

**THE CORPORATION OF THE CITY OF NEW WESTMINSTER  
HERITAGE REVITALIZATION AGREEMENT (1121 Eighth Avenue)  
BYLAW NO. 8550, 2026**

**A Bylaw to enter into a Heritage Revitalization Agreement under  
Section 610 of the *Local Government Act***

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WHEREAS the City of New Westminster and the Owner of the property located at 1121 Eighth Avenue in New Westminster wish to enter into a Heritage Revitalization Agreement in respect of the property;

NOW THEREFORE, the Council of the City of New Westminster enacts as follows:

**Citation**

1. This Bylaw may be cited as "Heritage Revitalization Agreement (1121 Eighth Avenue) Bylaw No. 8550, 2026".

**Heritage Revitalization Agreement**

2. The City of New Westminster enters into a Heritage Revitalization Agreement with the registered Owner of the property located at 1121 Eighth Avenue legally described as PID: 013-471-805; Lot 4 of Lot 4 Suburban Block 12 Plan 2620.
3. The Mayor and Corporate Officer are authorized on behalf of the City of New Westminster Council to sign and seal the Heritage Revitalization Agreement attached to and forming part of this Bylaw as Schedule "A".

GIVEN FIRST READING this 9<sup>th</sup> day of February, 2026.

GIVEN SECOND READING this 9<sup>th</sup> day of February, 2026.

PUBLIC HEARING held this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

GIVEN THIRD READING this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

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MAYOR PATRICK JOHNSTONE

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HANIEH BERG, CORPORATE OFFICER

**SCHEDULE "A" TO BYLAW NO. 8550, 2026**

**HERITAGE REVITALIZATION AGREEMENT (1121 Eighth Avenue) THIS AGREEMENT** dated for reference September 15, 2025.

**BETWEEN:**

**MING FEI ZHANG,**  
4684 Burke Street, Burnaby, BC,  
V5H 1C3  
(the "Owner")

**AND:**

**THE CORPORATION OF THE CITY OF NEW WESTMINSTER,**  
City Hall, 511 Royal Avenue, New Westminister, BC  
V3L 1H9  
(the "City")

**WHEREAS:**

- A. The Owner is the registered Owner in fee simple of the land and all improvements located at 1121 Eighth Avenue legally described as PID: 013-471-805; Lot 4 of Lot 4 Suburban Block 12 Plan 2620. (the "Land");
- B. There is one principal building situated on the Land, known as the Callow House (the "Heritage Building"), which is shown on the site plan attached as Appendix 1 (the "Site Plan") labelled as "1121 Eighth Avenue Heritage House";
- C. The City and the Owner agree that the Heritage Building has heritage value and should be conserved;
- D. The Owner wishes to make certain alterations to restore and rehabilitate the Heritage Building (the "Work");
- E. The Owner wishes to construct two new buildings, specifically one single detached building on the west side of the Heritage Building containing one principal unit (the "New Infill House") and one duplex, at the rear of the Land facing the lane, containing two principal units (the "New Duplex")
- F. New Infill House and New Duplex New Infill House and New Duplex Section 610 of the *Local Government Act*, RSBC 2015, Chapter 1 authorizes a local government to enter into a Heritage Revitalization Agreement with the Owner of heritage property, and to allow variations of, and

supplements to, the provisions of a bylaw or a permit issued under Part 14 or Part 15 of the *Local Government Act*;

- G. The Owner and the City have agreed to enter into this Heritage Revitalization Agreement (the "Agreement") setting out the terms and conditions by which the heritage value of the Heritage Building is to be preserved and protected, in return for specified supplements and variances to City bylaws;

THIS AGREEMENT is evidence that in consideration of the sum of ten dollars (\$10.00) now paid by each party to the other and for other good and valuable consideration (the receipt of which each party hereby acknowledges) the Owner and the City each covenant with the other pursuant to Section 610 of the *Local Government Act* as follows:

### **Conservation of Heritage Building**

1. Upon execution of this Agreement, the Owner shall promptly commence the Work in accordance with the Heritage Conservation Plan prepared by Schueck Heritage Consulting, dated V3 August 2025, a copy of which is attached hereto as Appendix 2 (the "Conservation Plan"), and the design plans and specifications prepared by Nancy G Dheilly, dated September 15, 2025, a copy of which is attached hereto as Appendix 5 (the "Approved Plans"), copies of which plans and specifications are on file at the New Westminster City Hall.
2. Prior to commencement of the Work, the Owner shall obtain from the City all necessary permits and licenses, including but not necessarily limited to heritage alteration permits, building permits, and tree permits.
3. The Owner shall obtain written approval from the City's Director of Planning and Development for any changes to the Work, and obtain any amended permits that may be required for such changes to the Work, as required by the City.
4. The Owner agrees that the City may, notwithstanding that such permits may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a heritage alteration permit or building permit applied for in respect of the Heritage Building if the work that the Owner wishes to undertake is not in accordance with the Conservation Plan or the Approved Plans.
5. The Work shall be done at the Owner's sole expense in accordance with generally accepted engineering, architectural, and heritage conservation practices. If any conflict or ambiguity arises in the interpretation of Appendix 3, the parties agree that the conflict or ambiguity shall be resolved in accordance with the "Standards and Guidelines for the Conservation of Historic Places in Canada", 2<sup>nd</sup> edition, published by Parks Canada in 2010.
6. The Owner shall, at the Owner's sole expense, erect on the Land and keep erected throughout the course of the Work, a sign of sufficient size and visibility to effectively notify contractors and tradespersons entering onto the Land that the Work involves protected heritage property and is being carried out for heritage conservation purposes.

7. The Owner shall, at the Owner's sole expense, engage a member of the Architectural Institute of British Columbia or the Association of Professional Engineers and Geoscientists of British Columbia or the British Columbian Association of Heritage Professionals with specialization in Building or Planning (the "Registered Professional") to oversee the Work and to perform the duties set out in section 8 of this Agreement, below.

#### **Role of Registered Professional**

8. The Registered Professional shall:
- (a) prior to commencement of the Work, and at any time during the course of the Work that a Registered Professional has been engaged in substitution for a Registered Professional previously engaged by the Owner, provide to the City an executed and sealed Confirmation of Commitment in the form attached as Appendix 3 and, if the Registered Professional is a member of the Canadian Association of Heritage Professionals, the Registered Professional shall provide evidence of their membership and specialization when submitting such executed Confirmation of Commitment;
  - (b) conduct field reviews of the Work with the aim of ensuring compliance of the Work with the Conservation Plan in Appendix 2;
  - (c) provide regular reports to the City's Planning and Development Department, on the progress of the Work;
  - (d) upon substantial completion of the Work, provide to the City an executed and sealed Certification of Compliance in the form attached as Appendix 4; and
  - (e) notify the City within one business day if the Registered Professional's engagement by the Owner is terminated for any reason.

#### **Heritage Designation**

9. The Owner irrevocably agrees to the designation of the Heritage Building as protected heritage property, in accordance with Section 611 of the *Local Government Act*, and releases the City from any obligation to compensate the Owner in any form for any reduction in the market value of the Lands or the Heritage Building that may result from the designation.

#### **Ongoing Maintenance**

10. Following completion of the Work, the Owner shall maintain the Heritage Building in good repair in accordance with the Conservation Plan in Appendix 2 and the maintenance standards set out in City of New Westminster Heritage Properties Minimum Maintenance Standards Bylaw No. 7971, 2018, as amended or replaced from time to time, and, in the event that Bylaw No. 7971 is repealed and not replaced, the Owner shall continue to maintain the building to the standards that applied under Bylaw No. 7971 immediately prior to its repeal.

11. Following completion of the Work in accordance with this Agreement, the Owner shall not alter the heritage character or the exterior appearance of the Heritage Building, except as permitted by a heritage alteration permit issued by the City.

#### **Damage to or Destruction of Heritage Building**

12. If the Heritage Building is damaged, the Owner shall obtain a heritage alteration permit and any other necessary permits and licenses and, in a timely manner, shall restore and repair the Heritage Building to the same condition and appearance that existed before the damage occurred.
13. If, in the opinion of the City, the Heritage Building is completely destroyed, the Owner shall construct a replica, using contemporary material if necessary, of the Heritage Building that complies in all respects with the Conservation Plan in Appendix 2, the Approved Plans in Appendix 5, and with City of New Westminster Zoning Bylaw No. 6680, 2001 as amended (the "Zoning Bylaw"), as varied by this Agreement, after having obtained a heritage alteration permit and any other necessary permits and licenses.
14. The Owner shall use best efforts to commence and complete any repairs to the Heritage Building, or the construction of any replica building, with reasonable dispatch.

#### **Construction of the New Infill House and New Duplex**

15. The Owner shall construct the New Infill House and New Duplex in strict accordance with the Site Plan and the Approved Plans prepared by Nancy G Dheilly, dated September 15, 2025, a copy of which is attached hereto as Appendix 5, copies of which plans and specifications are on file at the New Westminster City Hall.
16. Prior to commencement of construction of the New Infill House and New Duplex, the Owner shall obtain from the City all necessary approvals, permits, and licenses, including but not necessarily limited to a heritage alteration permit, building permit, and tree permit.
17. The Owner shall obtain written approval from the City's Director of Planning and Development for any changes to the New Infill House and New Duplex, and obtain any amended permits that may be required for such changes to the New Infill House and New Duplex, as required by the City.
18. The Owner agrees that the City may, notwithstanding that such permits may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a heritage alteration permit or building permit applied for in respect of the New Infill House and New Duplex if the work that the Owner wishes to undertake is not in accordance with the Approved Plans.
19. The construction of the New Infill House and New Duplex shall be done at the Owner's sole expense and in accordance with generally accepted engineering and architectural practices.

### **Timing and Phasing**

20. The Owner shall commence and complete all actions required for the completion of the Work, as set out in the Conservation Plan in Appendix 2, within three years following the date of adoption of the Bylaw authorizing this Agreement.
21. The Owner shall not construct the New Infill House and New Duplex on the Land, other than up to and including framing, until the Owner has completed the Work in respect of the Heritage Building to the satisfaction of the City's Director of Planning and Development and provision of the Certification of Compliance described in section 8(d) above by the Registered Professional.
22. The City may, notwithstanding that such a permit may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a building permit or heritage alteration permit applied for in respect of the New Infill House and New Duplex if the Owner has not completed the Work in respect of the Heritage Building, to the satisfaction of the City's Director of Planning and Development.

### **Subdivision by Strata Plan**

1. Upon completion of the Work to the satisfaction of the Director of Planning and Development and provision of the Certificate of Compliance described in section 8(d) above by the Registered Professional, the Owner may apply to the City's Approving Officer for approval to file the Stratification Plan in the Land Title Office.
2. If the Lands, or any portion thereof, are subdivided by a strata plan, this Agreement will charge title to the strata lots and the common property comprising such a strata plan and:
  - (a) The covenant and obligations herein will be registered against each individual strata lot and noted on the common property sheet;
  - (b) The strata corporation created will perform and observe the Owner's covenants in this agreement, solely at the expense of the strata lot owners; and
  - (c) The liability of each strata lot owner for the performance and observance of the Owner's covenants herein will be in proportion to the unit entitlement of his, her or its strata lot as established by the strata plan,

provided that, if the Lands are first subdivided by air space plan and then one or more of these parcels are further subdivided by strata plan, the easements and covenants registered concurrently with the air space plan may designate the air space parcel or the remainder, and therefore the strata corporation, responsible to perform and observe the Owner's covenants in this Agreement.

### **Inspection**

3. Upon request by the City, the Owner shall advise or cause the Registered Professional to advise, the City's Planning and Development Department, of the status of the Work.
4. For the duration of the Work and the construction of the New Infill House and New Duplex as authorized by this Agreement, without limiting the City's power of inspection conferred by statute and in addition to such powers, the City shall be entitled at all reasonable times and from time to time to enter onto the Land for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner.
5. The Owner will not request the Framing Inspection and the City will not conduct the Framing Inspection until the Owner has completed the Work in respect of the Heritage Building to the satisfaction of the City's Director of Planning and Development and provision of the Certificate of Compliance described in section 8(d) above by the Registered Professional.
6. The Owner agrees that the City may, notwithstanding that a final inspection may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a final inspection or occupancy certificate applied for in respect of the Heritage Building or the New Infill House and New Duplex if the Owner has not completed the Work with respect to the Heritage Building or construction of the New Infill House and New Duplex to the satisfaction of the City's Director of Planning and Development.

### **Conformity with City Bylaws**

7. The City of New Westminster Zoning Bylaw No. 6680, 2001, is varied and supplemented in its application to the Land in the manner and to the extent provided and attached as Appendix 6.
8. The Owner acknowledges and agrees that, except as expressly varied by this Agreement, any development or use of the Land, including any construction, alteration, rehabilitation, restoration and repairs of the Heritage Building, New Infill House or New Duplex, must comply with all applicable bylaws of the City.

### **No Application to Building Interiors**

9. Unless otherwise stated in this Agreement or set out in the Conservation Plan, the terms and conditions of this Agreement respecting the Heritage Building, New Infill House and New Duplex apply only to the structure and exterior of the buildings, including without limitation the foundation, walls, roof, and all exterior doors, stairs, windows and architectural ornamentation.

### **Enforcement of Agreement**

10. The Owner acknowledges that it is an offence under Section 621(1)(c) of the *Local Government Act* to alter the Land, the Heritage Building or the in contravention of this

Agreement, punishable by a fine of up to \$50,000.00 or imprisonment for a term of up to 2 years, or both.

11. The Owner acknowledges that it is an offence under Section 621(1)(b) of the *Local Government Act* to fail to comply with the requirements and conditions of any heritage alteration permit issued to the Owner pursuant to this Agreement and Section 617 of the *Local Government Act*, punishable in the manner described in the preceding section.
12. The Owner acknowledges that, if the Owner alters the Land, the Heritage Building or the New Infill House and New Duplex in contravention of this Agreement, the City may apply to the British Columbia Supreme Court for:
  - (a) an order that the Owner restore the Land or the Heritage Building or the New Infill House and New Duplex , or all, to their condition before the contravention;
  - (b) an order that the Owner undertake compensatory conservation work on the Land, the Heritage Building, or the New Infill House and New Duplex;
  - (c) an order requiring the Owner to take other measures specified by the Court to ameliorate the effects of the contravention; and
  - (d) an order authorizing the City to perform any and all such work at the expense of the Owner.
13. The Owner acknowledges that, if the City undertakes work to satisfy the terms, requirements or conditions of any heritage alteration permit issued to the Owner pursuant to this Agreement upon the Owner's failure to do so, the City may add the cost of the work and any incidental expenses to the taxes payable with respect to the Land, or may recover the cost from any security that the Owner has provided to the City to guarantee the performance of the terms, requirements or conditions of the permit, or both.
14. The Owner acknowledges that the City may file a notice on title to the Land in the Land Title Office if the terms and conditions of this Agreement have been contravened.
15. The City may notify the Owner in writing of any alleged breach of this Agreement and the Owner shall have the time specified in the notice to remedy the breach. In the event that the Owner fails to remedy the breach within the time specified, the City may enforce this Agreement by:
  - (a) seeking an order for specific performance of the Agreement;
  - (b) any other means specified in this Agreement; or
  - (c) any means specified in the *Community Charter* or the *Local Government Act*,

and the City's resort to any remedy for a breach of this Agreement does not limit its right to resort to any other remedy available at law or in equity.

### **Statutory Authority Retained**

16. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City, all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled.

### **Indemnity**

17. The Owner hereby releases, indemnifies and saves the City, its officers, employees, elected officials, agents and assigns harmless from and against any and all actions, causes of action, losses, damages, costs, claims, debts and demands whatsoever by any person, arising out of or in any way due to the existence or effect of any of the restrictions or requirements in this Agreement, or the breach or non-performance by the Owner of any term or provision of this Agreement, or by reason of any work or action of the Owner in performance of its obligations under this Agreement or by reason of any wrongful act or omission, default, or negligence of the Owner.

18. In no case shall the City be liable or responsible in any way for:

- (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that be suffered or sustained by the Owner or by any other person who may be on the Land; or
- (b) any loss or damage of any nature whatsoever, howsoever caused to the Land, or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements in this Agreement, wrongful or negligent failure or omission to comply with the restrictions and requirements in this Agreement or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements in this Agreement or with any other term, condition, or provision of this Agreement.

### **No Waiver**

19. No restrictions, requirements, or other provisions of this Agreement shall be deemed to have been waived by the City unless a written waiver signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default, nor any previous written waiver, shall be taken to operate as a waiver by the City of any subsequent default or in any way defeat or affect the rights and remedies of the City.

### **Interpretation**

20. In this Agreement, "Owner" shall mean all registered Owner of the Land or subsequent registered Owner of the Land, as the context requires or permits.

**Headings**

21. The headings in this Agreement are inserted for convenience only and shall not affect the interpretation of this Agreement or any of its provisions.

**Appendices**

22. All appendices to this Agreement are incorporated into and form part of this Agreement.

**Number and Gender**

23. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

**Joint and Several**

24. If at any time more than one person (as defined in the *Interpretation Act* (British Columbia) owns the Land, each of those persons will be jointly and severally liable for all of the obligations of the Owner under this Agreement.

**Successors Bound**

25. All restrictions, rights and liabilities herein imposed upon or given to the respective parties shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date written above.

Signed, Sealed and Delivered in the presence of: )  
 )  
 )  
 )  
 )  
Nazarin Esmaili )  
 Name )  
 )  
Sixth Street East, NW )  
 Address )  
 )  
City Planner )  
 Occupation )  
 )

\_\_\_\_\_  
**Ming Fei Zhang** S22(1) Personal Information  
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**THE CORPORATION OF THE CITY OF NEW WESTMINSTER**  
by its authorized signatories:

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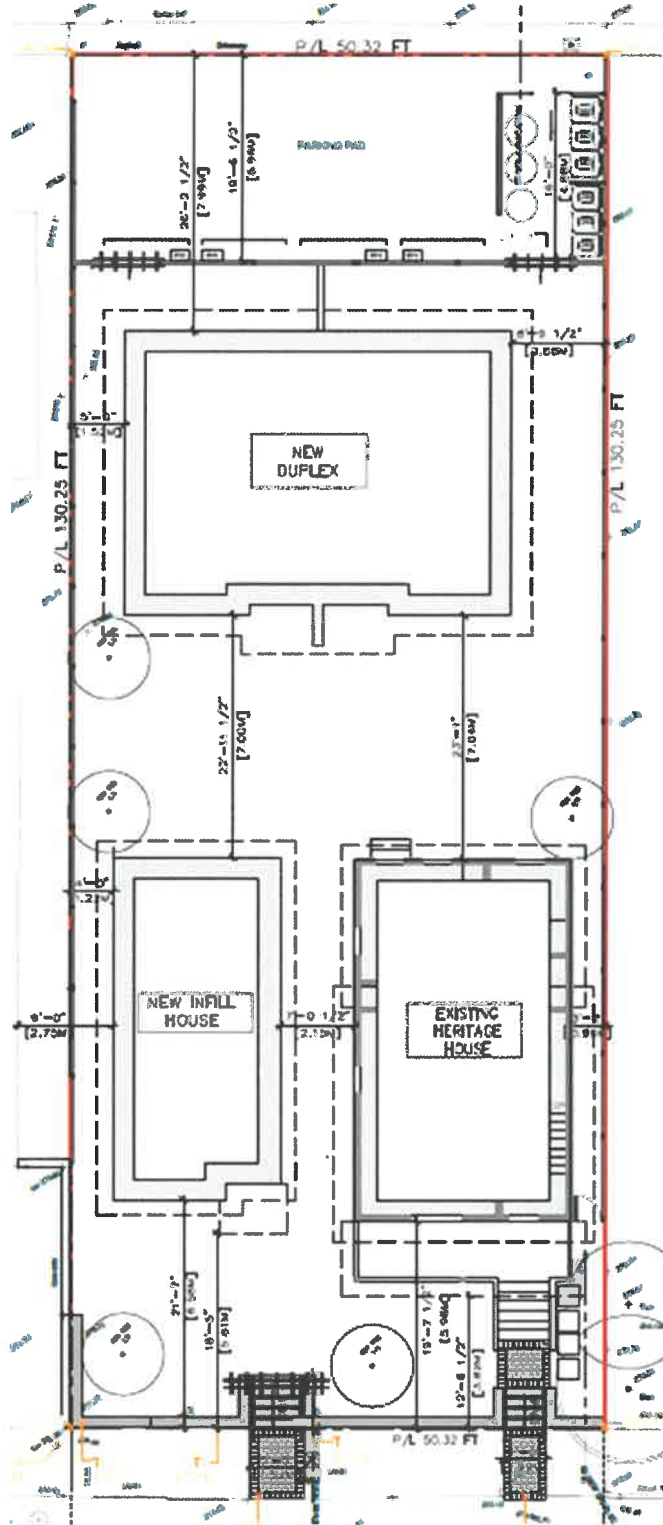
Mayor Patrick Johnstone

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Hanieh Berg, Corporate Officer

# APPENDIX 1

## SITE PLAN



**APPENDIX 2**  
**CONSERVATION PLAN**

**Heritage Conservation Plan  
1121 Eighth Avenue  
City of New Westminster, BC**



**February 2024  
V2 April 2025  
V3 August 2025**

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## Introduction

The subject building is located at 1121 Eighth Avenue in the City of New Westminster, British Columbia. It is a 1 ½ storey house designed in the Gabled Vernacular style and was constructed in 1909.

## Report Scope

The intent of this Heritage Conservation Plan is to provide guidance for the scope of work that is proposed to be carried out on the heritage house as part of a redevelopment proposal for the property. The guidance provided in this report is based on the “Standards and Guidelines for the Conservation of Historic Places in Canada”<sup>1</sup> (*Standards and Guidelines*). A detailed approach to the possible restoration, repair and/or replacement of each character-defining element is provided, as well as a general maintenance schedule.

A Heritage Conservation Plan also includes a Statement of Significance (SOS), which describes why the building has heritage significance. An SOS is a values-based assessment that considers any aesthetic, cultural, historic, scientific, social and/or spiritual importance of a place. It also identifies the specific elements of the building (called character-defining elements) that should be retained in order for the heritage significance to remain. An SOS, written by the author, is included in this report.

Site visits were conducted on November 13, 2021 and on January 25, 2024. The building was photographed and the general condition of the building and the elements were assessed on each visit.

Photographs included in this report are by the report author unless otherwise indicated. Google Maps and the City of New Westminster “City View” map system have also been used for this report.

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<sup>1</sup> The *Standards and Guidelines for the Conservation of Historic Places in Canada* is a consistent, pan-Canadian set of conservation principles and guidelines that provides sound, practical guidance to achieve good conservation practice. *The Standards and Guidelines for the Conservation of Historic Places in Canada*, Second Edition, 2010 [www.historicplaces.ca](http://www.historicplaces.ca)

## Definitions

The heritage conservation approach to an historic place first requires an understanding of why that place is important. As part of this understanding, there are some key definitions, taken directly from the *Standards and Guidelines*, that are helpful to know, and which are used in this report.

**Conservation:** all actions or processes that are aimed at safeguarding the character-defining elements of an historic place so as to retain its heritage value and extend its physical life. This may involve Preservation, Rehabilitation, Restoration, or a combination of these actions or processes.

**Preservation:** the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value.

**Rehabilitation:** the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

**Restoration:** the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

**Replication:** the action of copying exactly a particular element or building and replacing the original with it (this action is not defined in the *Standards and Guidelines* but is included here as this action may form part of the work carried out on this building).

**Historic Place:** a structure, building, group of buildings, district, landscape, archaeological site or other place in Canada that has been formally recognized for its heritage value.

**Heritage Conservation Plan:** a document that provides direction in the heritage conservation of a place, with guidance on specific elements of the place - often forms part of the legal documentation for a Heritage Revitalization Agreement.

**Statement of Significance:** a statement that describes the historic place and that identifies the heritage value and character-defining elements of the historic place.

**Character-defining Element:** the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of an historic place, which must be retained to preserve its heritage value.

**Heritage Value:** the aesthetic, historic, scientific, cultural, social or spiritual<sup>2</sup> importance or significance for past, present and future generations. The heritage value of an historic place is embodied in its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings.

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<sup>2</sup> Specific definitions of each value can be found in Section 9.

## Location and Site Context

The property is located in the West End neighbourhood, on the north<sup>3</sup> side of Eighth Avenue, near the corner of Eighth Avenue and Twelfth Street. To either side of the street are other single-family houses that were constructed in various time periods, ranging from 1893 to 2020. Twelfth Street is a busy commercial area.

The following maps show the immediate context of the subject house.



Map Courtesy of City Views (CNW) V. 3.0



Map Courtesy of Google Maps, 2021

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<sup>3</sup> Project North

## Statement of Significance

### Description:

The Callow House is located at 1121 Eighth Avenue, in the West End neighbourhood of the City of New Westminster, British Columbia. Constructed in 1909, it was designed in the Gabled Vernacular style. It is 1 ½ storeys with a front gable roof that has bellcast eaves. There is a full-width front porch with the front door set on one side to line up with the front steps. The house is clad in narrow lap wood siding.

### Heritage Values:

The heritage value of the Callow House lies primarily in its age (1909), architectural style and for having one family associated with it for its first 50 years.

The house has aesthetic value for being a good example of the Gabled Vernacular style, as evidenced by its roof form with bellcast eaves and vergeboards, narrow wood lap siding with pronounced channels, original wood windows, a stained glass sash in the picture window on the front elevation, and the location of the front door to one side. Additionally, the likelihood that the cladding and that most of the windows are original to the house adds to its aesthetic and historic value.

The house has historic and cultural value for its age (1909) and for its long term association with the Callow family. Built for Margaret Callow (nee Cottier, 1839 – 1915), who was the widow of Thomas Callow and who had five grown children at the time the house was constructed: Margaret (b. 1870), William (b. 1872), Charles (1874-1941), Edward (1878-1952) and Julia (b. 1880).<sup>4</sup> Margaret moved to New Westminster from Winnipeg, Manitoba. Charles soon followed in 1910 and was listed in the Directories as the primary resident of the house until his death in 1941. Edward then lived in the house for a time afterwards. Youngest daughter Julia lived in the house from at least 1911 to at least 1955, with no record of a marriage. The eldest daughter, Margaret, married E. Richardson in 1941 and lived in Alberta. Both Charles and Edward were listed in the Directories as labourers, (in Edward's case, he was a brick layer). This indicates that the house has a strong association with a hardworking, lower-middle class family.

### Character-defining Elements

Key elements that define the heritage character of the building include:

- Orientation towards Eighth Avenue and its location in the front corner of the property.
- Residential form, scale and massing as expressed by its 1 ½ storeys, narrow profile, with the main floor being about ½ storey above grade, a front-facing gable roof and a projecting full-width front porch.

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<sup>4</sup> Canada Census 1891

- Gabled Vernacular style as represented by its roof style with bellcast eaves, full-width front porch, asymmetrical front elevation with the door off to the side, narrow channelled lap wood siding, wood belt course with wood shingle cladding below, wood corner boards and vergeboards, and a full-width front porch with wood posts, wood balustrade and shallow hipped roof.
  
- The design and location of windows (many of which appear to be original) with wood frames, wood casings, protruding wood sills, and most with horns. Of note is the stained glass sash in the picture window on the front elevation.
  
- An exterior brick-clad chimney on the rear elevation of the house.

**Photographs of the Building (January 2024)**



*Project South - Front Elevation*



*Project North - Rear Elevation*



*Project West - Side Elevation*



*Project East - Side Elevation*

## Conservation Plan

### Heritage Conservation Standards

The work on the historic house will ideally follow the “Standards and Guidelines for the Conservation of Historic Places in Canada” (*Standards and Guidelines*), developed by Parks Canada as a pan-Canadian approach to heritage conservation. A copy of this document can be found on-line at: [www.historicplaces.ca](http://www.historicplaces.ca).

There are three main approaches to heritage conservation which can be applied to the place as a whole and to its individual elements. These are defined in the *Standards and Guidelines* as follows, and while they have been defined above, are worth repeating:

**Preservation:** the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value. (Another term for this action, which is sometimes more applicable to a redevelopment proposal, is “Retention”.)

**Restoration:** the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

**Rehabilitation:** the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

### General Guidance

The *Standards and Guidelines* offer general guidelines with regard to the preservation, rehabilitation, and restoration of an historic building. A full list of the guidelines is provided in the appendix of this report and the most relevant are provided here with the associated number of the guideline in brackets.

From Chapter 3:

*“Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.” [11]*

- The heritage value and the character-defining elements have been identified in the Statement of Significance that forms part of this report. The house is proposed to have a minor alteration to the rear elevation, designed to be in keeping with the historic character of the house. Changes to the rear of a building are not readily seen by the public and are considered reasonable in achieving the balance between heritage conservation and modern-day liveability.

The proposed infills are respectful of the historic house in terms of placement and design. The design of the proposed two new infill buildings incorporates some of the design elements of the Callow House (such as front gable roof and pitch) without mimicking the house. The Callow House will be the more visually prominent, in part due to the lighter colour scheme proposed for the infill buildings and to the position of the Callow house being more forward on the lot.



*Proposed as of April 2025. Source: Nancy Dheilly*

From Chapter 4:

*“Understand the exterior form and how it contributes to the heritage value of the historic building.”* [1]  
- A Statement of Significance that identifies the heritage value of the building forms part of this report. The house was constructed in 1909 in the Gabled Vernacular style and is clad in its original wood channelled lap siding. It retains its original front gable roof and has had a new front porch added (in 2009) that is in keeping with the age and style of the house.

*“Understand the design principles used by the original designer or builder, and any changes made to the exterior form over time.”* [2]

- The design principle of a house built in 1909 in the Gabled Vernacular style, according to the Vancouver Heritage Foundation, was that it was based on a variety of popular styles, in particular the Greek Revival movement of the late Nineteenth Century, which popularized front gable roofs and simple designs with little ornamentation as compared to the Victorian-style houses. These 1 ½ to 2 storey gabled and somewhat narrow forms also meant they were well suited to urban lots<sup>5</sup>. This Heritage Conservation Plan identifies that there have been some changes to the house in the past: 1) a new front porch that fits in seamlessly with the architectural design of the house and 2) changes to the rear elevation at grade level that include new windows, a new door location, and a new covered deck.

*“Document the building’s exterior form before undertaking an intervention, including the form and massing, and views, sunlight and natural ventilation patterns.”* [3]

- A set of as-found drawings could be included as part of the application package. A series of photographs from 2024 are included in this report. This report and the approved architectural plans for the project should be provided to the local Archives.

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<sup>5</sup> Vancouver Heritage Foundation website on “House Styles”.

*“Assess the condition of the building’s exterior form early in the planning process so that the scope of work is based on current conditions.” [4]*

- A preliminary assessment has been completed to help inform this report. Experts in the relevant fields may be requested to provide detailed assessments of the original windows and/or original siding.

*“Retain the exterior form by maintaining proportions, colour and massing, and the spatial relationships with adjacent buildings.” [6]*

- The proportions and massing are all being retained. A new historically appropriate colour scheme is being proposed.

*“Document all interventions that affect the exterior form and ensure that the documentation is available to those responsible for future interventions.” [9]*

- This report and final design drawings should be provided to the local Archives as a means of providing this information.

## **Level of Restoration**

The proposal for the historic building is preservation on the outside with rehabilitation on the rear elevation and on the interior. Most of the exterior of the subject house is original. The design has changed little over time, with the exception of a newer front porch and changes to the rear in 2009. The newer front porch was designed using the Gabled Vernacular design palette and is therefore more than compatible. The wood siding appears to be original and will be retained. Many of the windows are also original and will be retained. In conclusion, a high level of the original design and materials will be retained as part of this project.

## **Energy Upgrades**

The historic building will be upgraded in order to reduce its carbon emissions. The City’s guide for energy retrofits for heritage homes<sup>6</sup> has been used to inform this discussion.

**Location and Orientation:** The historic building will maintain its current orientation, with its front elevation facing southeast. The west elevation will be slightly protected from the heat of summer by the proposed new infill buildings. (This will not negatively impact the air flow in and out of the windows.)

**Construction Method:** The subject house is a wood frame house constructed in 1909. Some minor changes have occurred to the house in the past, specifically a new front porch and, on the rear elevation, new windows, a new door location, and a new covered deck. All were done using wood as the material. The proposal is to retain the majority of the house and to reduce the size of the non-historic rear deck and its roof. It does not appear that the house has had any alterations to the underlying wood frame system. Most of the window openings are original and have retained their original glass. The windows will continue to be operable to allow for cross ventilation.

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<sup>6</sup> “Energy Retrofits for Heritage Homes.” January 2024

**Current Systems:** The heritage house currently uses a standard gas furnace and forced air to heat the spaces. The intention is to retain the existing heating system until it is no longer operable, then to replace it with a heat pump. Operable windows will enable cooling when it is hot, but air conditioning is also being added to ensure comfort. The new bathroom being added to the heritage house will provide an opportunity to update the insulation in the affected walls. The bathroom will have new low-flow fixtures, LED lighting and electric heat. The infill houses will meet Step Code 4 and will all have low carbon systems, including heat pumps, low-flow fixtures, and LED lighting. They will also have the majority of their windows operable to allow for passive cross ventilation.

**Inherently Sustainable Features:** The heritage house already has passive systems that will be maintained, in particular operable windows, which will allow for cross ventilation and a reduction of the need for mechanical cooling. The new buildings proposed for beside and behind the subject building will provide protection from winds and will reduce the summer heat influence on it but will not negatively affect the ability of the open windows to provide cross ventilation. Natural cooling would start at the front or back of the house and flow out one of the upper windows.

As already noted, the heritage house and the infills will utilize low-flow fixtures, LED lighting, and natural cross ventilation. Consideration is being given to including or to at least provide space for water barrels for catching rainwater off the roof that can be used for the garden (not for interior uses). New trees will be planted, as well as numerous shrubs and drought-resistant and low maintenance plants. Every attempt will be made to source landscape and building material from local sources.

## Character-defining Elements

### Site

#### Character-defining Element

The orientation of the house facing Eighth Avenue and its location in the front corner of the property are both character-defining elements.

#### Conservation Approach

Retention

#### Description

The house faces Eighth Avenue and is located in the front corner of the property. The intention is to retain these general aspects as part of the proposal. There is sufficient room on the remainder of the property to add infills especially if the house can be shifted a bit forward and/or to the side. This would allow for a more efficient use of the site and provide the house with a new foundation (which contributes to the longevity of the house).



*Courtesy of Google Maps, 2024*

### Form, Scale and Massing

#### Character-defining Element

The residential form, scale and massing as expressed by its 1 ½ storey height, narrow profile, main floor about ½ storey above grade, front-facing gable roof, and projecting full-width front porch are character-defining elements.

#### Conservation Approach

Retention

#### Description

The intention is to retain the form, scale and massing of the house.



## Main Roof

### Character-defining Element

The front-facing gable roof with bellcast eaves is a character-defining element.

### Conservation Approach

Retention/Repair

### Description

The roof appears to be in fairly good condition, although this was based on observation from the ground. The roof is clad in asphalt shingles in a dark colour. The eaves have not been altered.



The roof shingles should be evaluated to determine if they need to be cleaned, repaired or replaced. If replacing, installing asphalt/duroid shingles is acceptable. If cleaning, use a gentle means (no high-powered power washing) and ideally hand scrub with something such as diluted TSP or Simple Green.

## Front Porch

### Character-defining Element

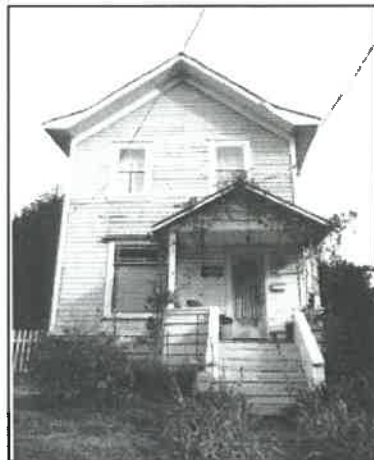
The projecting front porch, with wood posts and balustrade and shallow hipped roof is a character-defining element.

### Conservation Approach

Retention/Repair

### Description

The renovations carried out on the house in 2009 included a new porch and porch roof. Prior to that, the porch was half-width and had a front-gable roof. The new porch was changed to be full-width with a low hipped roof. The photographs here illustrate the differences. While not original to the house, the porch is designed in a style and has been constructed with materials that are appropriate to the historic era of the house. It is recommended that this design, including the wood



*Front Elevation prior to 2009 renovations. Source: architectural drawings by Basil Restoration 2009.*



*Front Elevation with newer front porch, 2024.*

posts and balustrades, be retained and repaired where necessary. Any new material should match the existing in terms of design, profile, size and material, using the existing pieces as templates. No new decorative elements should be added. Part of the historic value of the porch design is its simplicity.

## Cladding

### Character-defining Element

The narrow, channelled lap wood siding on the upper levels of the house, and the wood shingles under the belt course are character-defining elements. The belt course, corner boards and vergeboards (all wood) are also character-defining elements.

### Conservation Approach

Preservation/Repair

### Description

This style of wood siding is typical of the Gabled Vernacular style of house. The majority of it appears to be original to the house, with the exception of a section on the rear elevation which was replaced during the 2009 renovation. The replacement material matched the original.

The overall condition of the various cladding materials needs to be



*Side Elevation showing paint bubbling.*

assessed to determine if any elements need repair. The paint is bubbling and peeling in areas which will need to be addressed.

Any elements that are beyond repair should be replaced with new material that match the existing in terms of design, profile, size and material, using the existing pieces as templates.



*Front Elevation showing loss of paint.*

## Original Windows

### Character-defining Element

The location, design and fenestration pattern of windows on the main and upper levels of the house are character-defining elements.

### Conservation Approach

Preservation/Restoration

### Description

*Front Elevation:* There are three original windows on the front elevation: a vertical picture window on the main level and two vertical windows on the upper level.



The window on the main level has a stained glass sash. The architectural plans from the 2009 renovation identify this window on the plans as being original and as being restored.

The two windows on the upper level are vertically oriented, 1/1 and appear to be single hung. They match each other.

All three of these windows have wood casings, frames and protruding wood sills, as well as horns on the upper sashes.



*Front Elevation window, main level.*



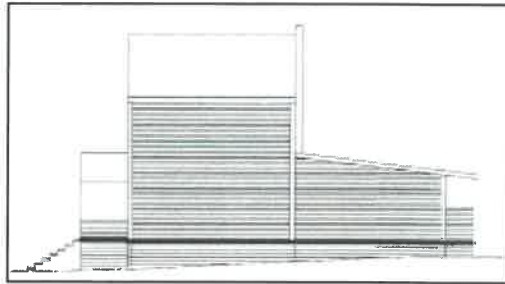
*Front Elevation windows, upper level.*

*West Side Elevation:* There are two original windows on this elevation, both on the main level. Each window is vertically oriented, 1/1, likely single hung. The windows match each other and the two upper windows on the front elevation in design and material.

The window towards the front of the house has a small shed roof to protect it. Given that this feature was not identified in the as-found drawings nor on the renovation drawings from 2009, it is likely that this element was added as an after-thought during the construction phase of the renovation. It may be retained, as it is now part of the history of the house.



*East Side Elevation:* There is one small window on the east side elevation, on the upper level. Although difficult to see from the ground, it appears to be 1/1 and, like on the other elevations, has a wood casing, frame and protruding wood sill. This window does not appear on the as-found drawings supplied for the 2009 renovation work, so the assumption is that it was added at that time and designed to match the originals.



*As-found drawing of Side Elevation for 2009 renovations. Source: architectural drawings by Basil Restoration 2009.*

*Rear Elevation:* The rear elevation has two original windows on the upper level and two new windows on the main level. This observation is based in part on the renovation plans from 2009 which show the rear door staying in its original location and the addition of one new window on the far left (centre drawing below). Since those plans were drawn, the door was relocated to the right and two windows were added (photo at left below). According to the as-found drawing of the rear elevation (drawing on far right below), it looks as though there was a multi-pane window on the far left, for the bathroom. It may have been replaced with the current one. The two original windows on the upper level match those on the side and front elevations in terms of design and material.



*Photo of Rear Elevation January 2024*



*Drawing of Proposed Rear Elevation for 2009 renovations. Source: architectural drawings by Basil Restoration 2009.*



*As-found drawing: Rear Elevation for 2009 renovations. Source: architectural drawings by Basil Restoration 2009.*

*General Comments:*

All of the original windows should be assessed by a reputable window company that has experience with repairing historic windows. Do not approach companies that only do replication work.

The original windows should be retained and restored unless found to be irreparable by the window company. If this is the case, then those windows should be replicated in terms of design, profile, size and material, using that window as a template.

Caulking or glazing putty will likely need to be replaced.

There is an alternate solution in the Homeowner Protection Act that allows for the retention of historic windows on houses that are on the Heritage Register or that are legally protected. If there is any question about retention, consult with the Heritage Consultant before undertaking any action.

The following companies (in alphabetical order) could be approached and asked for a detailed quote that shows what work is needed for each window. The choice of which company to then hire would be up to the project team. If consideration is being given to hiring a company that is different from the following three companies, first consult with the Heritage Consultant.

Distinctive Woodwork  
Brendan Jones  
604-657-2060

M.R. Windows Ltd.  
James Tipton  
(604) 626-0551  
james@mrwindowsltd.ca  
<http://www.mrwindowsltd.ca/>

Marvin Windows  
Bob Guimond, Territory Manager  
bguimond@marvincanada.com  
604.345.2101 | 1.800.263-6161  
marvincanada.com

## Chimney

### Character-defining Element

The chimney on the rear elevation is a character-defining element.

### Conservation Approach

Retention/Repair

### Description

There is an external chimney on the rear elevation (the original rear façade level) that is comprised of brick topped by two rows of corbelling. A chimney on an historic house is an important element that speaks to the age of a house. Modern houses rarely have chimneys. The chimney on this house should be retained.

It is likely that the chimney was painted to match the house during the 2009 renovation. To avoid damaging the bricks, it is reasonable to paint the chimney a reddish masonry colour.

The condition of the chimney should be carefully evaluated by an expert. It should be repointed/repared if necessary. Any bricks needing replacement should be matched to the existing. If the flashing needs replacement, ensure that both flashing and counter-flashing is used. If there is moss growth on the bricks, it should be carefully removed by using a natural bristle brush and a mild rinse detergent. Do not power wash.



## Colour Scheme

### Character-defining Element

The colour scheme of an historic building is considered to be a character-defining element. If the original colour scheme can be accurately determined, then it is recommended that it be used as part of a restoration project. However, it is also reasonable to use a colour scheme that is based on the era when the house was constructed, or to retain an existing colour scheme if it is historically appropriate.

### Conservation Approach

The current paint job is now failing, with numerous examples of paint bubbling and also areas where the underlying wood cladding is bare. The repainting of the house should be done as part of the project.

It is important to note that the brand of the paint is less important than the quality of the paint, the proper preparation of the surfaces, and the expertise with which the paint is applied. A professional painter with experience painting historic wood-clad buildings should be retained.

The following colour scheme is recommended.

## Colour Scheme

Element	Colour – Based on VHF Historical True Colours Palette (Sherwin Williams brand)	Recommended Finish
Body (channelled lap siding and shingles) Front porch – decking and stairs	Pendrell Green or Edwardian Pewter or Point Grey	Satin
Trims <ul style="list-style-type: none"> <li>• Outer window components (frames and sills)</li> <li>• Front porch rail system and columns</li> <li>• Door frames (outer sides)</li> <li>• Vergeboards and Belt Course</li> </ul>	Edwardian Cream	Semi-Gloss
Window inner trim pieces (casings)	Gloss Black	Gloss
Front and Rear Doors	Stained brown	Gloss
Gutters/downspouts	Similar colour to cladding	n/a
Chimney	Reddish masonry colour such as Mellish Rust	n/a
Roof (asphalt shingles)	A medium to dark colour is preferred.	n/a

## Non-character-defining Elements

The following are not considered to be character-defining elements and may be removed or replaced provided that their removal or replacement does not impact the overall heritage value of the building. If in doubt, please confer with the Heritage Consultant before beginning work.

### Rear Elevation

In general, the rear elevation of a heritage house can be modified and even have a contemporary design if preferred. Typically, the rear elevation is not seen by the general public and does not have to follow the same level of preservation as the other three elevations.

The rear porch and change in the lower level of the rear elevation is from the 2009 renovation work. The deck is comprised of wood decking and wood posts and is compatible with the design of the house. If preferred, it may be removed as part of the project. A new porch may be designed and added that is preferably in keeping with the style of the house.

As part of the 2009 renovation work, the windows on the main level of the rear elevation and the location of the door were changed. These may be changed or retained as part of this project. The windows on the upper level should, however, be retained and restored as needed.



*Photo of Rear Elevation 2009.  
Source: Basil Restoration*



*Photo of Rear Elevation January  
2024*

## Front and Rear Doors

The front and rear doors are appropriate to the historic era of the house. They may be retained or replaced. If being replaced, the front door, and preferably the back door, should be in a style from the 1909 era.



*Front door*



*Rear door*

## Gutter System

The intention of a gutter system is to convey water away from the building. Ideally a new gutter system will be installed as part of the work carried out on the house.

The system on the subject house may use a standard rectangular profile, 5" pre-finished continuous metal type. The colour of any new gutters and rain-water leaders should match or blend in with the exterior colour scheme so that they 'disappear'.

## Strata Title

The City of New Westminster requires that the ownership type for this project be included in this Heritage Conservation Plan. The new ownership style will be a strata title for the heritage house and for the three new units. Some upgrades to the structural integrity of the heritage house are anticipated as a result. These are expected to include firming the foundation and possibly increasing the structural integrity of the house by adding to the internal or crawl spaces. These particular interventions are unlikely to impact the character-defining elements, but if there is concern about this, then the heritage consultant should review.

## Maintenance Plan

Once relocation and restoration of the heritage building has been completed, it will be important to maintain it in good condition. At least once per year, a complete inspection of the inside and outside of the building should be carried out and all deficiencies identified. All repair work should be carried out promptly and according to the *Standards and Guidelines*.

A good rule of thumb is to ensure that each approach or method will not harm or remove any of the character-defining elements identified in this document. If damage to any of the building elements is found, be sure to treat the cause rather than the symptom. For example, if the vergeboard fell off, is it because it was weak from water damage? If so, the determine why the water was able to damage it and take steps to correct it.

Following is a basic maintenance checklist.

### Site:

- Keep vegetation, especially those that are invasive, away from the building
- Do not plant invasive plant or tree species on the property
- Ensure that the site is well-drained and/or that run-off is directed away from the building

### Foundation:

- Watch for signs of unexpected or significant settlement, deformation, cracking
- Inspect for signs of moisture, efflorescence (white powder on concrete), staining

### Wood Siding:

- Inspect wood siding for water damage/ingress, vegetative damage (moss, vines, etc.), insect damage, rot, warping, etc.
- Inspect for loose or damaged pieces
- Inspect paint finishes for cracking, peeling, etc.

Refer to the National Park Service Preservation Brief #10 "Exterior Paint Problems on Historic Woodwork" for more information.

<https://www.nps.gov/orgs/1739/preservation-briefs.htm>

### Porches/Decks:

- Check underneath for any signs of creatures
- Look for any signs of water damage, softness, rot of the wooden elements

### Roof and Gutters:

- Inspect for loose, missing or damaged roofing material
- Inspect shingles for cracks, blisters or curling
- Remove moss and other vegetative growth
- Check flashing for cracks, holes or looseness

- Inspect soffits for any openings where creatures could get in
- Inspect and clean gutters, checking for cracks and other damage
- Flush downpipes

#### Chimney:

- Inspect brick for looseness or damage
- Replace bricks as necessary to match existing in terms of size and colour
- Inspect mortar for damage
- Repair or replace mortar ensuring it matches the existing in terms of colour, width and consistency
- Any moss growth on the bricks should be carefully removed. Clean the brick using a natural bristle brush and a mild rinse detergent. Do not power wash.

#### Windows and Doors:

- Inspect for broken or cracked glass
- Ensure that windows and doors are operating smoothly and properly
- Check the alignment of the doors regularly
- Check all wood casings and frames for dampness, softness and rot
- Inspect weather stripping
- Refer to the website <https://www.nps.gov/orgs/1739/preservation-briefs.htm> and search for Preservation Brief #9 by the US National Park Service on "The Repair of Historic Wooden Windows"

Gentle cleaning examples include diluted TSP, Simple Green, or D/2 Biological Solution.

## General Standards for Preservation, Rehabilitation and Restoration Approaches

The following is taken directly from the Standards and Guidelines.

1. Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an historic place that, over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an historic place that requires minimal or no change to its character-defining elements.
6. Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information. *(Note that the Provincial Archaeology Branch must be notified before any work is undertaken if archaeological resources are discovered.)*
7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.
10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.

11. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

12. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.

14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

## Appendix A: Definitions

The following definitions of heritage value are quoted directly from the “Canadian Register of Historic Places: Writing Statements of Significance” guide:

Aesthetic value refers to the sensory qualities of a historic place (seeing, hearing, touching, smelling and tasting) in the context of broader categories of design and tradition. A place may have aesthetic significance because it evokes a positive sensory response, or because it epitomizes a defined architectural style or landscape concept. Visual aesthetic value is typically expressed through form, colour, texture or materials. It is possible for historic places to have other aesthetic values as well, such as auditory ones. Historic places with aesthetic significance may reflect a particular style or period of construction or craftsmanship, or represent the work of a well-known architect, planner, engineer or builder.

Historical and cultural values are sometimes combined and refer to the associations that a place has with past events and historical themes, as well as its capacity to evoke a way of life or a memory of the past. Historical or cultural value may lie in the age of a heritage district, its association with important events, activities, people or traditions; its role in the development of a community, region, province, territory or nation; or its patterns of use. Historical or cultural value can lie in natural or ecological features of the place, as well as in built features.

Scientific value refers to the capacity of a historic place to provide evidence that can advance our understanding and appreciation of a culture. The evidence is found in the form, materials, design and/or experience of the place. Scientific value can derive from various factors, such as age, quality, completeness, complexity or rarity. Scientific value may also be present when the place itself supplements other types of evidence such as written sources, such as in archaeological sites.

Social value considers the meanings attached to a place by a community in the present time. It differs from historical or cultural value in that the value may not have an obvious basis in history or tradition and relates almost entirely to the present time. Social value may be ascribed to places that perform a key role within communities, support community activities or traditions, or contribute to the community’s sense of identity. Places with social value include sites that bring the community together and create a sense of shared identity and belonging.

Spiritual value is ascribed to places with religious or spiritual meanings for a community or a group of people. Sacred and spiritual places could include places of mythological significance, landscape features associated with myth and legends, burial sites, rock cairns and alignments, fasting/vision quest sites etc., places representing particular belief system(s) or places associated with sacred traditions, ceremonial practices or rituals of a community/group of people.<sup>7</sup>

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<sup>7</sup> Historic Places Program Branch, “Canadian Register of Historic Places: Writing Statements of Significance,” Parks Canada, November 2006, pp. 12-13.

## Appendix B: Historic Information

### The Callow Family

Between the year the house was constructed (1909) and 1955 (the last year the Directories are available on-line), there was only one family that owned the house, the Callow Family.

Margaret Callow (nee Cottier, 1839 – 1915) is identified as the “developer”, which means that she had the house built. She was married to Thomas Callow (b. 1839), a carpenter, who passed away at some point before 1909.<sup>8</sup> Both of them were from the Isle of Man and lived in Ontario, Manitoba and British Columbia after moving to Canada.

Together, Margaret and Thomas had five children: Margaret (b. 1870), William (b. 1872), Charles (1874-1941), Edward (1878-1952) and Julia (b. 1880).<sup>9</sup> The first three were born in Ontario and the last two in Winnipeg, Manitoba. Based on Charles’ funeral notice in 1941, his sister at the time was Mrs. E. Richardson of Edson, Alberta. This was likely his sister Margaret. No further information could be found on Margaret and no information was found on William.

Charles Callow was born in Toronto in 1874. He came to British Columbia in 1906 at the age of 32 and moved to New Westminster in 1910. According to the on-line Directories, his occupation was as a labourer. According to his death certificate, he last worked in 1940. Beside: “Kind of Industry or Business”, is written the term: “Relief”. He died in 1941 at the age of 66.

Edward Callow was born in Winnipeg in 1878. He came to British Columbia in 1904 at the age of 26 and moved to New Westminster in 1907. According to the on-line Directories, his occupation was as a labourer, and according to his death certificate, he worked in the brick laying industry. However, he apparently committed some sort of crime at some point because he is listed in the 1931 Canada Census as being a prisoner in the Oakalla Prison Farm in 1931 (he was 53 years old at that time). He died in 1952 at the age of 73.

Julia Callow was born in 1880, likely in Winnipeg, Manitoba. She is listed in the 1881 Canada Census but under the name “Catherine”. All later references to her are as “Julia” so it is reasonable to conclude that she was either Catherine Julia Callow or Julia Catherine Callow. She is listed in the on-line Directories as living in the house during the time period 1911 – 1955+, but no occupation is listed for her. It appears she did not marry, as she is often listed as “Miss”. There are no on-line vital statistic documents for her.

A search was made of the New Westminster Museum and Archives, the City of Vancouver Archives, the City of Burnaby Archives and the Vancouver Public Library for historic photographs of the family and of the house, but none were found.

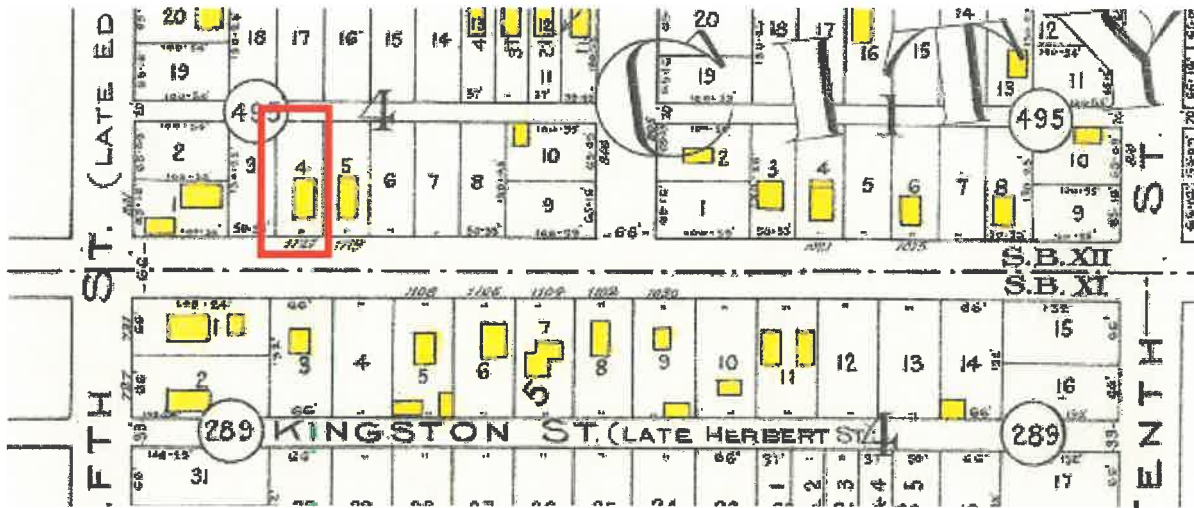
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<sup>8</sup> No on-line records other than mentions in Canada Census could be found for Thomas Callow.

<sup>9</sup> Canada Census 1891



Goad's Atlas, 1913



Excerpt of Goad's Atlas of the City of New Westminster, 1913, Plate 116

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445 Granville Street Phone 4887

Buttes L E wireman B C El Ry h 314 1st

Byers John lab rms 505 Agnes

Byrne Margaret lvs 1020 5th Ave

Byrne Peter real estate h 1020 5th Ave

Byzantion Cafe, George Nikitas prop 623 Clarkson lvs same

**C**

Caatham Wm C prin Boys Central School lvs 419 9th

Cable Abraham cigarmkr lvs Fraser Hotel

Caddell Frederick emp B C & T Co h 529 10th

Caddell Mary C laundry lvs 529 10th

Caddell Minnie starcher 814 Royal Ave lvs 523 10th

Caddell R Alfred fireman lvs 529 10th

Caddell Susan (wid Richard) h 529 10th

Caddell T Henry fireman lvs 529 10th

Caden Sydney guard G N Ry Co h s s Columbia nr Keary

Cairns A E foreman Brunette Saw Mills Co lvs 355 Keary

Cairns Fred clk A W McLeod lvs 224 7th

Calbick Charles janitor Court House lvs 208 5th Ave

Calbick Edith fl stenog Land Registry Office lvs 122 2nd

Calbick Frank H carp lvs 122 2nd

Calbick John A carp h 122 2nd

Calbick Mildred rms 611 5th

Calbick Wilbert W carp lvs 122 2nd

Calbick W clk J H Todd lvs 208 5th

Calder D canner rms 668 Front

Calder John C P R watchman h 729 5th Ave

Calderwood Virgie milliner H G Moore lvs 1614 8th Ave

Caldwell James retired h 209 5th Ave

Caldwell John porter Russell Hotel

Calhoun A lab h 3-4, 283 11th

Calhoun A emp B C T & T Co h 809 Milton

Callan Charles E salesman lvs 211 Columbia

Callanan Joseph physician h 124 7th

Callon Charles lab h 1121 8th Ave

Callon Edward lab lvs 1121 8th Ave

Callon Julia lvs 1121 8th Ave

Camble David clk W J Kerr Ltd lvs 781 6th

Cambridge John J dist registrar of supreme court and registrar of county court Court House lvs 87 4th

Cambridge Thomas H asst bursar Insane Asylum h 320 Cedar

Cameron Annie dressmkr 315 2nd lvs same

Cameron Charles C emp city h 31 Cedar

Cameron Christopher T cond B C El Ry h 342 Keary

Cameron Daniel A cabinetmkr W Fales lvs 612 Agnes

Cameron David S tmstr Belyea & C h 727 4th

Cameron Donald of Cleveland & Cameron lvs N Vancouver

Cameron Emma M dressmkr 7, 552 Columbia lvs 329 Columbia

Cameron F W asst trainmaster B C El Ry lvs cor 10th Ave and 13th

Cameron Frank W mgr Westminster Transfer Co h 611 Liverpool

Cameron George prop Liverpool Arms h 23, 411 Columbia

Cameron James S chief mail carrier P O lvs 48 Bushby

Cameron Jesse C watchmkr J B Gray lvs 604 Columbia

Cameron Joseph farmer h 328 Keary

Cameron Norman D of Lytton Hotel lvs 441 Keefer

Cameron S rms 1013 Quebec

Cameron Wm A guard B C Penitentiary h 457 Columbia E

Cameron Wm R driver lvs 611 Liverpool pool

Campbell Alexander blksmith 473 Fader

Campbell Angus carp h 303 Princess

Campbell Angus carp rms 323 Royal Ave

Campbell August carp Galbraith & Sons

Campbell B lab rms 1011 Royal Ave

Campbell Catherine dom 410 3rd

Campbell Daniel staty eng Royal City Mills lvs 1011 Royal Ave

Campbell Daniel tailor H Robertson lvs 604 Columbia

Campbell Douglas tmstr rms 1011 Royal Ave

Campbell Elsie dom 731 6th

Campbell Ethel G bkpr Denny & Ross lvs 416 4th Ave

Campbell Eva M clk T B Green lvs 472 Fader

Campbell F lab lvs 902 Columbia

Campbell George real est rms Guichon Rooms

Campbell Hugh clk lvs 1012 7th Ave

Campbell Hugh G emp City h 1401 Nanaimo

Campbell Ida maid lvs 417 3rd Ave

Campbell Isabella (wid Allan) lvs 45 Dufferin

Campbell James bklyr rms 445 6th

Campbell John painter lvs 216 St Patrick

Campbell John C tmstr rms 323 13th

Campbell John H millwright h 1012 7th Ave

Campbell John M millwright Schaeke Mach Works lvs 419 Cumberland

Campbell Julia lvs 1401 Nanaimo

Campbell J H millwright S & B Lum Co rms 84 McKenzie

Campbell Katherine A M milliner Connor & McQuarrie lvs 1410 Nanaimo

Campbell Kenneth M tallyman B C T & T Co lvs 422 6th

## Mercantile Towel Supply Co.

SANITARY TOILET CABINETS  
Clean Towels Daily  
Prompt and Efficient Service

ARTHUR J. COURTNEY, Manager  
556 Richards St. Telephone 670 Rates Average 1¢ & 1.25 per month.

First listing of the family. Note that their last name has been misspelled.

Funeral Record for Charles Callow (Courtesy of the New Westminster Museum and Archives)

Year 1941	<b>S. BOWELL &amp; SON</b>		Month <u>JANUARY</u>
No. <u>29-A</u>			No. <u>29</u>
Name of Deceased	<b>CHARLES CALLOW.</b>		
Address	<b>1121-8th Ave., New Westminster, B. C.</b>		
Place of Death	<b>1121-8th Ave., New Westminster, B. C.</b>		Date of Death <b>JANUARY 26/41</b>
Sex <b>Male</b>	Nationality <b>Canadian</b>	Racial Origin <b>British (Manx)</b>	Marriage State <b>Single</b>
Birthplace	<b>Toronto, Ontario</b>		
Date of Birth	<b>June 16, 1874.</b>		
How Long in (a) Place of Death <b>31 years</b>	Age <b>66-7-10</b>	(b) In Province <b>35 years</b>	(c) In Canada <b>11 1/2</b>
Occupation	<b>Labourer</b>		
Kind of Industry or Business	<b>Relief</b>		
Date Deceased Last Worked	<b>October 1940</b>		Total Number of Years <b>?</b>
If Married, give name of Wife or Husband of Deceased --			
Name of Father	<b>Thomas E. Callow</b>	Birthplace	<b>Isle of Man.</b>
Maiden Name of Mother	<b>Margaret Cottier</b>	Birthplace	<b>Isle of Man.</b>
Name of Informant	<b>Edward Callow</b>		
Address	<b>408 Victoria Street, New Westminster, B. C.</b>		
Relationship to Deceased	<b>Brother.</b>		
Place of Burial removal	<b>New Fraser Cemetery</b>		Location of Grave <b>5-27-B.</b>
Date of Burial removal	<b>Jan. 30, 1941.</b>		Time of Service <b>3:00 P.M.</b>
Service held at	<b>Parlours.</b>		
Minister	<b>Rev. F. C. McCras.</b>		
Physician	<b>Dr. O. S. Purvis. Dr. E. H. McEwen (Coroner)</b>		
Cause of Death	<b>X</b>		
Family Names:	<b>1 Brother--Edward Callow, New Westminster.</b> <b>2 Sisters--Mrs. E. Richardson, Edson, Alta.</b> <b>Miss Julia Callow, New Westminster, B. C.</b>		
Remarks:	<b>City Relief.</b>		
Funeral Notice: <b>Columbian</b>	<b>Freestone</b>	<b>Ben</b>	<b>New Herald</b>
No. of Claps <b>Call at</b>			
FD. Bearers:			
1 <b>X</b>			
2			
3			

NWMA Item #59.

Death Certificate of Edward Callow (Courtesy of the BC Archives)

Form 6

Reg. No. (Office use only)  
**NEW WESTMINSTER**  
**52-09-002080**

PROVINCE OF BRITISH COLUMBIA  
 DEPARTMENT OF HEALTH AND WELFARE — DIVISION OF VITAL STATISTICS  
**REGISTRATION OF DEATH**

**1. PLACE OF DEATH**  
 Name of city or place New Westminster, B.C. Name of Municipality (if any) \_\_\_\_\_  
(If outside city or municipal limits add "Rural")  
 Street or road Royal Columbian Hospital House No. \_\_\_\_\_  
(If death occurred in a hospital or institution, give the name instead of street and number)

**2. LENGTH OF STAY** In Municipality where death occurred 45 Years In Province 48 Years In Canada (if immigrant) Life  
(in years, months and days)

**3. PRINT FULL NAME OF DECEASED** CALLOW, EDWARD  
(Surname or family name) (All given or Christian names in full)

**4. PERMANENT RESIDENCE OF DECEASED:**  
 Name of city or place New Westminster, B.C. Name of Municipality (if any) \_\_\_\_\_  
(If outside city or municipal limits add "Rural")  
 Street or road Eighth Avenue House No. 1121

**5. SEX** Male **6. CITIZENSHIP** Canadian **7. RACIAL ORIGIN** English **8. Single, Married, Widowed or Divorced** Single **9. BIRTHPLACE:** Winnipeg, Manitoba  
(See marginal notes) (All given or Christian names in full) (City or Place and Province or Country)

**10. Date of Birth** February 5th, 1878 **11. AGE** 73 **12. Months** 11 **13. Days** 22 **14. If less than one day** \_\_\_\_\_  
(Month by name) (Date) (Year) (hrs. or min.)

**17. (a) Trade, profession or kind of work as logger, fisherman, office clerk, etc.** Labourer  
**(b) Kind of industry or business, as logging, fishing, bank, etc.** Brick Laying  
(If labourer specify kind of work above) (If "Homework" in own home answer "At Home")

**13. Date deceased last worked at this occupation** Unknown **14. Total years spent in this occupation** Unknown

**15. If married, widowed or divorced give name of husband or maiden name of wife of deceased.** \_\_\_\_\_

**16. Name of father** Callow, Thomas  
(Surname or family name) (All given or Christian names)

**17. Maiden name of mother** Cottier, Margaret  
(All given or Christian names)

**18. Birthplace—** Isle Of Mann **19. Mother** Isle Of Mann  
(City or Place and Province or Country) (City or Place and Province or Country)

**19. I certify the foregoing to be true and correct to the best of my knowledge and belief.**  
 Given under my hand at New Westminster this 30th. day of January 19 52

Signature of informant J. B. Patten Relationship to deceased Niece  
(Married witness not to use husband's initials or alpha names)  
 Address of informant 11454 78th Avenue, Edmonton, Alberta  
(House No.) (Name of street) (Name of City, Municipality or Place) (Province or State)

**20. Burial, Cremation or Removal.** Burial **Date** February 1st, 1952  
(State which) (Date) (Month by name) (Date) (Year)  
 Place of Burial New Westminster, B.C. **Name of Cemetery** Fraser Cemetery  
(Municipality, etc., where Cemetery located)

**21. Undertaker—** S. Bowell & Sons **Address** New Westminster, B.C.  
Name (Name of City, Municipality or Place) (Province or State)

**MEDICAL CERTIFICATE OF DEATH**

**22. DATE OF DEATH** January 27th, 1952  
(Month by name) (Date) (Year)

**23. I HEREBY CERTIFY that I attended deceased from** April 22nd, 1952 **and last saw him** January 26th, 1952  
(Date) (Date) (Date)

**CAUSE OF DEATH**

**Disease or condition directly leading to death** Thromborrhage  
(This does not mean the mode of dying, e.g., heart failure, asphyxia, etc. It means the disease, injury, or complication which caused death.)  
 due to (or as a consequence of) \_\_\_\_\_  
**Antecedent causes** Ulcer of stomach at duodenum  
 Morbid conditions, if any, giving rise to the above cause, stating the underlying condition last. \_\_\_\_\_  
 due to (or as a consequence of) \_\_\_\_\_  
**Other significant conditions contributing to the death, but not related to the disease or condition causing it.** Acute meningitis, cerebral arteriosclerosis, (hypertension) and acute alcohol poisoning.

**24. If a woman, was the death** No **(a) Associated with pregnancy?** No **(b) Duration** \_\_\_\_\_ **(c) Was there a delivery?** \_\_\_\_\_

**25. (a) Was there a recent surgical operation?** No **(b) Date of operation** \_\_\_\_\_ **(c) State findings of operation** \_\_\_\_\_ **(d) Was there an autopsy?** Yes

**26. If death was due to external causes (violence) fill in also the following:**  
**(a) Accident, suicide or homicide?** \_\_\_\_\_ **(b) Date of injury** \_\_\_\_\_  
**(c) Manner of injury** \_\_\_\_\_ **(d) Nature of injury** \_\_\_\_\_  
**(e) Specify whether injury occurred in industry, in home or in public place** \_\_\_\_\_

**27. Signed by** J. B. Patten **Designation** M.D. **M.D., Coroner, etc.** \_\_\_\_\_  
**Address** New Westminster, B.C. **Date** January 31st, 1952

**28. Print name of M.D., Coroner, etc., whose signature appears above** \_\_\_\_\_  
**29. Notations** \_\_\_\_\_

**30. I hereby certify that the above return was made to me at** New Westminster  
**Dated** February 5, 1952  
**District Registration No.** \_\_\_\_\_  
(Signature of District Registrar)

MARGIN RESERVED FOR BINDING. WRITE PLAINLY, WITH UNFADING INK. THIS IS A PERMANENT RECORD.  
 CITIZENSHIP (NATIONALITY) is defined in terms of the country to which the person owes allegiance. The term "Canadian" should be used as descriptive of a person who was born in Canada or who has rights of Citizenship in Canada, unless he or she has subsequently become the citizen of another country.  
 RACIAL ORIGIN is defined in terms of the people or race to which the person—traced through the father—belongs, whether English, Irish, Scottish, French, German, Russian, Ukrainian, etc. The terms "Canadian" or "American" should not be used for RACIAL ORIGIN, as they express CITIZENSHIP (NATIONALITY).

DO NOT WRITE BELOW  
 DOUBLE LINE  
 OFFICE USE ONLY

SEE REVERSE SIDE FOR

In case of 25th anniversary consult reverse side before making any corrections.

Funeral Record for Edward Callow (Courtesy of the New Westminster Museum and Archives)

Year.....	1952	<b>S. BOWELL &amp; SONS</b>		Month.....	January
No.....	42			No.....	42

Name of Deceased	EDWARD CALLOW			Date of Death	Sun. Jan. 27/52
Address	1121 Eighth Ave., City			Place of Death	Royal Columbian Hospital
Sex	Male	Nationality	Canadian	Racial Origin	Manx
Birthplace	Winnipeg, Man.			Marriage State	Single
Date of Birth	Feb. 5, 1878			Age	73 yrs. 11 mos. 22 days
How Long at (a) Place of Death	45 yrs.			(b) In Province	48 yrs. (c) In Canada
Occupation	Laborer			Life	
Kind of Industry or Business	Brick Laying			Total Number of Years	?
Date Deceased Last Worked	?				
If Married, give name of Wife or Husband of Deceased					
Name of Father	Thomas Callow		Birthplace	Isle of Mann	
Maiden Name of Mother	Margaret Cottier		Birthplace	Isle of Mann	
Name of Informant	Mrs. J. R. Parsons				
Address	11454 - 78th ave., Edmonton, Alta.				
Relationship to Deceased	Niece				
Place of Burial, removal	Fraser		Location of Grave	R. 5, S. 27, L. D	
Date of Burial, removal	Fri. Feb. 1/52		Time of Service	11:00 A.M.	
Service held at	Chapel		Religion	Protestant	
Minister	Rev. P.C. McCrae				
Physician	Dr. J.P. Lawson				
Cause of Death	Hæmorrhage, ulcers of stomach & duodenum				
Family Names:	1 sister - Miss Julia Callow, City Several nieces & nephews				

Remarks:

Funeral Notices: Columbian	Province	Sun	News Herald
No. of Cars	Call at	Palbearers	
1			

Pal Bearers:			
1	H. Gregory	4	D. MacDonald
2	C.S. Cameron	5	T. Mahony
3	K. Burton	6	J. McMillan

NWMA Item #4239.

## **Vancouver Heritage Foundation House Styles**

### **“Gabled Vernacular”**

#### **Form**

The most common surviving houses of old Vancouver, Gabled Vernaculars are 1-1/2 to 2-1/2 stories tall with front-gabled roofs; the roof may have a skirt across the bottom of the gable. In this style, the house is usually set a half to a full storey above the ground (due to the basement space required for central heating). Its full-width front porch commonly has a hipped roof held up by posts (typically round Tuscan-style). The front door is almost always set on one side of the facade in line with the front stairs and there may be a bay window on one side of the porch, sometimes repeated on the upper storey. Dormers may be hipped or gabled. Examples of the style usually have very few decorative elements such as brackets and fretwork.

#### **Background**

The Gabled Vernacular style drew on several popular styles, adapted them for simpler homes for everyday living in the late 19<sup>th</sup> – early 20<sup>th</sup> century. Following the rise of the Greek revival movement in the 19<sup>th</sup> century, gable-fronted houses became more common, with designs that echoed the pediments of ancient Greek temples. This style gained popularity for American homes between 1830 and 1850. Pre-fabricated houses like many of the BC Mills houses and mail-order plans made the style easy to access. Gabled Vernacular homes were common in Vancouver since their narrow two-storey form made front-gabled houses well suited for urban lots. Today, the style is one of the most common historical house styles left in the city.

#### **Details**

- Steeply pitched, front-gabled roof
- Often roof skirt across bottom of gable
- Usually 2 to 2-1/2 storey
- Full-width porch
- Set a half- to full-storey above ground
- Few decorative elements
- Drop siding or narrow lap siding, sometimes shingles

#### **Materials**

Gabled Vernacular roofs were usually made of cedar shingles. Siding was usually drop siding with a pronounced channel or concave cove shape at the top of the board.

## Appendix C: Bibliography and Sources

British Columbia Assessment Authority  
<https://www.bcassessment.ca>

British Columbia City Directories  
<https://bccd.vpl.ca/index.php/browse/index>

Google Maps  
[google.com/maps](https://www.google.com/maps)

Gottfried, Herbert and Jan Jennings. American Vernacular Architecture: Buildings and Interiors 1870-1960. W.W. Norton & Company Inc. New York/London, 2009.

Historic Places Program Branch, "Canadian Register of Historic Places: Writing Statements of Significance," Parks Canada, November 2006.  
[www.historicplaces.ca/media/5422/sosguideen.pdf](http://www.historicplaces.ca/media/5422/sosguideen.pdf)

Klimo & Associates. Certified Arborist Report for 1121 Eighth Avenue, New Westminster, May 26, 2021

New Westminster Museum and Archives  
<http://archives.newwestcity.ca>

Royal BC Museum for Marriage and Death Certificates  
<http://search-collections.royalbcmuseum.bc.ca/Genealogy>

"Standards and Guidelines for the Conservation of Historic Places in Canada", Second Edition, 2010  
[www.historicplaces.ca](http://www.historicplaces.ca)

Vancouver Heritage Foundation Website  
[www.vancouverheritagefoundation.org/discover-heritage/vancouver-house-styles-hub/](http://www.vancouverheritagefoundation.org/discover-heritage/vancouver-house-styles-hub/)

**APPENDIX 3**

**CONFIRMATION OF COMMITMENT BY REGISTERED PROFESSIONAL**

Date: October 21, 2025

**City of New Westminster**

511 Royal Avenue

New Westminster, BC

V3L 1H9

Attention: Director of Planning and Development

Re: Heritage Revitalization Agreement for 1121 Eighth Avenue

The undersigned hereby undertakes to be responsible for field reviews of the construction carried out at the captioned address for compliance with the requirements of Appendix 2 (Conservation Plan) of the Heritage Revitalization Agreement applicable to the property, which the undersigned acknowledges having received and reviewed, and undertakes to notify the City of New Westminster in writing as soon as possible if the undersigned's contract for field review is terminated at any time during construction. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

Julie Schueck, Principal: Schueck Heritage Consulting  
Registered Professional's Name

592 Bakerview Drive, Mayne Island, BC V0N 2J1  
Address

778-838-7440  
Telephone No.



Signature or Seal

**APPENDIX 4**

**CERTIFICATION OF REGISTERED PROFESSIONAL**

Date: \_\_\_\_\_

**City of New Westminster**

511 Royal Avenue

New Westminster, BC

V3L 1H9

Attention: Director of Planning and Development

Re: Heritage Revitalization Agreement for 1121 Eighth Avenue

I hereby give assurance that I have fulfilled my obligations for field review as indicated in my letter to the City of New Westminster dated \_\_\_\_\_ in relation to the captioned property, and that the architectural components of the work comply in all material respects with the requirements of Appendix 2 (Conservation Plan) of the Heritage Revitalization Agreement referred to in that letter. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

\_\_\_\_\_  
Registered Professional's Name

\_\_\_\_\_  
Address

\_\_\_\_\_  
Telephone No.

Signature or Seal

**APPENDIX 5**  
**APPROVED PLANS**

**GENERAL CONDITIONS:**

ALL WORK TO CONFORM TO B.C. BLDG. CODE (2018) & SPAN BOOK EDITION REQUIREMENTS AND ANY OTHER PROVINCIAL AND/OR MUNICIPAL CODES AND REGULATIONS. IN CASE OF CONFLICT BETWEEN CODES, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. PROVIDE WARRANTIES AS REQ'D BY THE HOME OWNER PROTECTION OFFICE.

BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS, MATERIALS AND SPECIFICATIONS PRIOR TO CONSTRUCTION ON SITE. BUILDER TO ENSURE ALL WORK CONFORMS TO ALL LOCAL BYLAWS AND REGULATIONS AND TO THE CURRENT EDITION OF THE CODES.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. ALL DIMENSIONS ARE TAKEN TO EXTERIOR FACE OF CONC. WALLS OR WALL SHEATHING, CENTER LINE OF INTERIOR WALLS, OR CLEAR FACE OF WALL TO CLEAR FACE OF WALL. UGDS DO NOT SCALE DRAWINGS. REPORT ALL DISCREPANCIES TO THE DESIGNER IMMEDIATELY. TO FIND AN UNKNOWN DIMENSION CONTACT THE DESIGNER.

THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY COSTS INCURRED TO THE OWNER OR GENERAL CONTRACTOR/BUILDER DUE TO ERRORS OR OMISSIONS IN THESE PLANS AFTER A BUILDING PERMIT HAS BEEN ISSUED FOR THIS PROJECT.

ALL SETBACKS AND BUILDING LOCATIONS SHALL BE CONFIRMED BY A REGISTERED BRITISH COLUMBIA LAND SURVEYOR.

ALL CONSTRUCTION AND INSTALLATION OF MATERIALS AND EQUIPMENT SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICE AND MANUFACTURER'S INSTRUCTIONS IN A TIMELY MANNER.

THE CONTRACTOR SHALL PROVIDE AND MAINTAIN, EITHER BY WAY OF SEPARATE POLICY OR AN ENDORSEMENT TO THE EXISTING POLICY, COMPREHENSIVE GENERAL LIABILITY INSURANCE ACCORDING TO THE LIMITS OF THE SCHEDULES OF NOT LESS THAN \$ MILLION DOLLARS (\$5,000,000 INCLUSIVE PER OCCURRENCE AND \$500,000 PER YEAR) INCLUDING LOSS OF USE.

THE CONTRACTOR SHALL PROVIDE EVIDENCE OF COMPLIANCE WITH PROVINCIAL STATUTES WITH RESPECT TO WORK SAFE, BRITISH COLUMBIA AND THE AUTHORITY HAVING JURISDICTION STANDARDS.

THE CONTRACTOR IS RESPONSIBLE FOR THE SECURITY OF THE SITE WHILE UNDER CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL PERSONAL BELONGINGS LEFT ON SITE SUCH AS TOOLS, SUPPLIES AND EQUIPMENT, ETC.

REMOVE GARBAGE FROM THE PREMISES, CORRIDORS AND OTHER COMMON AREAS DAILY. ALL DEBRIS MUST BE REMOVED IN PROPER BINS PROVIDED BY THE OWNER/BUILDER AND LAWFULLY DISPOSED. OBTAIN & PAY FOR ALL NECESSARY PERMITS & LICENSES.

WARRANTY DIELLY NEITHER ASSUMES NOR IMPLIES RESPONSIBILITY FOR STRUCTURE. SUCH STRUCTURAL DESIGN IS TO BE PROVIDED BY OTHERS AS REQ'D BY THE AUTHORITY HAVING JURISDICTION.

RETAINING WALLS OVER 3 FT. HIGH REQUIRE STRUCTURAL ENGINEERING 720R REFER TO MANUFACTURER'S WRITTEN INSTRUCTIONS FOR PRECAST CONCRETE UNITS.

**GENERAL NOTES:**

**FOUNDATIONS:**  
ADJUSTMENTS TO FOOTING SIZE AND/OR REINFORCEMENT IN FOOTING AND FOUNDATION WALLS MAY BE REQUIRED TO SUIT THE SOIL BEARING CAPACITY OF THE SITE. IF BENCHMARK EXCEEDS 50MM, DESIGNER IS TO BE INFORMED IF FOUNDATION CHANGES NEED TO BE MADE. REQUIRED ENGINEERING SERVICES ARE THE RESPONSIBILITY OF THE OWNER OR BUILDER.

GRAD LEVELS SHOWN ON THE PLANS MAY DIFFER FROM ACTUAL SITE CONDITIONS. FOUNDATION WALL HEIGHTS AND THICKNESS MAY NEED TO BE ADJUSTED TO SUIT GRAD AND TO CONFORM TO THE B.C. STANDARDS.

DAMP PROOFING OF 2 COATS ASPHALT EMULSION OR APPROVED WATER/TIGHT AND WATER-SHEDDING MEMBRANE SHALL BE APPLIED TO OUTER CONCRETE WALLS BELOW GRADE.

GRANULAR FILL SHALL BE NON-ORGANIC AND COMPACTED UNDER CONCRETE SLABS. PROVIDE A MIN. 6 MIL POLY LAYER UNDER THE CONCRETE SLABS AND SOIL COATS. A FLEXIBLE SEALANT OR NON-SINKING AGENT SHALL BE PLACED WHERE SLABS AND FOUNDATION WALLS MEET TO PREVENT ROILING.

FOUNDATION DRAINAGE CONSISTING OF 4" DIAMETER PIPE COVERED WITH A MIN. 6" OF CRUSHED STONE SHALL BE PLACED AROUND THE PERIMETER OF THE STRUCTURE.

BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION WALLS BY FASTENING A STEEL PLATE TO THE FOUNDATION WALL WITH 1/2" ANCHOR BOLTS SPACED AT 6'-0" O.C. OR ANCHOR STRAPS AT 4'-0" O.C. MAXIMUM SPACING UNLESS OTHERWISE NOTED BY P. ENG.

ATTACH POINTS TO FOOTINGS WITH PIPED ANCHOR SADDLE CONNECTIONS ANCHORED INTO FOOTING.

ALL VOID IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH 45 LB FCL OR OTHER APPROVED METHOD.

CAULKING AND FLASHING TO BE PROVIDED AS PER B.C.B.C.

ALL CONCRETE FOR EXTERIOR STAIRS, GARAGE FLOORS, FOUNDATION WALLS AND FOOTINGS TO BE MINIMUM 3000 PSI (28MPa) COMPRESSIVE STRENGTH AT 28 DAYS CONCRETE FINISH TO BE APPROVED BY OWNER.

ALL CONCRETE FOR BASEMENT SLABS, EXTERIOR PATIO SLABS, AND WALKWAYS TO BE A MINIMUM 3000 PSI (28MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS CONCRETE FINISH TO BE APPROVED BY OWNER.

INTERIOR CONC. SLABS TO BE STEEL POWER-TROWEL FINISHED & SEALED WITH 2 COATS 'MORTON SUPERSEAL' 37, FABRIKUM 'FABRISHIELD 760' OR APPROVED ALTERNATE.

EXTERIOR CONC. SLABS, WALKS OR STAIRS TO HAVE BROOK FINISH WITH 2% SLOPE TO DRAIN OR SEALED WITH 2 COATS KRATON 'CRYSTAL HYDROSTOP', FABRIKUM 'FABRISHIELD 760' OR APPROVED ALTERNATE.

EXPOSED CONCRETE TO BE FORMED SQUARE & TRUE WITH CLEAN PLYWOOD, SYMMETRICAL TIE LOCATIONS & 1/2" CHAMFERS AT OUTSIDE CORNERS.

FOOTINGS SHALL EXTEND A MINIMUM OF 10' BELOW GRADE AND TO SOLID BEARING.

**GENERAL NOTES CONT.**

**FRAMING:**

1. FRAMING LUMBER TO BE KILN DRIED OR MANUFACTURED KEMBERS KEEP MATERIAL DRY DURING CONSTRUCTION. DO NOT INSULATE OR CLOSE UP WALLS UNTIL MOISTURE CONTENT < 19%.

2. WHERE EVER POSSIBLE, FRAME HEADERS INTO FLOOR JOIST TRIMMER ABOVE. NOT AT WINDOW/DOOR OPENING ENDGRAINS 12" WALK.

3. WALL, FLOOR & ROOF SHEATHING TO BE EXT. GRADE PLYWOOD ONLY. NO O.S.B. SEE ASSEMBLIES FOR MIN. THICKNESSES.

4. PROVIDE NECESSARY BACKING FOR CABINETS, BATH ACCESSORIES, HANDRAILS, ETC.

5. PROVIDE SEALED ENGINEERING SHOP DWGS. & B1/B2/C-B SCHEDULES OF ROOF TRUSSES & T/J FLOOR JOISTS (IF ANY) TO DESIGNER, STRUCTURAL ENGINEER & AUTHORITY HAVING JURISDICTION.

6. VOID IN CONTACT WITH CONC. TO BE PRESSURE TREATED (TROPIC-UP CUTS), INSTALL WITH CONT. BAP/CORROSE.

7. FREEDUP ALL INTERCONNECTED FRAMING CAVITIES WITH SOLID WOOD BLOCKING &/OR BRYWALL. REMOVE ALL DROP CEILINGS AND BULKHEADS.

**THERMAL & MOISTURE PROTECTION:**

1. REFER TO CONCRETE & MASONRY FOR WATER REPELLENT SEALERS.

2. REFER TO DWGS. & CONSTRUCTION ASSEMBLIES FOR BLDG INSULATION & VAPOR/MOISTURE BARRIER ROOMS.

3. PROVIDE 10 YEAR ROOF MEMBRANE SYSTEM MANUFACTURER'S MATERIAL & INSTALLATION WARRANTY, INCLUDING INSTALLATION INSPECTION SERVICE.

4. SNEET METAL FLASHINGS TO BE INSTALLED TO SHOWN, REAR, & MEMBRANE MANUFACTURER'S WARRANTY STAND. ISOLATED DISSIMILAR METALS.

5. METAL FLASHINGS TO BE PRE-FINISHED GALV. SHEET (2027-0200, MIN. 26 GAUGE, COLOUR AS SELECTED BY OWNER).

6. INSTALL METAL HEAD FLASHINGS TO ALL EXT. OPENINGS OR ATTACHMENTS & C/A INTEGRAL END DAMS.

7. EXT. SEALANTS TO BE TO CAN/ACCSB-1913-MBT ONE-PART POLYURETHANE, SONOLASTIC MP-1, FRODO DRYING OR APPROVED DO NOT LOCATE INTERSECT JOINTS TO FINISH LINES. DO NOT USE SILICONE SEALANT AT EXTERIOR.

**DOORS:**

1. TYP. EXTERIOR DOORS TO HAVE ONE 3" SECURITY SCREW INTO FRAMING PER HINGE, WEATHERSTRIP, 1" DEADBOLT & WOOD/ALUM. THRESHOLD AS NOTED.

2. WEATHERSTRIP & INSULATE TO TOP OF ATTIC ACCESS HATCHES.

3. DOOR BETWEEN GARAGE & ADJACENT ROOMS (IF ANY) TO BE AS PER TYP EXT. DOORS, INSULATED & HAVE SELF-CLOSER.

4. INSTALL DOOR FRAMES AS PER DETAILS & MANUFACTURER'S INSTALLATION INSTRUCTIONS.

**MECHANICAL:**

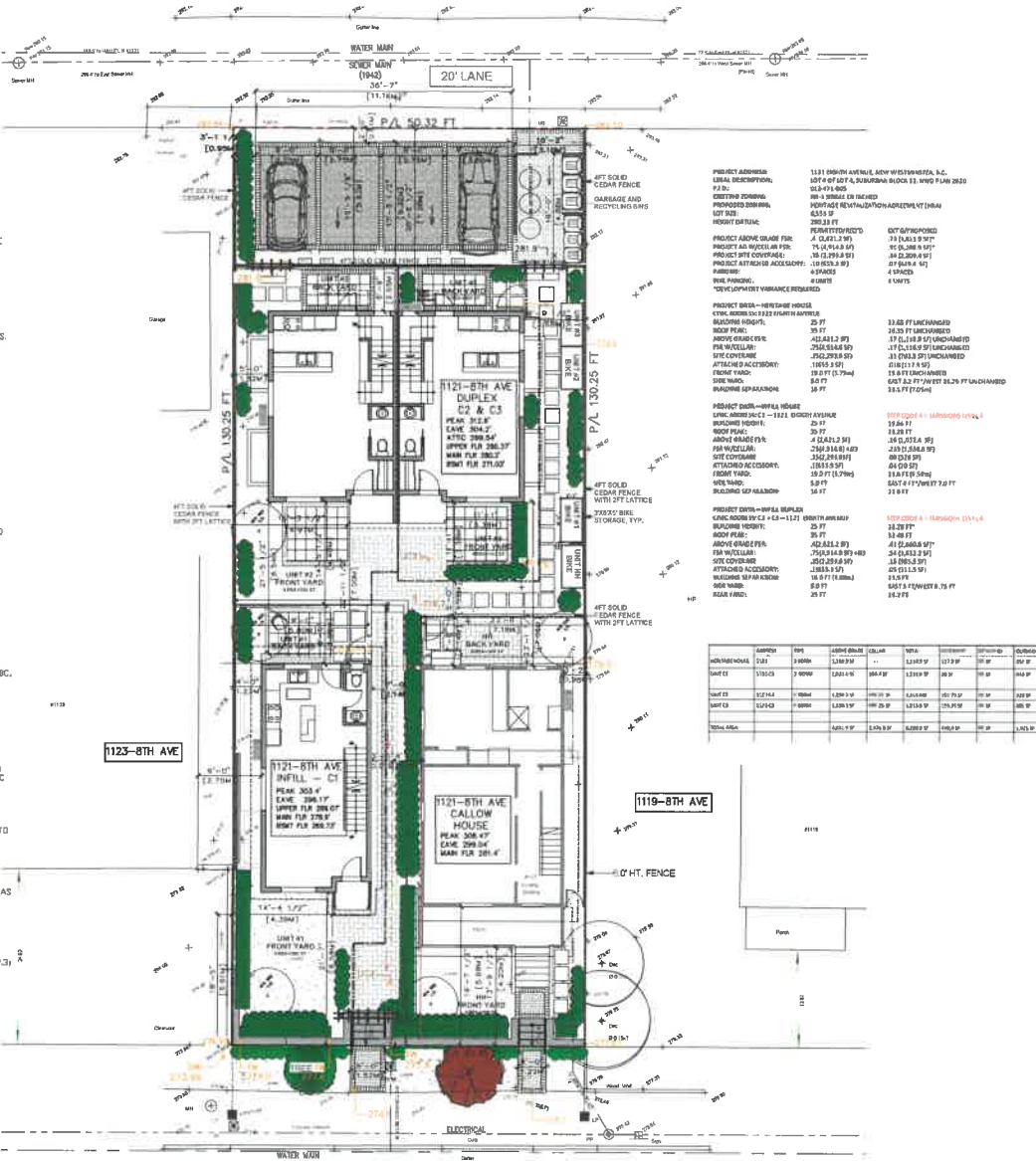
1. PROVIDE MECHANICAL VENTILATION AS REQ'D BY B.C.B.C. 9.32.3. DO NOT LOCATE INTAKES ADJACENT TO FINISH LINES. LINE JOIST BUCKTS WITH RIGID INSULATION. FINAL LOCATION TO BE REVIEWED BY OWNER.

2. PROVIDE FROST-PROTECTED EXTERIOR HOSE BIBS SUCH THAT ALL SIDES OF BUILDING CAN BE REACHED WITH A 100 FT. HOSE.

3. BATHROOM FANS TO HAVE THEIR SWITCH AS REQ'D BY B.C. BLDG. CODE.

4. HEATING TO BE AIR-SOURCE HEAT PUMP.

5. INSULATE WALLS OF BATH & POWDER ROOMS, VERTICAL & HORIZONTAL PLUMBING CHASES, CAST IRON SANITARY PIPING. RECOMMENDED FOR NOISE REDUCTION.



**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"



ISSUED: 24 03 10 FOR DEV PERMIT  
ISSUED: 25 01 19 FOR DEV PERMIT  
ISSUED: 25 08 27 FOR DEV PERMIT  
ISSUED: 25 09 15 FOR DEV PERMIT

RANNEY & SHELLEY  
200 WESTHOOD STREET  
NEW WESTMINSTER, B.C. V3L 3M7  
TEL: 604.291.2553  
E: MAIL: RANNEY@RANNEY.CA

**CALLOW HOUSE, C. 1907, HRA**  
1121 EIGHTH AVENUE,  
NEW WESTMINSTER, B.C.

**SITE PLAN**  
**SITE DATA**  
**GENERAL NOTES**

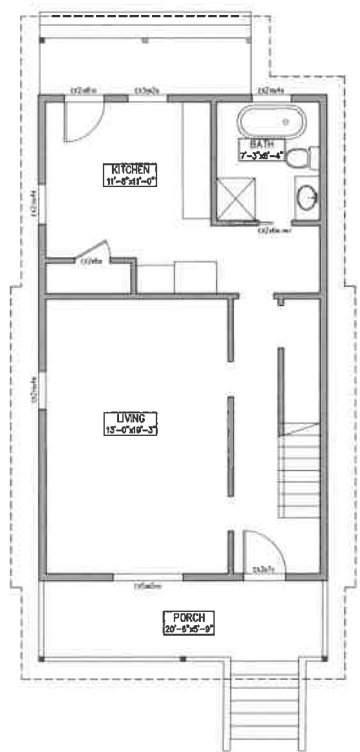
THESE PLANS PREPARED BY RANNEY & SHELLEY ARCHITECTS INC. FOR THE CLIENT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEY DATA AND INFORMATION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AUTHORITIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AUTHORITIES. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AUTHORITIES.

DESIGNED BY  
**RANNEY & SHELLEY**

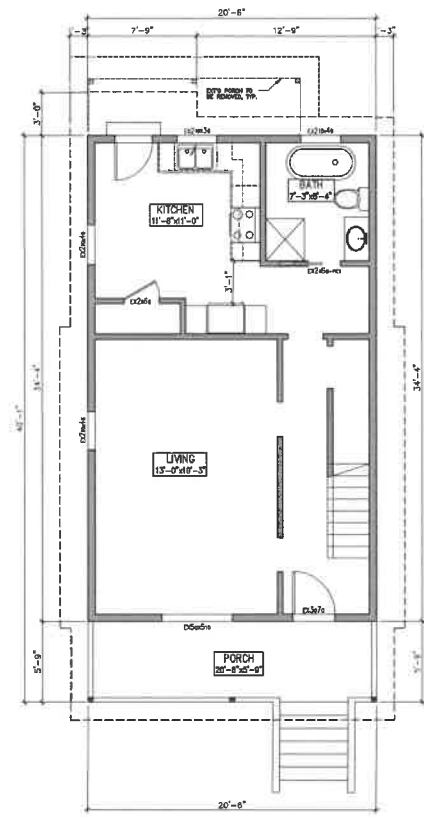
CAD FILE NAME:  
23-315 SITE

DATE:  
PROJECT 2025  
REVISED:  
SEPT 15, 2025  
SCALE:  
1/8" = 1'-0"

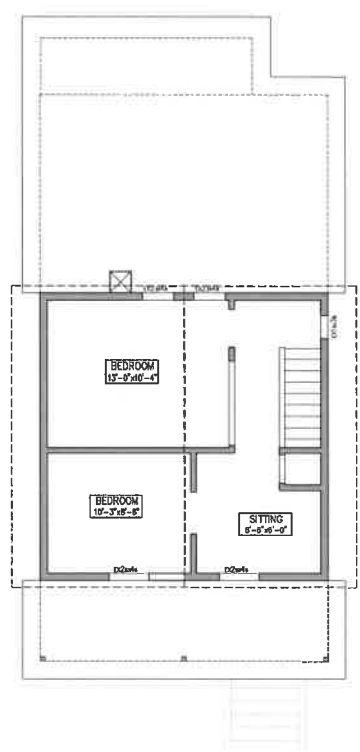
DRAWING NO.  
**A0-1**



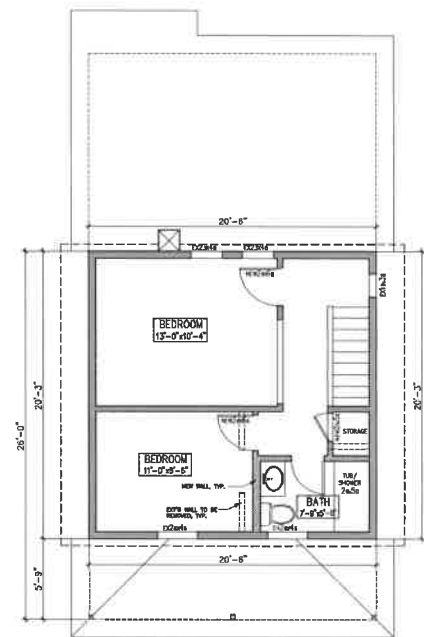
1e EXT'G MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"



1 PROPOSED MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0" (AREA=703.8 SF)



2a EXT'G UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 PROPOSED UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0" (AREA=418.1 SF)

NANCY O'NEILLY  
360 SHERBOURNE STREET  
NEW WESTMINSTER, B.C. V3L 3J7  
TEL: 604.288.2953  
EMAIL: NONEILLY@SHAW.CA

PROJECT TITLE:  
**CALLOW HOUSE c. 1909**  
1121 EIGHTH AVENUE,  
NEW WESTMINSTER, B.C.

DRAWING TITLE:  
**HERITAGE HOUSE  
FLOOR PLANS**

THIS PLAN IS A DESIGN CONCEPT AND IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES MUST BE REFERRED TO THE DESIGNER. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE USER OF THIS PLAN ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS PLAN.

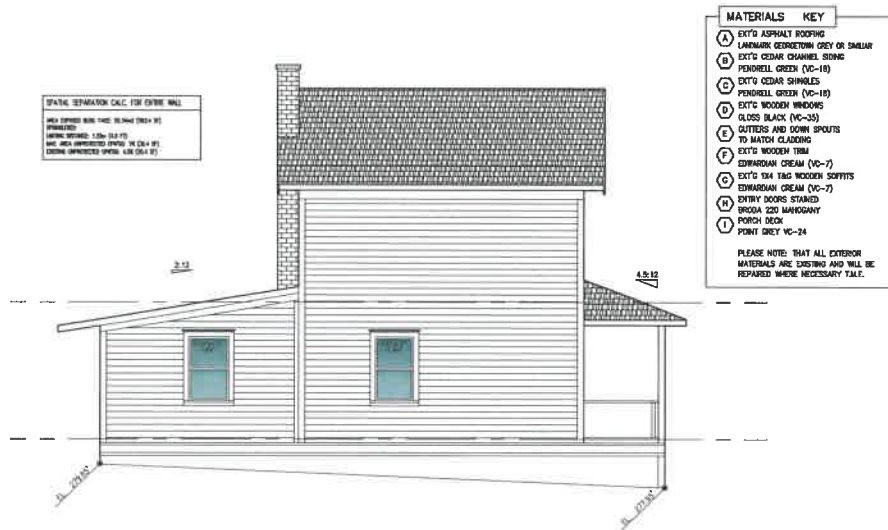
DRAWN BY:  
NANCY O'NEILLY

CAD FILE NAME:  
315 HERITAGE HOUSE

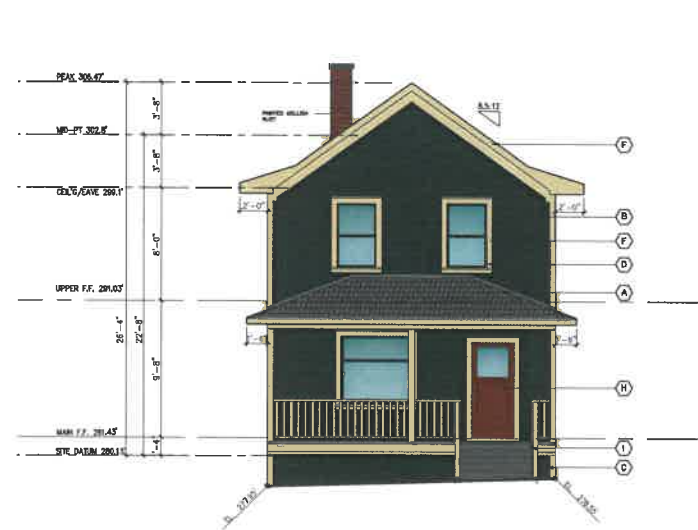
DATE:  
NOVEMBER 2024  
REVISION:  
ESFP 15.2025  
SCALE:  
AS INDICATED



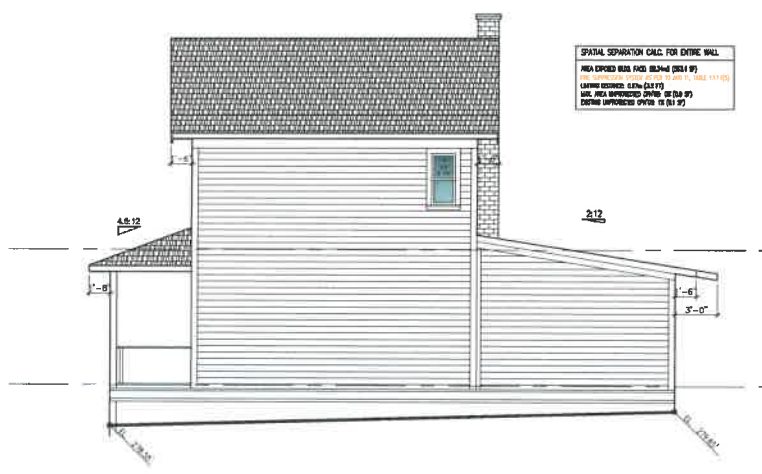
DRAWING NO.  
**A1-2**



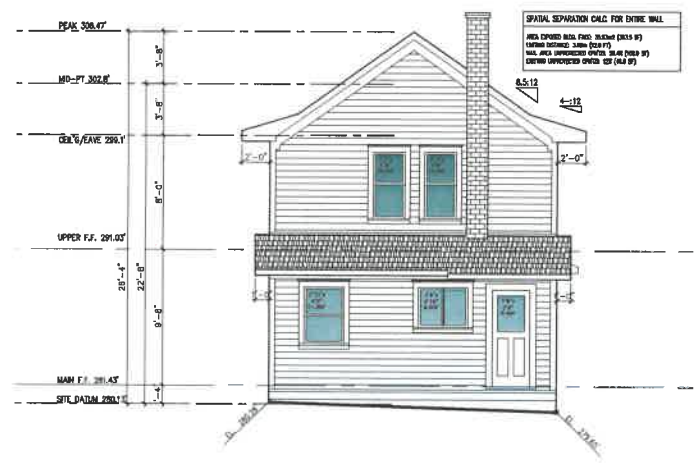
**1 WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**2 SOUTH (FRONT) ELEVATION**  
 SCALE: 1/4" = 1'-0"



**3 EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**4 NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"

RANCIY O'NEILLY  
 380 SHEPPARDE STREET  
 NEW WESTMINSTER, B.C. V2L 3M7  
 TEL: 604.221.2500  
 EMAIL: RONEILLY@SIWAK.CA

PROJECT TITLE  
**CALLOW HOUSE c. 1909**  
 1121 EIGHTH AVENUE,  
 NEW WESTMINSTER, B.C.

DRAWING TITLE  
**HERITAGE HOUSE ELEVATIONS**

SEE PLAN FOR EXTER WALLS.  
 All dimensions are to be verified on site prior to construction of walls.  
 Any discrepancies are to be resolved in the Designer's favor.  
 The structural engineer must be consulted with the Designer's architect  
 for any structural changes to the exterior walls. The Designer's architect  
 is responsible for ensuring the exterior walls comply with the applicable  
 Building Code. The Designer's architect is responsible for ensuring the  
 exterior walls comply with the applicable Building Code. The Designer's  
 architect is responsible for ensuring the exterior walls comply with the  
 applicable Building Code. The Designer's architect is responsible for  
 ensuring the exterior walls comply with the applicable Building Code.

DRAWN BY:  
 RANCIY O'NEILLY

CAD FILE NAME:  
 1121 HERITAGE HOUSE

DATE:  
 NOVEMBER 2024

REVISED:  
 SEPT 15, 2025

SCALE:  
 AS INDICATED

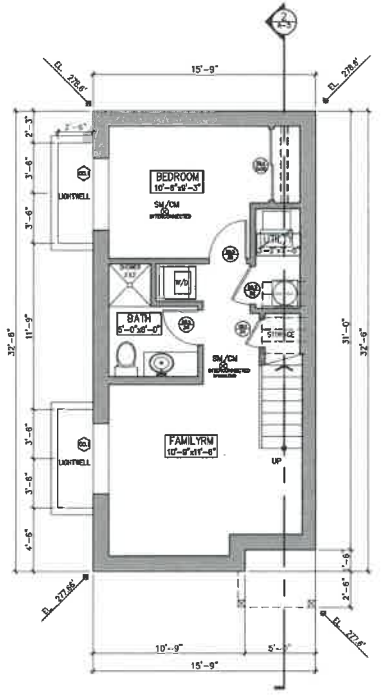
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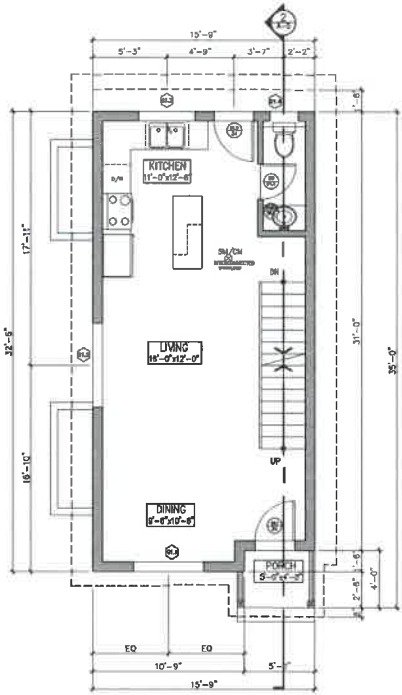
- GLAZING NOTES:**
1. ALL INSULATING GLASS UNITS TO HAVE LOW E COATING ON #3 SURFACE AND MEET CAN/CSSB-15.5
  2. ALL WINDOWS TO MEET CAN/CSSB-440 AND CAN/CSSB-12.20-W
  3. ALL GLASS TO CONFORM TO RESB 9.2.3
  4. ALL DIMENSIONS TO BE VERIFIED ON SITE
  5. PROVIDE WEARSTRIPPING FOR ALL EXTERIOR DOORS
  6. ALL DOORS WITH FIRE SEPARATIONS TO BE PROVIDED WITH SELF-CLOSING DEVICES AND HARDWARE TO MEET FIRE RATING
  7. ALL WINDOWS TO BE ENERGY STAR LABELED OR EQUIVALENT FOR CLIMATE ZONE 4.

- GENERAL NOTES:**
1. CONTRACTOR TO READ DOOR AND WINDOW SCHEDULES THOROUGHLY AND COORDINATE DOOR HARDWARE WITH GLAZING
  2. ALL EXTERIOR DOORS TO BE MINIMUM R4. PROVIDE WEARSTRIPPING FOR ALL DOORS
  3. ALL DOORS WITH FIRE SEPARATIONS TO BE PROVIDED WITH SELF-CLOSING DEVICES AND HARDWARE TO MEET FIRE RATING

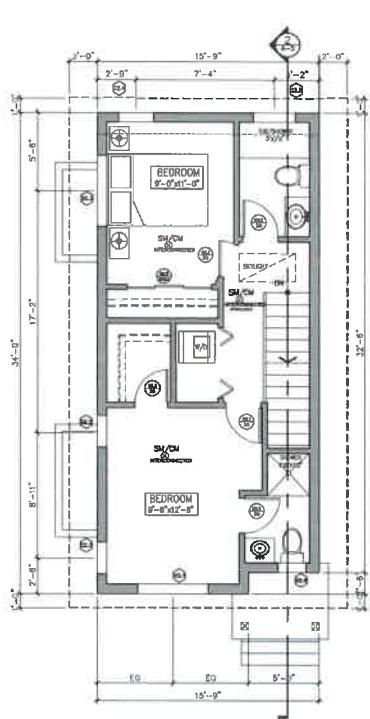
- MATERIAL ABBREVIATION LEGEND**
- P.S. PRESSURIZED STEEL
  - S.C.W. SOLID CORE WOOD
  - H.C.W. HOLLOW CORE WOOD
  - A.F.C. ALUMINUM FRAME GLASS
  - I.M. INSULATED METAL
  - H.C.M. HOLLOW CORE METAL
  - P.V.C. POLYVINYLCHLORIDE (BY GLAZER)



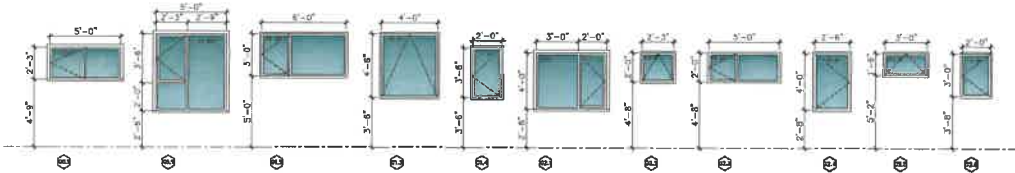
**1 BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0" (AREA=504.4 SF)



**2 MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0" (AREA=504.4 SF)



**3 UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0" (AREA=528.0 SF)



**4 WINDOW SCHEDULE**  
SCALE: 1/4" = 1'-0"

ID	MARK	U/L/W	HEIGHT	TYPE	MATERIAL	FIBR RATING	FINISH	COMMENTS
B01	STORAGE	84	55	HINGED	H.C.W.	-	PAINTED	-
B02	BATHROOM	80	80	HINGED	P.V.C.	-	PAINTED	PRIVACY LOCK
B03	BATHROOM	80	80	HINGED	P.V.C.	-	PAINTED	PRIVACY LOCKSET
B04	CLOSET	80D	80	BYPASS	H.C.W.	-	PAINTED	-
B11	ENTRY	34	55	HINGED	P.V.C.	-	STAINED	MULTI LOCK
B12	ENTRY	34	55	HINGED	P.V.C.	-	STAINED	MULTI LOCK
B13	PROV. BATH	30	84	HINGED	S.C.W.	-	STAINED	JUSTICE LOCK
B01	REARER	30	84	HINGED	S.C.W.	-	STAINED	PRIVACY LOCKSET
B02	CLOSET	80	84	HINGED	H.C.W.	-	STAINED	-
B03	CLOSET	80D	84	BYPASS	H.C.W.	-	STAINED	-

**5 DOOR SCHEDULE**  
SCALE: NTS



NAVY & DREYLY  
300 SPENGLER STREET  
NEW WESTMINSTER, B.C. V3L 3M7  
TEL: 604.274.2600  
EMAIL: NAVY@NAVYCA

PROJECT TITLE:  
CALLOW HOUSE c.1909  
HRA - INFILL HOUSE  
1121 EIGHTH AVENUE,  
NEW WESTMINSTER, B.C.

**DRAWING TITLE**  
INFILL FLOOR PLANS  
WINDOW AND DOOR  
SCHEDULES

DATE FOR THIS DRAWING:  
All dimensions are to be verified on site prior to construction unless otherwise specified.  
This drawing shall be used for construction purposes only. It is not to be used for any other purpose.  
The project is subject to the approval of the City of New Westminster.  
The project is subject to the approval of the City of New Westminster.  
The project is subject to the approval of the City of New Westminster.

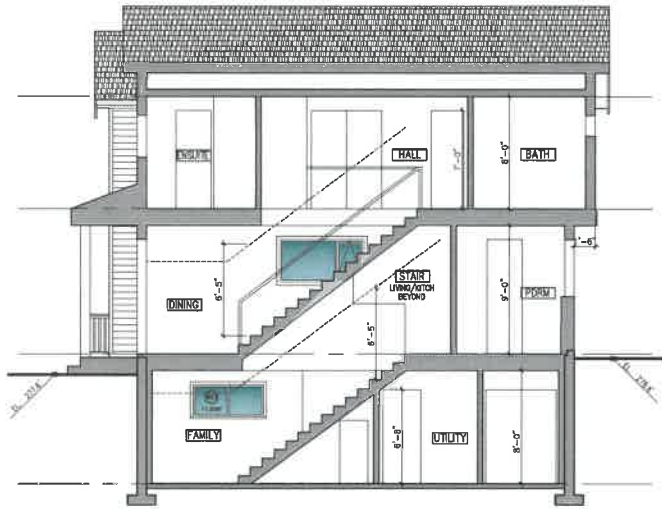
DRAWN BY:  
NAVY & DREYLY

CAD FILE NAME:  
285 INFILL PLAN

DATE:  
NOVEMBER, 2024  
REVISION:  
SEPT 18, 2024  
SCALE:  
1/4" = 1'-0"

DRAWING NO.:

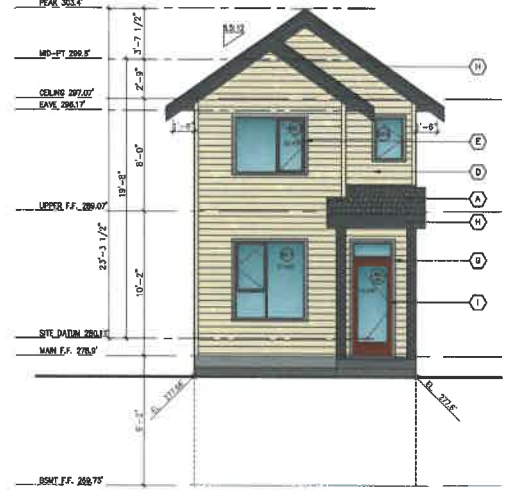
**C1-2**



1 SECTION  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

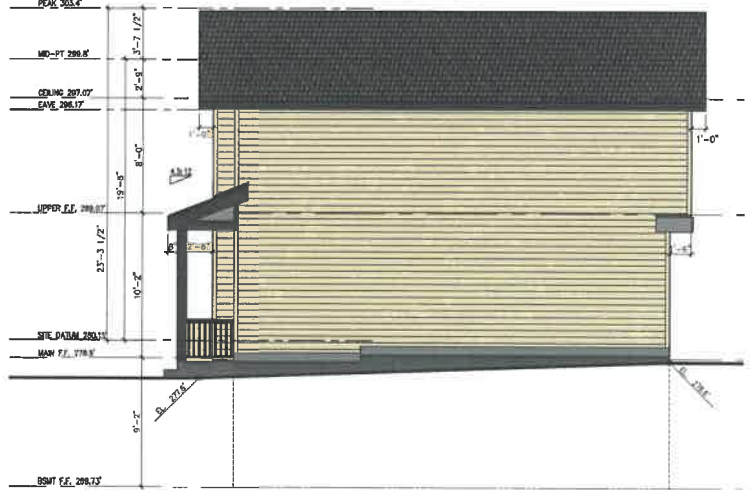
- MATERIALS KEY**
- (A) ASPHALT ROOFING CERTIFIED LANDMARK GEOMETOWN GREY
  - (B) HARDY LAP SIDING 3/8" 1/2" EXPOSURE PEARL GRAY
  - (C) HARDY SIDING 3/8" 1/2" EXPOSURE AGED PEWTER
  - (D) HARDY LAP SIDING 3/8" 1/2" EXPOSURE BM VC-8 EXTREMUM BLUFF
  - (E) DBL. GLAZED LOW-E VINYL WINDOWS MATT BLACK
  - (F) CUTTERS AND DOWN SPOUTS BLACK
  - (G) WINDOW/DOOR TRIM AGED PEWTER
  - (H) ROOF/PORCH TRIM REDD GREY
  - (I) 1X4 T&G WOODEN SHIFTS STAINED BROWN-1116 MATRISUE LIGHT
  - (J) ENTRY DOORS PAINTED BM VC-28 MELLISH RUST

SPATIAL SEPARATION CALL FOR EXTER WALL  
AREA EXPOSED: 1.2m (39 FT)  
LIMITED: 1.2m (39 FT)  
SPRINKLED  
MAX. AREA UNPROTECTED: 0.7m (22 FT 6 IN)  
PROTECTED UNPROTECTED: 0.7m (22 FT 6 IN)



4 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION CALL FOR EXTER WALL  
AREA EXPOSED: 1.2m (39 FT)  
LIMITED: 1.2m (39 FT)  
SPRINKLED  
MAX. AREA UNPROTECTED: 0.7m (22 FT 6 IN)  
PROTECTED UNPROTECTED: 0.7m (22 FT 6 IN)



5 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



PROJECT TITLE  
**CALLOW HOUSE c.1909  
HRA - INFILL HOUSE  
1121 EIGHTH AVENUE,  
NEW WESTMINSTER, B.C.**

**SECTION**

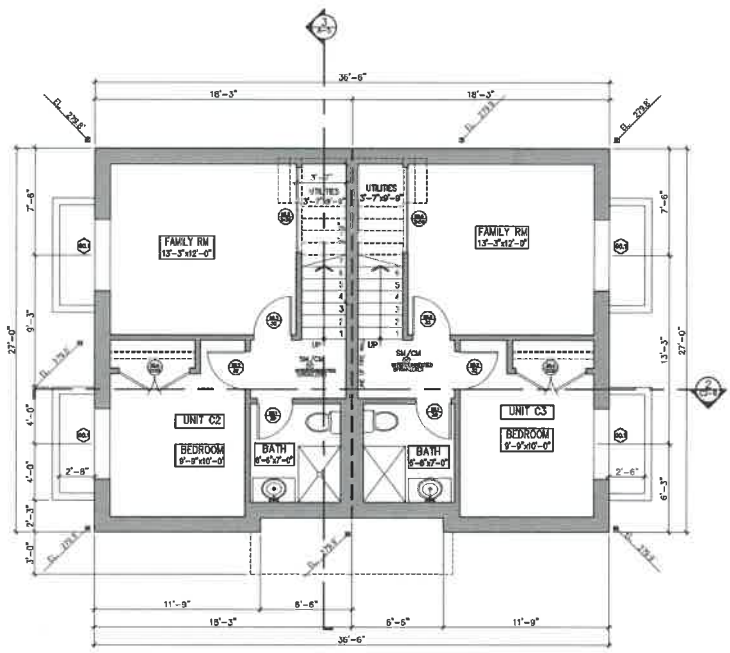
DATE: NOVEMBER 2024  
REVISION: SEPT 13, 2025  
SCALE: 1/8"=1'-0"

DRAWN BY:  
NANCY O'NEILLY

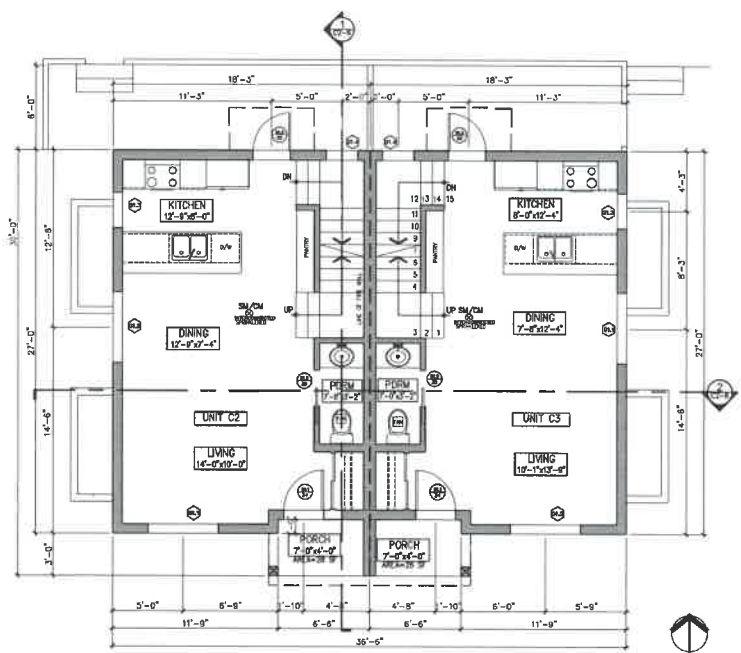
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23-15 ELEVS RPHL

DRAWING NO.

**C1-3**

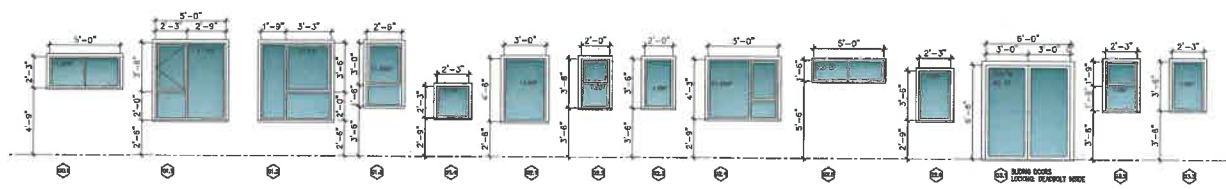


**1 BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0" (TOTAL AREA=972.5 SF)



**2 MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0" (AREA=972.5 SF)

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                              |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>CLADDING NOTES:</b></p> <ol style="list-style-type: none"> <li>ALL INSULATING GLASS UNITS TO HAVE LOW E COATING ON #3 SURFACE AND HET CAN/ACSB-T2.8</li> <li>ALL WINDOWS TO MEET CAN/CSB-A440 AND CAN/CSB-12.20-14</li> <li>ALL GLASS TO CONFORM TO BSCC 9.7.3</li> <li>ALL DIMENSIONS TO BE VERIFIED ON SITE</li> <li>FRIDGE WEATHERSTRIPPING FOR ALL EXTERIOR DOORS</li> <li>ALL DOORS WITH FIRE SEPARATIONS TO BE PROVIDED WITH SELF-CLOSING DEVICES AND HARDWARE TO SUIT FIRE RATING.</li> <li>ALL WINDOWS TO BE ENERGY STAR LABELED OR EQUIVALENT FOR CLIMATE ZONE 4.</li> </ol> | <p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>CONTRACTOR TO READ DOOR AND WINDOW SCHEDULES TOGETHER AND COORDINATE DOOR HARDWARE WITH CLADDING</li> <li>ALL EXTERIOR DOORS TO BE SUPPLIED RE. PROVIDE WEATHERSTRIPPING FOR ALL DOORS</li> <li>ALL DOORS WITH FIRE SEPARATIONS TO BE PROVIDED WITH SELF-CLOSING DEVICES AND HARDWARE TO SUIT FIRE RATING.</li> </ol> | <p><b>MATERIAL APPROPRIATION LEADING:</b></p> <p>P.S. PRESSED STEEL<br/>S.W. SOLID CORE WOOD<br/>H.C.W. HOLLOW CORE WOOD<br/>A.L.G. ALUMINUM FRAME GLASS<br/>I.M. INSULATED METAL<br/>H.C.M. HOLLOW CORE METAL<br/>P.V.C. POLYVINYLCHLORIDE (BY GLAZIER)</p> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|



**3 WINDOW SCHEDULE**  
SCALE: 1/4" = 1'-0"

NANCY O'NEILLY  
380 SPERROOPE STREET  
NEW WESTMINSTER, B.C. V3M 3M7  
TEL: 604.526.2623  
EMAIL: NORDWYLL@SHAWCA

PROJECT TITLE:  
**ALLOW HOUSE c. 1909  
RESTORATION & INFILL  
1121 EIGHTH AVENUE  
NEW WESTMINSTER, B.C.**

DRAWING TITLE:  
**DUPLEX BASEMENT AND  
MAIN FLOOR PLANS  
WINDOW SCHEDULE**

© 2025 THE DESIGNER.  
All dimensions and notes are based on site visit to confirm structural conditions.  
No representation is to be made that the Designer is responsible for any construction changes made to the drawings without the Designer's approval.  
The drawings shall conform with the National Building Code of Canada, The Province of British Columbia Building Code and all relevant municipal bylaws.  
The drawings shall be a contract between the owner and Nancy O'Neilly.  
None of the drawings shall be reproduced without the written consent of the Designer.

DESIGNED BY:  
NANCY O'NEILLY

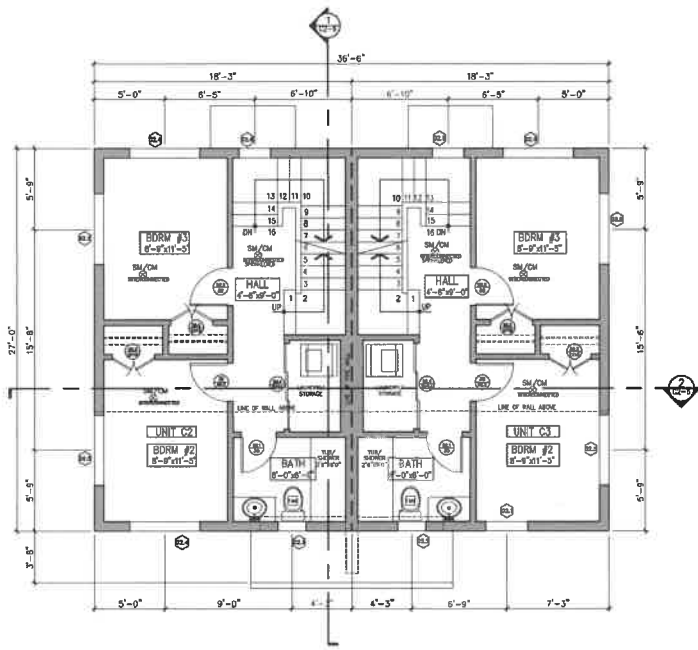
CAD FILE NAME:  
DUPLEX.FLA

DATE:  
NOVEMBER 2024

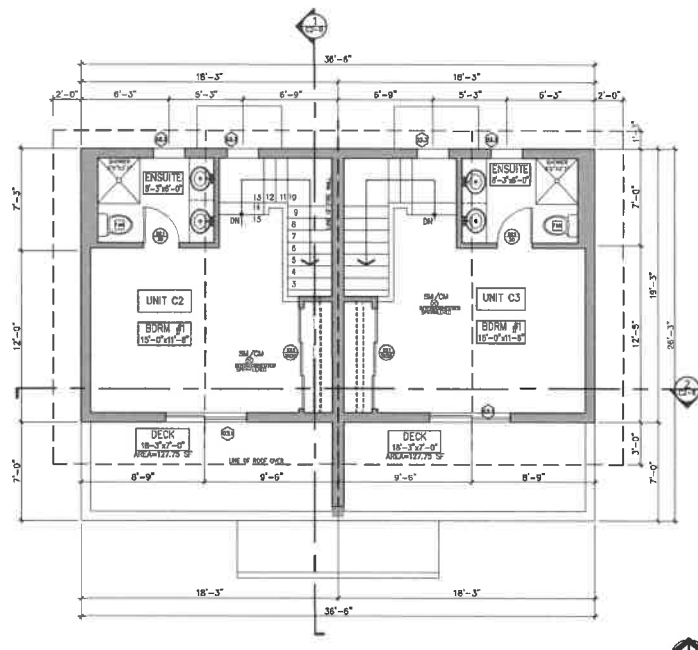
REVISIONS:  
REV 10: 2025

SCALE:  
SW=1/4"

DRAWING NO:  
**C2-2**



**1 UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0" (TOTAL AREA=985.5 SF)



**2 ATTIC FLOOR PLAN**  
SCALE: 1/4" = 1'-0" (AREA=702.6 SF)



**GLAZING NOTES**

1. ALL INSULATING GLASS UNITS TO HAVE LOW E COATING ON #3 SURFACE AND MEET CAN/COSB-12'S
2. ALL WINDOWS TO MEET CAN/COSB-A440 AND CAN/COSB-1220-W
3. ALL GLASS TO CONFORM TO ECBC 8.7.3
4. ALL WINDOWS TO BE VERIFIED ON SITE
5. PROVIDE WEATHERSTRIPPING FOR ALL EXTERIOR DOORS
6. ALL DOORS WITH FIRE SEPARATIONS TO BE PROVIDED WITH SELF-CLOSING DEVICES AND HARDWARE TO SAT FIRE RATING
7. ALL WINDOWS TO BE ENERGY STAR LABELED OR EQUIVALENT FOR CLIMATE ZONE 4.

**GENERAL NOTES**

1. CONTRACTOR TO READ DOOR AND WINDOW SCHEDULES TOGETHER AND COORDINATE DOOR HARDWARE WITH GLAZER.
2. ALL EXTERIOR DOORS TO BE MINIMUM RL. PROVIDE WEATHERSTRIPPING FOR ALL DOORS.
3. ALL DOORS WITH FIRE SEPARATIONS TO BE PROVIDED WITH SELF-CLOSING DEVICES AND HARDWARE TO SAT FIRE RATING.

**MATERIAL ABBREVIATION LEGEND**

- P.S. PRESSD STEEL
- S.C.W. SOLID CORE WOOD
- H.C.W. HOLLOW CORE WOOD
- A.T.C. ALUMINUM FRAME GLASS
- I.M. INSULATED METAL
- H.C.M. HOLLOW CORE METAL
- P.V.C. POLYVINYLCHLORIDE (BY GLAZER)

NO.	ROOM	GLAZING TYPE	HEIGHT	TYPE	MATERIAL	FIRE RATING	FINISH	COMMENTS
D01	BATHROOM	30	80	HINGED	H.C.W.	-	PAINTED	PRIVACY LOCKSET
D02	BEDROOM	30	80	HINGED	S.C.W.	-	PAINTED	PRIVACY LOCKSET
D03	FAMILY	32	80	HINGED	S.C.W.	-	PAINTED	-
D04	CLOSET	2x30	80	HINGED	H.C.W.	-	PAINTED	CLOSET DOOR
D05	UTILITY	2x36	80	HINGED	S.C.W.	-	PAINTED	CLOSET DOOR
D11	ENTRY	34	96	HINGED	S.C.W.	-	STAINED	MASTER LOCK
D12	POWDER	30	96	POCKET	S.C.W.	-	PAINTED	POCKET LOCK
D13	ENTRY	32	80	HINGED	H.C.W.	-	STAINED	MASTER LOCK
D21	BATHROOM	20	84	HINGED	S.C.W.	-	PAINTED	PRIVACY LOCKSET
D22	BEDROOM	32	84	HINGED	S.C.W.	-	PAINTED	PRIVACY LOCKSET
D23	CLOSET	2x18	84	HINGED	H.C.W.	-	PAINTED	CLOSET DOOR
D24	CLOSET	3x24	84	BYPASS	H.C.W.	-	PAINTED	-
D31	CLOSET	3x30	84	BYPASS	H.C.W.	-	PAINTED	-

NANCY G DIBELLY  
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PROJECT TITLE  
**CALLOW HOUSE c. 1909  
RESTORATION & INFILL  
1121 EIGHTH AVENUE  
NEW WESTMINSTER, B.C.**

DRAWING TITLE  
**DUPLEX FLOOR UPPER  
AND ATTIC FLOOR PLANS  
DOOR SCHEDULE**

DATE: NOVEMBER 2024  
REVISION: SEP 15, 2025  
SCALE: 1/4" = 1'-0"

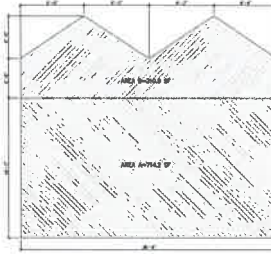
DRAWN BY: NANCY G DIBELLY

CAD FILE NAME: DUPLEX PLANS

DRAWING NO:  
**C2-3**



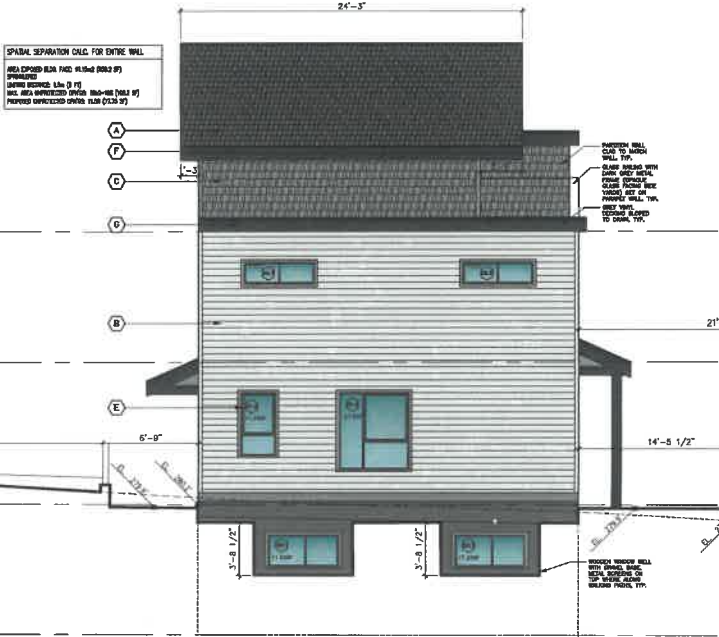
1b WEST SPACIAL  
SCALE: 1/8" = 1'-0"



2b SOUTH SPACIAL  
SCALE: 1/8" = 1'-0"

SPACIAL SEPARATION CALC. FOR ENTIRE WALL  
 AREA EXPOSED SOLAR FACED (SQ. FT.) (AREA 1)  
 PERMITTED AREA (SQ. FT.) (AREA 2)  
 AREA 1 LESS AREA 2 = AREA 3 (SQ. FT.)  
 AREA 3 DIVIDED BY PERMITTED AREA (SQ. FT.) = RATIO  
 RATIO LESS THAN OR EQUAL TO 1.0 IS ACCEPTABLE  
 RATIO GREATER THAN 1.0 IS NOT ACCEPTABLE

MATERIALS KEY	
(A)	ASPHALT ROOFING CERTAINEED LANDMARK
(B)	GEORGETOWN GREY
(C)	HARDY LAF SERRIS W/5 1/2" EXPOSURE
(D)	PEARL GRAY
(E)	HARDY SHINGLES W/5 1/2" EXPOSURE
(F)	AGED PEWTER
(G)	HARDY LAF SERRIS W/5 1/2" EXPOSURE BM
(H)	VC-8 EDWARDIAN BUFF
(I)	USL GLAZED LOW-E WHITE WINDOWS
(J)	BLACK
(K)	OUTTERS AND DOWN SPOUTS
(L)	BLACK
(M)	MINOR/JANOR TRIM
(N)	AGED PEWTER
(O)	HARDY TRIM
(P)	BROWN GREY
(Q)	EVA TAG WOODEN SOFFITS STAINED
(R)	BROWN-HITA NATURAL LIGHT
(S)	ENTRY DOORS PAINTED
(T)	BM VC-28 MELLISH REIST



1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

NANCY O'NEIL  
 380 DUFFERIN STREET  
 NEW WESTMINSTER, B.C. V3L 1M7  
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PROJECT TITLE  
**CALLOW HOUSE c.1909  
 INFILL DUPLEX  
 1121 EIGHTH AVENUE,  
 NEW WESTMINSTER, B.C.**

DRAWING TITLE  
**WEST AND SOUTH  
 ELEVATIONS**

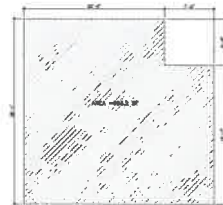
DATE: NOVEMBER 2024  
 REVISIONS:  
 REVISION 15, 2024

DRAWN BY:  
 NANCY O'NEIL

CAD FILE NAME:  
 212 ELEV24 - DUPLEX

SCALE:  
 1/4"=1'-0"

DRAWING NO.  
**C2-4**



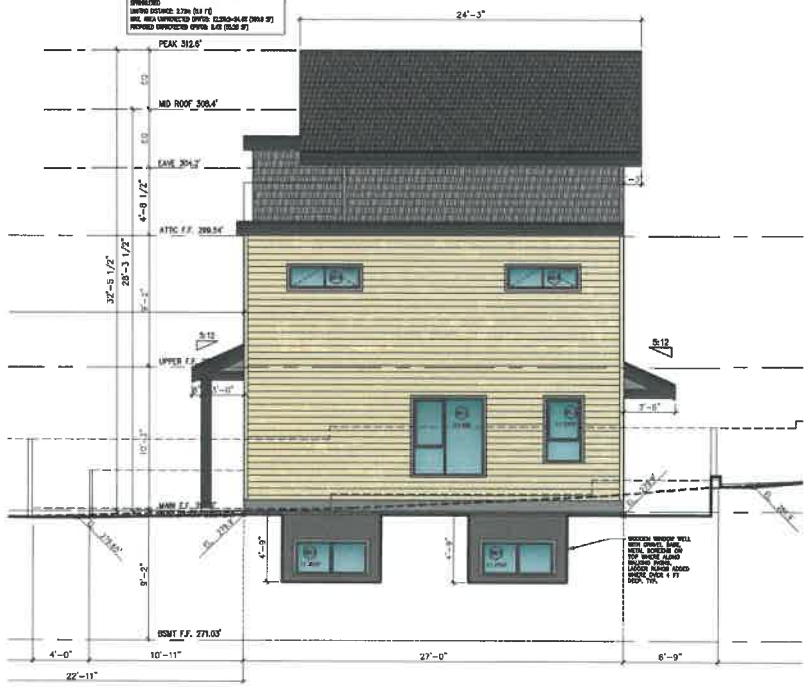
**2b EAST SPACIAL**  
SCALE: 1/8" = 1'-0"

MATERIALS KEY	
(A)	ASPHALT ROOFING CERTAINTED LANDMARK GEORGETOWN GREY
(B)	HARDY LAP SIDING 3/8" 1/2" EXPOSURE PEARL GRAY
(C)	HARDY SHINGLES 3/8" 1/2" EXPOSURE AGED PINE
(D)	HARDY LAP SIDING 3/8" 1/2" EXPOSURE BN VC-6 CONCRETE SET
(E)	DEL. GLAZED LOW-E VINYL WINDOWS
(F)	WATT BLACK GUTTERS AND DOWN SPOUTS
(G)	BLACK WINDOW/DOOR TRIM
(H)	AGED PINE
(I)	HARDY TRIM
(J)	IRON GREY 156 1560 WOODY SPOTTES STAINED BRIDA-111A NATURAL LIGHT
(K)	ENTRY DOORS PAINTED BN VC-25 MOLLYSI RUST

SPACIAL SEPARATION CALC. FOR ENTIRE WALL  
 ALL EXPOSED BLDG FACE (BMS 91)  
 FINISHED  
 UPPER EXPOSED: 3700 (31 R)  
 INS. AND IMPROVED EXPOS. 2230-34.47 (CRS 91)  
 IMPROV. IMPROVED EXPOS. 642 (BMS 91)



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

NANCY O'NEILLY  
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PROJECT TITLE  
**CALLOW HOUSE c.1909  
 INFILL DUPLEX**  
 1121 EIGHTH AVENUE,  
 NEW WESTMINSTER, B.C.

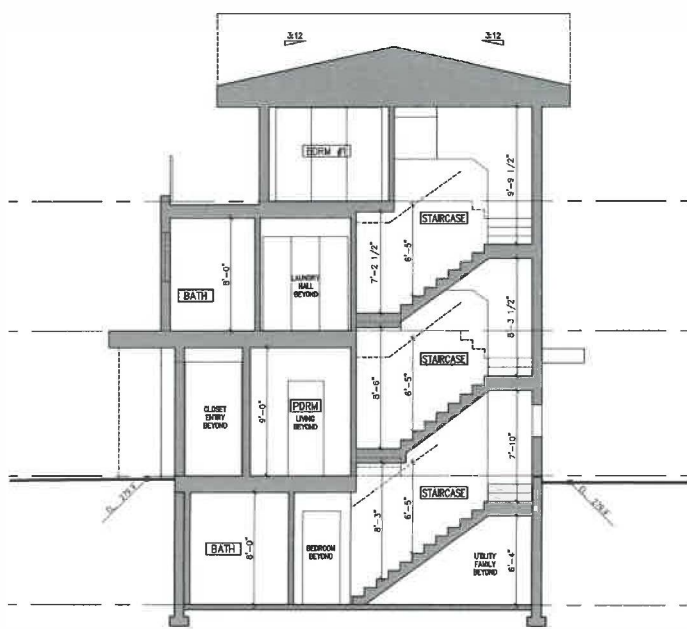
DRAWING TITLE  
**NORTH AND EAST  
 ELEVATIONS**

DATE: NOVEMBER 2024  
 REVISED: SEPT 18, 2023  
 SCALE: 1/4" = 1'-0"

DRAWN BY  
 NANCY O'NEILLY

CAD FILE NAME  
 218 ELEVN - DUPLEX

DRAWING NO.  
**C2-5**



1 SECTION  
SCALE: 1/4" = 1'-0"



2 SECTION  
SCALE: 1/4" = 1'-0"

MARKIC O'NEILLY  
363 BAYVIEW STREET  
NEW WESTMINSTER, B.C., V3L 3M7  
TEL: 604.291.2052  
E-MAIL: M.O'NEILLY@SHAWCA

PROJECT TITLE  
**CALLOW HOUSE c.1909  
INFILL DUPLEX  
1121 EIGHTH AVENUE,  
NEW WESTMINSTER, B.C.**

SECTIONS

1/12/2024 10:00 AM  
All dimensions are to be verified on site prior to construction.  
Any proposed changes must be confirmed with the City of Vancouver Building Department and through the Building Department of Canada. The  
Approval of British Columbia Building Code and all relevant municipal  
and provincial laws and regulations must be obtained prior to construction.

DRAWN BY:  
MARKIC O'NEILLY

CAD FILE NAME:  
215 ELEV - DUPLEX

DATE:  
NOVEMBER 2024

REVISED:  
SEPT 15, 2023

SCALE:  
1/4" = 1'-0"

DRAWING NO.  
**C2-6**

**APPENDIX 6**  
**ZONING REGULATIONS**

**Permitted Uses**

1. The following uses and no others shall be permitted on the Land:

Permitted Principal Uses	Use Specific Regulations
Accommodation for youth in foster care and transitioning from foster care;	✓
Single detached dwellings;	
Duplexes;	
Women’s transition houses;	

Permitted Accessory Uses	Use Specific Regulations
Uses accessory to any permitted principal uses;	
Home based business;	✓
Keeping of not more than two lodgers or boarders or four foster children in a dwelling unit or more than eight child care children on a site;	

**Number of Buildings on a Site**

2. Up to four principal buildings may be located on the Land.

**Floor Space Ratio**

3. The total *floor space ratio* shall not exceed a factor of 1.0.

**Site Area and Site Frontage**

4. A site shall be not less than 557.40 square metres (6,000 square feet) in area and shall have a frontage of not less than ten percent (10%) of its perimeter.

## Principal Building Envelope

Regulation	Requirement
Minimum Front Yard	5.79 metres (19 feet), twenty percent (20%) of the depth of the site, or the average depth of the front setback of existing principal buildings on sites on either side of the site, whichever is less.
Minimum Rear Setback	7.62 metres (25 feet) or twenty percent (20%) of the depth of the site, whichever is less
Minimum Side Setback (East)	0.91 metres (3 feet)
Minimum Side Setback (West)	1.22 metres (4 feet)
Maximum <i>Building Height</i>	8.83 metres (29 feet)
Maximum Peak Height	10.67 metres (35 feet)
Maximum Site Coverage	A principal building shall not cover more than thirty five percent (35%) of the site area

## Projections

5. Projections from the building shall be in accordance with the *Projections into Yards* section of the Zoning Bylaw except:
  - a) Unenclosed porches attached to the Heritage House may project into the required front yard provided that none of these shall extend into the required front yard more than 1.60 metres (5.25 feet);

## Attached Accessory Structures

6. The combined area of all *attached accessory structures* shall not exceed ten percent (10%) of the site area.

## Detached Accessory Structures

7. The maximum permitted detached accessory area is ten percent (10%) of the site area.

## Off-Street Parking

8. *Off-Street parking* shall be provided in accordance with the provisions of *Off-Street Parking* section of the Zoning Bylaw.

END OF DOCUMENT