attached hereto as Appendix 5 (the "Approved Plans"), full-size copies of which plans and specifications are on file at the New Westminster City Hall.
2. Prior to commencement of the Work, the Owner shall obtain from the City all necessary permits and licenses, including a heritage alteration permit, building permit, and tree permit.
3. The Owner shall obtain written approval from the City's Director of Development Services for any changes to the Work, and obtain any amended permits that may be required for such changes to the Work, as required by the City.
4. The Owner agrees that the City may, notwithstanding that such permits may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a heritage alteration permit or building permit applied for in respect of the Heritage Building if the work that the Owner wishes to undertake is not in accordance with the Conservation Plan or the Approved Plans.
5. The Work shall be done at the Owner's sole expense in accordance with generally accepted engineering, architectural, and heritage conservation practices. If any conflict or ambiguity arises in the interpretation of Appendix 2, the parties agree that the conflict or ambiguity shall be resolved in accordance with the "Standards and Guidelines for the Conservation of Historic Places in Canada", 2nd edition, published by Parks Canada in 2010.
6. The Owner shall, at the Owner's sole expense, erect on the Land and keep erected throughout the course of the Work, a sign of sufficient size and visibility to effectively notify contractors and tradespersons entering onto the Land that the Work involves protected heritage property and is being carried out for heritage conservation purposes.
7. The Owner shall, at the Owner's sole expense, engage a member of the Architectural Institute of British Columbia or the Association of Professional Engineers and Geoscientists of British Columbia or the British Columbian Association of Heritage Professionals with

specialization in Building or Planning (the “Registered Professional”) to oversee the Work and to perform the duties set out in section 8 of this Agreement, below.

Role of Registered Professional

8. The Registered Professional shall:
- (a) prior to commencement of the Work, and at any time during the course of the Work that a Registered Professional has been engaged in substitution for a Registered Professional previously engaged by the Owner, provide to the City an executed and sealed Confirmation of Commitment in the form attached as Appendix 3 and, if the Registered Professional is a member of the Canadian Association of Heritage Professionals, the Registered Professional shall provide evidence of their membership and specialization when submitting such executed Confirmation of Commitment;
 - (b) conduct field reviews of the Work with the aim of ensuring compliance of the Work with the Conservation Plan in Appendix 2;
 - (c) provide regular reports to the City’s Development Services Department, Planning Division, on the progress of the Work;
 - (d) upon substantial completion of the Work, provide to the City an executed and sealed Certification of Compliance in the form attached as Appendix 4; and
 - (e) notify the City within one business day if the Registered Professional’s engagement by the Owner is terminated for any reason.

Heritage Designation

9. The Owner irrevocably agrees to the designation of the Heritage Building as protected heritage property, in accordance with Section 611 of the *Local Government Act*, and releases the City from any obligation to compensate the Owner in any form for any reduction in the market value of the Lands or the Heritage Building that may result from the designation.
10. Following completion of the Work, the Owner shall maintain the Heritage Building in good repair in accordance with the Conservation Plan in Appendix 2 and the maintenance standards set out in City of New Westminster Heritage Properties Minimum Maintenance Standards Bylaw No. 7971, 2018, as amended or replaced from time to time, and, in the event that Bylaw No. 7971 is repealed and not replaced, the Owner shall continue to maintain the building to the standards that applied under Bylaw No. 7971 immediately prior to its repeal.
11. Following completion of the Work in accordance with this Agreement, the Owner shall not alter the heritage character or the exterior appearance of the Heritage Building, except as permitted by a heritage alteration permit issued by the City.

Damage to or Destruction of Heritage Building

12. If the Heritage Building is damaged, the Owner shall obtain a heritage alteration permit and any other necessary permits and licenses and, in a timely manner, shall restore and repair the Heritage Building to the same condition and appearance that existed before the damage occurred.
13. If, in the opinion of the City, the Heritage Building is completely destroyed, the Owner shall construct a replica, using contemporary material if necessary, of the Heritage Building that complies in all respects with the Conservation Plan in Appendix 2, the Approved Plans in Appendix 5, and with City of New Westminster Zoning Bylaw No. 6680, 2001 as amended (the "Zoning Bylaw"), as varied by this Agreement, after having obtained a heritage alteration permit and any other necessary permits and licenses.
14. The Owner shall use best efforts to commence and complete any repairs to the Heritage Building, or the construction of any replica building, with reasonable dispatch.

Construction of the Laneway House

15. The Owners shall construct the Laneway House in strict accordance with the Site Plan and the Approved Plans prepared by D3 Design dated August 10, 2021, a copy of which is attached hereto as Appendix 5, full-size copies of which plans and specifications are on file at the New Westminster City Hall.
16. Prior to commencement of construction of the Laneway house, the Owner shall obtain from the City all necessary approvals, permits, and licenses, including a heritage alteration permit, building permit, and tree permit.
17. The Owner shall obtain written approval from the City's Director of Development Services for any changes to the Laneway House, and obtain any amended permits that may be required for such changes to the Laneway House, as required by the City.
18. The Owner agrees that the City may, notwithstanding that such permits may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a heritage alteration permit or building permit applied for in respect of the Laneway House if the work that the Owner wishes to undertake is not in accordance with the Approved Plans.
19. The construction of the Laneway House shall be done at the Owner's sole expense and in accordance with generally accepted engineering and architectural practices.

Timing and Phasing

20. The Owner shall commence and complete all actions required for the completion of the Work, as set out in the Conservation Plan in Appendix 2, within three years following the date of adoption of the Bylaw authorizing this Agreement.

21. The Owner shall not construct the Laneway House on the Land until the Owner has completed the Work in respect of the Heritage Building to the satisfaction of the City's Director of Development Services, has provided the Certification of Compliance described in section 8(d) above.
22. The City may, notwithstanding that such a permit may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a building permit or heritage alteration permit applied for in respect of the Laneway House if the Owner has not completed the Work in respect of the Heritage Building, to the satisfaction of the City's Director of Development Services.
23. The Owner shall complete all actions required for the completion of the Laneway House, as set out in Approved Plans in Appendix 5, within five years following the date of adoption of the Bylaw authorizing this Agreement.

No Subdivision

24. The Owners shall not subdivide the Lands or the buildings located on the Lands by any method, including by way of a building strata plan under the provisions of the Strata Property Act (British Columbia), or any successor legislation dealing with the creation of separate titles to buildings or portions of a building.

Inspection

25. Upon request by the City, the Owners shall advise or cause the Registered Professional to advise, the City's Development Services Department, Planning Division, of the status of the Work.
26. Without limiting the City's power of inspection conferred by statute and in addition to such powers, the City shall be entitled at all reasonable times and from time to time to enter onto the Land for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner.
27. The Owner agrees that the City may, notwithstanding that a final inspection may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a final inspection or occupancy certificate applied for in respect of the Heritage Building or the Laneway House if the Owner has not completed the Work with respect to the Heritage Building or construction of the Laneway House to the satisfaction of the City's Director of Development Services.

Conformity with City Bylaws

28. The City of New Westminster Zoning Bylaw No. 6680, 2001, is varied and supplemented in its application to the Land in the manner and to the extent provided and attached as Appendix 6.

29. The Owner acknowledges and agrees that, except as expressly varied by this Agreement, any development or use of the Land, including any construction, alteration, rehabilitation, restoration and repairs of the Heritage Building or Laneway house, must comply with all applicable bylaws of the City.

No Application to Building Interiors

30. Unless otherwise stated in this Agreement or set out in the Conservation Plan, the terms and conditions of this Agreement respecting the Heritage Building and Laneway House apply only to the structure and exterior of the buildings, including without limitation the foundation, walls, roof, and all exterior doors, stairs, windows and architectural ornamentation.

Enforcement of Agreement

31. The Owner acknowledges that it is an offence under Section 621(1)(c) of the *Local Government Act* to alter the Land or the Heritage Building in contravention of this Agreement, punishable by a fine of up to \$50,000.00 or imprisonment for a term of up to 2 years, or both.
32. The Owner acknowledges that it is an offence under Section 621(1)(b) of the *Local Government Act* to fail to comply with the requirements and conditions of any heritage alteration permit issued to the Owner pursuant to this Agreement and Section 617 of the *Local Government Act*, punishable in the manner described in the preceding section.
33. The Owner acknowledges that, if the Owner alters the Land, the Heritage Building or the Laneway House in contravention of this Agreement, the City may apply to the British Columbia Supreme Court for:
- (a) an order that the Owner restore the Land or the Heritage Building or the Laneway House, or all, to their condition before the contravention;
 - (b) an order that the Owner undertake compensatory conservation work on the Land, the Heritage Building, or the Laneway House;
 - (c) an order requiring the Owner to take other measures specified by the Court to ameliorate the effects of the contravention; and
 - (d) an order authorizing the City to perform any and all such work at the expense of the Owner.
34. The Owner acknowledges that, if the City undertakes work to satisfy the terms, requirements or conditions of any heritage alteration permit issued to the Owners pursuant to this Agreement upon the Owner's failure to do so, the City may add the cost of the work and any incidental expenses to the taxes payable with respect to the Land, or may recover the cost from any security that the Owner has provided to the City to guarantee the performance of the terms, requirements or conditions of the permit, or both.

35. The Owner acknowledges that the City may file a notice on title to the Land in the Land Title Office if the terms and conditions of this Agreement have been contravened.
36. The City may notify the Owner in writing of any alleged breach of this Agreement and the Owner shall have the time specified in the notice to remedy the breach. In the event that the Owner fails to remedy the breach within the time specified, the City may enforce this Agreement by:
- (a) seeking an order for specific performance of the Agreement;
 - (b) any other means specified in this Agreement; or
 - (c) any means specified in the *Community Charter* or the *Local Government Act*,
- and the City's resort to any remedy for a breach of this Agreement does not limit its right to resort to any other remedy available at law or in equity.

Statutory Authority Retained

37. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City, all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled.

Indemnity

38. The Owner hereby releases, indemnifies and saves the City, its officers, employees, elected officials, agents and assigns harmless from and against any and all actions, causes of action, losses, damages, costs, claims, debts and demands whatsoever by any person, arising out of or in any way due to the existence or effect of any of the restrictions or requirements in this Agreement, or the breach or non-performance by the Owner of any term or provision of this Agreement, or by reason of any work or action of the Owner in performance of its obligations under this Agreement or by reason of any wrongful act or omission, default, or negligence of the Owner.
39. In no case shall the City be liable or responsible in any way for:
- (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that be suffered or sustained by the Owner or by any other person who may be on the Land; or
 - (b) any loss or damage of any nature whatsoever, howsoever caused to the Land, or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements in this Agreement, wrongful or negligent failure or omission to comply with the restrictions and requirements in this Agreement or refusal, omission or failure of the City to enforce or

require compliance by the Owner with the restrictions or requirements in this Agreement or with any other term, condition, or provision of this Agreement.

No Waiver

40. No restrictions, requirements, or other provisions of this Agreement shall be deemed to have been waived by the City unless a written waiver signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default, nor any previous written waiver, shall be taken to operate as a waiver by the City of any subsequent default or in any way defeat or affect the rights and remedies of the City.

Interpretation

41. In this Agreement, "Owner" shall mean all registered owners of the Land or subsequent registered owners of the Land, as the context requires or permits.

Headings

42. The headings in this Agreement are inserted for convenience only and shall not affect the interpretation of this Agreement or any of its provisions.

Appendices

43. All appendices to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

44. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Joint and Several

45. If at any time more than one person (as defined in the *Interpretation Act* (British Columbia)) owns the Land, each of those persons will be jointly and severally liable for all of the obligations of the Owner under this Agreement.

Successors Bound

46. All restrictions, rights and liabilities herein imposed upon or given to the respective parties shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date written above.

Signed, Sealed and Delivered in the presence of:)
)

)
)
)
)

Name)

Christina Marino

)
)

Address)

Patrick Donovan

)
)

Occupation)
)

THE CORPORATION OF THE CITY OF NEW WESTMINSTER

by its authorized signatories:

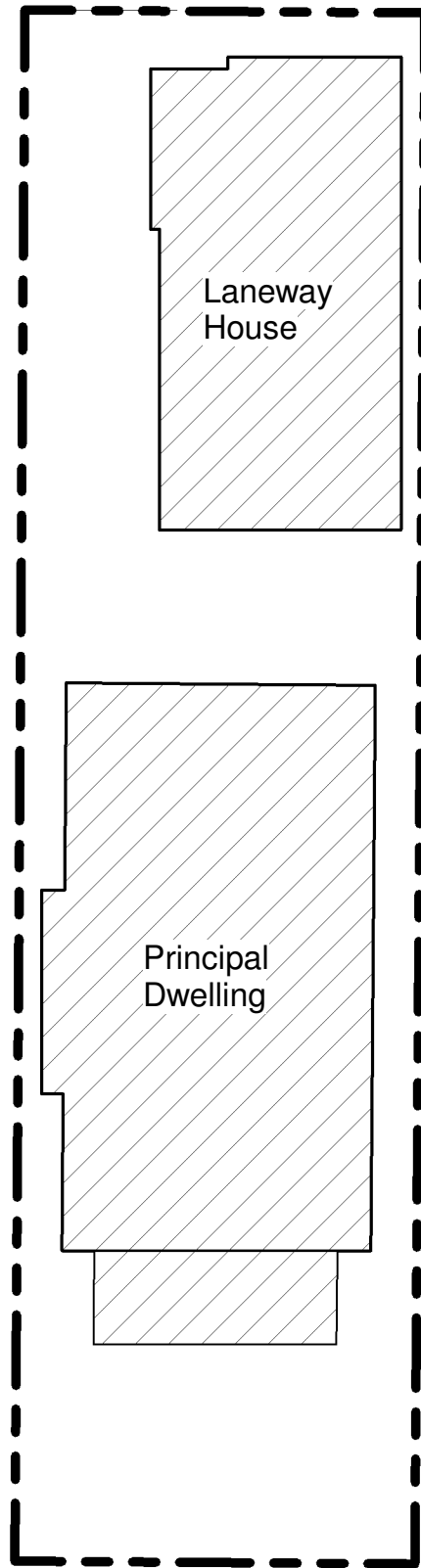
Mayor Jonathan X. Cote

Jacqueline Killawee, City Clerk

APPENDIX 1

SITE PLAN

Lancaster Street



Laneway
House

Principal
Dwelling

#515 St George Street

APPENDIX 2
CONSERVATION PLAN

Heritage Conservation Plan

Adams House, 515 St George Street, New Westminster, BC
 September 21, 2021



Fig. 1: Front view of Adams House at 515 St George Street, New Westminster, BC, 2021. (Source: Marino)

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1.0 Location

The subject house is a Gabled Craftsman style, two storey, wood-frame construction with horizontal wood siding located at 515 St George Street in New Westminster (Fig. 2). It is located in the western side of the Queen's Park neighbourhood (having been moved from the Kelvin/Moody Park neighbourhood at 1114 Eighth Avenue in 2002).



Fig. 2: Map of the area surrounding 515 St George Street, outlined in yellow. (Source: City of New Westminster Map Viewer, CityViews, 2020)

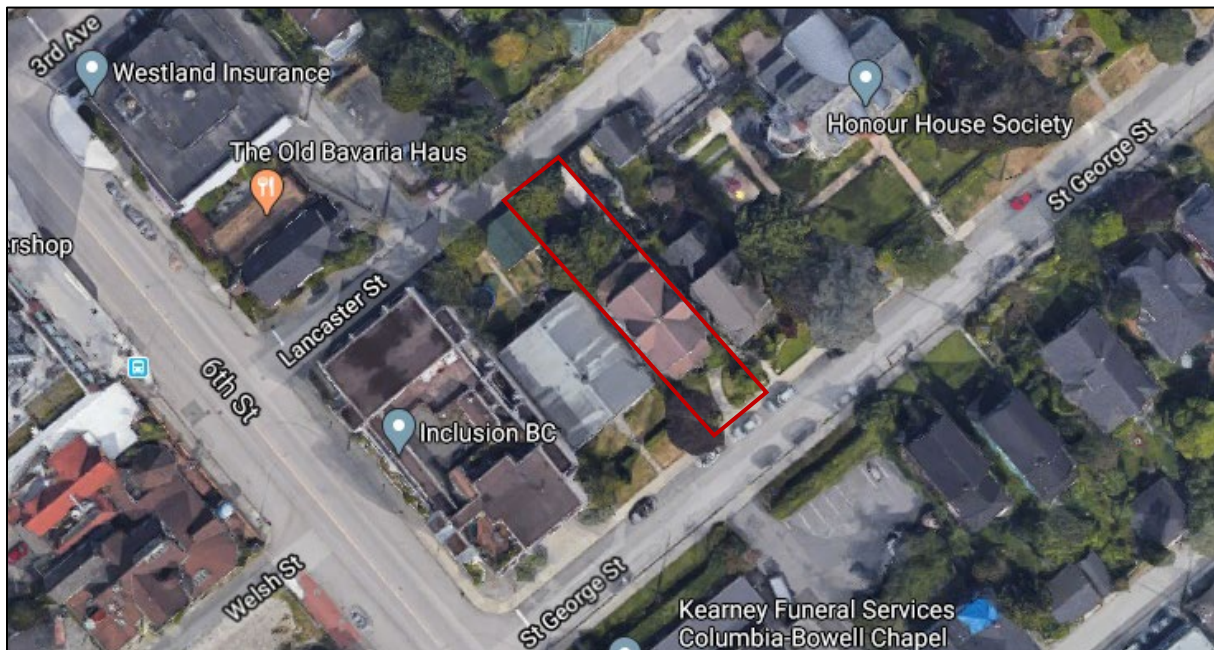


Fig. 3: Aerial view of the surrounding neighbourhood of 515 St George Street, outlined in red. (Source: Google, 2020)

2.0 Historic Brief

Although situated on the land of the Qayqayt First Nation and the Coast Salish people, the colonial history of New Westminster dates back to 1859, when the British Royal Engineers surveyed the area that was to be the new colonial capital of the crown colony of British Columbia (Hainsworth and Freund-Hainsworth 2005, pp. 18-19). They overlaid a grid pattern on the natural topography of the area (Fig. 4a), parallel to the Fraser River (Mather and McDonald 1958, p. 22). The design, still present today, had the streets running up the hill, perpendicular to the river, and the avenues across the area, parallel to the river (Wolf 2005, pp. 18-20). In its early history, New Westminster experienced two major building booms. The first beginning in the 1880s with the extension of the Canadian Pacific Railway line and the second in the 1900s, following the destructive fire of 1898 that destroyed much of Downtown (Mather and McDonald 1958). “While Queen’s Park continued to be the favoured residential neighbourhood, the West End, Sapperton, Queensborough, and the area around Moody Park, among the locations surveyed by the Royal Engineers, acquired more homes and also commercial and public buildings. New Westminster’s population doubled over the first decade of the new century” (DCD et al. 2009, pp. 10-11).

Adams House was originally located in the Moody Park Neighbourhood, which was bounded by 6th and 10th Avenues in the south and north, and by 6th and 12th Streets in the east and west. “In 1889 the city created Moody Park, and shortly thereafter residential construction began along 6th Avenue on the new street’s northern edge. Craftsman bungalows came to dot the area. The area south of 8th Avenue was largely settled prior to the First World War” (DCD et al. 2009, p. 32). Although no longer located in this neighbourhood, Adams House is an example of those Craftsman-style houses that were so commonly seen in this area, representative of and connecting to this early 20th century building boom.

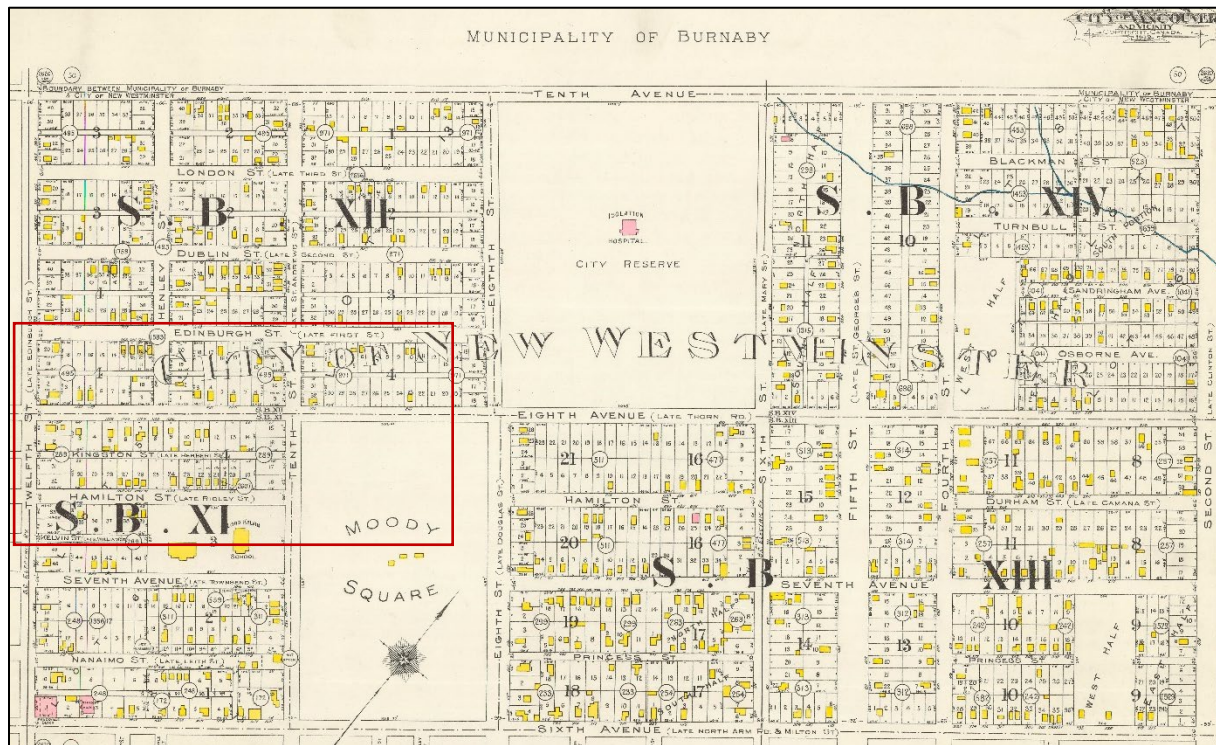


Fig. 4a: Fire Insurance Plan of New Westminster, 1913. The neighbourhood of Adams House, at this point located at 114 Eighth Avenue, is outlined in red. The property is outlined in bolded red in Fig. 4b (below). (Source: City of Vancouver Archives, 1972-472.03, Plate 116)

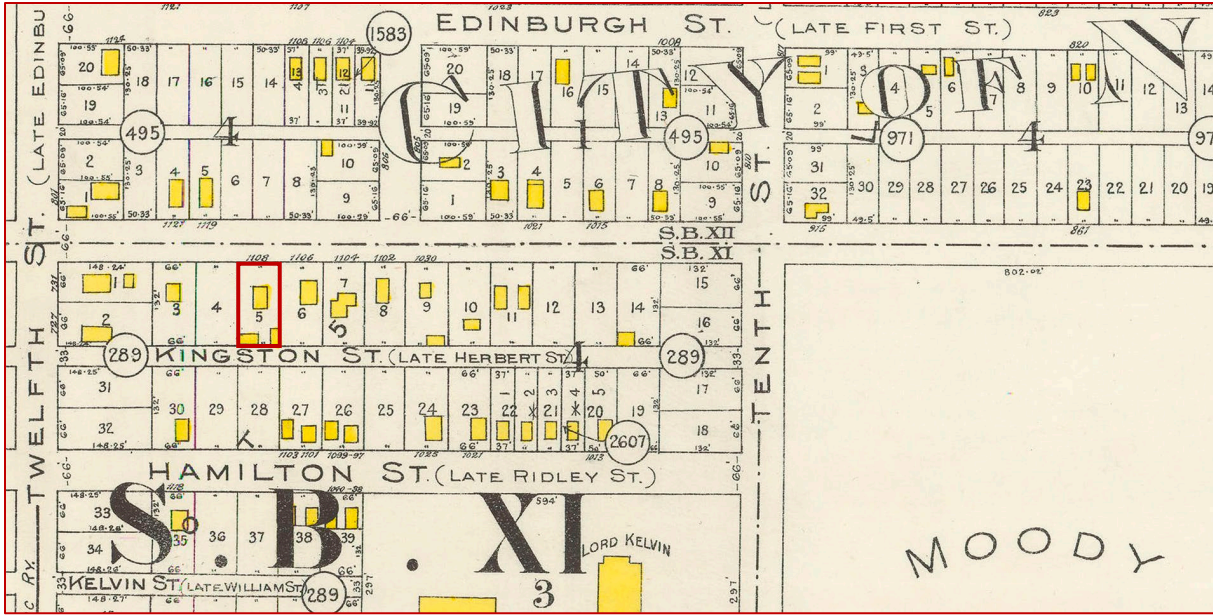


Fig. 4b: Excerpt of Fire Insurance Plan of New Westminster, 1913. The original lot of Adams House, located at 1114 Eighth Avenue, is outlined in bold red. Note there is a discrepancy in the address numbering. This lot is labelled as 1108, even though it is in fact 1114, as confirmed in a 1912 Fire Insurance Map Extension where 1108 is in fact crossed out (Fig. 5). (Source: City of Vancouver Archives, 1972-472.03, Plate 116)

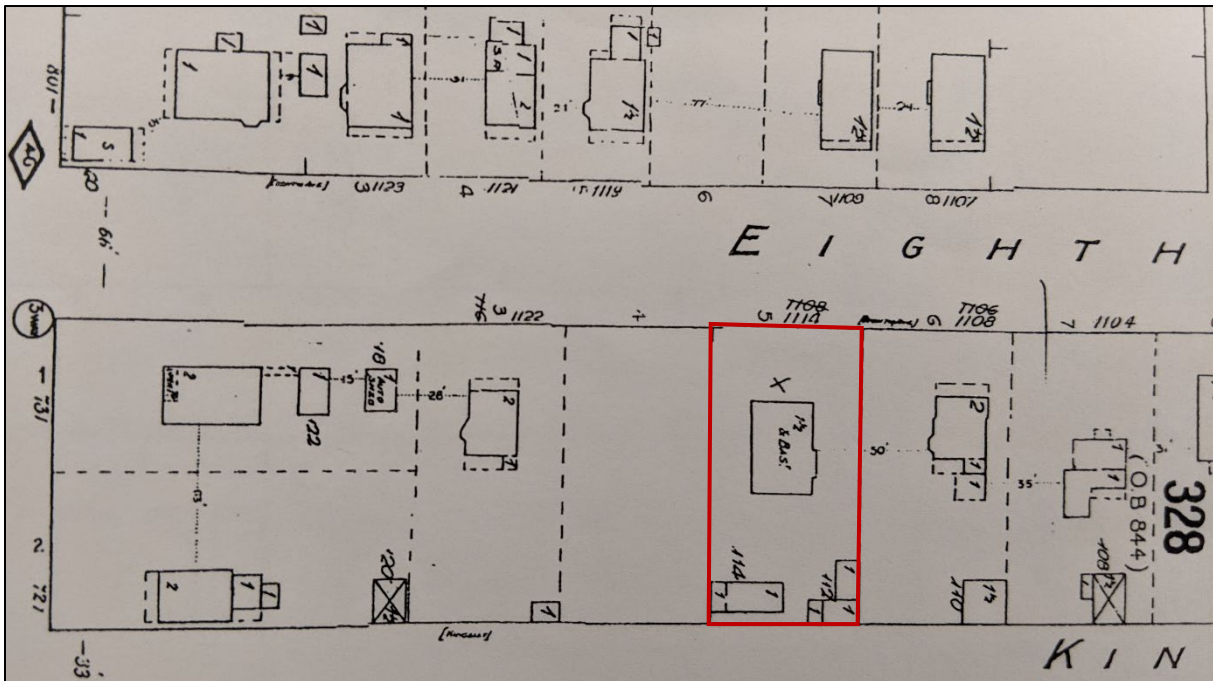


Fig. 5: Fire Insurance Plan of New Westminster, 1912. The developed lot of 1114 Eighth Avenue is outlined in red. Note the crossed out 1108 address with 1114 written beneath. (Source: City of New Westminster Archives 1912, sheet 46)

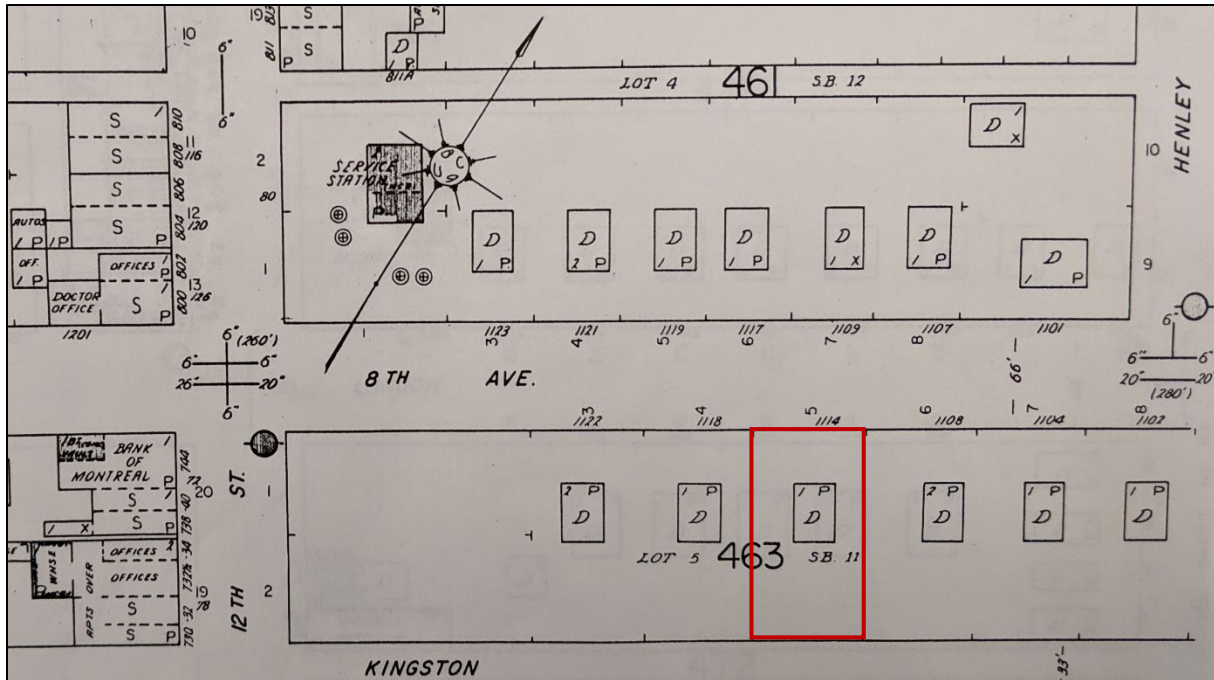


Fig. 6: Fire Insurance Plan of New Westminster, 1957. The developed lot of 1114 Eighth Avenue is outlined in red. (Source: City of New Westminster Archives 1957, sheet 46)

Adams House is fairly typical of the Front-Gabled Craftsman style tradition, particularly with regards to its detailing. As outlined by the Vancouver Heritage Foundation: “Front-Gabled 1½ to 2½ storey Craftsman houses have a boxy building shape (very similar to the Gabled Vernacular Style) with an attached front porch with square piers, knee brackets and usually a shed roof. Shed-roofed dormers and projecting bays on side elevations are also typical” (VHF). The house, today located in the Queen’s Park neighbourhood at 515 St George Street, was originally built in the Moody Park neighbourhood, at 1114 Eighth Avenue. It is a good example of the modest homes built in this area, typically in the Craftsman style, for largely middle-class residents, such as the carpenter Robert Adams, who lived in the house for well over 50 years and for whom the house is named. These connections directly influence the site’s Statement of Significance, as outlined in the following section.

3.0 Statement of Significance

The following is the Statement of Significance of 515 St George Street, as sourced by the City of New Westminster Planning Department on Canada's Historic Places (2010).

3.1 Description of Historic Place

515 St. George Street is a modest house with a front-gabled roof and gabled front verandah, located mid-block on St. George Street in New Westminster.

3.2 Heritage Value of Historic Place

The two-storey (plus basement) house at 515 St. George Street is valued for its age and architectural style.

It is a good example of the modest homes that were built in the Craftsman style, primarily for the middle-class residents of New Westminster. The house was originally owned by carpenter Robert Adams and was located at 1114 Eighth Avenue. Its move, in 2002, to its present location on the western half of 513 St. George Street is indicative of the heritage advocacy in New Westminster, in which valued heritage homes are relocated to save them from demolition.

The house was largely stripped of its Craftsman features when it was deemed unwanted and an application for demolition was made. Its historic value prompted its relocation and the Craftsman details were painstakingly restored, bringing this house back to its charming and authentic design.

3.3 Character Defining Elements

Key elements that define the heritage character of 515 St. George Street include its:

Siting, Context and Landscape

- deep setback from the street

Architectural Elements

- verandah extending across the front of the building, with side staircase
- steeply-pitched cross-gabled roof
- shallower-pitched gabled roof on the verandah
- hipped roof at the rear of the building
- twinned columns on the verandah
- shingle siding in the gable ends
- horizontal wood cladding
- two-paned wooden windows with three-paned window on the front façade
- decorative roof brackets (replicas)
- diamond-shaped window in the rear gable end
- extensive stained-glass windows

4.0 Research Findings

Neighbourhood: Queen’s Park (formerly Kelvin)
 Address: 515 St George Street (formerly 1114 Eighth Avenue)
 Folio: 01440501 (formerly 08985501)
 PID: 025-453-408 (formerly 025-635-166)
 Postal Code: V3L 1L1 (formerly V3M 2R6)
 Legal Plan: BCP485 (formerly BCP4927)
 Legal Description: Lot 1; New West District; Plan BCP485; Group 1; St George’s Square
 Zoning: Single Detached/RS-6
 Site Area: 404.69 sqm
 Date of completion: 1912
 Architect/Builder/Designer: Robert Adams
 Water Connection Connector and Year: R.H. Adams on September 16, 1907*
 *(Robert Adams first built a house on this lot in 1907, as revealed by these water connection records, however, he received a permit to demolish it and build another on the lot in 1912, according to the City’s historical permit records)

The following table (Table 1) is a consolidated summary of the residents of Adams House, as determined from the available city directories for New Westminster.

Table 1: Consolidated list of the occupants of Adams House at 1114 Eighth Avenue from the available city directories (Source: Vancouver Public Library and New Westminster Archives)

Year(s)	Name(s)	Occupation (if listed)
1912 to 1970	Robert H. Adams	Carpenter, BC Electric Railway
1979	Wayne Kean	Not listed
1985 to 1992	Edward C. Gentle	Not listed

5.0 Archival Photograph

Despite various archival searches, no historical photographs were found of Adams House. It is interesting to note that it was not included on the 1986 Heritage Inventory of the neighbourhood (Seto and Pelletier 1986). It was, in fact, not recognized in any way until after it was moved from Eighth Avenue to St George Street, being put on the Community Heritage Register in 2009 (Canada’s Historic Places 2010).

6.0 Current Photographs



Fig. 7: Front view of Adams House at 515 St George Street, 2020, illustrating the front gable and gabled front verandah, along with other Craftsman style details, such as the square porch posts and brackets. (Source: Cummer)



Fig. 8: Back view of Adams House at 515 St George Street. Note the brackets and range of windows, including a double hung horned stained-glass window on the right as well as two other double hung horned wood windows in the upper middle along with a diamond shaped window in the rear gable. (Source: Cummer)



Figs. 9 and 10: Side views of Adams House at 515 St George Street. Left (Fig. 9) shows the eastern side and right (Fig. 10) shows the western side. (Sources: Cummer)

7.0 Conservation Objectives

Having already been extensively restored as part of its previous conservation work (when it was moved from Eighth Avenue to St George Street), Adams House at 515 St George Street will largely be preserved, with minor rehabilitation in areas. The proposed changes do not affect the Heritage Values nor the Character Defining Elements of this historic place, they simply enhance them.

As defined by the *Standards and Guidelines for the Conservation of Historic Places in Canada (2nd edition)*:

Preservation: The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.

Restoration: The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of an historic place or of an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

(Canada’s Historic Places 2010, p. 255)

Preservation and **Rehabilitation** are the conservation objectives for Adams House. Specifically, preservation of the heritage details and elements, such as its numerous original windows; and rehabilitation of the painting and roof elements, particularly the fascia boards and rafter tails, and the chimney. The following table summarizes the specific elements of Adams House to be preserved and rehabilitated (Table 2).

Table 2: Consolidated lists of the elements of Adams House to be preserved and rehabilitated.

Preserved	Rehabilitated
Siting, context and landscape, particularly its deep setback	Exterior paint
Overall structure, including its form scale and massing as well as its rooflines	Chimney
Its horizontal wood cladding and shingle siding	Fascia boards, soffits and rafter tails
Various wood windows throughout, including the numerous stained-glass windows	Wood window elements, such as trims and sills
Front door, including its stained-glass window	Front door re-staining

Due to concerns on site, such as a carpenter ant infestation discovered in the Spring of 2020, paired with the unexpected delays of the COVID-19 pandemic, some of the conservation objectives outlined in Table 2 above have had to be completed already to best protect the heritage building. The following table summarises the work already done on site, as well as outlining those to be completed following HRA approval, with an estimated timeline (Table 3).

Table 3: Consolidated list of the elements of Adams House to be rehabilitated with a status update, including an estimated timeline for completion for those still outstanding.

Rehabilitated Elements	Status Update and Estimated Timeline
Exterior paint	To be completed following HRA approval. Booked for the 3rd week of August with Student Works Painting Company. * Note all remaining rot will be fixed prior to painting the home
Chimney	To be completed following HRA approval. Santa's Little Helper Chimney Services inspected the chimney on July 8, 2020, both internally in the attic and externally, with no major concerns to report. There were a few minor cracks identified in the mortar joints, caused by old age and freezing temperatures. These will be re-caulked in the Fall of 2021 and the chimney will be checked annually to monitor its condition and concerns addressed as they arise.
Fascia boards, soffits and rafter tails	In-process. Fascia boards, soffits and rafter tails on the front of the home are currently in the process of being restored (Spring 2021) due to substantial rot. The owners are being proactive in the hopes of preventing any further carpenter ant infestation. The back fascia boards, soffits and rafter tails are also in need of repair due to rotting wood. Repairs will begin in June 2021 and be completed by July 2021.
Wood window elements, such as trims and sills	In-process. The window below the front porch will have a new trim installed as it is also rotten. This will happen after the front fascia boards are completed, since the carpenter is working in stages of importance, broken down as follows: 1. Porch (the porch has been completely renovated due to the carpenter ant infestation and resultant rot. Construction began in September 2020 and will be completed by April 2021). 2. Front fascia boards, soffits and rafter tails (to be completed Spring 2021). 3. Window below the front porch (to be completed Spring 2021). 4. Back fascia boards, soffits and rafter tails (to be completed Summer 2021).
Front door re-staining	To be completed following HRA approval. The owners hope to do this in early August, before the exterior of the home is painted. The door will be completely stripped, sanded and re-stained. The door's stained-glass window will also be reinforced to be more secure.

8.0 Building Description

Adams House is a Gabled, Craftsman style, one and a half storey, wood-frame construction with shingle siding in its gables and horizontal wood cladding throughout. It is a modest house with a front-gabled roof and gabled front verandah, accessed by an off-centred set of stairs, and a hipped roof at the rear of the building. It has a steeply-pitched cross-gabled roof, with shallower-pitched gabled roof on the verandah, which has twinned square posts. It still features numerous original windows, including double-hung horned wood windows as well as an impressive collection of stained-glass windows, of various sizes, throughout. It has decorative roof brackets, that are replicas and part of an earlier restoration effort. The house is set back from the street in a well-manicured landscape.

9.0 Condition Assessment

Overall, the exterior of Adams House at 515 St George Street appears to be in good condition. That being said, there are certain areas needing attention, as discussed below.

9.1 Structure and Foundation

Overall, the exterior condition of the walls and building envelope of Adams House, from roof to foundation, appears to be good. Please note an interior inspection was not conducted.

9.2 Wood Elements

The visible, exterior wood elements, such as the doors, door frames, roof fascia, windows and wood siding are, for the most part, in good condition. Any signs of deterioration are largely cosmetic, as illustrated and discussed further in the relevant sections below.

[2021 Note: The above condition assessment of the wood elements was made prior to the discovery of the carpenter ant infestation, which has substantially damaged certain wood elements, in particular the front porch and nearby front window.]

9.3 Roofing and Waterworks

Although the roof is in good condition, overall, there are certain areas in need of repair and maintenance. As mentioned above, there are fascia boards, soffits and rafter tails that are in need of cleaning and repainting, as well as repair in sections (Figs. 11 to 12).



Fig. 11: Back gable of Adams House at 515 St George Street, showing the dirty rafter tails and soffits as well as the peeling fascia boards, in need of repainting. (Source: Cummer)



Fig. 12: Western side of Adams House at 515 St George Street, showing the dirty rafter tails, in need of cleaning and repainting, as well as ones in need of repair. (Source: Cummer)

Although the waterworks appear to be in good working order, these should be cleaned regularly to ensure their effective ongoing operation. Considering the deterioration visible in Fig. 12 above, the gutter running above these rafter tails should also be inspected to ensure they are not blocked nor faulty.

9.4 Chimneys

The small chimney, located in the middle of the roof, appears to be in good condition (Fig. 13). As recommended by an earlier draft of this HCP, consultation with a chimney sweep was carried out on July 8, 2020 with Santa's Chimney Services. It was determined that there is "no moisture or damage in the attic or outside of the house. However, it needs to be caulked because of cracks caused by old age" (personal communication, 2020). This re-caulking will be addressed as part of the conservation work.

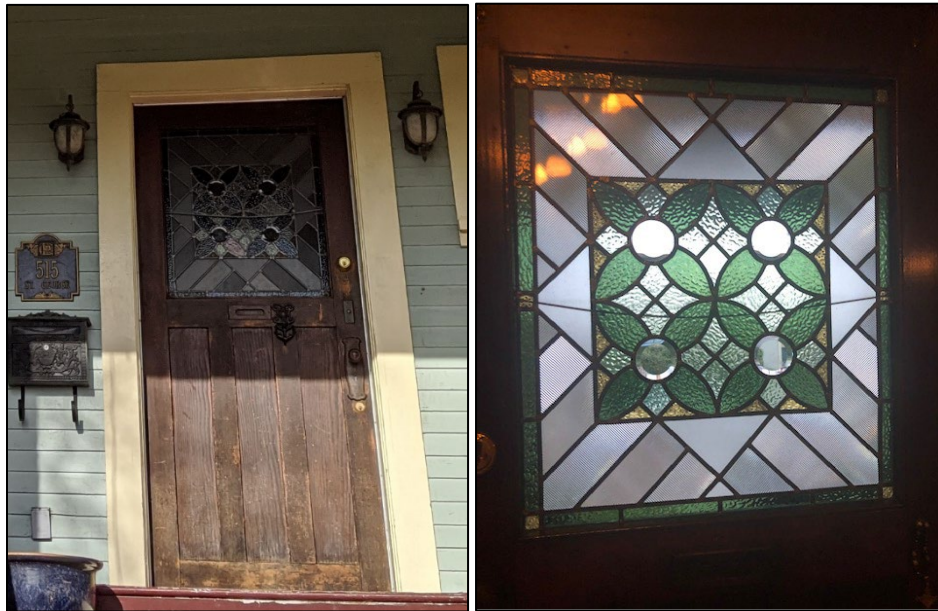


Fig. 13: The chimney and partial roof of Adams House at 515 St George Street. (Source: Cummer)

9.5 Windows and Doors

Overall, the windows and doors are in good condition. The front door is showing some signs of weathering (Fig. 14), particularly at the bottom, however this is largely cosmetic. The rest of the door is in good condition, including its stained-glass window (Fig. 15). The majority of the windows throughout the property are original and in good condition. The only condition concerns appear to be cosmetic with paint peeling in places and areas in need of cleaning (Fig. 16).

[2021 Note: The window beneath the front porch has been impacted by a carpenter ant infestation and its condition is now poor and its trim in need of replacement.]



Figs. 14 and 15: Left (Fig. 14) shows the front door of Adams House at 515 St George Street. Right (Fig. 15) shows an interior detail shot of the front door's stained-glass window. (Sources: Cummer and Marino)



Fig. 16: Illustration of some of the original windows of Adams House, in this case a pair of double-hung horned wood stained-glass windows, showing a dirty sill that can be easily addressed. (Source: Marino)

9.6 Cladding and Trimwork

As mentioned above, the horizontal wood cladding and shingle siding in the gables appear to be in good condition, with no major issues identified. As for the trimwork, as discussed in the relevant sections above, there are certain trims around the windows and doors that may need some touching up, however, no other major concerns with regards to the trimwork.

9.7 Finishes

The finishes of the house are, for the most part, in good condition, with just few areas currently requiring attention, such as the front stairs (Fig. 17).

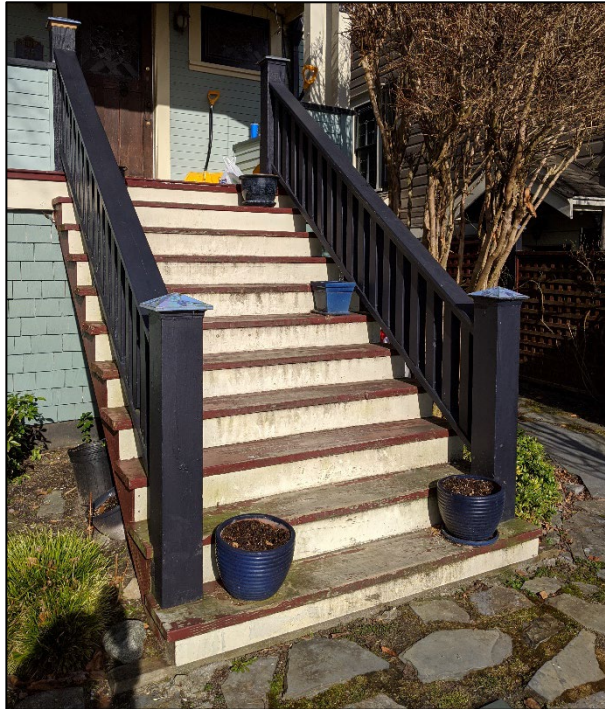


Fig. 17: The front stairs of Adams House at 515 St George Street, illustrating their need of cleaning and touching up. (Source: Cummer)

9.8 Landscaping

The landscaping on site is fairly minimal, particularly near the house, which should be commended. Plantings should be kept a good distance from the structure, to avoid any damage to the foundations.

Despite these minor issues and concerns stated above, the overall condition of the property is good.

10.0 Recommended Conservation Procedures

10.1 Structure and Foundations – Preservation

- The main one and a half storey structure will be **preserved**.

10.2 Wood Elements – Preservation and Rehabilitation

- As addressed in greater detail in the relevant sections below (in particular, roofing and windows), the wood elements should be **preserved** where possible and **rehabilitated (repaired, maintained or replaced in-kind)**, as needed.

10.3 Roofing and Waterworks – Rehabilitation

- The roofing and waterworks should be **rehabilitated**, as needed, in particular cleaned and cleared of organic growth, as they arise.

10.4 Chimney – Rehabilitation

- The chimney should be **rehabilitated**, in particular cleaned and repointed. If any bricks need to be replaced, they should be replaced in-kind.

10.5 Windows and Doors – Preservation

- The various wood windows of Adams House should be **preserved**.
- The front door should be **preserved** and **rehabilitated**, in particular re-stained to address the weathering currently visible.

10.6 Cladding and Trimwork – Preservation and Rehabilitation

- The wood siding (the horizontal cladding and the cedar shingles) should be **preserved**.
- The fascia boards, soffits and rafter tails should be cleaned and **rehabilitated**, as needed.

10.7 Finishes – Rehabilitation

- The house's current paint is, for the most part, in good condition with just certain areas in need of cleaning and touching up (such as the front stairs, certain trims, the fascia boards, soffits and rafter tails). These should be cleaned and **rehabilitated**, as needed.
- Although the current colour scheme is not exclusively from the Benjamin Moore Historical True Colours Palette (VC-1 Oxford Ivory for the trim; HC-143 Wythe Blue for the siding; VC-22 Pendrell Verdigris for the shake; a custom Benjamin Moore heritage-inspired regal soft gloss navy blue for the sash; and VC-28 Mellish Rust for the front stair treads), one could argue that it is largely in the same spirit (particularly with three out of the five colours being from the HTC Palette) (VHF 2012). One could also argue that, due to the vibrancy and range of house colours on the street, as well as the fact that the house colour is not a CDE of the property, a partial Historical True Colour scheme is acceptable for this heritage place.

- For any work on the finishes, please follow Master’s Painters’ Institute, Repainting Manual procedures, including removing loose paint down to next sound layer, clean surface with mild TSP solution with gentlest means possible and rinse with clean water; do not use power-washing.

10.8 Landscaping

- Any new landscaping being put in should have a minimum 2-ft clearance between the vegetation and the building face. This is preferable to ensure there is sufficient space to remove any threat to the foundation or the building’s finishes over time.

11.0 Proposed Alterations and Future Changes

11.1 Proposed Alterations

The proposed changes to this house are minimal (Fig. 18), it is simply being rehabilitated in the few areas requiring repair and maintenance. Otherwise, a shed at the back of the property is being demolished to make way for a Laneway House (Fig. 19). The proposed changes are considered a reasonable intervention given generally accepted conservation standards, rehabilitation needs and site conditions. The proposed change does not affect the Heritage Values and Character Defining Elements of the building.



Fig. 18: Illustration of the preserved front façade of Adams House, 2021. (Source: D3 Design)

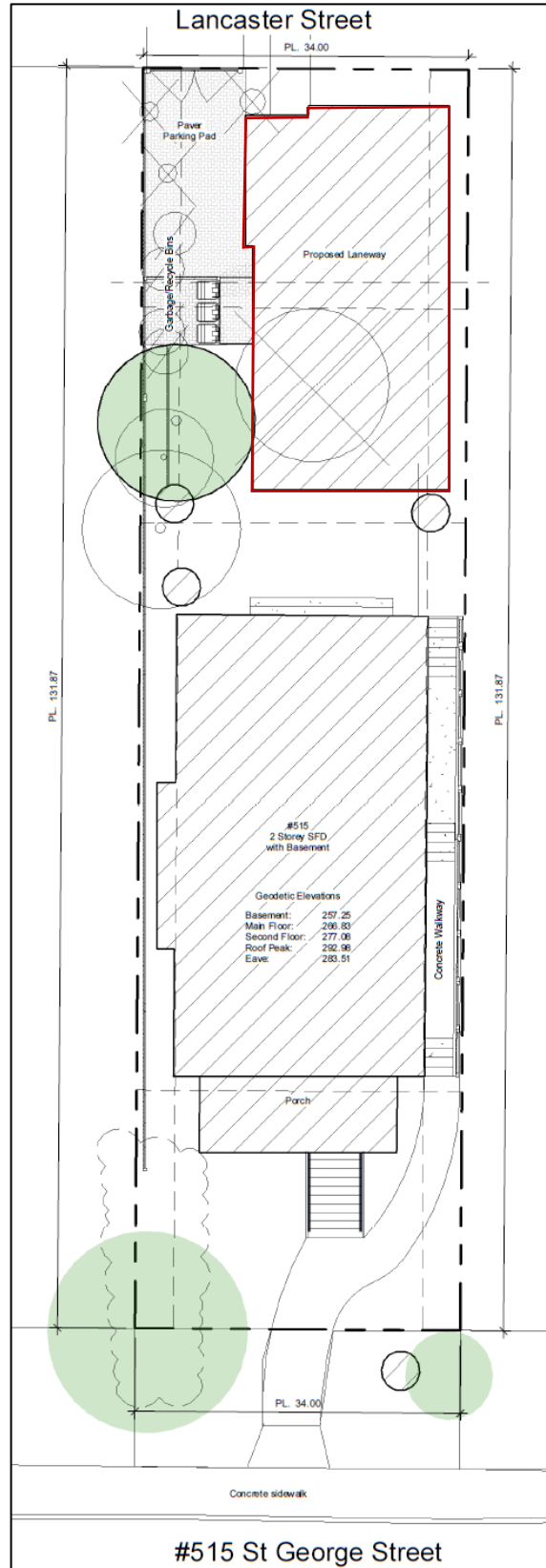


Fig. 19: Site Plan of the proposed development at 515 St George Street with the preservation of Adams House in-situ and the construction of a Laneway House at the back of the property, outlined in red at the top of the plan. (Source: D3 Design)

11.2 Future Changes

Changes to the building's configuration, particularly any additions, should be carefully considered for minimal effect on the Heritage Values as embodied in the Character Defining Elements (CDEs) listed in the building's Statement of Significance (section 3.0 above).

12.0 Maintenance Plan

Following completion of the outlined conservation work, the owner must maintain the building and land in good repair and in accordance with generally accepted maintenance standards. All work should follow the *Standards and Guidelines for the Conservation of Historic Places in Canada (2nd Edition)*. The Local Government determines the acceptable level or condition to which the heritage building is maintained through the *Heritage Maintenance Bylaw* (CCNW 2018). As with the Heritage Conservation Plan, the maintenance standards apply only to the exterior of the building.

As general upkeep is frequently overlooked and will lead to the deterioration of heritage resources, maintenance standards warrant special attention to help to extend the physical life of a heritage asset. Any building should be kept in a reasonable condition so that it continues to function properly without incurring major expenses to repair deterioration due to neglect. The most frequent source of deterioration problems is from poorly maintained roofs, rainwater works and destructive pests.

It is important to establish a maintenance plan using the information below:

12.1 Maintenance Checklist

a. Site

- Ensure site runoff drainage is directed away from the building.
- Maintain a minimum 2-ft clearance between vegetation and building face and a 12-inch-wide gravel strip against the foundation in planted areas.
- Do not permit vegetation (such as vines) to attach to the building.

b. Foundation

- Review exterior and interior foundations, where visible, for signs of undue settlement, deformation or cracking.
- If encountered, seek advice from a professional Engineer, immediately.
- Ensure perimeter drainage piping is functional.
- Arrange a professional drainage inspection every three to five years.

c. Wood Elements

- Maintaining integrity of the exterior wood elements is critical in preventing water ingress into the building. Annual inspection of all wood elements should be conducted.
- Closely inspect highly exposed wood elements for deterioration. Anticipate replacement in kind of these elements every 10 to 15 years.

- Any signs of deterioration should be identified and corrective repair/replacement action carried out. Signs to look for include:
 - Wood in contact with ground or plantings;
 - Excessive cupping, loose knots, cracks or splits;
 - Open wood-to-wood joints or loose/missing fasteners;
 - Attack from biological growth (such as moss or moulds) or infestations (such as carpenter ants);
 - Animal damage or accumulations (such as chewed holes, nesting, or bird/rodent droppings). These should be approached using Hazardous Materials procedures; and
 - Signs of water ingress (such as rot, staining or mould).
- Paint finishes should be inspected every three to five years and expect a full repainting every seven to ten years. Signs to look for include:
 - Bubbling, cracks, crazing, wrinkles, flaking, peeling or powdering; and
 - Excessive fading of colours, especially dark tones.
- Note all repainting should be as per the recommended historic colours in section 10.7 above.

d. Windows and Doors

- Replace cracked or broken glass as it occurs.
- Check satisfactory operation of windows and doors. Poor operation can be a sign of building settlement distorting the frame or sashes or doors may be warped.
- Check condition and operation of hardware for rust or breakage. Lubricate annually.
- Inspect weather stripping for excessive wear and integrity.

e. Roofing and Rainwater Works

- Inspect roof condition every five years, in particular looking for:
 - Loose, split or missing shingles, especially at edges, ridges and hips;
 - Excessive moss growth and/or accumulation of debris from adjacent trees; and
 - Flashings functioning properly to shed water down slope, especially at the chimneys.
- Remove roof debris and moss with gentle sweeping and low-pressure hose.
- Plan for roof replacement at around 18 to 22 years.
- Annually inspect and clean gutters and flush out downspouts. Ensure gutters positively slope to downspouts to ensure there are no leaks or water splashing onto the building.
- Ensure gutter hangers and rainwater system elements are intact and secure.
- Ensure downspouts are inserted into collection piping stub-outs at grade and/or directed away from the building onto concrete splash pads.

f. General Cleaning

- The building exterior should be regularly cleaned depending on build up of atmospheric soot, biological growth and/or dirt up-splash from the ground.
- Cleaning prevents build up of deleterious materials, which can lead to premature and avoidable maintenance problems.
- Windows, doors and rainwater works should be cleaned annually.
- When cleaning always use the gentlest means possible, such as soft bristle brush and low-pressure hose. Use mild cleaner if necessary, such as diluted TSP or Simple Green ©.
- Do not use high-pressure washing as it will lead to excessive damage to finishes, seals, caulking and wood elements and it will drive water in wall assemblies and lead to larger problems.

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<http://bccd.vpl.ca/>.

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APPENDIX 3

CONFIRMATION OF COMMITMENT BY REGISTERED PROFESSIONAL

Date: _____

City of New Westminster

511 Royal Avenue

New Westminster, BC

V3L 1H9

Attention: Director of Development Services

Re: Heritage Revitalization Agreement for 515 St George Street

The undersigned hereby undertakes to be responsible for field reviews of the construction carried out at the captioned address for compliance with the requirements of Appendix 2 (Conservation Plan) of the Heritage Revitalization Agreement applicable to the property, which the undersigned acknowledges having received and reviewed, and undertakes to notify the City of New Westminster in writing as soon as possible if the undersigned's contract for field review is terminated at any time during construction. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

Registered Professional's Name

Address

Telephone No.

Signature or Seal

APPENDIX 4

CERTIFICATION OF REGISTERED PROFESSIONAL

Date: _____

City of New Westminster

511 Royal Avenue

New Westminster, BC

V3L 1H9

Attention: Director of Development Services

Re: Heritage Revitalization Agreement for 515 St George Street

I hereby give assurance that I have fulfilled my obligations for field review as indicated in my letter to the City of New Westminster dated _____ in relation to the captioned property, and that the architectural components of the work comply in all material respects with the requirements of Appendix 2 (Conservation Plan) of the Heritage Revitalization Agreement referred to in that letter. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

Registered Professional's Name

Address

Telephone No.

Signature or Seal

APPENDIX 5
APPROVED PLANS

Project Information			Zoning Analysis			
Property Owner	Christina Marinio and Patrick Donovan		Site			
Site Address	515 St. George Street		Lot Width	34.00 ft		
Project Type	HRA and Laneway		Lot Depth	131.87 ft		
Jurisdiction Authority	City of New Westminster		Lot Size	4483.50 ft ²		
Legal Description	LOT 1, NEW WEST DISTRICT, GROUP 1, ST GEORGE'S SQUARE		Primary Dwelling			
PID	025-453-408		Coverage	Required/Allowed	Proposed	Notes
Zone	RS-6		Principle Site Coverage	40% (1793.4 SF)	1298.26 SF	Unchanged
CONSULTANTS			Set Backs	Required/Allowed	Proposed	Notes
			Front:	25' - 0"	26.60 ft	Unchanged
			Front projection	4'-0"	8.03 ft	Unchanged
			Rear:	25' - 0"	57.29 ft	Unchanged
			Right Side:	4' - 0"	3.90 ft	Unchanged
			Left Side:	4' - 0"	2.00 ft	Unchanged
			Floor Area	Required/Allowed	Proposed	Notes
			Basement		1423 SF	Unchanged
			First Floor		1298 SF	Unchanged
			Second Floor		1011	Unchanged
Floor Space Ratio	0.60	0.53	Unchanged			
Total	2690 SF	3732 SF	Unchanged			
Secondary Suite Area	N/A	N/A				
Attached Accessory Area	Required/Allowed	Proposed	Notes			
Front Porch		164.80 SF	Unchanged			
Side Walkway						
N/A		N/A				
Total	448.35 SF (10%)	164.80 SF	Unchanged			
Height	Required/Allowed	Proposed	Notes			
Left Front Datum		257.89 ft	Unchanged			
Right Front Datum		259.59 ft	Unchanged			
Left Rear Datum		268.15 ft	Unchanged			
Right Rear Datum		268.68 ft	Unchanged			
Average Grade		263.58 ft	Unchanged			
Roof Peak Elevation	35 ft	29.40 ft	Unchanged			
Roof Eave Elevation		14.16 ft	Unchanged			
Midpoint Elevation	25 ft	21.77 ft	Unchanged			

CONSULTANTS

Surveyor	J C Tam & Associates	604 214-8928
Designer	D3 Design	604-603-6747
Engineer		
Builder		
Energy Consultant		
Arborist	Arbor & Co.	778 886-1566

 Christina Marino & Patrick
Donovan

515 St. George St

Main House Zoning P1

Project number 1517

Date August 10, 2021

Drawn by Author

Checked by Checker

Sheet Scale

A0

 1 1/2" =
1'-0"

GENERAL NOTES

These drawings have been prepared by D3 Dimension Drafting and Design Inc. to conform to the current residential standards of the BCBC (2018).

The Builder is responsible for ensuring that all construction conforms to provincial and local codes and bylaws.

Dimensions take precedence to scale drawings.

Dimensions to be taken from outside face of sheathing for exterior walls and face of studs for interior walls as shown.

Place footings to undisturbed, sound bearing soil below frostline (2' below grade).

Structural lumber to be No.2 SPF or better

Between all exterior top plates and double plates, require 6 MIL poly.

6 MIL poly is required at all connection points between interior and exterior walls.

Floor assembly to be constructed with manufacture I-Joist

Lumber in contact with concrete to be damproofed (sill gasket) , and anchored with 1/2" anchor bolts at 16" O.C. max

Lintels to be #2-2x10 U.N.O TYP.

Double joists at parallel partitions (opt. 2x10 blocking at 24" O.C.)

Dwelling must meet current B.C. ventilation code

All operable windows to be standard sliding glazing, U.N.O.

Waterproof wallboard required on bathroom walls

Provide a bond-breaking material between foundation or rock and slabs.

Exterior dimensions to be measured from outside of sheathing.

All interior dimensions to be measured to the centre of stud, except where otherwise noted.

All Construction and installation of materials and equipment shall be done in accordance with good building practices, following manufacturers instructions and conforming to the BCBC

All Structural specifications to be designed and certified by a structural engineer. Any discrepancies must be brought to D3 Dimension Drafting and Design Inc. attention.

It is the responsibility of the contractor or builder to check and verify all dimensions and to ensure all work conforms to all local bylaws ad regulation, and to the current edition of the BCBC

D3 Dimension Drafting and Design Inc. accepts no liability for error or omissions.

These plans conform to the B.C. Building Code, 2018 ED.

Site Requirements

- No retaining wall shall be constructed on any lot having an exposed height greater than 4 ft. unless engineered
- Any exposed concrete over 2 ft in height shall be architecturally treated.

Exterior Design

- No exposed concrete block is permitted
- Exposed concrete foundation walls are not to exceed 1.64 ft in height,
- In General, the main materials used on the front of the house should be used on all other facades
- Overhangs to be a minimum of 18" TYP. U.N.O.
- All gable fascia shall be a minimum fascia of 2x10.

Roof & Building Materials

- Any fascia gutter must be properly integrated with wood fascia boards to meet building scheme
- Exterior vertical walls are to be non-combustible 20min rated

Driveways & Garages

- The garage shall have closing doors with raised panels or desired architectural detailing
- Garage should be painted to match proposed buildings design and colour scheme
- Garage dimensions are taken from the outside of cladding.
- Driveways shall be constructed of asphalt, exposed aggregate, stamped concrete, brick or combination.
- No gravel driveways or parking areas.

No buildings or driveways shall be constructed on the lots unless provisions to reduce storm water run-off from buildings and driveways been made by the run-off from buildings, driveways and any other impervious surfaces constructed on the lot being re-charged back to the ground through suitable subsurface storm water management systems such as rock pits or exfiltration chambers and run-off from driveways which slope to the public road or common property being intercepted at the property line by the provision of suitably designed and constructed absorbent strip such as grass-crete or permeable interlocking concrete pavers.

PLAN # 1517

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- May only be issued for the designated purpose indicated
- Are issued with the understanding that D3 Dimension Drafting Design Ltd., will be responsible for their work only to the extent of issuing corrected copies in the event of an error or omission of the same.
- All work done by D3 Dimension Drafting Design Ltd., is and will remain solely the property of the same.
- All funds paid are non-refundable.

SCOPE OF WORK

Christina Marino & Patrick Donovan

515 St. George St

Main House Zoning P2

Project number 1517

Date August 10, 2021

Drawn by Author

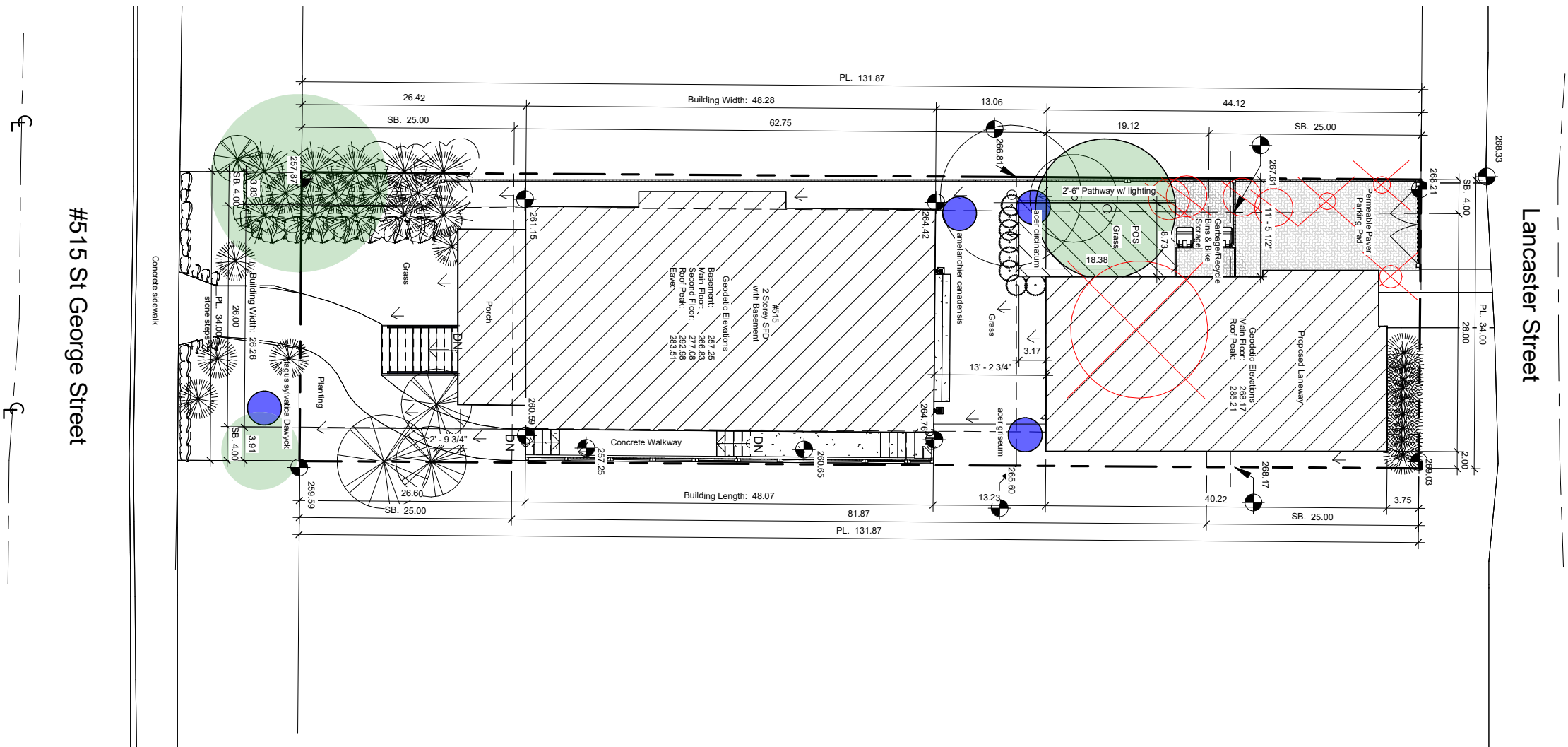
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Sheet

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Scale

1 1/2" = 1'-0"



#515 St George Street

Lancaster Street

1 Site Proposed 11x17
1/16" = 1'-0"

Christina Marino & Patrick
Donovan

515 St. George St

Site Plan

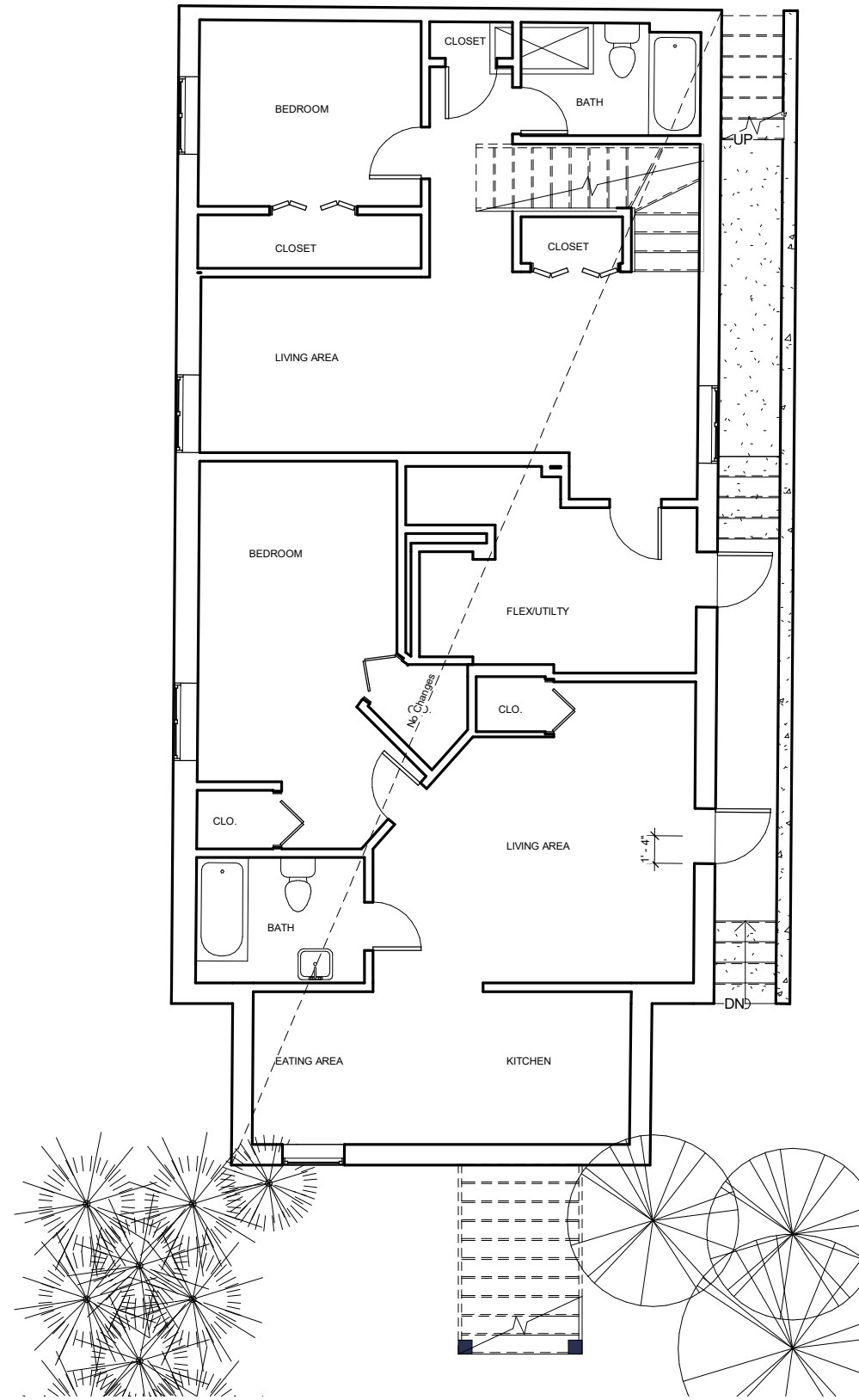
Project number 1517

Date August 10, 2021

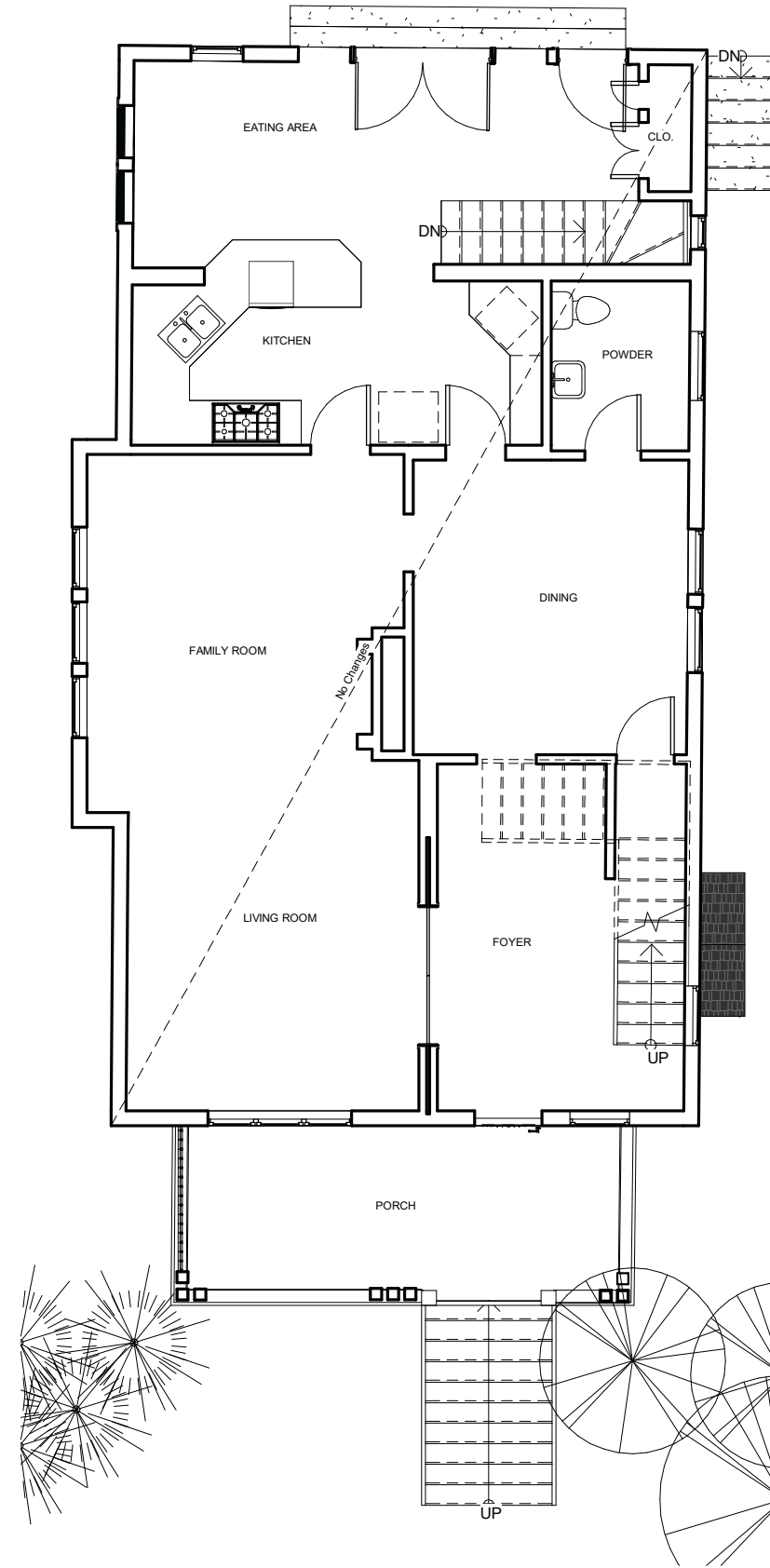
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Sheet A1 Scale 1/16" = 1'-0"



1 Main Basement 11x17
1/8" = 1'-0"



2 Main Floor 11x17
1/8" = 1'-0"

Christina Marino & Patrick
Donovan

515 St. George St

Basement & Main Floor

Project number 1517

Date August 10, 2021

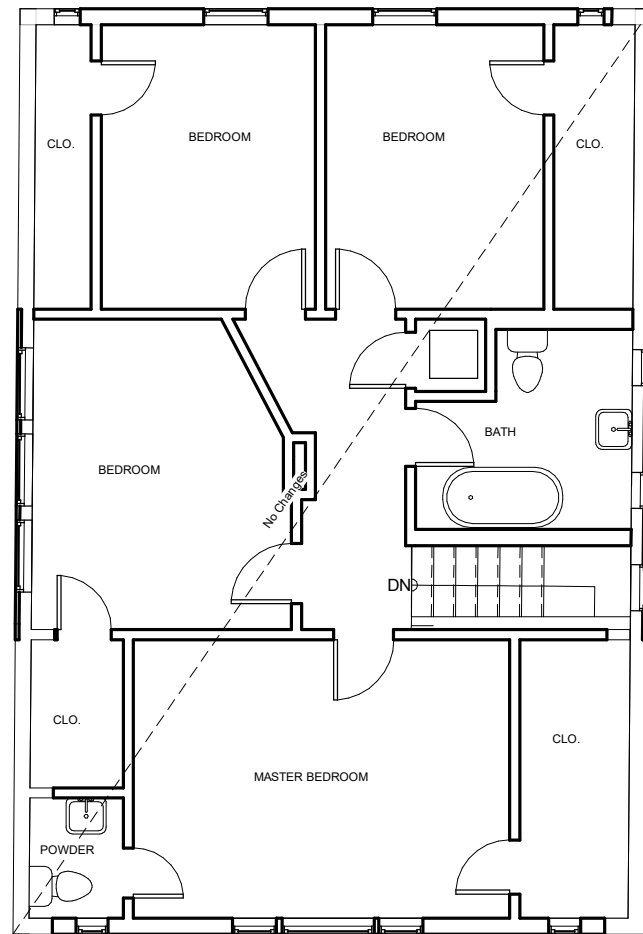
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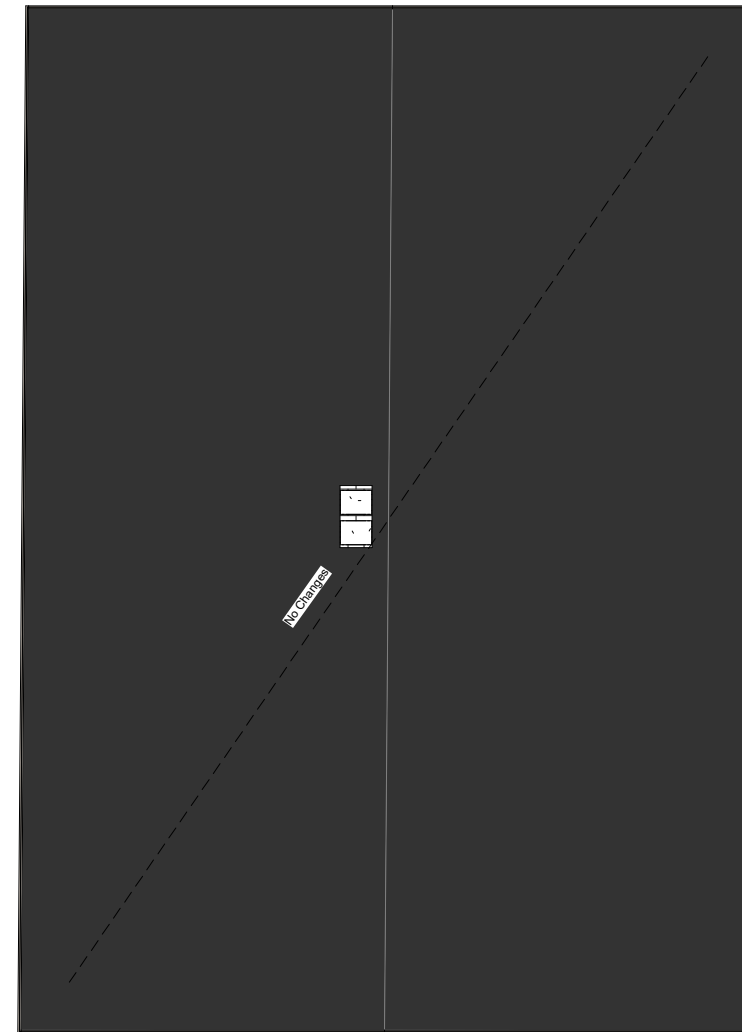
Sheet Scale

A2

1/8" = 1'-0"



① Main Upper Floor 11x17
1/8" = 1'-0"



② Roof Peak 11x17
1/8" = 1'-0"

Christina Marino & Patrick
Donovan

515 St. George St

Upper & Roof Plan

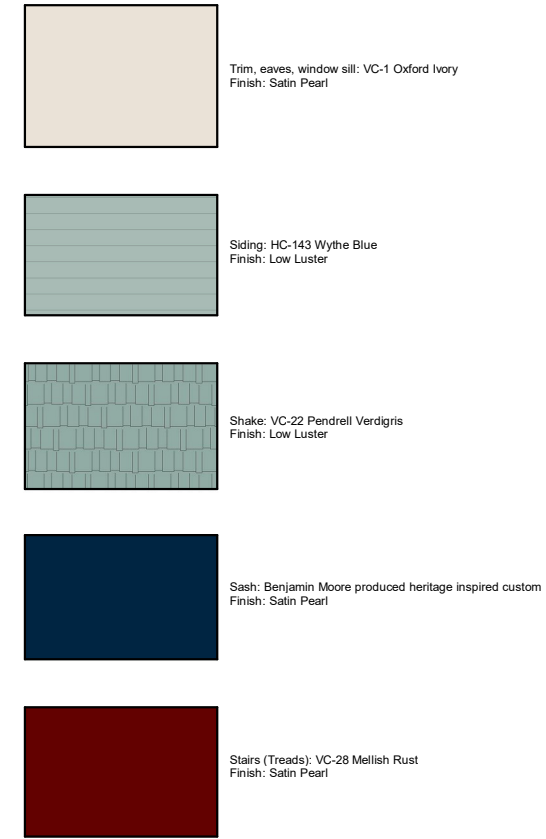
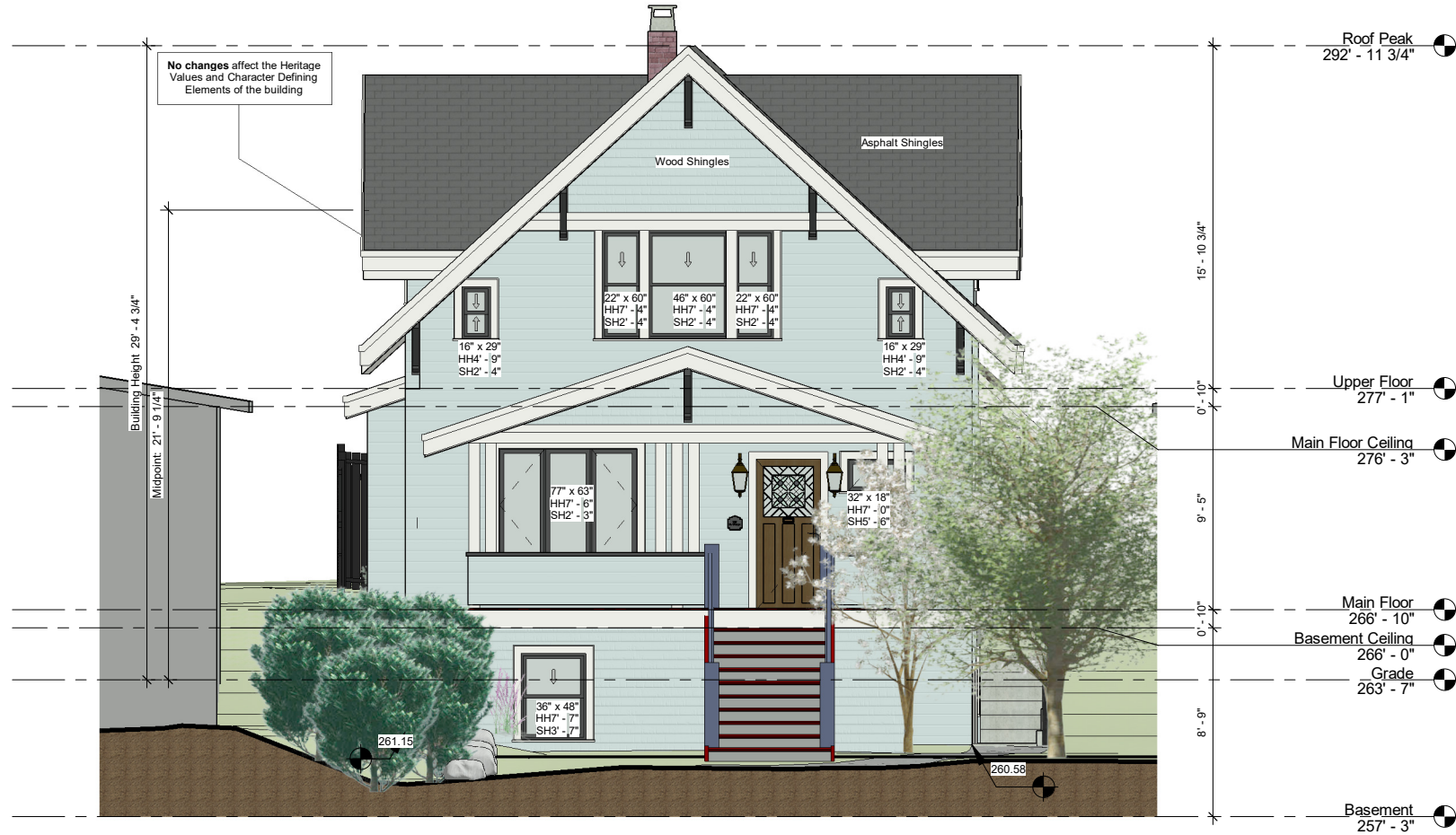
Project number 1517

Date August 10, 2021

Drawn by Author

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Sheet	Scale
A3	1/8" = 1'-0"



1 Main Front Elevation 11x17
1/8" = 1'-0"



2 Main Left Elevation 11x17
1/8" = 1'-0"

Christina Marino & Patrick Donovan

515 St. George St

Heritage Elevations

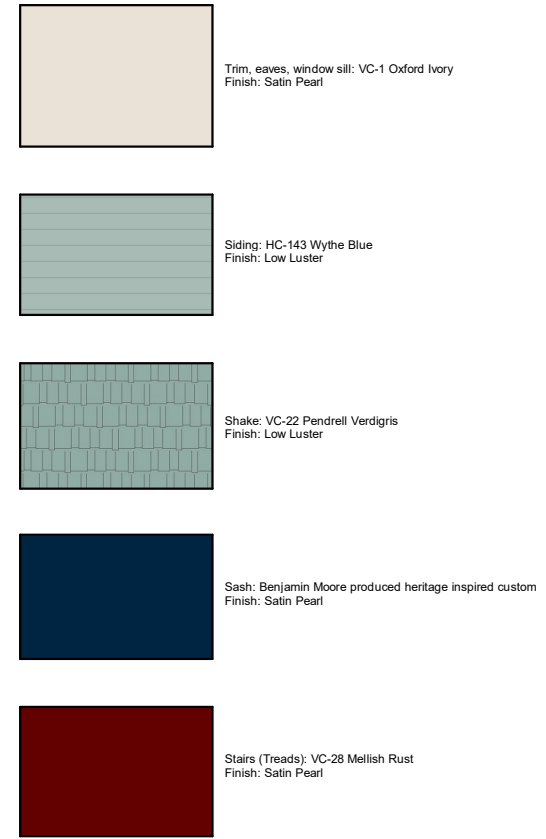
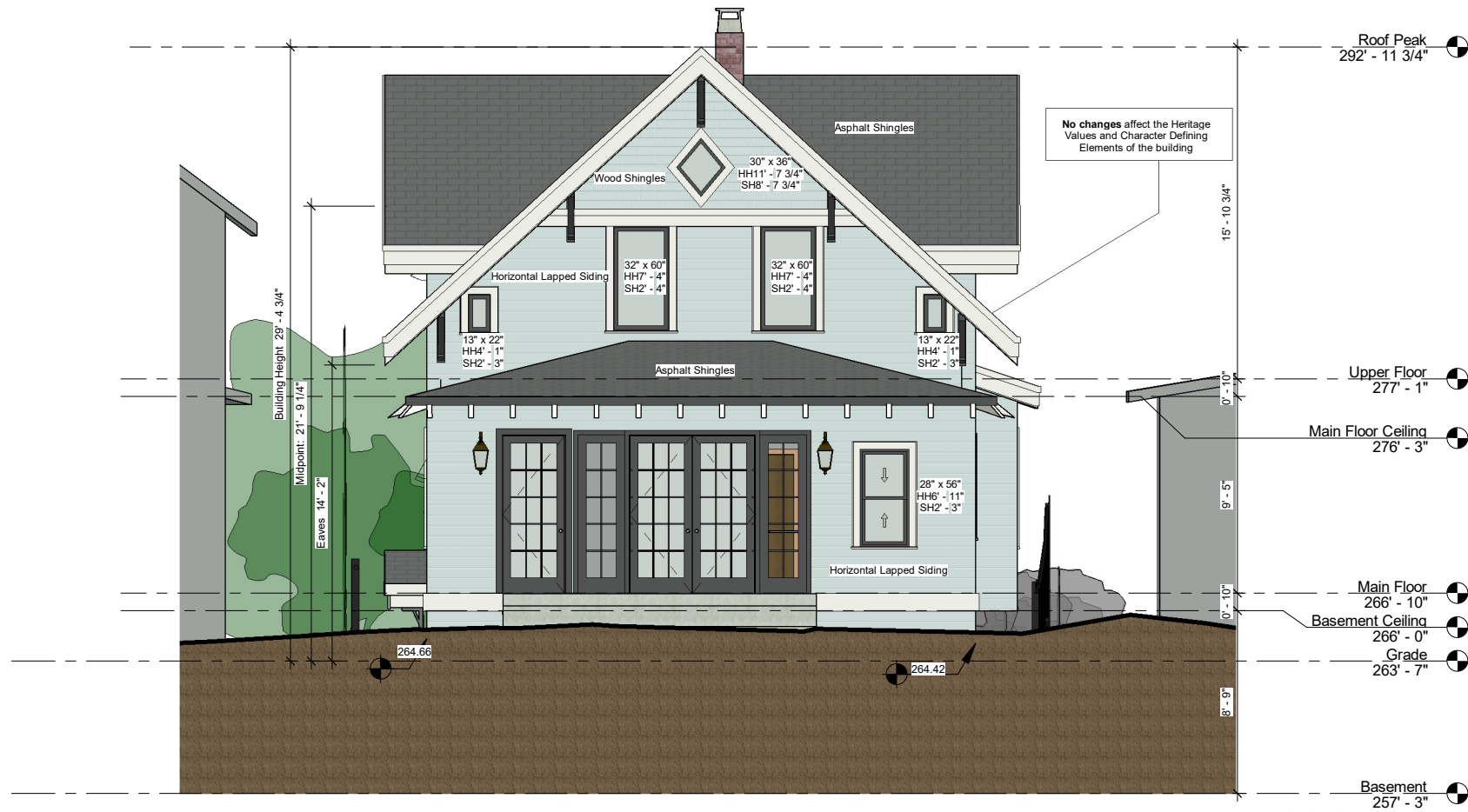
Project number 1517

Date August 10, 2021

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Sheet A4 Scale 1/8" = 1'-0"



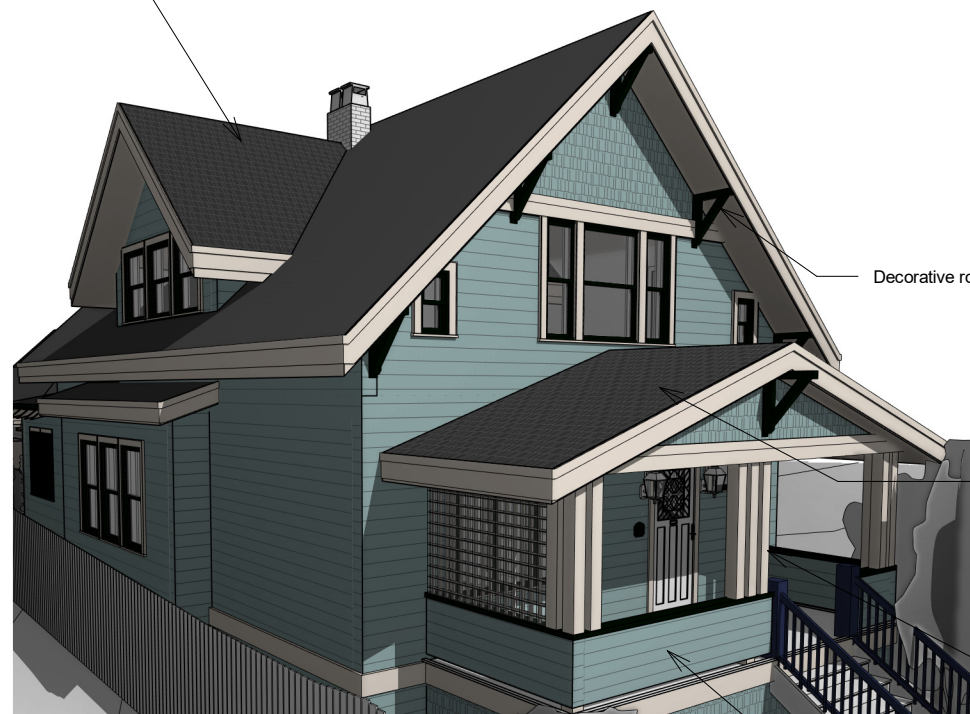
1 Main Rear Elevation 11x17
1/8" = 1'-0"



2 Main Right Elevation 11x17
1/8" = 1'-0"

Christina Marino & Patrick Donovan	
515 St. George St	
Heritage Elevations	
Project number	1517
Date	August 10, 2021
Drawn by	Author
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Sheet	Scale
A5	1/8" = 1'-0"

Steeply-pitched cross gable roof



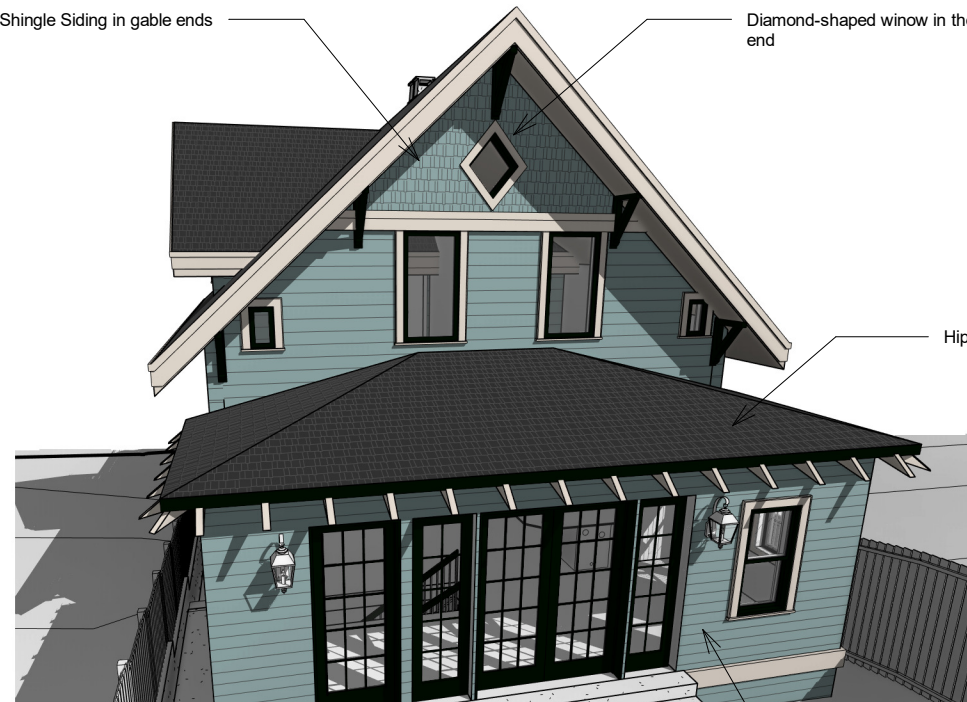
Decorative roof brackets

Shallower pitched cross-gabled roof

Twinned columns on the verandah

Verandah extending across the front of the building

Shingle Siding in gable ends



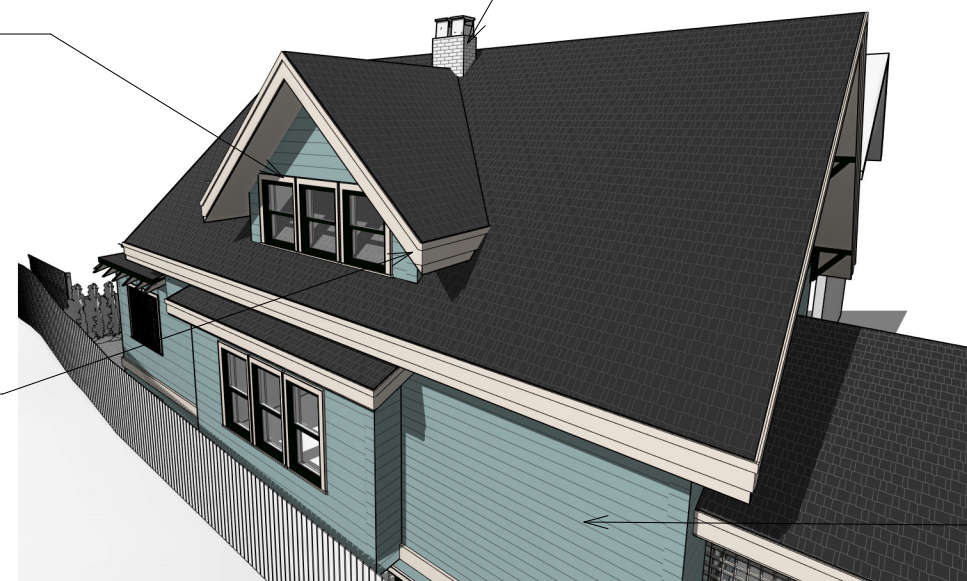
Diamond-shaped window in the rear gable end

Hipped roof at the rear of the building

Horizontal Wood Cladding

wood trims and sills to be re-painted as per HCP

Rehabilitating the chimney



Fascia, soffits and rafter tails to be re-painted same colour as per HCP

Repaint the exterior the same colour as per the HCP

Christina Marino & Patrick
Donovan

515 St. George St

Heritage Details

Project number 1517

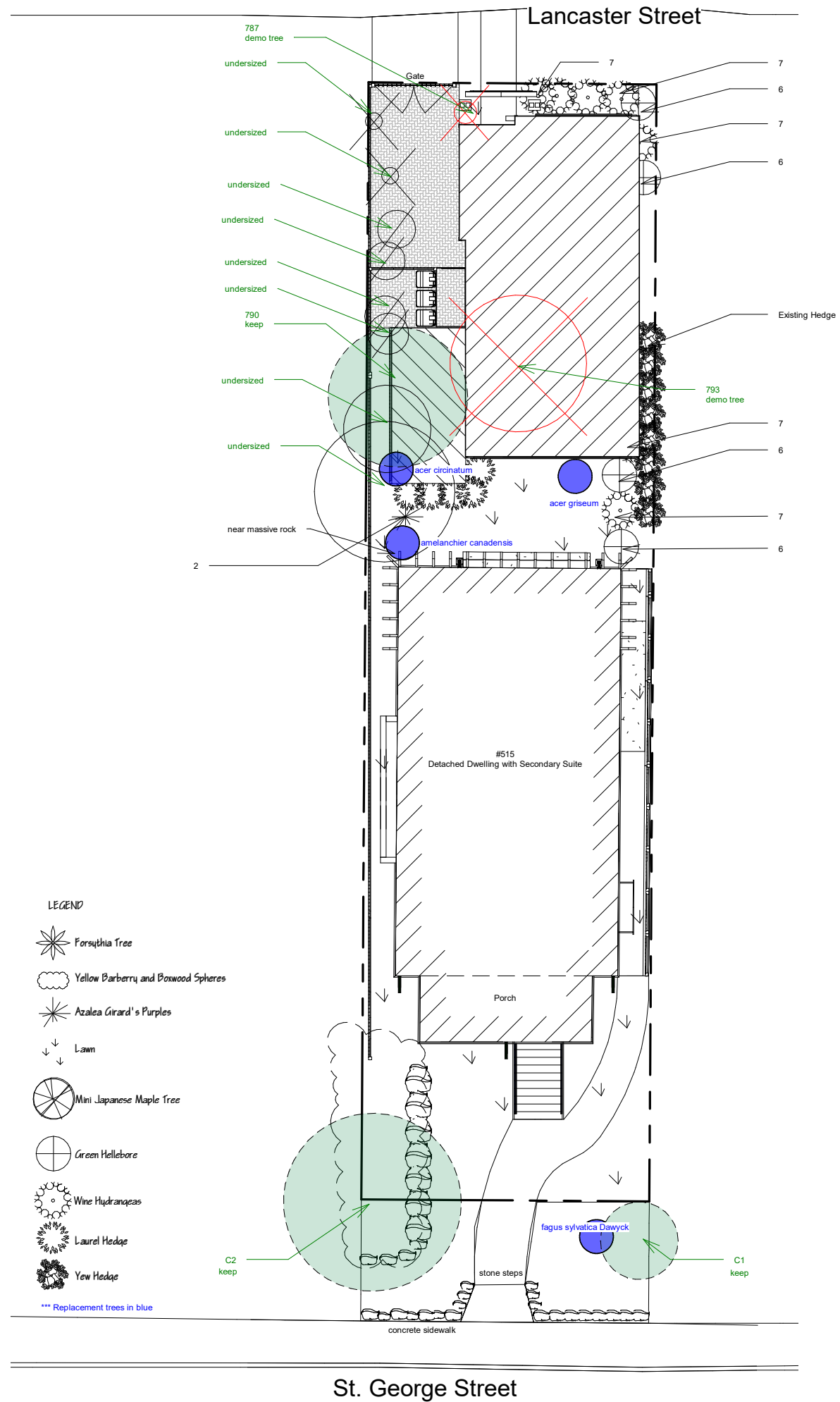
Date August 10, 2021

Drawn by Author

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Sheet Scale

A6



- LEGEND
- Forsythia Tree
 - Yellow Barberry and Boxwood Spheres
 - Azalea Girard's Purples
 - Lawn
 - Mini Japanese Maple Tree
 - Green Hellebore
 - Wine Hydrangeas
 - Laurel Hedge
 - Yew Hedge
 - *** Replacement trees in blue

1 Landscape Plan
1/16" = 1'-0"

Christina Marino & Patrick Donovan	
515 St. George St	
Landscape Plan P1	
Project number	1517
Date	August 10, 2021
Drawn by	Author
Checked by	Checker
Sheet	Scale
A7	1/16" = 1'-0"

1. Forsythia Tree



2. Azalea Girard's Purple's



3. Mini Japanese Maple Tree



4. Yellow Barberry Spheres



5. Boxwood Spheres



6. Green Hellebore



7. Wine Hydrangeas



8. Laurel Hedge



In-swing gate, 4'-1" (1.25m) high



Replica fence to emulate historical fences of Queen's Park. Though used as a gate in front of a driveway, its material and height mask its function. Material of rod iron and natural finish composite wood

Permeable pavers for driveway



Permeable pavers allow commonly recurring rainstorms to infiltrate through a permeable concrete paving stone surface into a clear crushed open-graded aggregate base before being released into storm sewers or watercourses. Known as permeable interlocking concrete pavement, the system acts as an infiltration facility for the storage, treatment, and improvement of released water.

Pathway Lighting



Low energy use solar powered lights to be placed along exterior pathways

Christina Marino & Patrick
Donovan

515 St. George St

Landscape Plan P2

Project number 1517

Date August 10, 2021

Drawn by Author

Checked by Checker

Sheet Scale

A7.1

Project Information

Property Owner	Christina Marinio and Patrick Donovan
Site Address	515 St. George Street
Project Type	HRA and Laneway
Jurisdiction Authority	City of New Westminster
Legal Description	Lot 1, New West District, Group 1, St George's Square
PID	025-453-408
Zone	RS-6

CONSULTANTS

Surveyor	J C Tam & Associates	604 214-8928
Designer	D3 Design	604-603-6747
Engineer		
Builder		
Energy Consultant		
Arborist	Arbor & Co.	778 886-1566

Zoning Analysis

Site	
Lot Width	34.00 ft
Lot Depth	131.87 ft
Lot Size	4483.50 ft ²

Laneway House	Required/Allowed	Proposed	Notes
Lane Width		33'	
Ground Floor area		830.46 SF	
Upper Floor area		N/A	
Total Floor area	672.525 SF (15%)	829.68 SF (18.5%)	Variance Requested
Site Coverage	672.525 SF (15%)	829.68 SF (18.5%)	
Bike Storage	32 SF		
Front Entry	32 SF	20 SF	
Setback from Lane	3 ft	3 ft	
Setback from side street	N/A	N/A	
Setback from intersection	4.00 ft	NA	
Setback from side lot	4.00 ft / 2.00 ft	10.00 ft West / 2.00 ft East	
Primary separation	16.00 ft	16.5 ft	
Side envelope midpoint		281.0 ft existing / 271 ft proposed	
Side envelope midpoint		281.6 ft existing / 271 ft proposed	
Base Height Plane		267.89 ft	
Accessory Height	22.97' (7m)	16.39'	
Parking Spaces	2	1	Variance Requested

LWH - Step 2 Compliance Package

1. AIR TIGHTNESS
 - 1.0 air changes per hour @ 50Pa
2. EXTERIOR WALLS & FLOOR HEADERS
 - 2x6 @ 16" O.C. W/ R-22 Batt +5" ROCKWOOL (effective R-35)
 - Headers R28 Batt + 5" ROCKWOOL (effective R-46.8)
3. ROOF & CEILINGS
 - ENG TRUSS SYSTEM @ 16" OC W/ R-40 Batt + 3" XPS INSULATION OVER PLYWOOD (effective R-56)
4. FOUNDATION WALLS, HEADERS, AND SLABS
 - ICF with 4" EPS on exterior and 3" EPS interior (effective R-44)
 - R20 below slab (effective R-20)
 - Unheated slab
5. FLOORS OVER UNHEATED SPACE
 - 2x10 @ 16" OC W/ R-28 Batt + 3" Rockwool (effective R-40)
6. FENESTRATION AND DOORS
 - Vinyl frame, triple glazed, low-e, SHGC 0.20 - 0.65 (USI 0.86-1.34)
 - Fibreglass doors w/ polyurethane fill (R-5.56, USI 1.6)
7. AIR BARRIER SYSTEM & LOCATION
 - Self adhered vapour permeable building wrap
8. SPACE CONDITIONING (HEATING & COOLING)
 - Electric fireplaces
9. SERVICE WATER HEATING
 - Heat pump water heater (EF 1.9)
10. VENTILATION
 - Zhender HRV (SRE 87%)
11. APPLIANCES
 - ENERGY STAR QUALIFIED MODELS
12. LIGHTING
 - STANDARD LED BULBS



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Christina Marino & Patrick Donovan	
515 St. George St	
Laneway Zoning P1	
Project number	1517
Date	August 10, 2021
Drawn by	Author
Checked by	Checker
Sheet	Scale
A10	1 1/2" = 1'-0"

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GENERAL NOTES

These drawings have been prepared by D3 Dimension Drafting and Design Inc. to conform to the current residential standards of the BCBC (2018).

The Builder is responsible for ensuring that all construction conforms to provincial and local codes and bylaws.

Dimensions take precedence to scale drawings.

Dimensions to be taken from outside face of sheathing for exterior walls and face of studs for interior walls as shown.

Place footings to undisturbed, sound bearing soil below frostline (2' below grade).

Structural lumber to be No.2 SPF or better

Between all exterior top plates and double plates, require 6 MIL poly.

6 MIL poly is required at all connection points between interior and exterior walls.

Floor assembly to be constructed with manufacture I-Joist

Lumber in contact with concrete to be damproofed (sill gasket) , and anchored with 1/2" anchor bolts at 16" O.C. max

Lintels to be #2-2x10 U.N.O TYP.

Double joists at parallel partitions (opt. 2x10 blocking at 24" O.C.)

Dwelling must meet current B.C. ventilation code

All operable windows to be standard sliding glazing, U.N.O.

Waterproof wallboard required on bathroom walls

Provide a bond-breaking material between foundation or rock and slabs.

Exterior dimensions to be measured from outside of sheathing.

All interior dimensions to be measured to the centre of stud, except where otherwise noted.

All Construction and installation of materials and equipment shall be done in accordance with good building practices, following manufacturers instructions and conforming to the BCBC

All Structural specifications to be designed and certified by a structural engineer. Any discrepancies must be brought to D3 Dimension Drafting and Design Inc. attention.

It is the responsibility of the contractor or builder to check and verify all dimensions and to ensure all work conforms to all local bylaws ad regulation, and to the current edition of the BCBC

D3 Dimension Drafting and Design Inc. accepts no liability for error or omissions.

These plans conform to the B.C. Building Code, 2018 ED.

Site Requirements

- No retaining wall shall be constructed on any lot having an exposed height greater than 4 ft. unless engineered
- Any exposed concrete over 2 ft in height shall be architecturally treated.

Exterior Design

- No exposed concrete block is permitted
- Exposed concrete foundation walls are not to exceed 1.64 ft in height,
- In General, the main materials used on the front of the house should be used on all other facades
- Overhangs to be a minimum of 18" TYP. U.N.O.
- All gable fascia shall be a minimum fascia of 2x10.

Roof & Building Materials

- Any fascia gutter must be properly integrated with wood fascia boards to meet building scheme
- Exterior vertical walls are to be non-combustible 20min rated

Driveways & Garages

- The garage shall have closing doors with raised panels or desired architectural detailing
- Garage should be painted to match proposed buildings design and colour scheme
- Garage dimensions are taken from the outside of cladding.
- Driveways shall be constructed of asphalt, exposed aggregate, stamped concrete, brick or combination.
- No gravel driveways or parking areas.

No buildings or driveways shall be constructed on the lots unless provisions to reduce storm water run-off from buildings and driveways been made by the run-off from buildings, driveways and any other impervious surfaces constructed on the lot being re-charged back to the ground through suitable subsurface storm water management systems such as rock pits or exfiltration chambers and run-off from driveways which slope to the public road or common property being intercepted at the property line by the provision of suitably designed and constructed absorbent strip such as grass-crete or permeable interlocking concrete pavers.

PLAN # 1517

These drawing copies or any copies thereof:

- May only be issued by D3 Dimension Drafting Design Ltd.
- May only be issued for the designated purpose indicated
- Are issued with the understanding that D3 Dimension Drafting Design Ltd., will be responsible for their work only to the extent of issuing corrected copies in the event of an error or omission of the same.
- All work done by D3 Dimension Drafting Design Ltd., is and will remain solely the property of the same.
- All funds paid are non-refundable.

SCOPE OF WORK

Exterior:

- Place Tree Barriers
- Place foundation, consult geotech and structural engineer for specifications
- Rainscreen, roof, add windows and doors, and finish house siding
- Excavate per elevations on site plan
- Frame House, pour parking pad, build stairs, emergency path
- Perform blower door test and ensure step code compliance

Christina Marino & Patrick Donovan

515 St. George St

Laneway Zoning P2

Project number 1517

Date August 10, 2021

Drawn by Author

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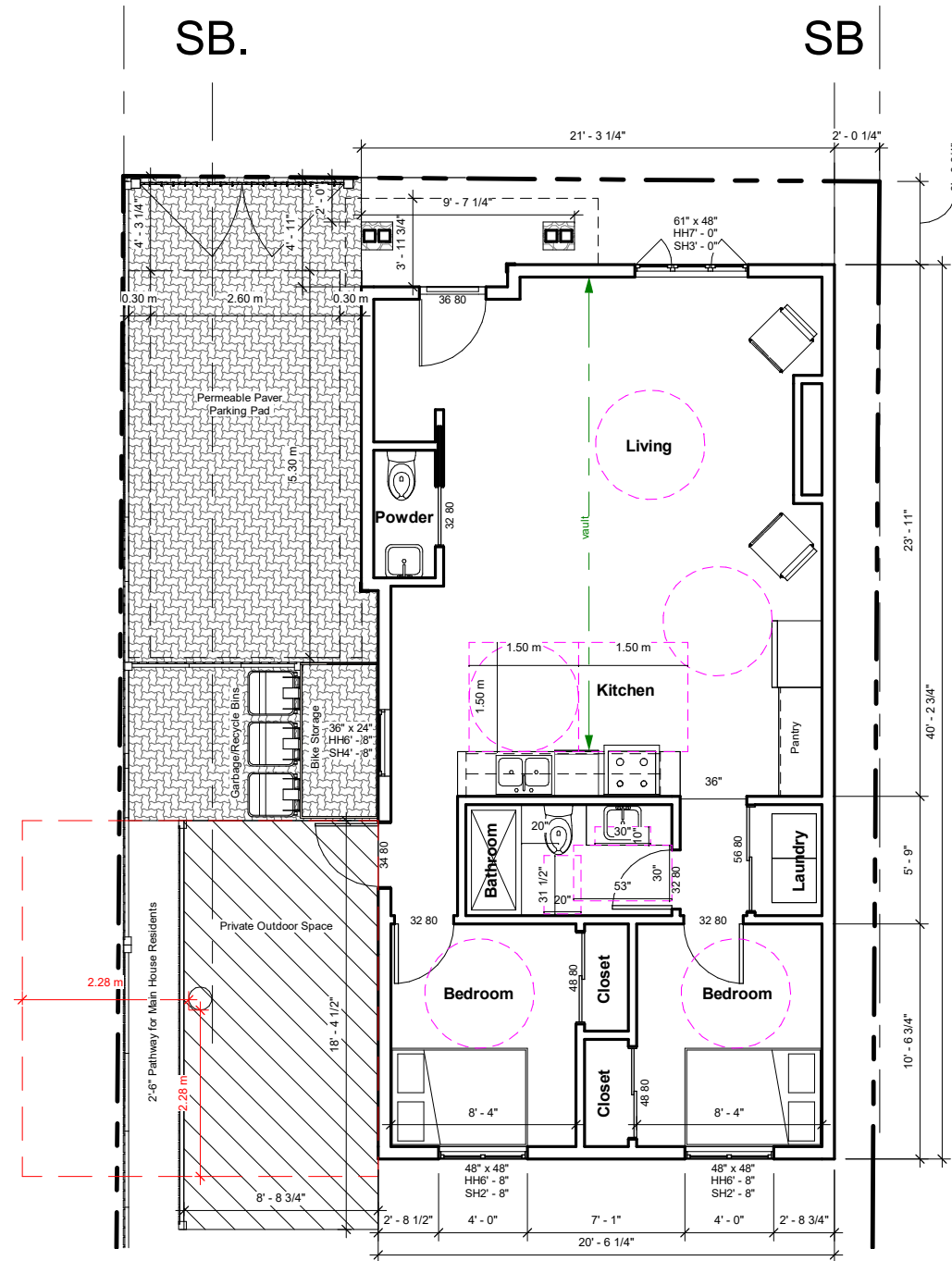
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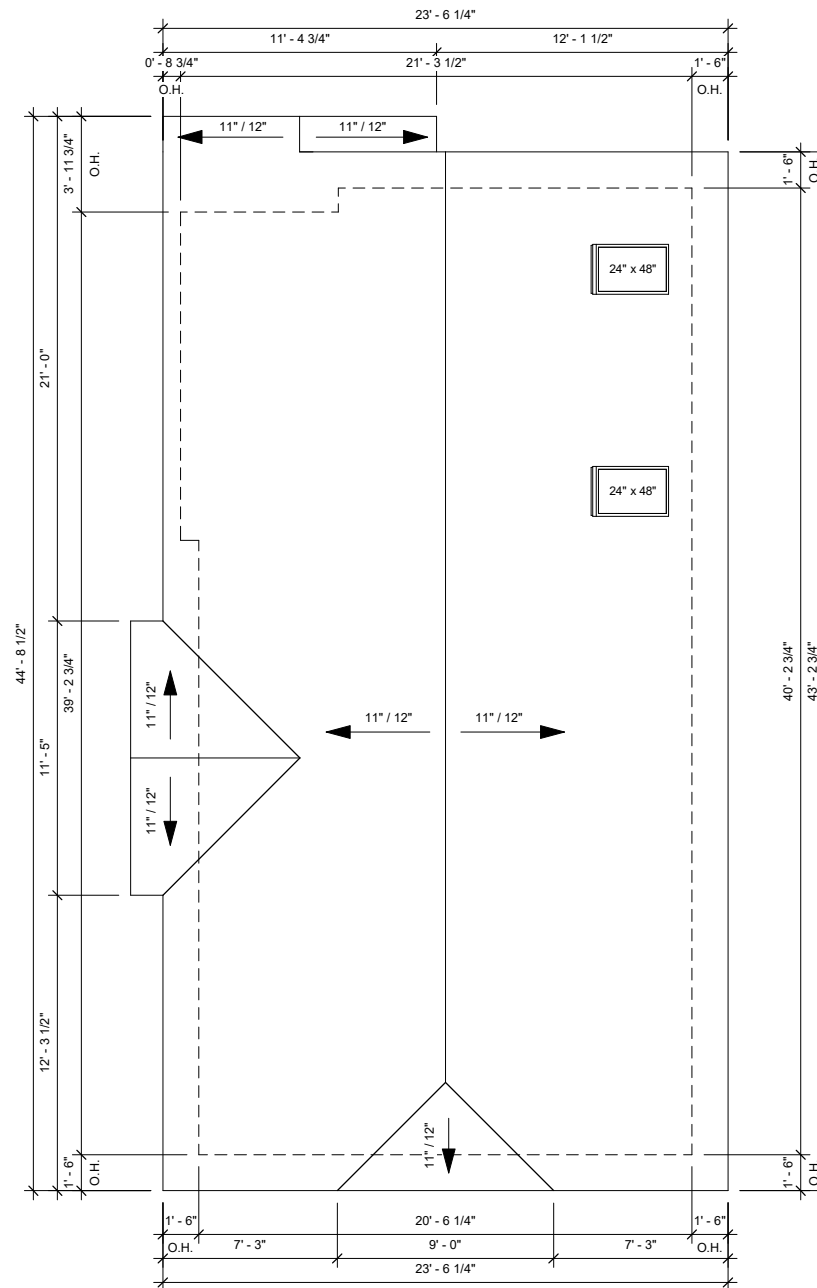
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PL W SB. PLE SB



1 Laneway Main Floor 11x17
1/8" = 1'-0"



2 Laneway Roof Plan
1/8" = 1'-0"

Christina Marino & Patrick
Donovan

515 St. George St

Laneway Floor Plan

Project number 1517

Date August 10, 2021

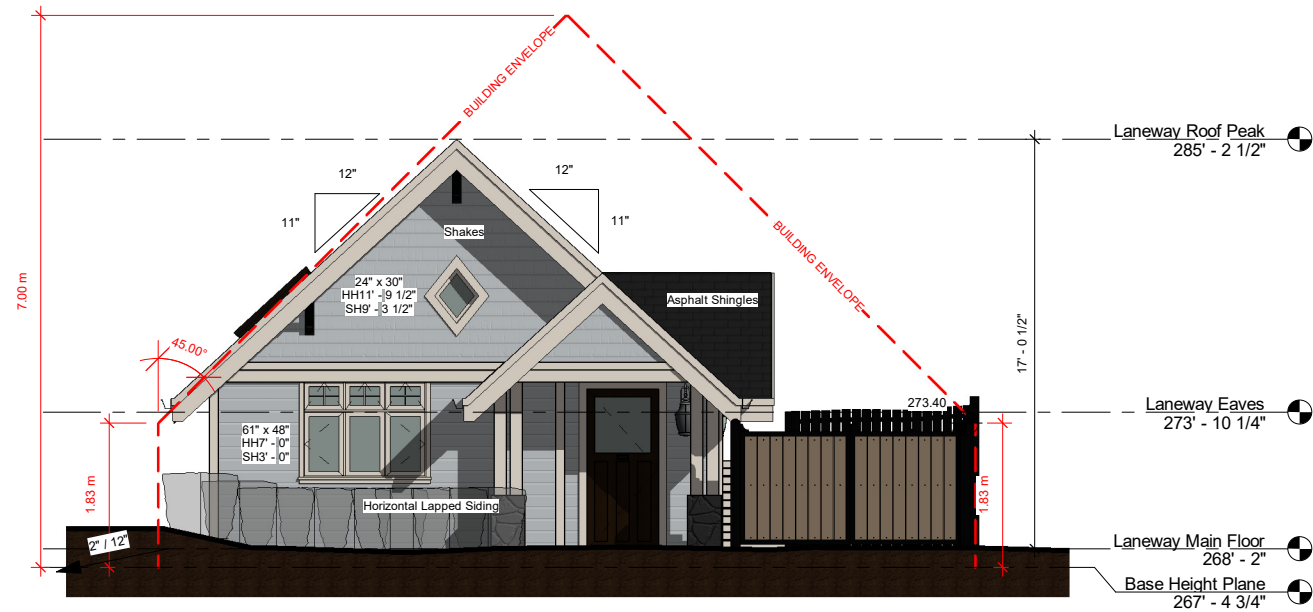
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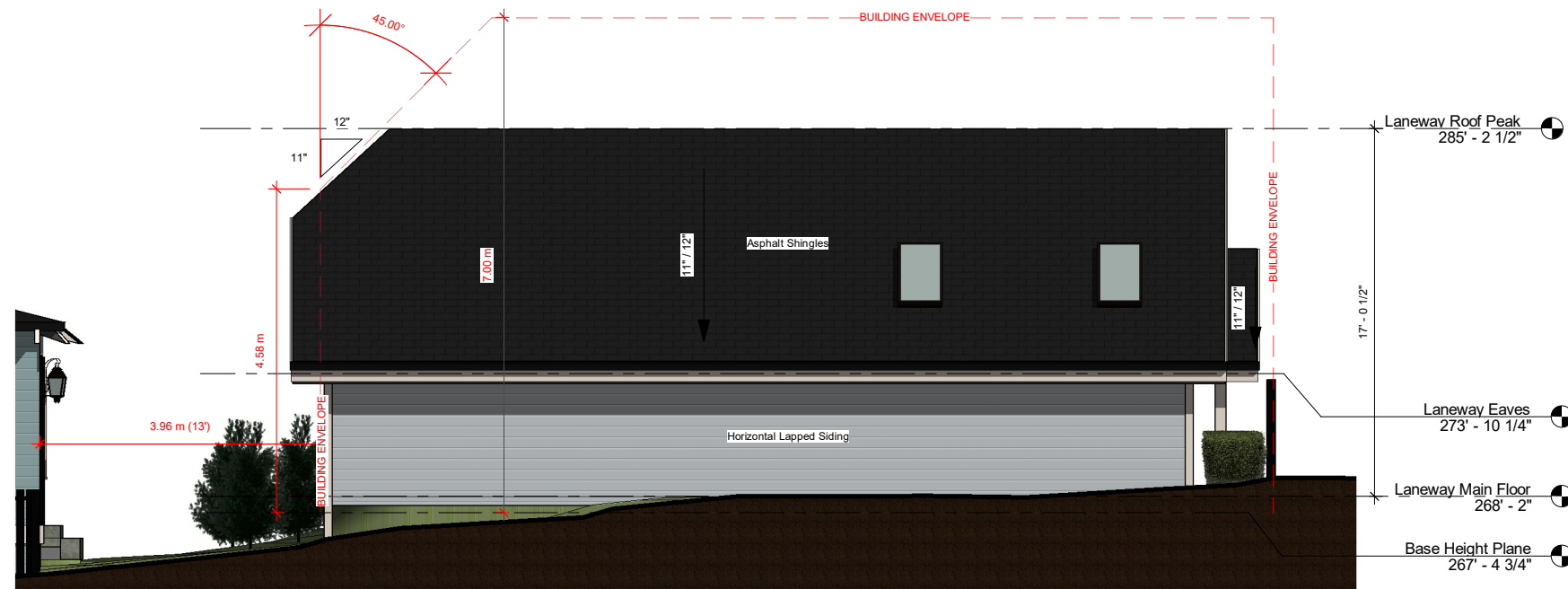
A12

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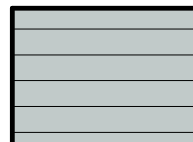
1 Laneway Front Elevation 11x17
1/8" = 1'-0"


Laneway - Front		Building Face Area (SqM)		21.76
Quantity	Window Width	Window Height	Window Area (SqIn)	Window Area (SqM)
1	61	48	2928	1.88902848
1	24	30	720	0.4645152
Total Window Area (SqM)		2.3535	Percentage Openings (Windows/Building Face)	10.82%
Limiting Distance (m)		5.89	Maximum Allowable Percentage	39%





2 Laneway Left Elevation 11x17
1/8" = 1'-0"


Laneway - Left		Building Face Area (SqM)		21.8
Quantity	Window Width	Window Height	Window Area (SqIn)	Window Area (SqM)
0	0	0	0	0
Total Window Area (SqM)		0.0000	Percentage Openings (Windows/Building Face)	0.00%
Limiting Distance (m)		0.61	Maximum Allowable Percentage	7%

 Body: Silver Half Dollar 2121-40 Benjamin Moore
Finish: Low Luster

 -hardie 'smooth' horizontal siding

 Trim, eaves, and window sills: Simply White OC-117 Benjamin Moore
Finish: Satin Pearl

 Front Door: Simply White OC-117 Benjamin Moore
Finish: High Gloss

 Roof: Black Asphalt Shingle

Christina Marino & Patrick Donovan

515 St. George St

Laneway Elevations

Project number 1517

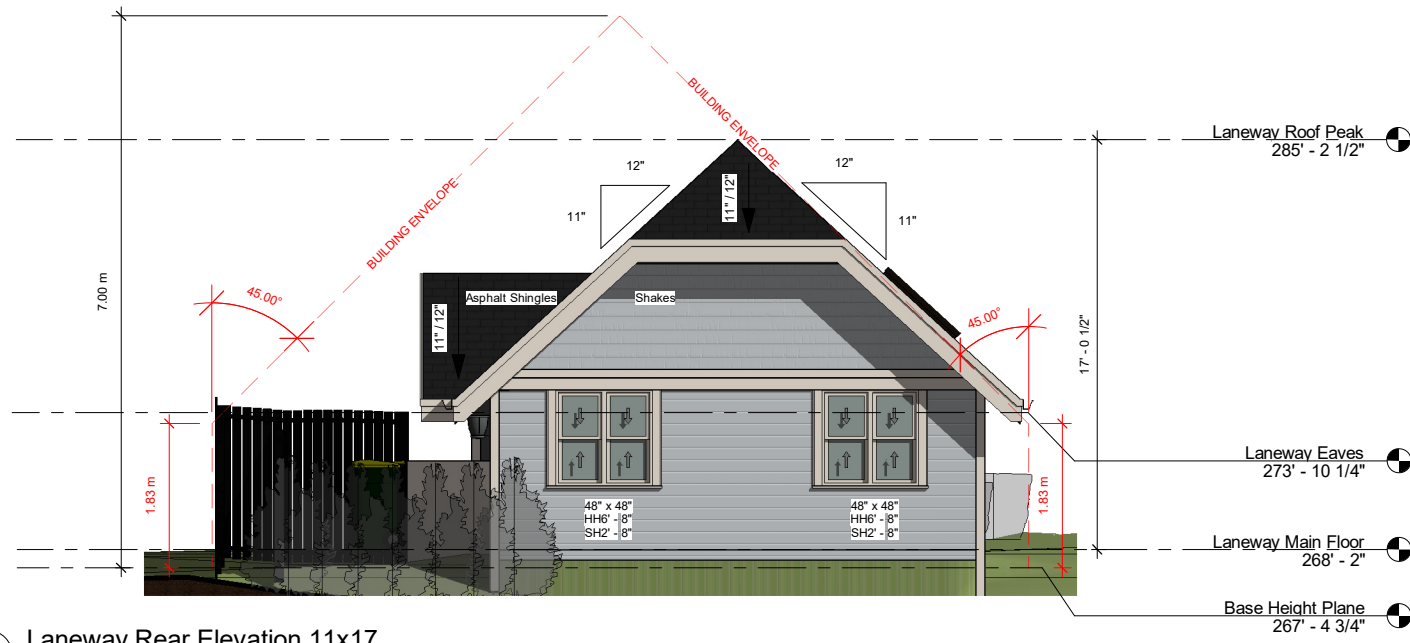
Date August 10, 2021

Drawn by Author

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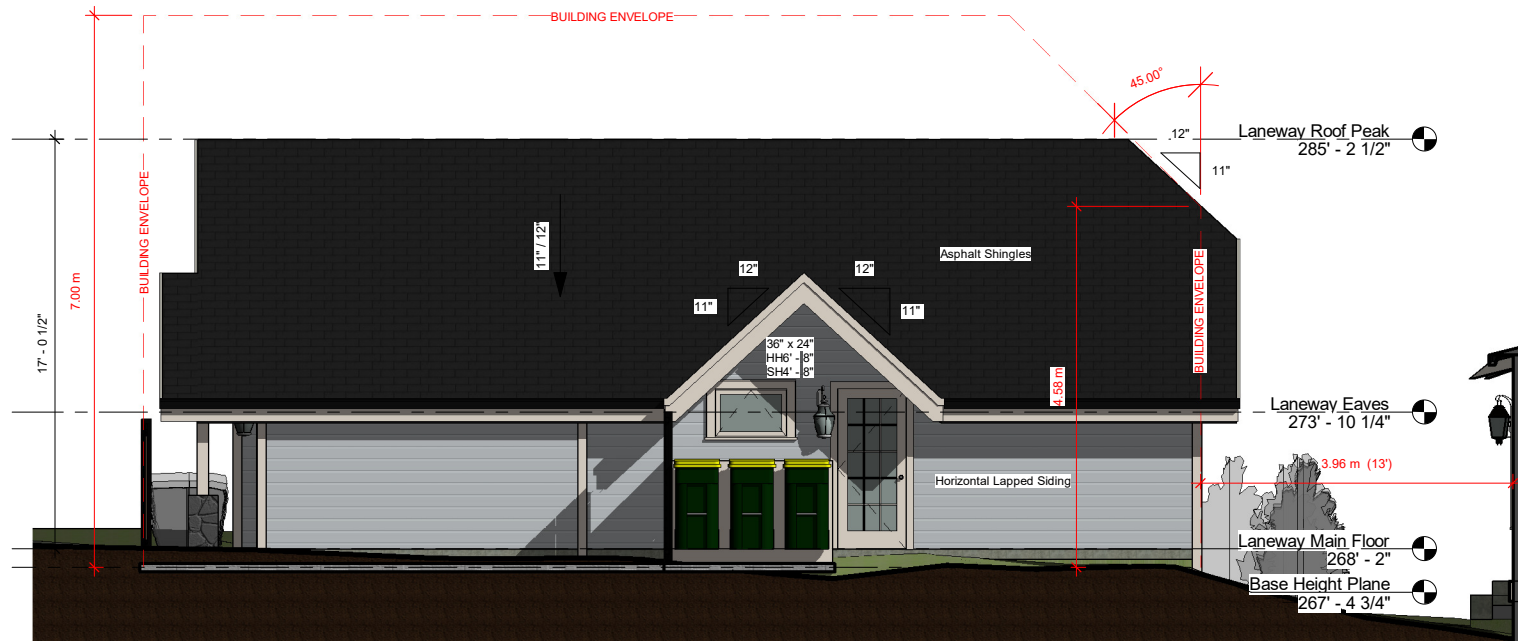
Sheet Scale

A13 1/8" = 1'-0"



1 Laneway Rear Elevation 11x17
1/8" = 1'-0"

Laneway Rear		Building Face Area (SqM)		27.9
Quantity	Window Width	Window Height	Window Area (SqIn)	Window Area (SqM)
2	48	48	4608	2.97289728
Total Window Area (SqM)	2.9729		Percentage Openings (Windows/Building Face)	10.66%
Limiting Distance (m)	3.76		Maximum Allowable Percentage	12%



2 Laneway Right Elevation 11x17
1/8" = 1'-0"

Laneway - Right		Building Face Area (SqM)		19.55
Quantity	Window Width	Window Height	Window Area (SqIn)	Window Area (SqM)
1	36	24	864	0.55741824
Total Window Area (SqM)	0.5574		Percentage Openings (Windows/Building Face)	2.85%
Limiting Distance (m)	3.22		Maximum Allowable Percentage	12%

Body: Silver Half Dollar 2121-40 Benjamin Moore Finish: Low Luster
-hardie 'smooth' horizontal siding

Trim, eaves, and window sills: Simply White OC-117 Benjamin Moore Finish: Satin Pearl

Front Door: Simply White OC-117 Benjamin Moore Finish: High Gloss

Roof: Black Asphalt Shingle

Christina Marino & Patrick Donovan

515 St. George St

Laneway Elevations

Project number 1517

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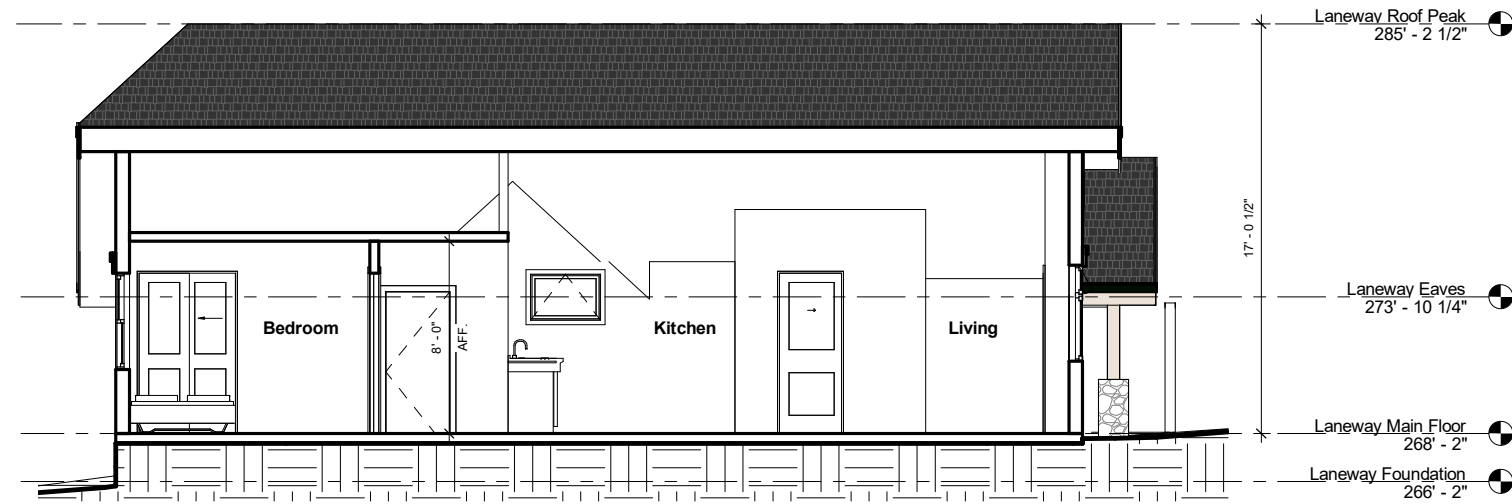
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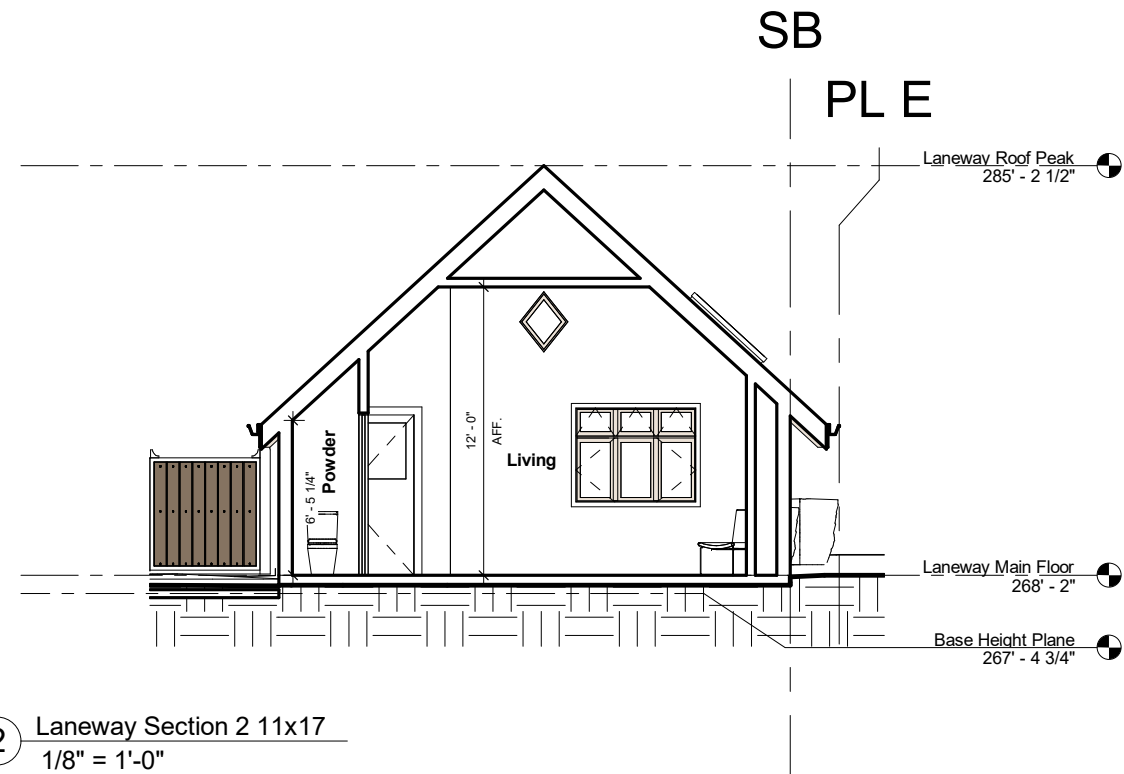
Sheet Scale

A14

1/8" = 1'-0"



① Laneway Section 1 11x17
1/8" = 1'-0"



② Laneway Section 2 11x17
1/8" = 1'-0"

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Donovan

515 St. George St

Laneway Sections

Project number 1517

Date August 10, 2021

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Sheet	Scale
A15	1/8" = 1'-0"

Required

- All exterior doors should be installed with the following:
- Minimum door clearance widths of 0.85m (34").
 - Maximum door thresholds height of 13mm (1/2"), including patio doors.
 - Clear and level covered front door landing areas of at least 1.85m² (20 sqft).
 - For doors swinging towards the user, an additional clear and level space of 0.60m (24") by 1.5m (59") beside the door on the latch side. For doors swinging away from the user, an additional space of 0.30m (12") by 1.2m (48").

Required

- All exterior doors should be installed with the following:
- Minimum door clearance widths of 0.85m (34").
 - Maximum door thresholds height of 13mm (1/2"), including patio doors.
 - Clear and level covered front door landing areas of at least 1.85m² (20 sqft).
 - For doors swinging towards the user, an additional clear and level space of 0.60m (24") by 1.5m (59") beside the door on the latch side. For doors swinging away from the user, an additional space of 0.30m (12") by 1.2m (48").

Required

- All bathrooms designed for use by persons in wheelchairs:
 - 0.8m (31.5") minimum from the front edge of the toilet to the facing wall,
 - 0.51m (20") minimum from the front face of the bathtub or shower to the centerline of the toilet,
 - 0.76m (30") by 1.35m (53") clear floor area centered in front of the washbasin.
- In the main (full) bathroom, knee clearance centered underneath the sink of:
 - 0.76m (30") wide by,
 - 0.25m (10") deep by,
 - 0.68m (27") high,
 - With hot water and drain pipes offset to the rear.
- Bathroom walls should be constructed or re-enforced in such a way to allow the installation of grab bars and handles next to toilets and showers in the future.

Required

- No stairs or steps within the building.
- Hallway widths, with a minimum of 0.85m (34").
- All interior doors to meet:
 - minimum clearance width of 0.81m (32"),
 - thresholds to a maximum height of 13mm (1/8"),
- Doors which are installed in series should be separated by 1.5m plus the width of the door swinging into the separating space.

Required

- Kitchen design with continuous counter between range and sink.
- A clear floor area of 1.50m by 1.50m provided directly in front of each kitchen fixture.
- Knee clearance provided underneath the sink or counter of:
 - 0.75m (30") wide by,
 - 0.48m (19") deep by,
 - 0.68m (27") high.

Required

- Clear floor turning area of 1.50m in diameter on one side of the bed.

Required

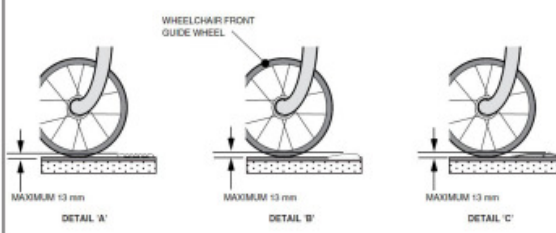
- Outlets and switches installed in all rooms in locations that are easily reached by persons in wheelchairs.
- Electrical, telephone, cable and data outlets between 0.455m (18") and 1.20m (48") above the floor.
- Switches, controls (ex. light switches) and electrical outlets between 0.455m (18") and 1.20m (48") above the floor.

Required

- One accessible parking space meeting the Zoning Bylaw size requirements,
 - minimum width of 3.9m (12.8ft) plus 0.3m (1ft) on either side if adjacent to a wall,
 - minimum length of 5.5m (18.04ft).
- The location and configuration of the accessible parking space should include a safe access route on the property, from the parking space to the LWH door, such as:
 - directly adjacent to the front door or other exterior door,
 - interior access from a garage, or
 - a 0.9m (3ft) wide smooth pathway to an exterior LWH door.

Required

- Access to the private outdoor space from a low-threshold door.



Christina Marino & Patrick
Donovan

515 St. George St

Accessibility Requirements

Project number 1517

Date August 10, 2021

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Sheet Scale

A16

APPENDIX 6

VARIATIONS TO ZONING BYLAW NO. 6680, 2001

	Single Detached Dwelling District (RS-6) Requirement/Allowance	515 St. George Street
Detached Accessory Dwelling Unit	Not permitted	Permitted
Maximum Floor Space Ratio (laneway house)	Not permitted	0.185
Maximum Floor Area (laneway house)	Not permitted	830 sq. ft. (77.1 sq. m.)
Parking Spaces	2 spaces	1 space