



Attachment 1

*Applicant's Architectural and
Landscape Submission Package*



THIRD.SPACE™



Integra ARCHITECTURE INC.

**PROJECT ADDRESS: 145-209 E COLUMBIA ST
NEW WESTMINSTER DESIGN PANEL
DATE: SEPTEMBER 06, 2023**

Neighbourhood Knowledge.

SITE PHOTOS



1 Street View - North-East Corner
NOT TO SCALE



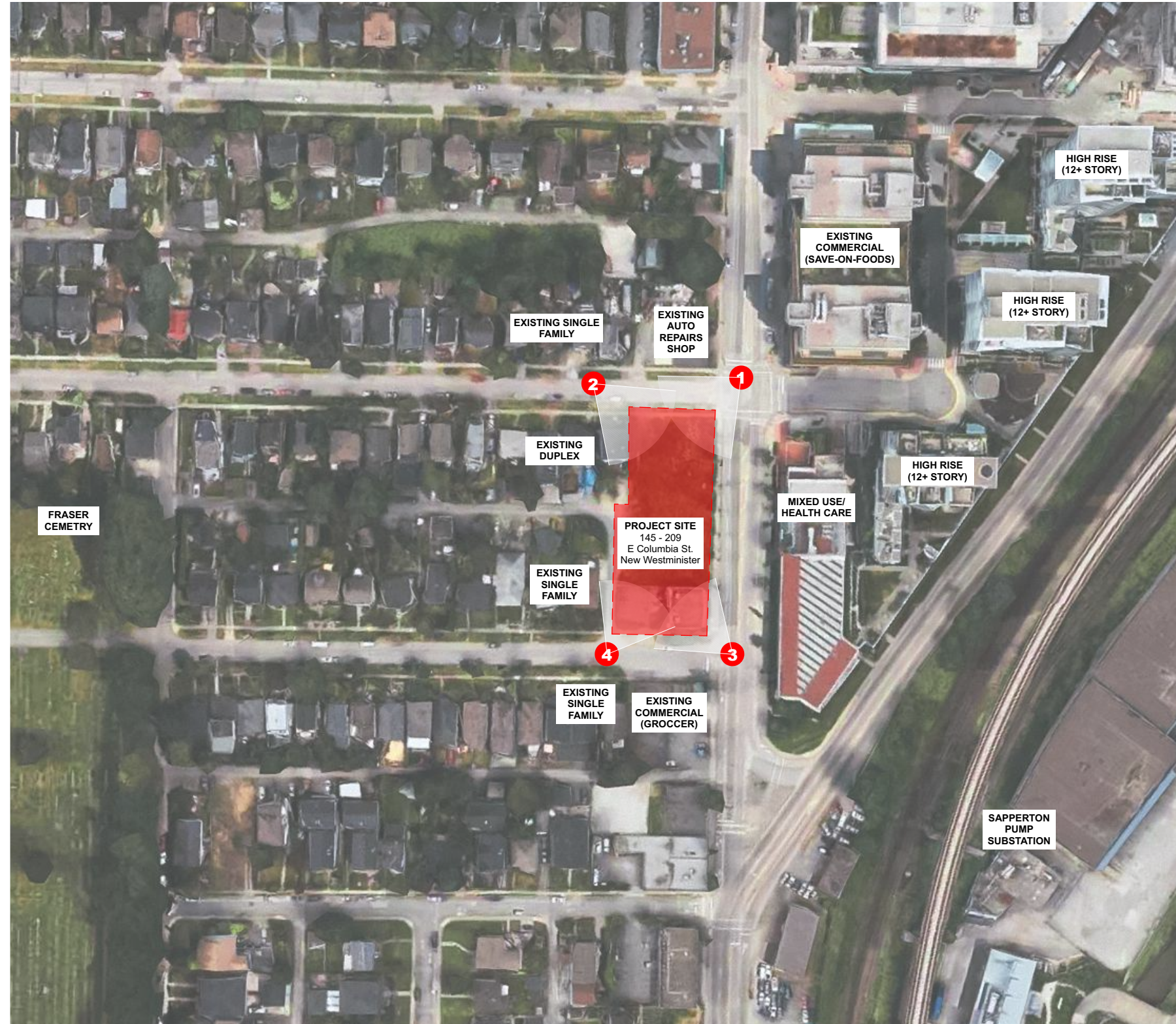
2 Street View - North-West Corner
NOT TO SCALE



3 Street View - South-East Corner
NOT TO SCALE



4 Street View - South-West Corner
NOT TO SCALE



A Site Context - Aerial View of Site

Neighbourhood Knowledge.

SITE PHOTOS



(B) Site Context - South-East Aerial View of Site

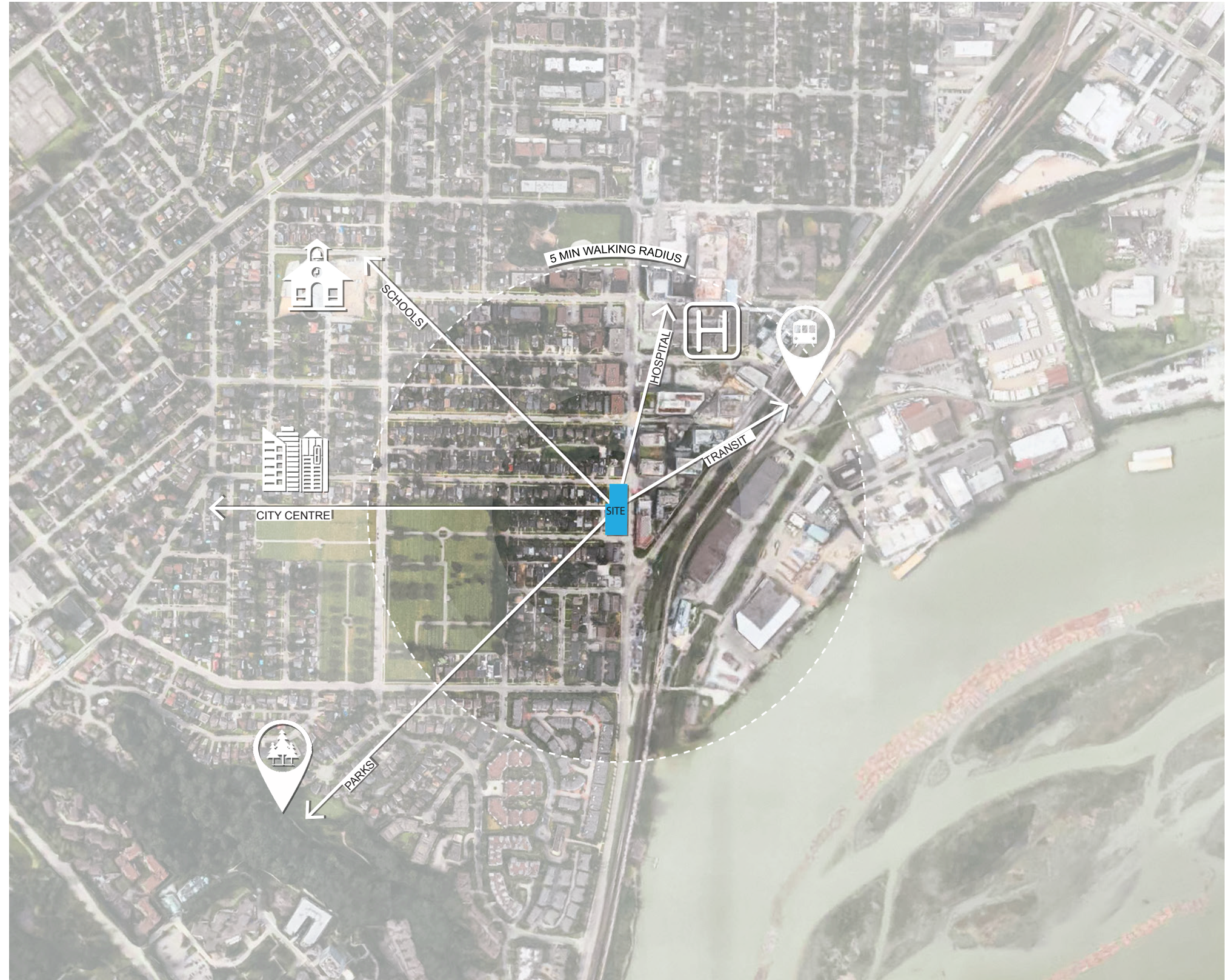
Neighbourhood Knowledge.

NEIGHBOURHOOD CONTEXT

The subject site is located on the west side of the 100-200 block of East Columbia Street. The site encompasses the entire block and is bound on the north by Alberta Street, on the south by Strand Avenue, and to the west by a laneway. The laneway creates a separation from the RT-1 district comprised of duplex and single family dwellings to the west.

The site currently has one 2-storey commercial building on the southernmost lot at the corner of East Columbia Street and Strand Avenue. However, a demolition permit has been submitted and it is expected to be demolished in Q2 2023. The west side of East Columbia Street to the north and to the south is currently made up of a variety smaller commercial and mixed use buildings. Directly across from the subject site on East Columbia Street is the Brewery District which contains larger mixed use buildings (mid and high rise forms) with a variety of amenities, offices, and residential uses. On the same side of the street, the Sapperton SkyTrain Station and the Royal Columbian Hospital are located within a 5 minute walk.

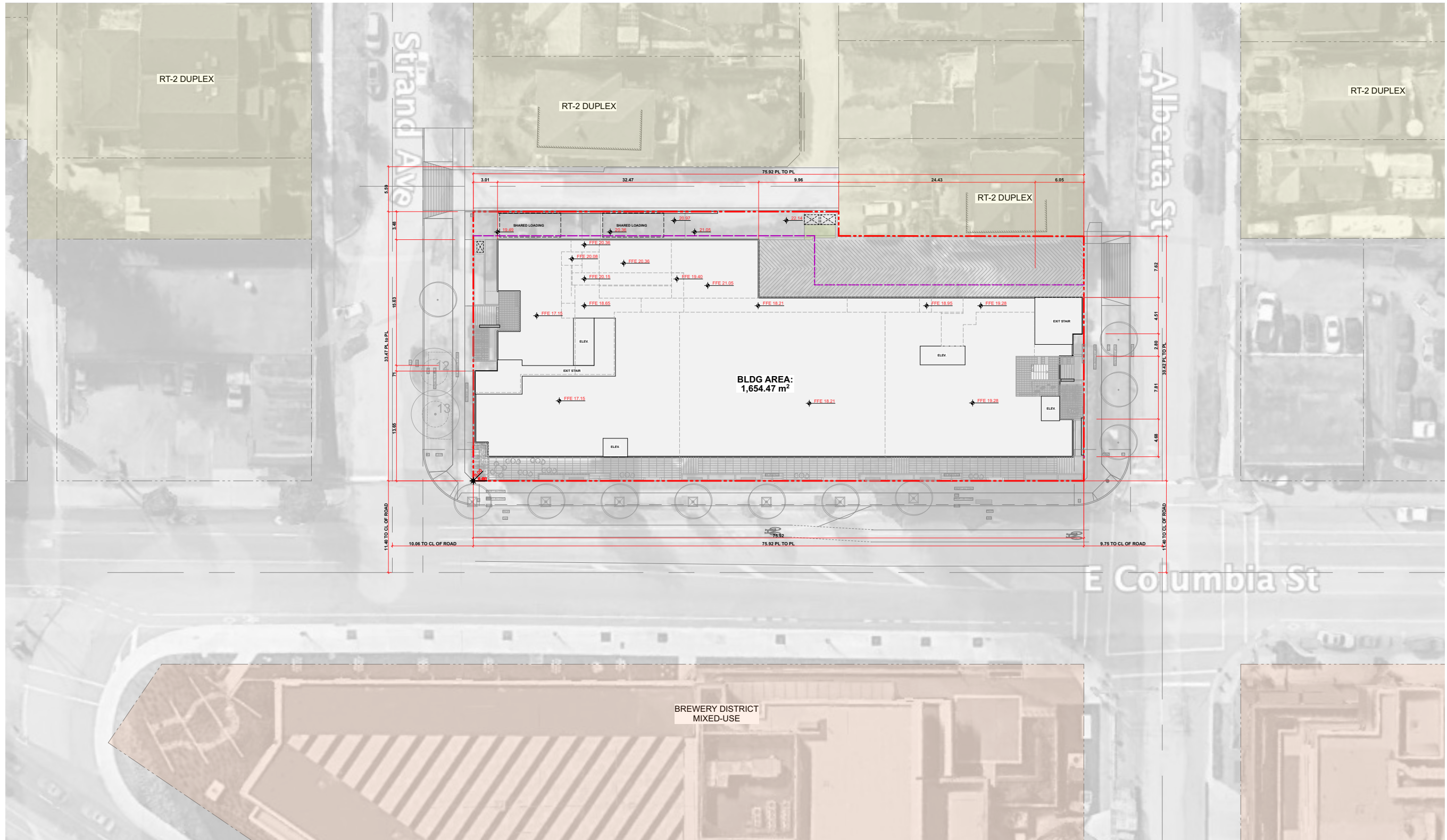
East Columbia Street is an existing commercial corridor that is well connected to transit and is one of New Westminister's Great Streets. Our proposal will form part of an evolving mixed use and commercial neighbourhood that is well suited to the City of New Westminister's plan to create a vibrant employment and residential hub for the city.



Neighbourhood Knowledge.

BUILDING CONTEXT PLAN

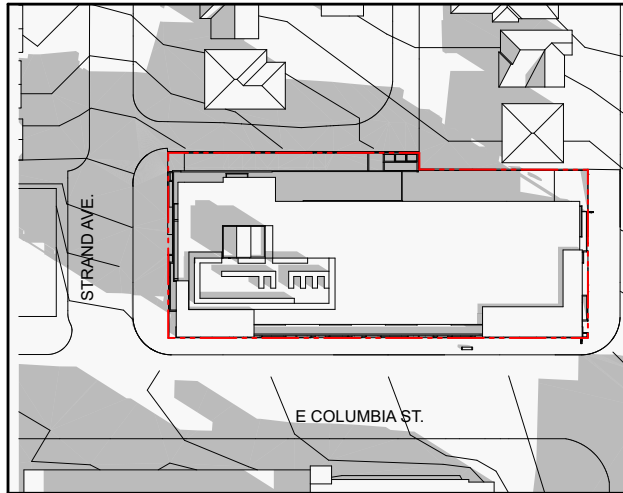
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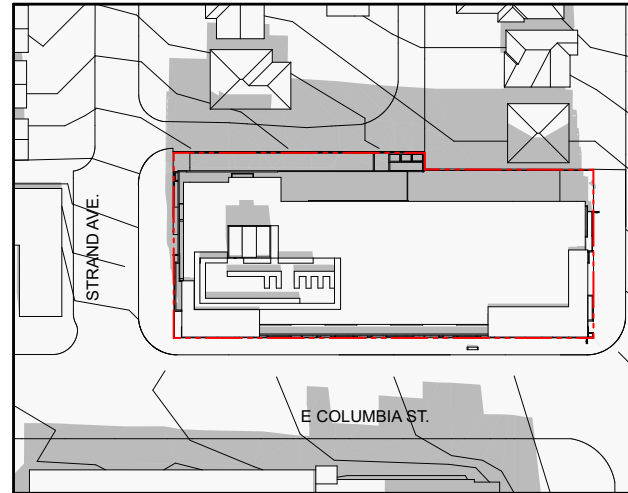
Neighbourhood Knowledge.

SPRING & SUMMER SHADOW STUDY

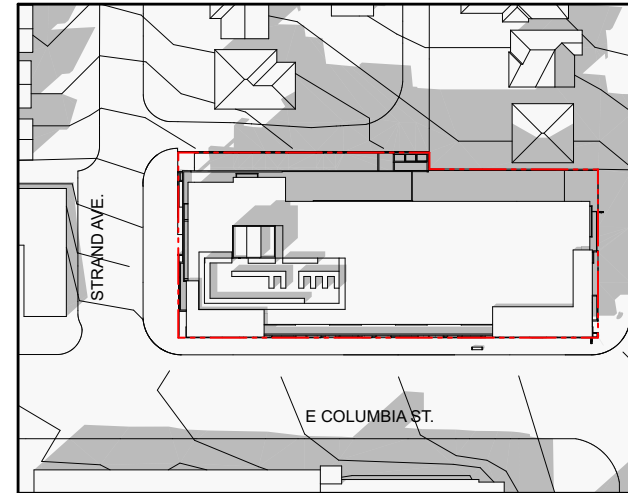
Spring Equinox
March 21st



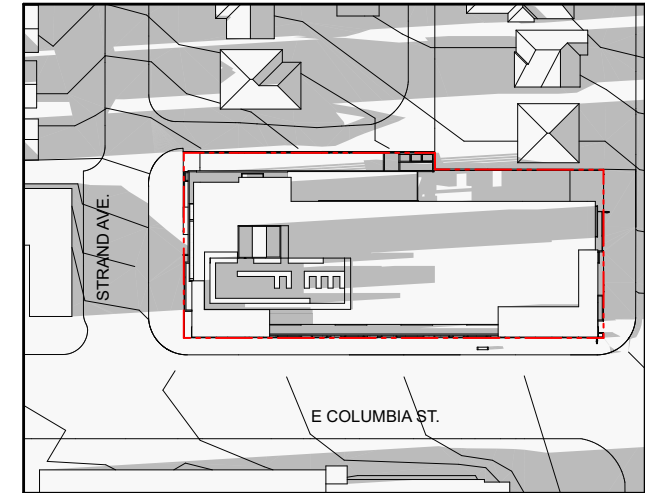
1 March 21st @ 09:00



2 March 21st @ 12:00

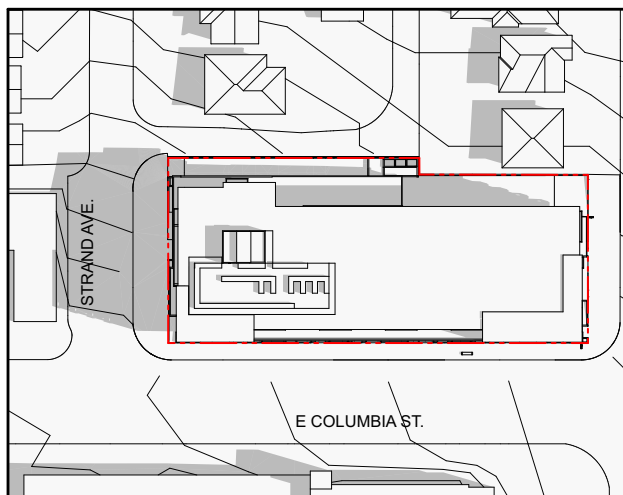


3 March 21st @ 15:00

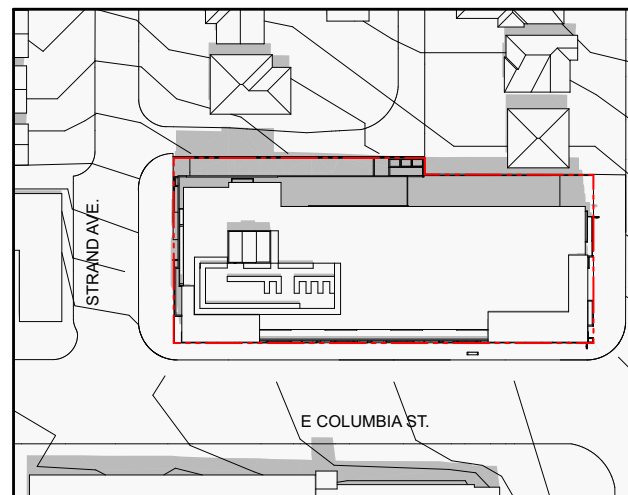


4 March 21st @ 18:00

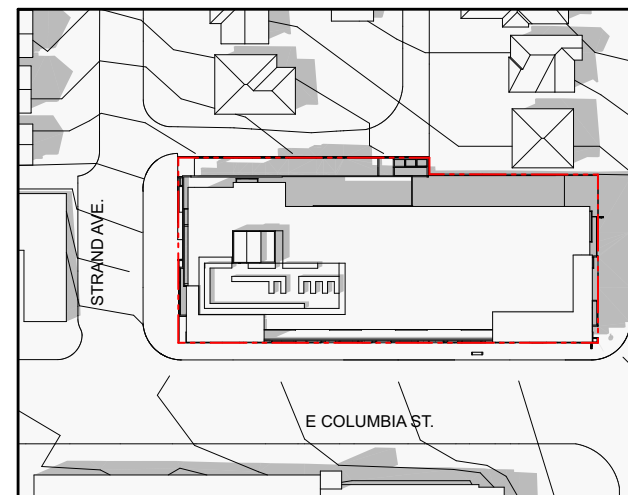
Summer
June 21st



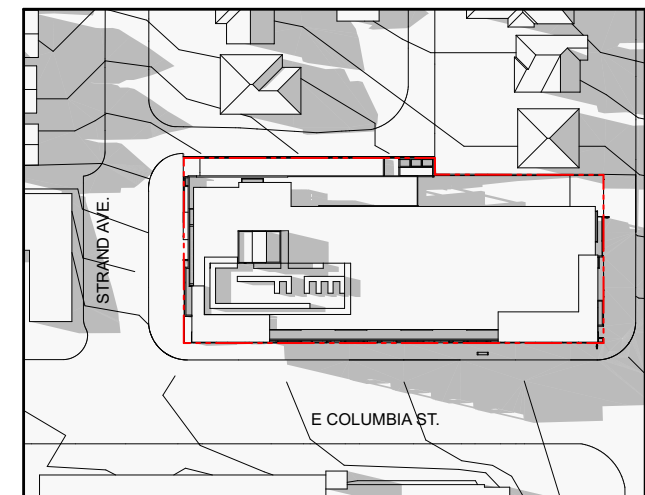
1 June 21st @ 9:00



2 June 21st @ 12:00



3 June 21st @ 15:00

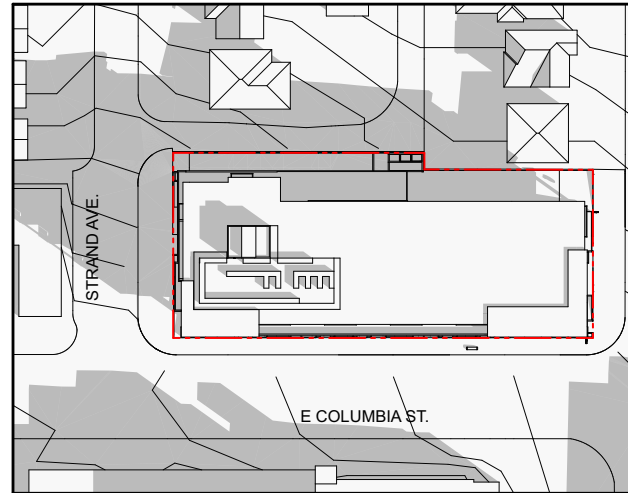


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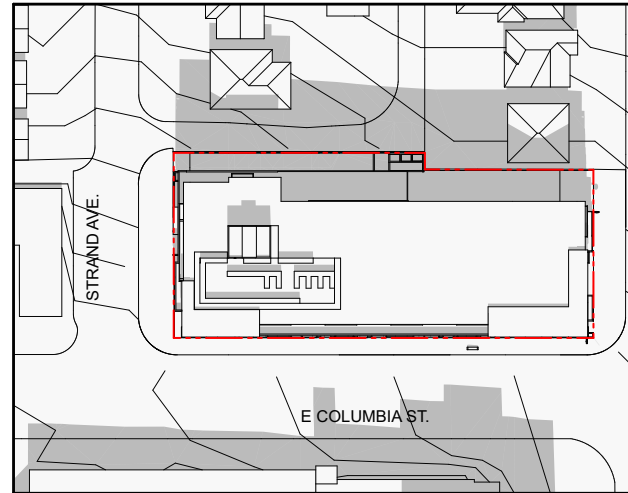
Neighbourhood Knowledge.

FALL & WINTER SHADOW STUDY

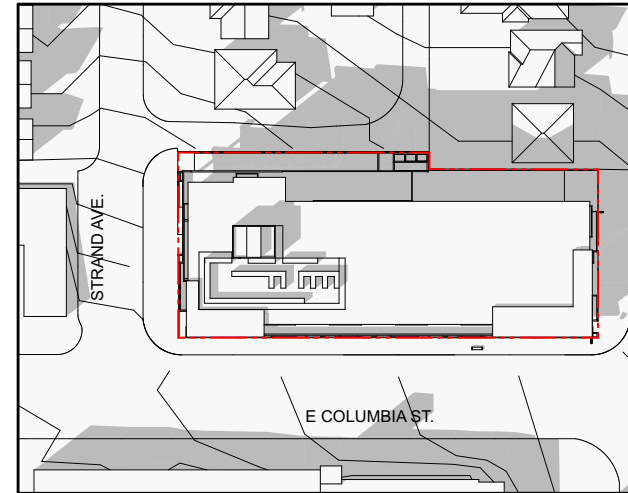
Autumn Equinox
September 21st



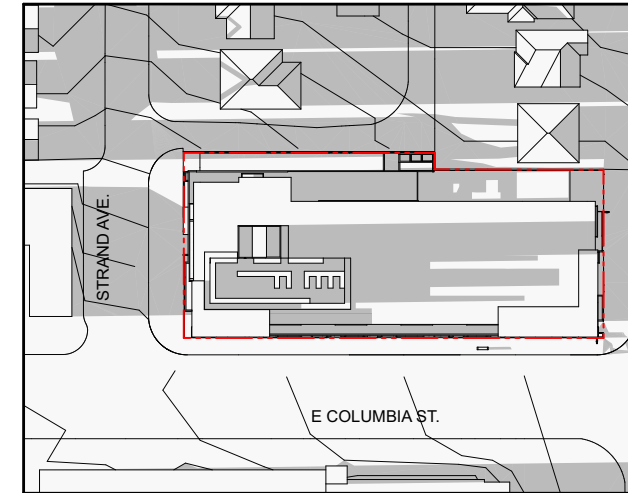
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SCALE: 1:512



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SCALE: 1:512

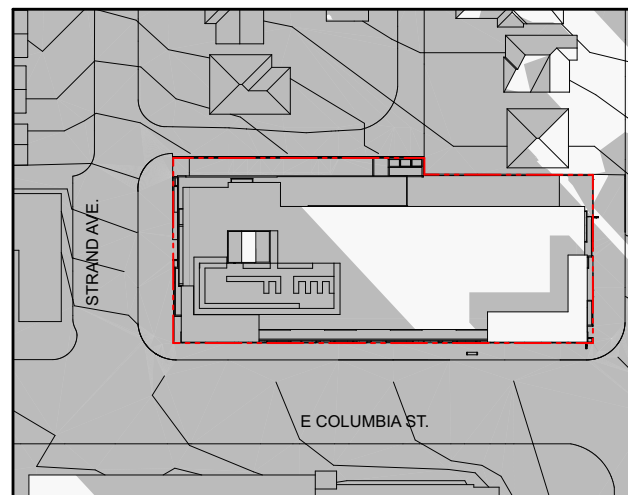


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SCALE: 1:512

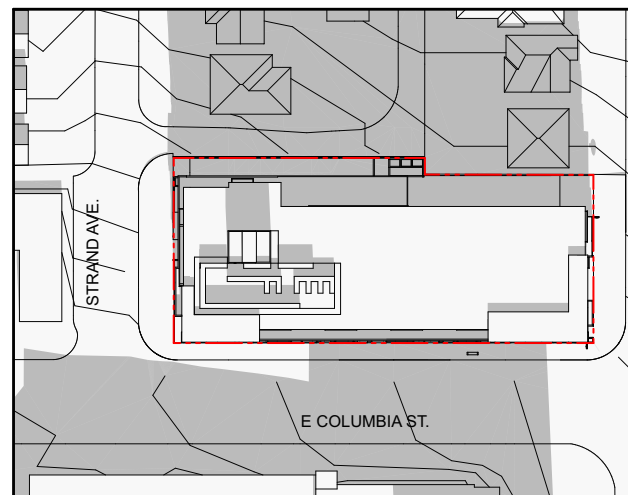


4 September 21st @ 18:00
SCALE: 1:512

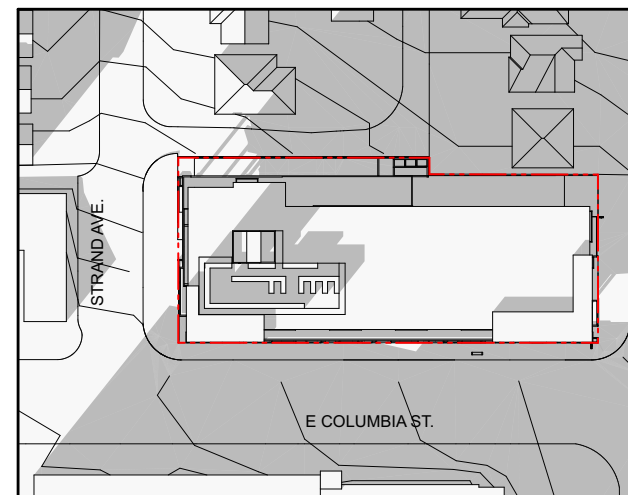
Winter
December 21st



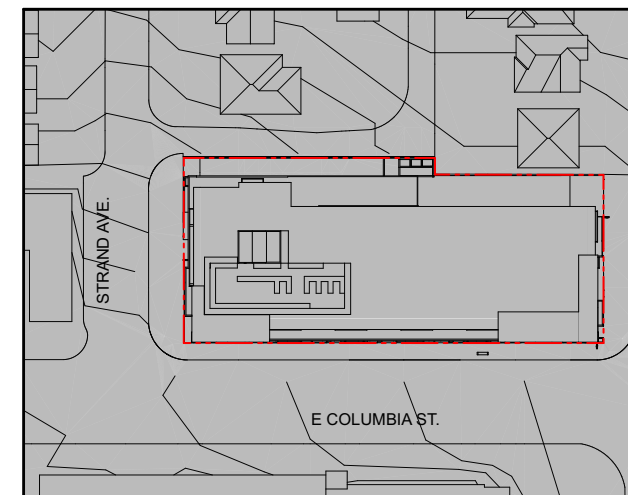
5 December 21st @ 9:00
SCALE: 1:512



6 December 21st @ 12:00
SCALE: 1:512



7 December 21st @ 15:00
SCALE: 1:512



8 December 21st @ 18:00
SCALE: 1:512

Curb Appeal.

DESIGN RATIONALE

The proposed program for the building mixes a variety of uses (residential, office, and commercial at grade) within a steeply sloped site. The challenge is to maintain harmonious connection to the ground plane and public realm while distinguishing and delineating each use. The building creates a strong form at the first two levels but then steps back to a more subdued residential form for the storeys above.

Focusing on East Columbia Street as a Great Street, the first floor of the building is setback from the property line 3M expanding the public realm and creating a continuous flow across the site for pedestrians. Commercial levels are stepped in elevation to follow the grades of East Columbia Street such that private and public property bleed together to activate the public realm, maximizing potential areas for seating and patio areas. Ground level commercial is primarily glazed for transparency. Commercial units wrap both corners of the building as points of focus along the ground plane when approaching along East Columbia Street from the North or South. Individual units are clearly identified by the band of signage integrated into the overall curtain wall facade. The glazed main lobby and co working lounge for the residential building along Strand Avenue provides “eyes on the street” and aligns with the residential uses to the east. Parking access from Alberta Street at the west side of the property provides a 7.5M setback at first and second floors to the existing duplex to the west. The communal outdoor amenity on the third level faces west creating a more private tranquil space for the residents.



Strong corner elements at both Strand Ave and Alberta Street breakdown the overall building creating a well-articulated, pedestrian scaled street wall with a distinct presence along the street. The offices on the second floor extend to the property line along East Columbia Street acting as a canopy to provide weather protection for the public realm below. Above the third floor, the central portion of the building is setback a minimum of 3m providing larger patios for residents while reducing the overall mass of the building of the street. The projections of the canopies along the side streets help to visualize and distinguish the unique entries within the building overall. The stepping back of residential units reduces the apparent massing when viewed from the surrounding streets and lane. The recessed upper floors provide a varied street frontage expression while also limiting shadowing to the street.

The character of the development follows the contemporary style of the emerging architecture along East Columbia Street. Creating an incremental quality to the perceived development of the block is an important consideration in the design and contribution to the diversity of the streetscape. The massing is articulated through the use of materials as well as with the use of overhangs and balcony elements. Commercial retail units incorporate simple charcoal pilasters with large glazed openings providing a more public yet human scale. Signage within the banding further articulate and enhance these openings that are envisioned to house retail and service based businesses commensurate with the popular uses of the existing neighbourhood. Between the corners of more subdued fibre-cement cladding on the second floor, the patterned beige cementitious cladding and variations in the glazing introduce an additional layer of articulation into the facade. Wood-tone soffits above the commercial retail, in the lobby entrance canopies and roof soffits add an element of warmth to the building overall. The residential portion above is more subdued with lighter fibre-cement lap siding. Dark window infill panels complement the lighter siding, creating articulation and vertical rhythm within the overall form. Soffits, which are also highly visible from the pedestrian realm will also incorporate warm wood tones.

A commercial elevator provides direct barrier free access to the commercial units from the parkade below. The office lobby on the second floor is accessed along Alberta Street with it's own elevator that provides access from the street.



Curb Appeal.

STATISTICS

Proposed 6 Storey Mixed Use Development

PROJECT OWNER:	Third Space Properties Inc
PROJECT CONTACT:	Frankie Bailey Third Space Properties Inc 177 W 7th Ave, Vancouver, BC V5Y 1L8 T.604.495.1076
PROJECT ARCHITECT:	Shamus Sachs Integra Architecture Inc. 2330 - 200 Granville Street, Vancouver, BC V6C 1S4 T.604.688.4220
PROJECT NUMBER:	22599
CIVIC ADDRESS:	145, 149, 153, 201 & 209 E Columbia St, New Westminster, BC
LEGAL DESCRIPTION:	LOT 1 OF THE NORTHERLY PORTION OF LOT 6, SUBURBAN BLOCK 3, PLAN 3827 LOT 2 OF THE NORTHERLY PORTION OF LOT 5, SUBURBAN BLOCK 3, PLAN 3827, LOT 3, SUBURBAN BLOCK 3, PLAN 3827 LOT 4 OF LOT 6, SUBURBAN BLOCK 3, PLAN 2620 LOT 3 OF LOT 6, SUBURBAN BLOCK 3, PLAN 2620
PROJECT DESCRIPTION:	6-Storey Mixed Use Development
ZONING:	Existing Zoning: Service (CS-1) / Community Commercial (C-2) Proposed Zoning: C2 OCP Designation: Mixed Use Low Rise Development Permit Area: East Columbia ST Commercial Corridor DPA
ISSUE:	Issue 02 - RZ/DP Application Resubmission
DATE:	2023-09-07

SITE AREA

Total Site Area				
Total Gross Site Area	0.613 Acres	26,705 SF	TBC	2,481.00 m ²
*Confirmed by Survey - July 13, 2022				
Dedications				
N/A	0.000 Acres	0 SF		0.00 m ²
Net Site Area	0.613 Acres	26,705 SF	TBC	2,481.00 m ²

FLOOR AREA RATIO (FAR)

Proposed FAR					
Floor Area	110,836.13	SF		10,297.3 m ²	
Exclusions - Mechanical (incl. penthouse) (Max 10% Site Coverage)	1,017.82	SF		94.6 m ²	
Exclusions - Service @ L1	4,029.60	SF		374.4 m ²	
Exclusions - Access to Parking	360.27	SF		33.5 m ²	
Exclusions - 1 Bed Adaptable Units	40 @ 19.9	796.00	SF	74.0 m ²	
Exclusions - 2+ Bed Adaptable Units	3 @ 30.14	90.42	SF	8.4 m ²	
Exclusions - Indoor Amenity (<5% GFA)		1,384.13	SF	128.6 m ²	
Proposed Floor Area	3.86	103,157.89	SF	10,223.3 m²	
Common Amenity Space	3 m2/unit	3,196.80	SF	297.0 m²	
Proposed Indoor Amenity		1,384.13	SF	128.6 m ²	
Proposed Outdoor Amenity		3,300.17	SF	306.6 m ²	
Proposed Amenity Space Total		4,684.30	SF	435.2 m²	
Proposed Building Site Coverage	66.69%		17,808.56	SF	1,654.5 m²

GROSS FLOOR AREA (GFA)

Level	Residential Unit Areas SF	Commercial Unit Areas SF	Common Areas					Total Common Area SF	Total Floor Area		Efficiency
			Amenity	Lobby	Common	Service	Mech-Roof		SF	m ²	
Level 1	11,867.25	637.15	793.55	4510.61			5,941.31	17,808.56	1,654.47	66.6%	
Level 1 - Mezzanine		1,256.32					0.00	1,256.32	116.72	100.0%	
Level 1 - Service						4,029.60	4,029.60	4,029.60	374.36	0.0%	
Level 2		18,165.74		2751.21			2,751.21	20,916.95	1,943.25	86.8%	
Level 3	13,575.19		746.98	2071.56			2,818.54	16,393.73	1,523.03	82.8%	
Level 4	14,548.30			1845.43			1,845.43	16,393.73	1,523.03	88.7%	
Level 5	14,548.30			1845.43			1,845.43	16,393.73	1,523.03	88.7%	
Level 6	14,548.30			1845.43			1,845.43	16,393.73	1,523.03	88.7%	
Roof Level				489.78			489.78	489.78	116.11	0.0%	
Area Totals	57,220.09	31,289.31	1,384.13	793.55	14869.67	4,029.60	0.00	21,076.95	110,836.13	10,180.91	80%

Apartment Unit Areas

Unit Types	Level	Unit Areas SF	Number of Units / Floor						Total Units	% of Units
			L1	L2	L3	L4	L5	L6		
Unit A1 Studio		415.00			2	2	2	2	8	8.1%
Unit A1.1 Studio - Adaptable		415.00			2	2	2	2	8	8.1%
Unit A2 Studio		416.67			1	1	1	1	4	4.0%
Unit A3 Studio - Adaptable		408.06			1	1	1	1	4	4.0%
Unit B1 1 Bed - Adaptable		546.00			6	6	6	6	24	24.2%
Unit B2 1 Bed		553.33			2	3	3	3	11	11.1%
Unit B3 1 Bed		459.80			2	2	2	2	8	8.1%
Unit B4 1 Bed - Adaptable		602.92			1	1	1	1	4	4.0%
Unit D1 2 Bedroom		691.49			1				1	1.0%
Unit D2 2 Bedroom		800.85			1	1	1	1	4	4.0%
Unit D3 2 Bedroom		689.81			1	1	1	1	4	4.0%
Unit D4 2 Bedroom - Adaptable		746.48				1	1	1	3	3.0%
Unit D5 2 Bedroom		649.42			1				1	1.0%
Unit D7 2 Bedroom		707.77			2	2	2	2	8	8.1%
Unit D6 2 Bedroom		937.03			1				1	1.0%
Unit F1 3 Bedroom		1012.03				1	1	1	3	3.0%
Unit F2 3 Bedroom		938.70				1	1	1	3	3.0%
Unit Totals			0	0	24	25	25	25	99	100%

Commercial Unit Areas

Unit Types	Level	Floor Areas			Total	Number of Units	Total Unit Area		% of Units
		SF	CRU Elev.	Subtotal			SF	m ²	
CRU	L1	11,867.25		11,867.25	11,867.25	8	11,867.25	1,102.50	38.1%
	L1 -Mezz	1,256.32		1,256.32	1,256.32		1,256.32		
OFFICE	L2	18,165.74		18,165.74	18,165.74	13	18,165.74	1,687.65	61.9%
	Total					21	31,289.31	2,790.16	100%

APARTMENT UNIT MIX

No.	Percentage	Adaptable Units	Required	Units	Provided	Units	
Studio	24	24.2%					
1 Bedroom	47	47.5%	40%	40	43%	43	
2 Bedroom	22	22.2%					
3 Bedroom (5% Required)	6	6.1%	Family Friendly Units (2BD & 3BD)	25%	25	28%	28
Total	99	100.0%					

OFF-STREET PARKING

Apartment Parking	Zoning ByLaw	Total Req'd	Spaces Provided
Residential Parking (Market rental)	1.0 Spaces Per dwelling unit	99.00 Spaces Required	96 Spaces Provided
Visitor Parking	0.1 Spaces Per Unit	10.00 Spaces Required	10 Spaces Provided
Disabled Parking	4 Spaces per 70-100 required spaces (inclusive)	4.00 Spaces Required	4 Spaces Provided
Van Accessible Parking	1 Space for every 30 required spaces in excess of 100 (inclusive)	0.00 Spaces Required	0 Spaces Provided
Max. Small Cars Allowed (residential)	30% of Required Spaces	29.70 Spaces Max.	29 Spaces Provided
Extra Stalls Converted to Small Stalls	0 Total Extra stalls	-3.00 Small Spaces Max (Extra)	4 Spaces Provided
Car Wash Stalls	0 Space per 100 Units	0.00 Spaces Required	0 Spaces Provided

Commercial Parking	Zoning ByLaw	Total Req'd	Spaces Provided
Commercial Parking (CRU)	1.0 Spaces for each 50 m ² (538.2 SF)	23.00 Spaces Required	91 Spaces Provided
Commercial Parking (Medical Office)	1.0 Spaces for each 33.33 m ² (357.7 SF)	51.00 Spaces Required	
Max. Commercial Parking Allowed	1.0 Spaces for each 33.33 m ² +1.0 Space for each 25 m ²	101.00 Spaces Max.	

Disabled Parking (CRU)	1 Space per 1-25 required spaces (inclusive)	1.00 Spaces Required	1 Spaces Provided (shared)
Disabled Parking (Medical Office)	10% of all required off-street parking spaces	6.00 Spaces Required	6 Spaces Provided (shared)
Van Accessible Parking	1 Van Space for every 3 Accessible Parking Stalls	3.00 Spaces Required	3 Spaces Provided
Max. Small Cars Allowed (commercial)	30% of Required Spaces	22.20 Spaces Max.	23 Spaces Provided
Extra Stalls Converted to Small Stalls	17 Total Extra stalls	15.00 Small Spaces Max (Extra)	13 Spaces Provided
			36 Spaces Provided

Loading	Required	Spaces Provided*
Commercial Loading Required	1 Spaces for < 1800m ² (19375SF)	2.00 Spaces Required
Residential Loading Required		1.00 Spaces Required
	*Commercial and residential loading can be shared within mixed use dwelling	1 Spaces Provided

Electric Vehicle Charging	Required	Spaces Provided
EV Level 2 Required for all residential and car share vehicles (provided)		1 Spaces Provided
Scooters	10 Sq. Meter required for plug in and charging area (provided)	

Parking Space Dimensions	Required (Width x Length x Height)	Spaces Provided
Standard Space	2.7m (8.86 FT) x 5.3m (18.37 FT) x 2.0m (6.56 FT) x 6.6M (21.65') drive aisle	
Small Cars	2.44m (8.01' FT) x 4.57m (15 FT) x 2.0m (6.56 FT) x 6.7M (21.98') drive aisle	
Accessible Space	5.5m (18.04 FT) x 3.9m (12.80 FT) x 2.3m (6.56 FT)	
Van Accessible Space	7.6m (24.94 FT) x 4.8m (15.75 FT) x 2.3m (6.56 FT)	
Loading	3.0m (9.8 FT) x 9.0m (29.53 FT) x 3.5m (11.48 FT) (To be confirmed)	
Min. Distance to Continuous Wall	0.3m (0.98 FT) (1'-0")	
Min. Drive Aisle Width	5.49m (18'-2" FT)	
Min. Maneuvering Aisle Width	6.7m (21.98 FT) (22'-0")	
Min. Overhead clearance	2.0m (6.56 FT)	

BICYCLE STALLS

Long Term Parking (Class A)	Required	Spaces Provided
Residential Bicycle Spaces Required	1.50 Bicycle Stalls Per Unit	149 Stalls Required
Residential Bicycle Spaces Provided	0.0 Bicycle Stalls Per Unit	69 Stalls Provided
		69 Stalls Provided
Commercial Bicycle Spaces Required	1.0 Bicycle Stalls Per 500 sq metres.	6 Stalls Required
Commercial Bicycle Spaces Provided	1.5 Bicycle Stalls Per Unit	7 Stalls Provided
		0 Stalls Provided
Total		145 Stalls Provided

Short Term Parking (Class B)	Required	Spaces Provided
Residential Spaces Required	9.0 Bicycle Spaces	9 Spaces Required
Residential Spaces Provided	0.1 Bicycle Spaces Per Unit	7 Spaces Provided
Commercial (CRU) Spaces Required	6 Bicycle Spaces for a Building of 1,000 sq. metres net floor area	6 Spaces Required
Commercial (CRU) Spaces Provided	0.2 Bicycle Spaces Per Unit	10 Spaces Provided
Commercial (Office) Spaces Required	6 Bicycle Spaces for a Building of 1,000 sq. metres net floor area	6 Spaces Required
Commercial (Office) Spaces Provided	0.1 Bicycle Spaces Per Unit	5 Spaces Provided
Total		22 Spaces Provided

Bicycle Room Lockers	Minimum 20% long term bicycles shall be bicycle lockers	
Bicycle Room Locker size	Minimum 1.8M (l) x 1.2M (H) x 1.2M Aisle Width	
Bicycle Spaces (Horizontal)	Minimum 6M(W) x 1.8M (L) x 1.2M Aisle Width	
Bicycle Spaces (Vertical)	Minimum 6M(W) x 1.0M (L) x 1.2M Aisle Width	

SOLID WASTE & RECYCLING - Metro Vancouver	Provided	Spaces Provided
Residential Garbage		
Total Waste & Recycling Area	Provided 537 SF	49.89 m ²
Recyclable Materials Carts	99 units @ 3 360L Bins /	12 units 24.75 360L Bins 25.00 360 Litre Bins (36"x30"x43")
Food Scraps Carts	99 units @ 1 240L Bins /	49 units 2.02 240L Bins 3.00 240 Litre Bins (36"x30"x43")
Total Recycling Containers Required		26.77 totes 28.00 totes (360 litres) (36"x30"x43")
Cardboard	99 units @ 1 bin/	100 units 0.99 bin 1.00 bin (5x7) or 5 compactor bin

Commercial Garbage	Provided	Spaces Provided
Total Waste & Recycling Area - RETAIL	Provided 596 SF	55.37 m ²
Temporary Storage Area	50% of Storage Area	604 SF 27.69 m ²

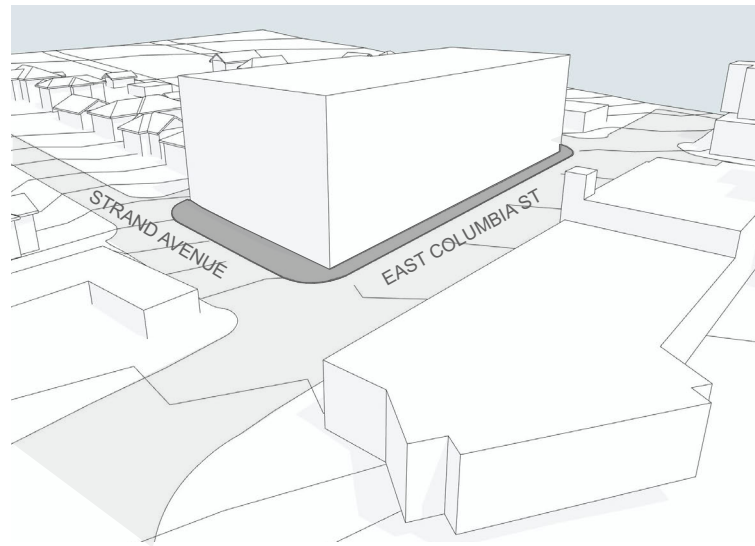
PROPOSED SETBACKS	Required
E Columbia St	0.0 m
Alberta St	0.0 m
Strand Avenue	0.0 m
Lane	3.0 m
Side Yard	3.0 m



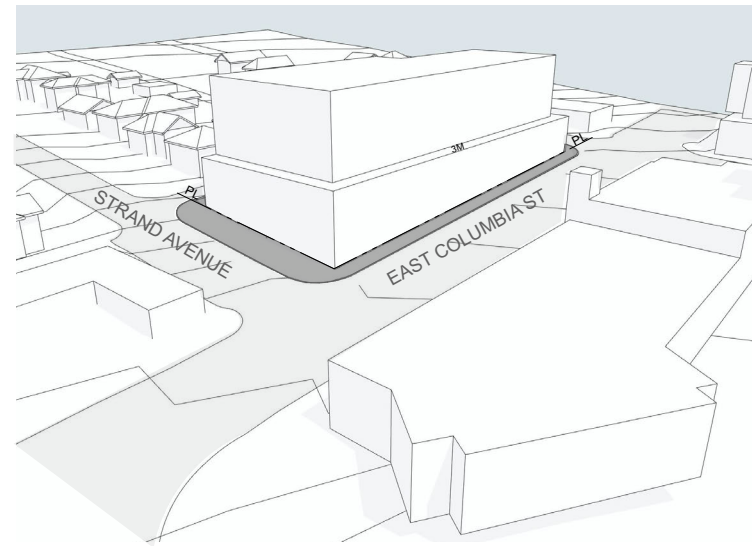
145-209 E COLUMBIA ST
REZONING APPLICATION

Curb Appeal.

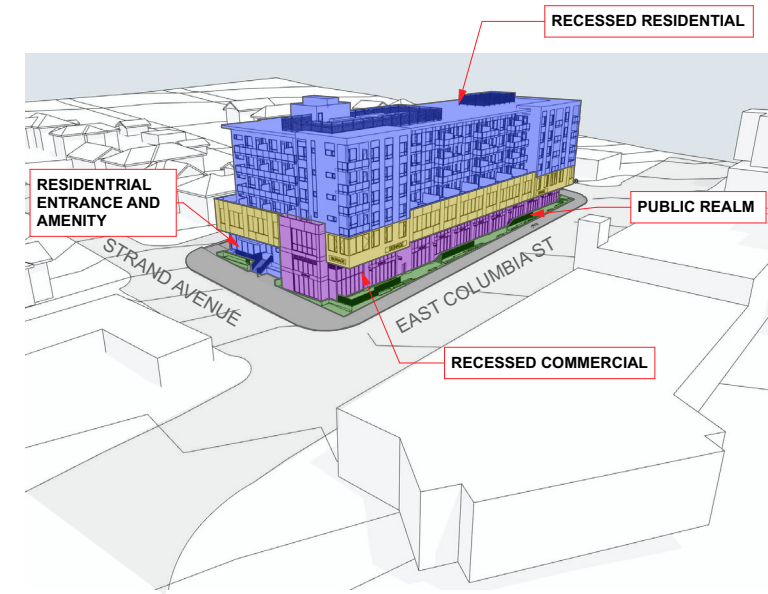
CONCEPT MASSING



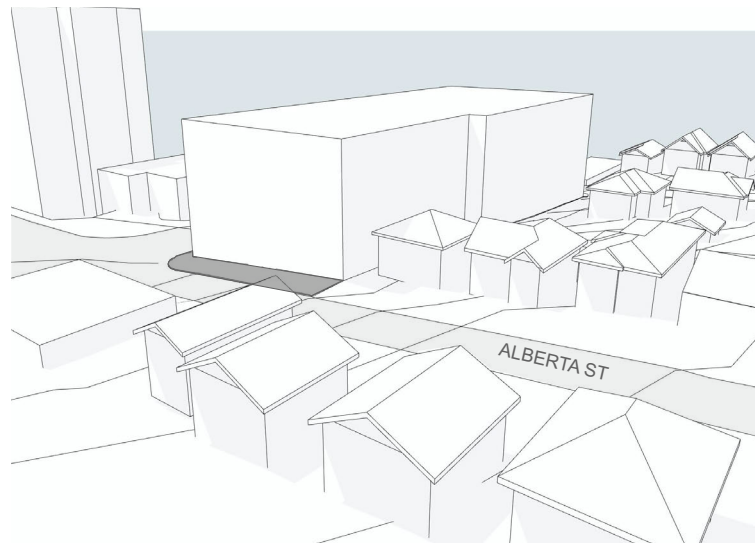
1 6-Storey Massing SE



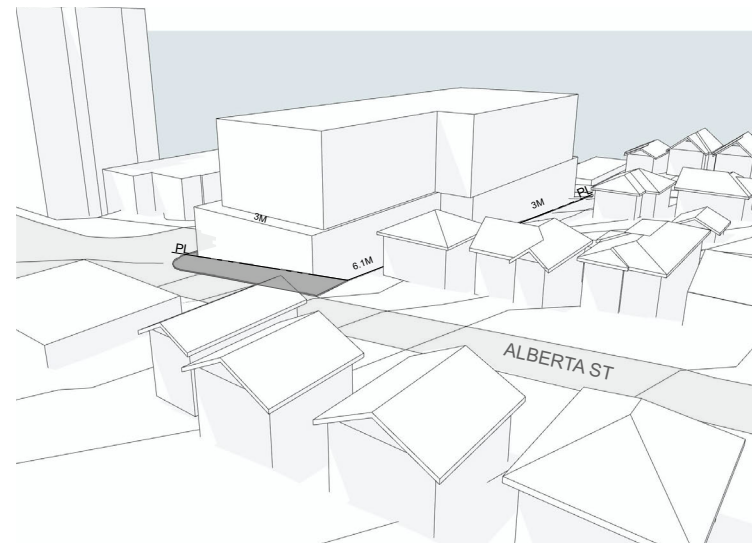
1 Setbacks SE



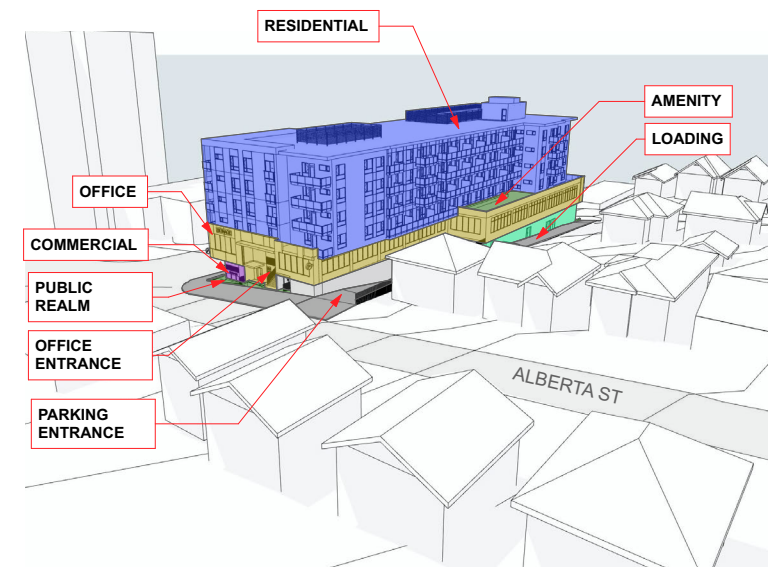
1 Built Form SE



1 6- Storey Massing NW



1 Setbacks NW



1 Built Form NW



Curb Appeal.

SITE ORGANIZATION PLAN

1:500

The site is organized to provide inviting frontages along all streets while meeting the existing grades of the site. There is approximately 6.3m (20.67') drop from the NW corner of the site to the SE corner of the site. The slope along East Columbia Street is primarily 5% with the northern portion closer to 7%.

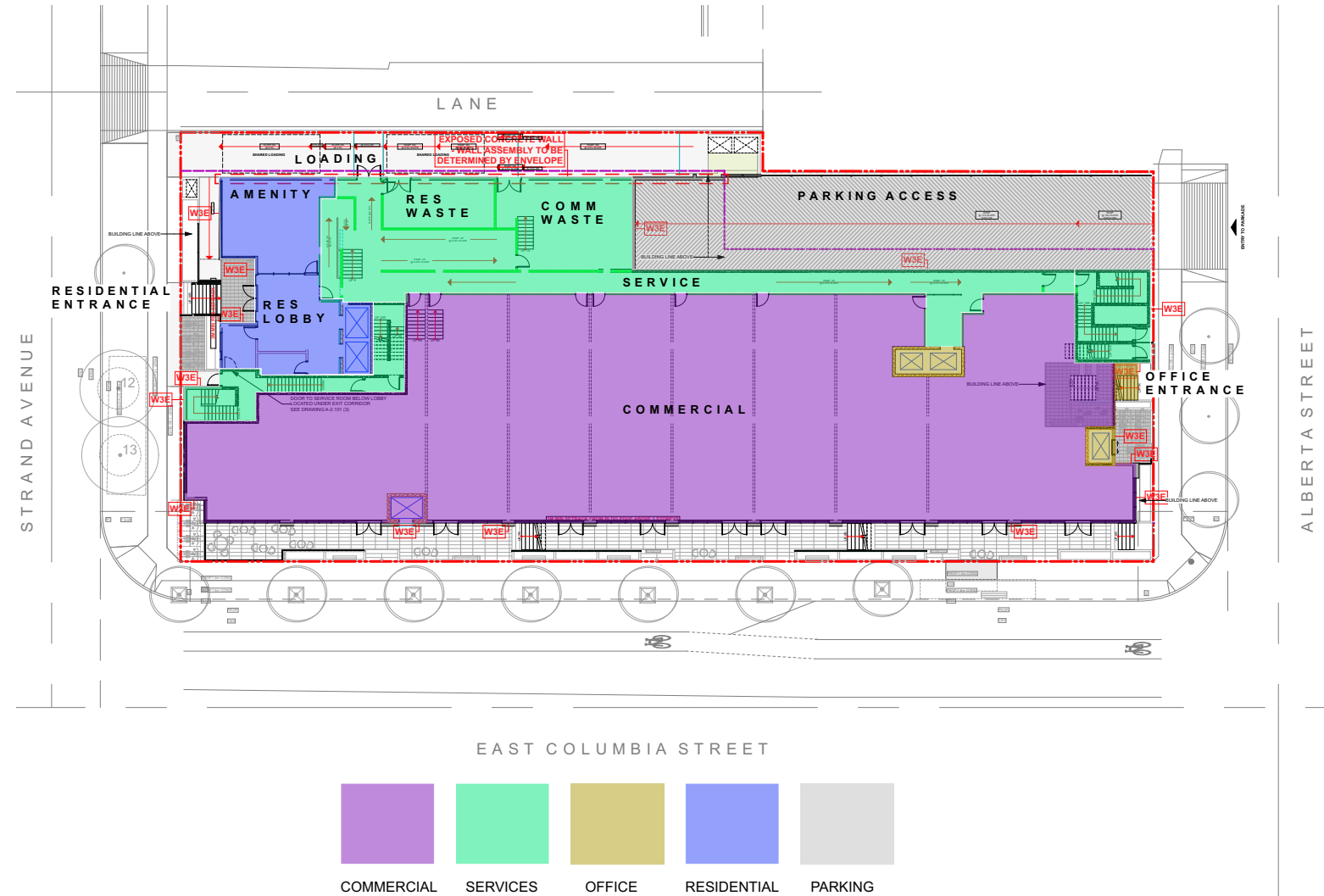
All ground level commercial is orientated towards East Columbia Street with larger units anchoring the corners and the potential for smaller units through the middle of the building along the ground plane. The public realm is extended into the site beneath the building above with multiple connections and areas for seating along East Columbia Street and Alberta Street. At the low end of the site, a patio is envisioned looking over the street and further south. Barrier free access is provided through the commercial elevator and along the sidewalk. Bicycle parking is located along East Columbia Street.

The residential entrance set apart from the commercial retail along Strand Avenue with its own distinct entrance and separate visitor bicycle parking. Barrier free access to the residential units is provided from the SW corner of the site adjacent to the loading area. The scale of the residential entrance and lobby relate to the smaller scale residential along Strand Ave.

The grading on site allows the second floor offices to be directly accessed by stairs with its own prominent entrance along Alberta Street. The office lobby and entrance are clearly identified as passerby move south down East Columbia Street. A dedicated office elevator provides barrier free access from the street level.

Parking access for all uses on the site is from Alberta Street. We have located parking access on Alberta Street to provide a safe, convenient point of access from East Columbia Street for both residents and tenants, as the intersection of Alberta Street and East Columbia Street is controlled with traffic lights and a crosswalk. Strand Avenue access was investigated but as it is not a controlled intersection and has limited turn movements planned, it was deemed a far less desirable location for both pedestrian safety and vehicular access - potentially increasing the instance of illegal and dangerous pedestrian crossings as well as vehicles diverting through the residential neighbourhoods to access the site. The parking ramp location as proposed negates these issues while also separating the building from the home directly adjacent to the site.

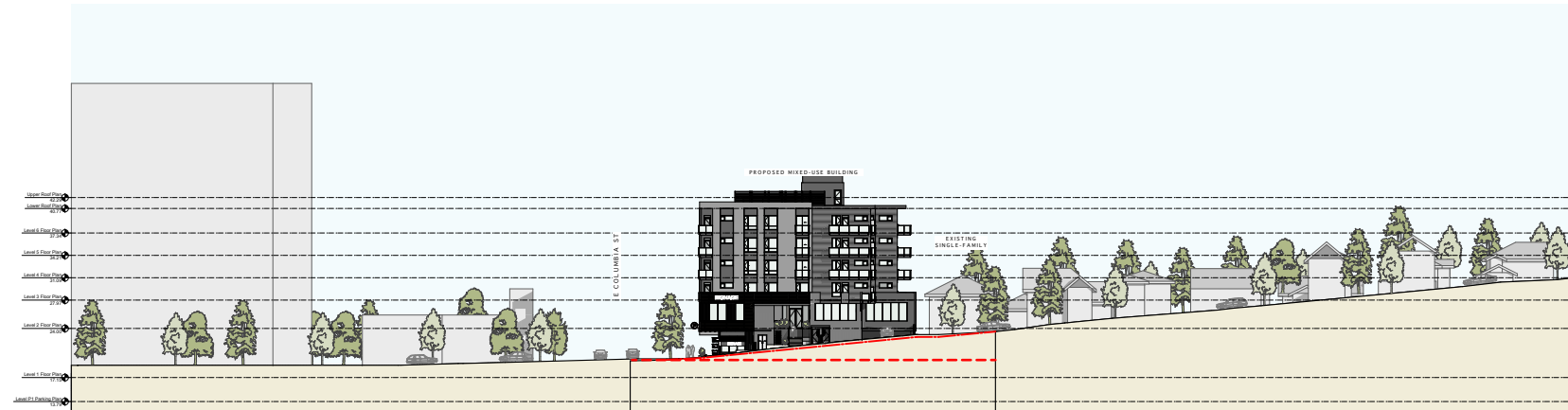
All loading and services are located on the back lane with direct access to the building through the service corridor for commercial and office tenants. Loading access for residential is along the barrier free access from the street.



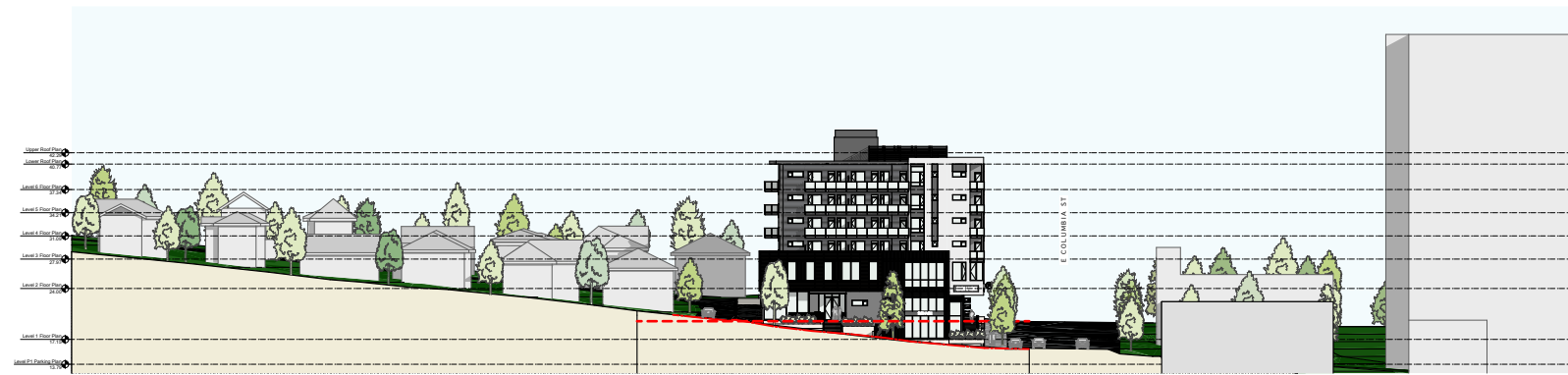
Curb Appeal.

STREETSCAPES

1:1000



1 Streetscape - Alberta St.



2 Streetscape - Strand Ave.

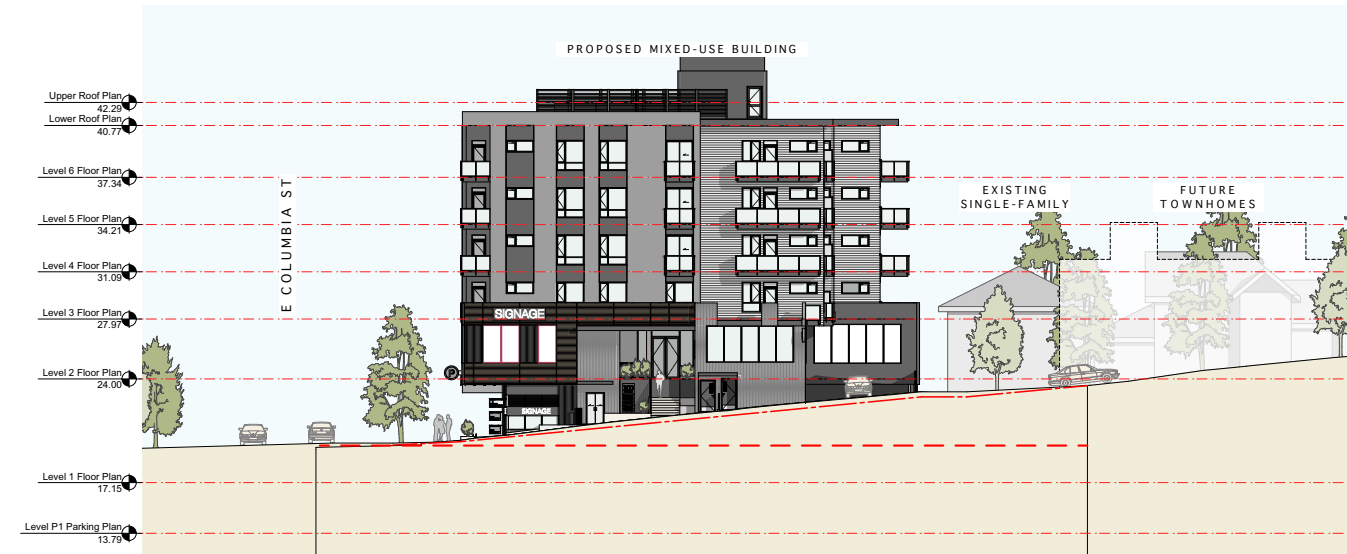


3 Streetscape - East Columbia St.

Curb Appeal.

FUTURE STREETSCAPES

1:500



1 Future Streetscape - Alberta St.



3 Aerial View Looking NW



2 Future Streetscape - East Columbia St.

Curb Appeal.

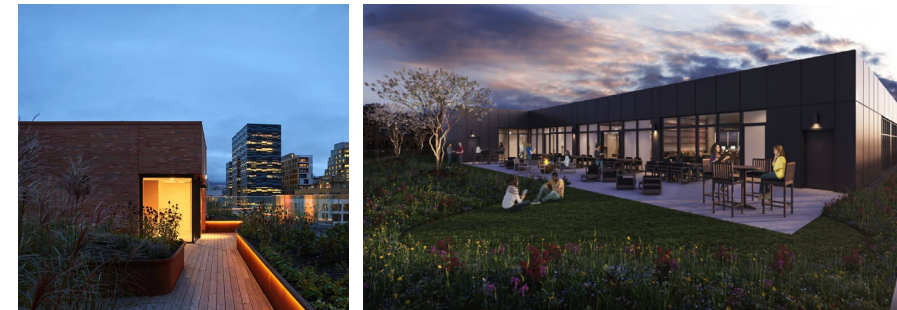
DESIGN PRECEDENTS



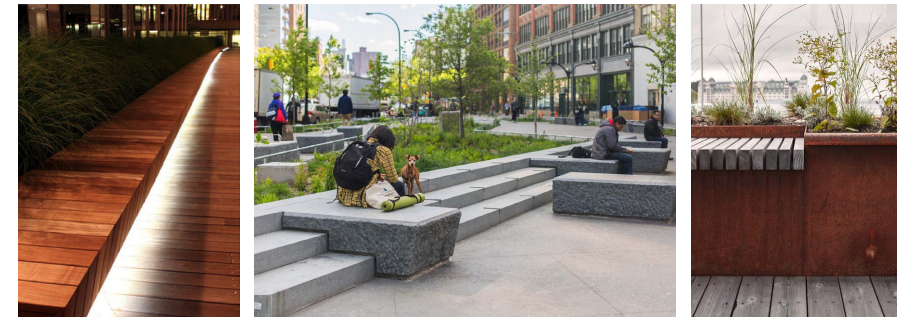
DESIGN ELEMENTS

- NEIGHBOURHOOD INTERFACE**
 - SITING
 - CHARACTER
 - MASSING + SETBACKS
- BUILDING DESIGN**
 - VIEWS + SHADOWS
 - ENTRANCES
- OPEN SPACE + LANDSCAPE**
 - TREES + LANDSCAPE
 - FURNITURE + AMENITIES
- SAFETY + SECURITY**
 - SAFETY

ROOFTOP WITH PLANTERS (INTENSIVE)/ OUTDOOR AMENITY/ VIEWS



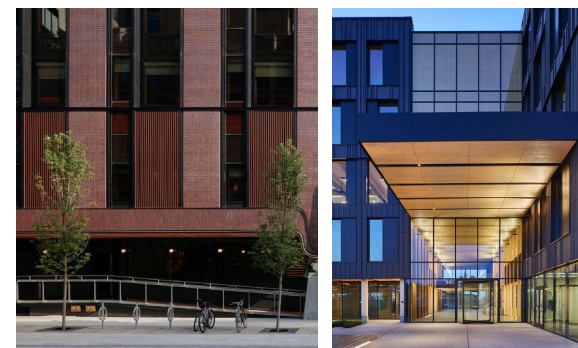
PUBLIC REALM- SEATING AREA, SIDEWALK, LIGHTING, ACCESS



COMMERCIAL FRONTAGE



BUILDING DESIGN FEATURES



BUILDING CHARACTER AND NEIGHBOURHOOD INTERFACE



Curb Appeal.

MATERIAL PALETTE



1.1 Cementitious Lap Siding w/ 5" Exposure - Deep Silver

1.4 Cementitious Panel Board - Beige

1.7 Cementitious Panel Board - Charcoal Grey

1.10 Cementitious Panel Board - White

1.2 Cementitious Lap Siding w/ 5" Exposure - White

1.5 Cementitious Panel Board - Grey

1.8 Mutual Materials - Brick - White

1.11 Cementitious Panel Board - Charcoal Grey

1.3 Cementitious Panel Board - Black

1.6 Cementitious Panel Board - Beige

1.9 Wall with Concrete as Finish - Charcoal Grey

Curb Appeal.

RENDERINGS



145-209 E COLUMBIA ST
REZONING APPLICATION

Curb Appeal.

RENDERINGS



Curb Appeal.

RENDERINGS



VIEW OF NORTH-EAST CORNER



145-209 E COLUMBIA ST
REZONING APPLICATION

Curb Appeal.

RENDERINGS



VIEW OF NORTH ELEVATION



145-209 E COLUMBIA ST
REZONING APPLICATION

Curb Appeal.

RENDERINGS



VIEW OF SOUTH-EAST CORNER



145-209 E COLUMBIA ST
REZONING APPLICATION

Curb Appeal.

RENDERINGS



VIEW OF SOUTH ELEVATION

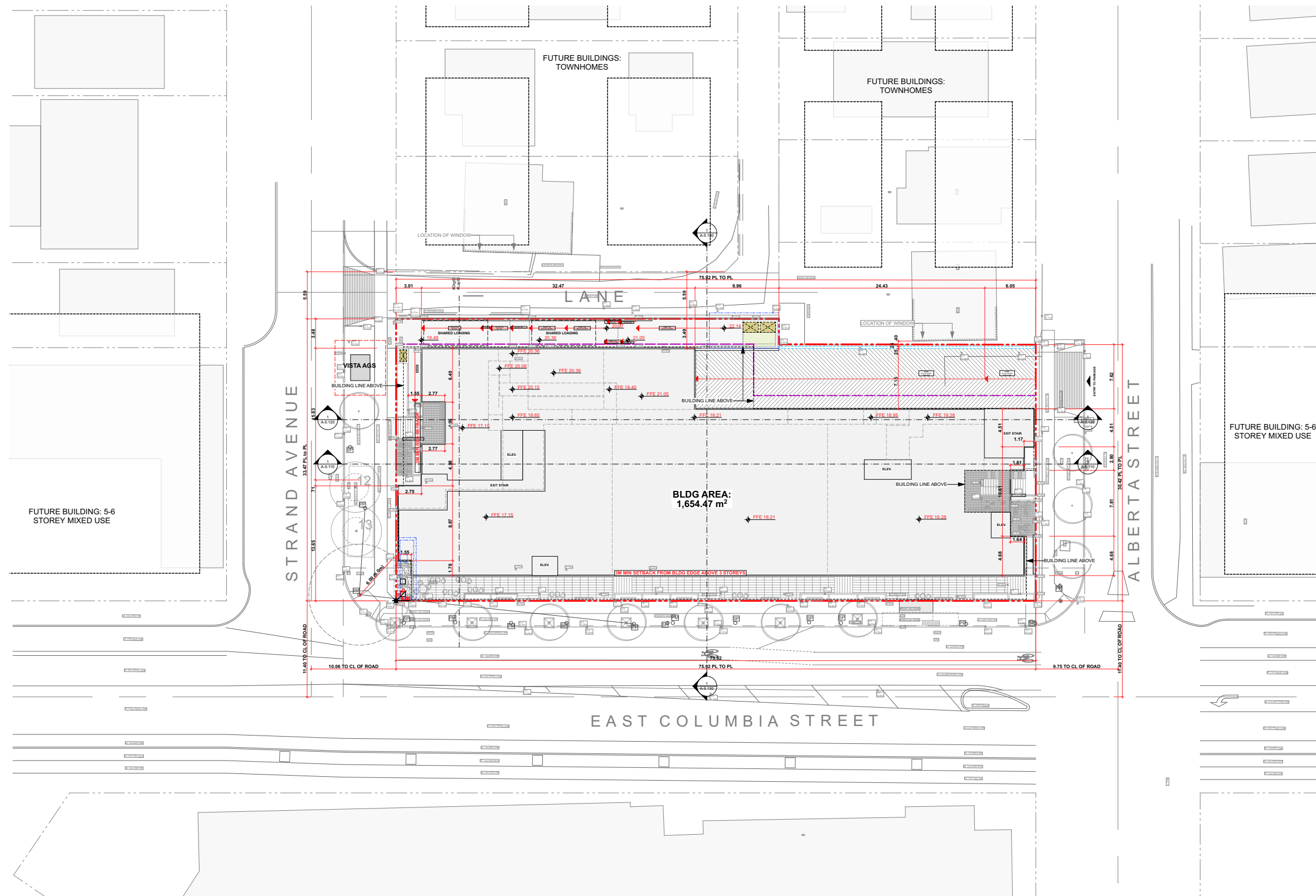


145-209 E COLUMBIA ST
REZONING APPLICATION

Architectural Drawings.

SITE PLAN

1:500



145-209 E COLUMBIA ST
REZONING APPLICATION

Architectural Drawings.

P1 PARKING PLAN 1:250

PARKING P1	
TYPE	SUBTYPE
PARKING, Level P1 Parking Plan	
COMMERCIAL	ACCESSIBLE
	2
COMMERCIAL	REGULAR
	25
COMMERCIAL	SMALL
	10
COMMERCIAL	VAN ACCESSIBLE
	3
VISITOR	REGULAR
	10
	50

PARKING P2	
TYPE	SUBTYPE
PARKING, Level P2 Parking Plan	
COMMERCIAL	ACCESSIBLE
	2
COMMERCIAL	REGULAR
	23
COMMERCIAL	SMALL
	26
RESIDENTIAL	REGULAR
	18
	69

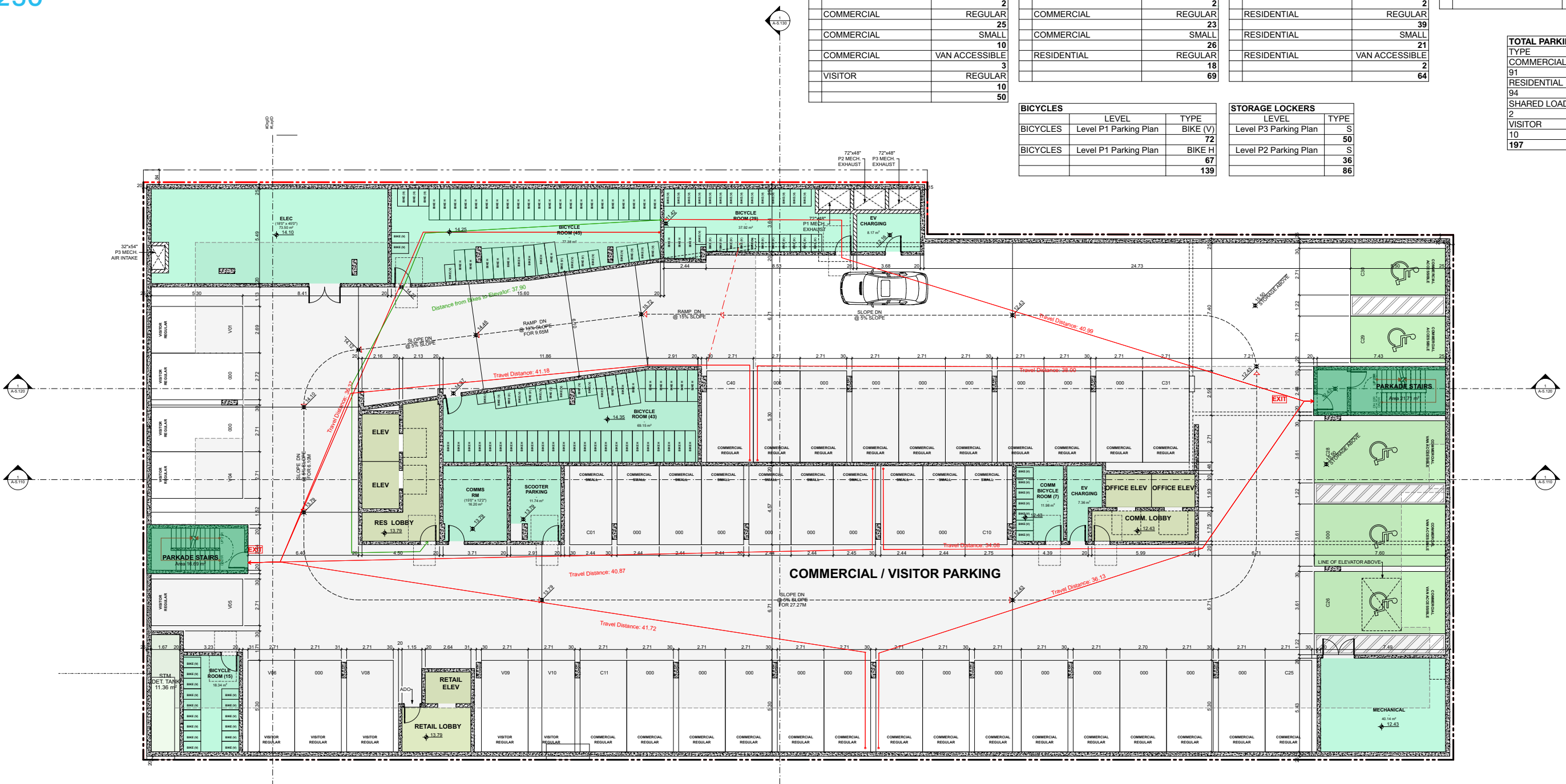
PARKING P3	
TYPE	SUBTYPE
PARKING, Level P3 Parking Plan	
RESIDENTIAL	ACCESSIBLE
	2
RESIDENTIAL	REGULAR
	39
RESIDENTIAL	SMALL
	21
RESIDENTIAL	VAN ACCESSIBLE
	2
	64

PARKING P4	
TYPE	SUBTYPE
PARKING, Level P4 Parking Plan	
RESIDENTIAL	SMALL
	12

BICYCLES		
LEVEL	TYPE	
Level P1 Parking Plan	BIKE (V)	72
Level P1 Parking Plan	BIKE (H)	67
		139

STORAGE LOCKERS		
LEVEL	TYPE	
Level P3 Parking Plan	S	50
Level P2 Parking Plan	S	36
		86

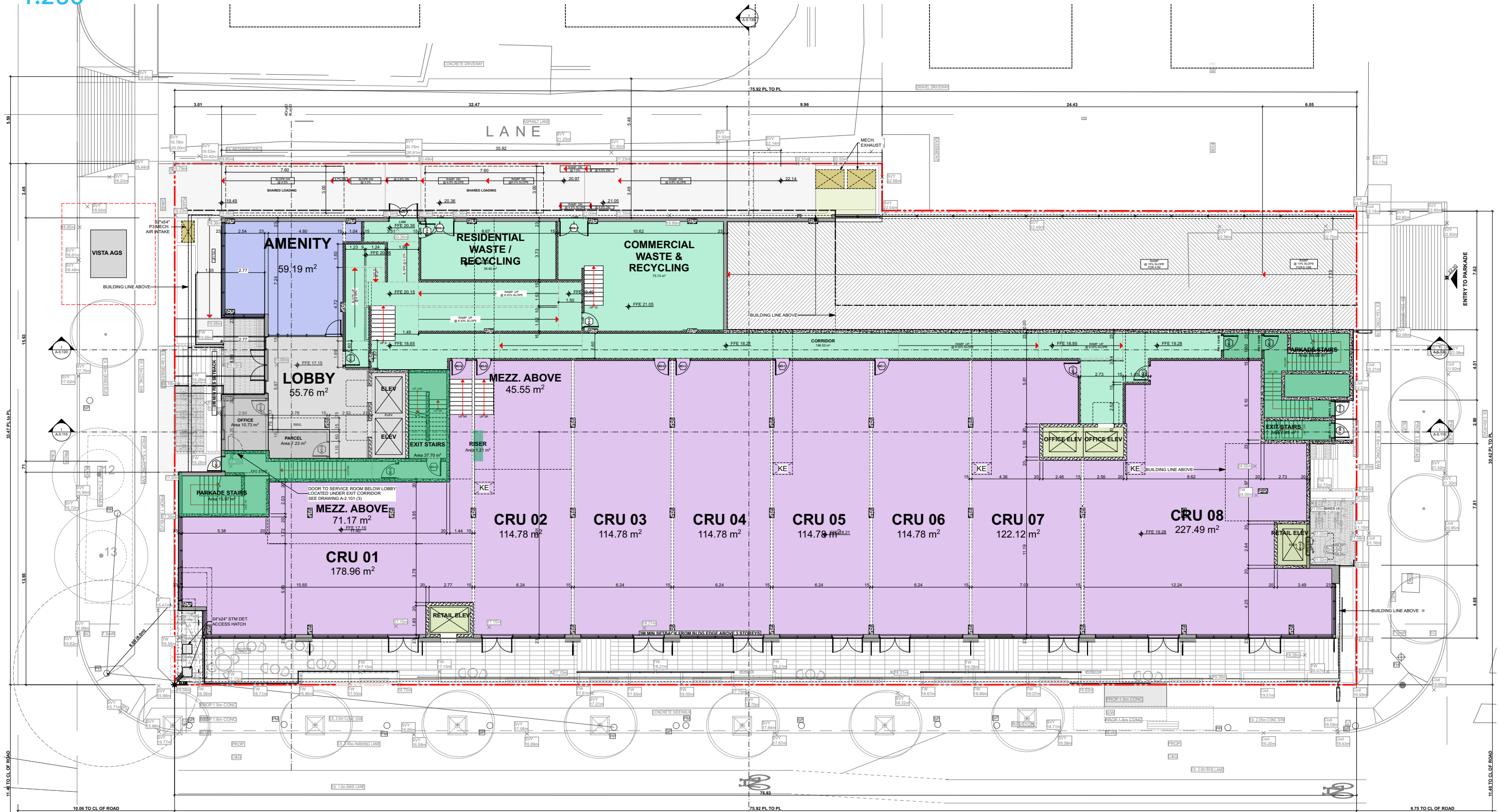
TOTAL PARKING COUNTS	
TYPE	
COMMERCIAL	91
RESIDENTIAL	94
SHARED LOADING	2
VISITOR	10
	197



Architectural Drawings.

LEVEL 1 FLOOR PLAN

1:250



Architectural Drawings.

BUILDING ELEVATION - EAST

1:250



AVG. Grade Calculation Per Zoning By-Law

22.81m
19.85m
19.78m
15.98m
4

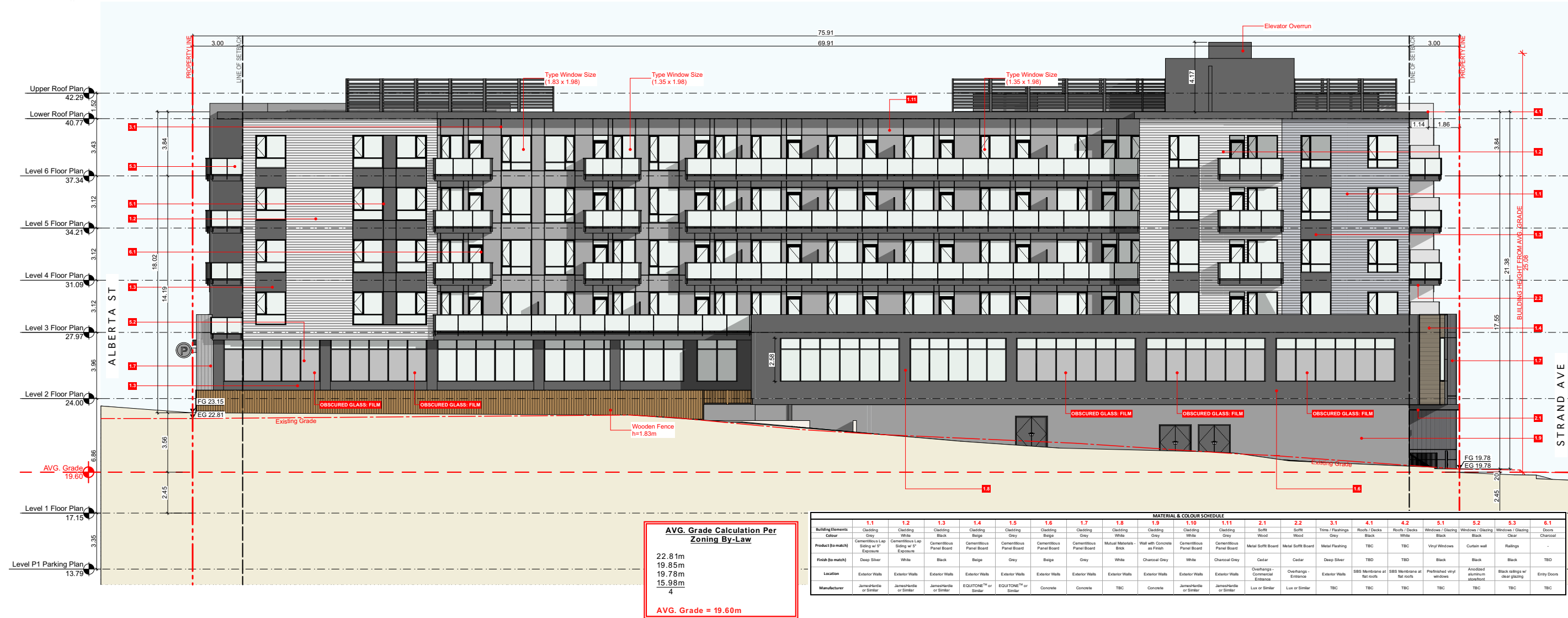
AVG. Grade = 19.60m

MATERIAL & COLOUR SCHEDULE																				
Building Elements	1.1	1.2	1.3	1.4	1.5	1.6	1.7	1.8	1.9	1.10	1.11	2.1	2.2	3.1	4.1	4.2	5.1	5.2	5.3	6.1
Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Soils	Soils	Trim / Flashings	Roofs / Decks	Roofs / Decks	Windows / Glazing	Windows / Glazing	Windows / Glazing	Doors
Colour	Grey	White	Black	Beige	Grey	Beige	Grey	White	Charcoal Grey	White	Charcoal Grey	Wood	Wood	Grey	Black	White	Black	Black	Clear	Charcoal
Product (to match)	Cementitious Lap Siding w/ 1" Exposure	Cementitious Lap Siding w/ 1" Exposure	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Mix of Materials	Wall with Concrete as Finish	Cementitious Panel Board	Cementitious Panel Board	Metal Soffit Board	Metal Soffit Board	Metal Flashing	TBC	TBC	Vinyl Windows	Curtain wall	Roatings	-
Finish (to match)	Deep Silver	White	Black	Beige	Grey	Beige	Grey	White	Charcoal Grey	White	Charcoal Grey	Cedar	Cedar	Deep Silver	TBD	TBD	Black	Black	Black	TBD
Location	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Overhangs - Commercial Entrance	Overhangs - Entrance	Exterior Walls	SSS Membrane at flat roofs	SSS Membrane at flat roofs	Polished vinyl windows	Anodized aluminum storefront	Black ratings w/ clear glazing	Entry Doors
Manufacturer	JamesHardie or Similar	JamesHardie or Similar	JamesHardie or Similar	EQUITOR™ or Similar	EQUITOR™ or Similar	Concrete	Concrete	TBC	Concrete	Concrete	JamesHardie or Similar	JamesHardie or Similar	Lux or Similar	Lux or Similar	TBC	TBC	TBC	TBC	TBC	TBC

Architectural Drawings.

BUILDING ELEVATION - WEST

1:250



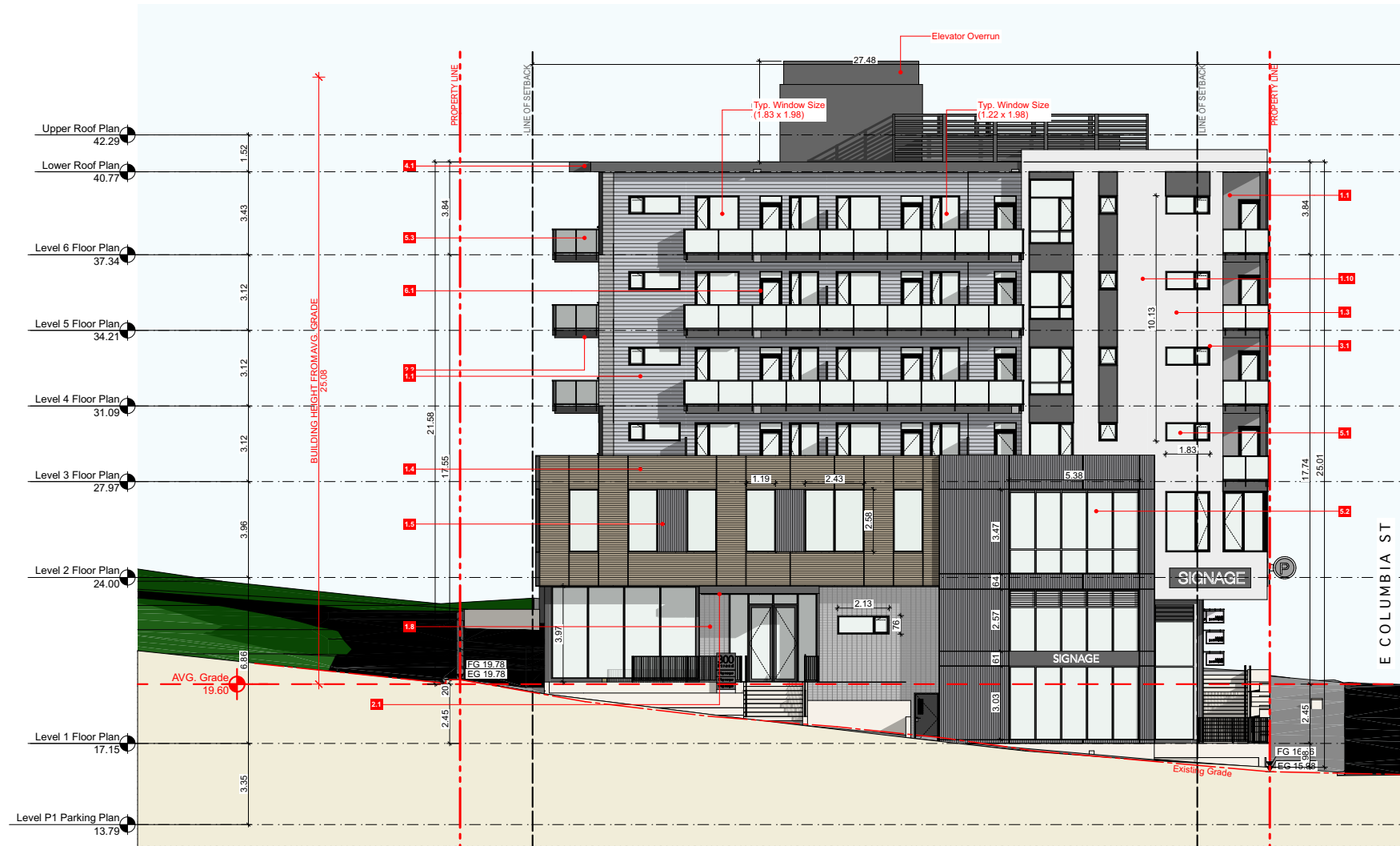
AVG. Grade Calculation Per Zoning By-Law

22.81m
 19.85m
 19.78m
 15.98m
 4

AVG. Grade = 19.60m

Architectural Drawings.

BUILDING ELEVATION - SOUTH 1:250



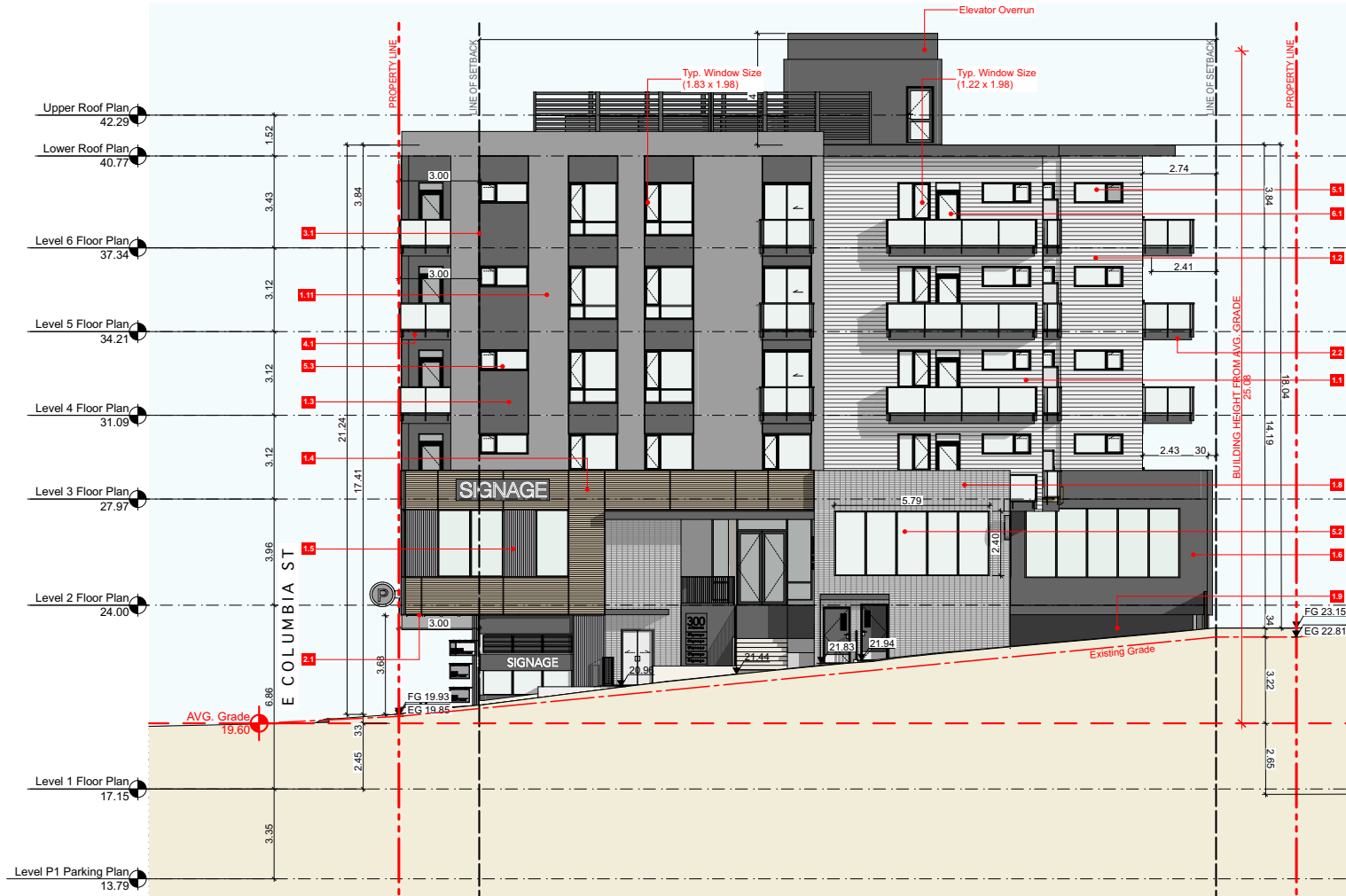
AVG. Grade Calculation Per Zoning By-Law	
22.81m	
19.85m	
19.78m	
15.98m	
4	
AVG. Grade = 19.60m	

Building Elements	MATERIAL & COLOUR SCHEDULE																			
	1.1	1.2	1.3	1.4	1.5	1.6	1.7	1.8	1.9	1.10	1.11	2.1	2.2	3.1	4.1	4.2	5.1	5.2	5.3	6.1
Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Soft	Soft	Trim / Flashings	Roofs / Decks	Roofs / Decks	Windows / Glazing	Windows / Glazing	Windows / Glazing	Doors
Colour	Grey	White	Black	Beige	Grey	Beige	Grey	Beige	White	Charcoal Grey	White	Charcoal Grey	Wood	Wood	Grey	Black	White	Black	Black	Charcoal
Product (to match)	Cementitious Lap Siding w/ 8" Exposure	Cementitious Lap Siding w/ 8" Exposure	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Mixed Materials	Wall with Concrete as Finish	Cementitious Panel Board	Cementitious Panel Board	Metal Soffit Board	Metal Soffit Board	Metal Flashing	TBC	TBC	Vinyl Windows	Curtain wall	Paintings
Finish (to match)	Deep Silver	White	Black	Beige	Grey	Beige	Grey	White	Charcoal Grey	White	Charcoal Grey	Cedar	Cedar	Deep Silver	TBD	TBD	Black	Black	Black	TBD
Location	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Overhangs - Commercial Entrance	Overhangs - Entrance	Exterior Walls	SBS Membrane at flat roofs	SBS Membrane at flat roofs	Polished vinyl windows	Anodized aluminum storefront	Black ratings w/ clear glazing	Entry Doors
Manufacturer	JamesHardie or Similar	JamesHardie or Similar	JamesHardie or Similar	EQUITONE™ or Similar	EQUITONE™ or Similar	Concrete	Concrete	TBC	Concrete	Concrete	JamesHardie or Similar	JamesHardie or Similar	Lux or Similar	Lux or Similar	TBC	TBC	TBC	TBC	TBC	TBC

Architectural Drawings.

BUILDING ELEVATION - NORTH

1:250



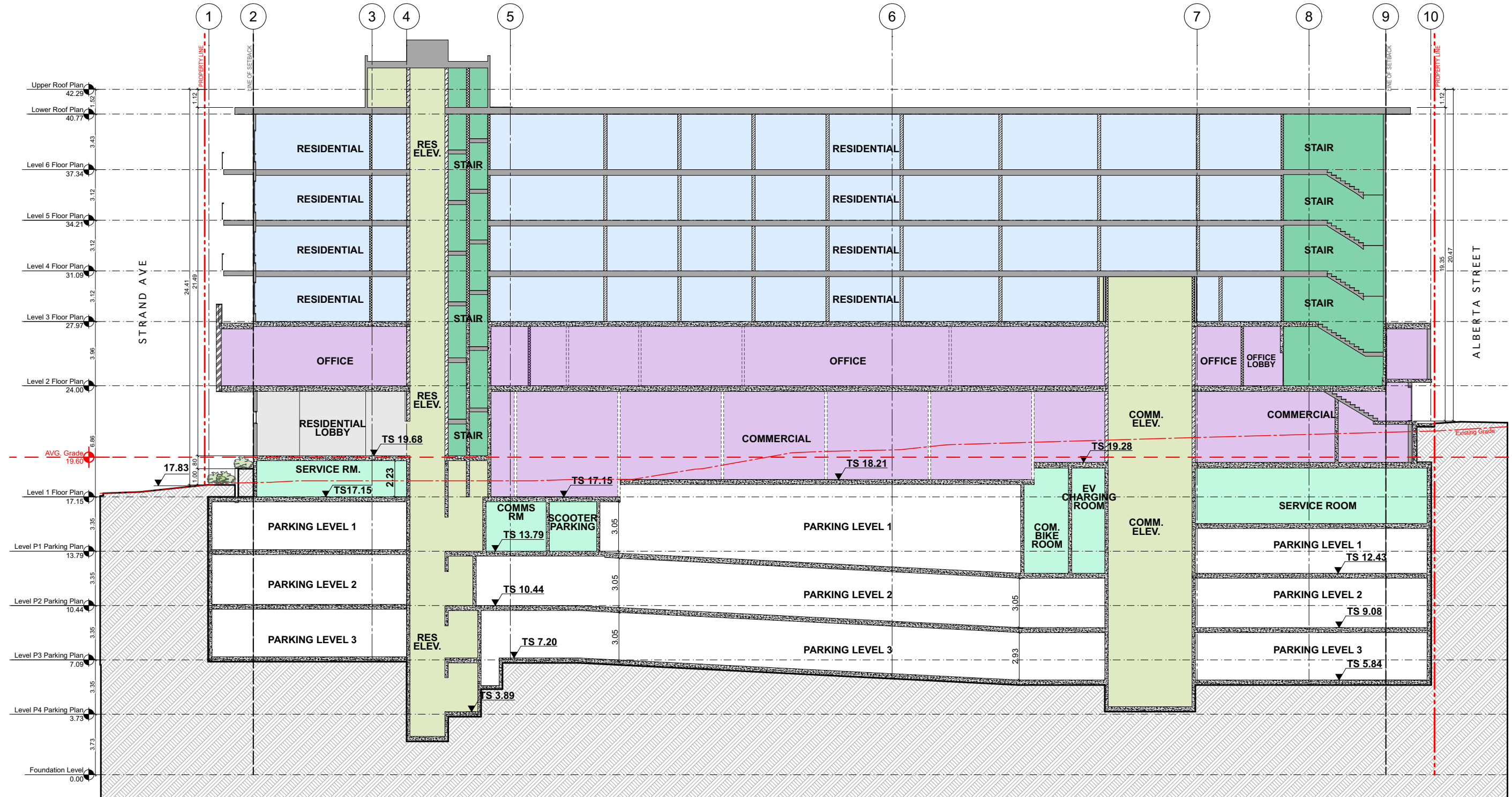
AVG. Grade Calculation Per Zoning By-Law	
22.81m	
19.85m	
19.78m	
15.98m	
4	
AVG. Grade = 19.60m	

MATERIAL & COLOUR SCHEDULE																				
Building Elements	1.1	1.2	1.3	1.4	1.5	1.6	1.7	1.8	1.9	1.10	1.11	2.1	2.2	3.1	4.1	4.2	5.1	5.2	5.3	6.1
Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Cladding	Soils	Soils	Trim / Flashings	Roofs / Decks	Roofs / Decks	Windows / Glazing	Windows / Glazing	Windows / Glazing	Doors
Colour	Grey	White	Black	Beige	Grey	Beige	Grey	Beige	White	Charcoal Grey	White	Wood	Wood	Grey	Black	White	Black	Black	Clear	Charcoal
Product (to match)	Cementitious Lap Siding w/ 1" Exposure	Cementitious Lap Siding w/ 1" Exposure	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Cementitious Panel Board	Mix of Materials	Wall with Concrete as Finish	Cementitious Panel Board	Cementitious Panel Board	Metal Soffit Board	Metal Soffit Board	Metal Flashing	TBC	TBC	Vinyl Windows	Curtain wall	Painting	-
Finish (to match)	Deep Silver	White	Black	Beige	Grey	Beige	Grey	White	Charcoal Grey	White	Charcoal Grey	Cedar	Cedar	Deep Silver	TBD	TBD	Black	Black	Black	TBD
Location	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Exterior Walls	Overhangs - Commercial Entrance	Overhangs - Entrance	Exterior Walls	Exterior Walls	Exterior Walls	Painted vinyl windows	Anodized aluminum storefront	Black ratings w/ clear glazing	Entry Doors
Manufacturer	JamesHardie or Similar	JamesHardie or Similar	JamesHardie or Similar	EQUITONE™ or Similar	EQUITONE™ or Similar	Concrete	Concrete	TBC	Concrete	Concrete	JamesHardie or Similar	JamesHardie or Similar	Lux or Similar	Lux or Similar	TBC	TBC	TBC	TBC	TBC	TBC

Architectural Drawings.

BUILDING SECTION - NORTH - SOUTH 01

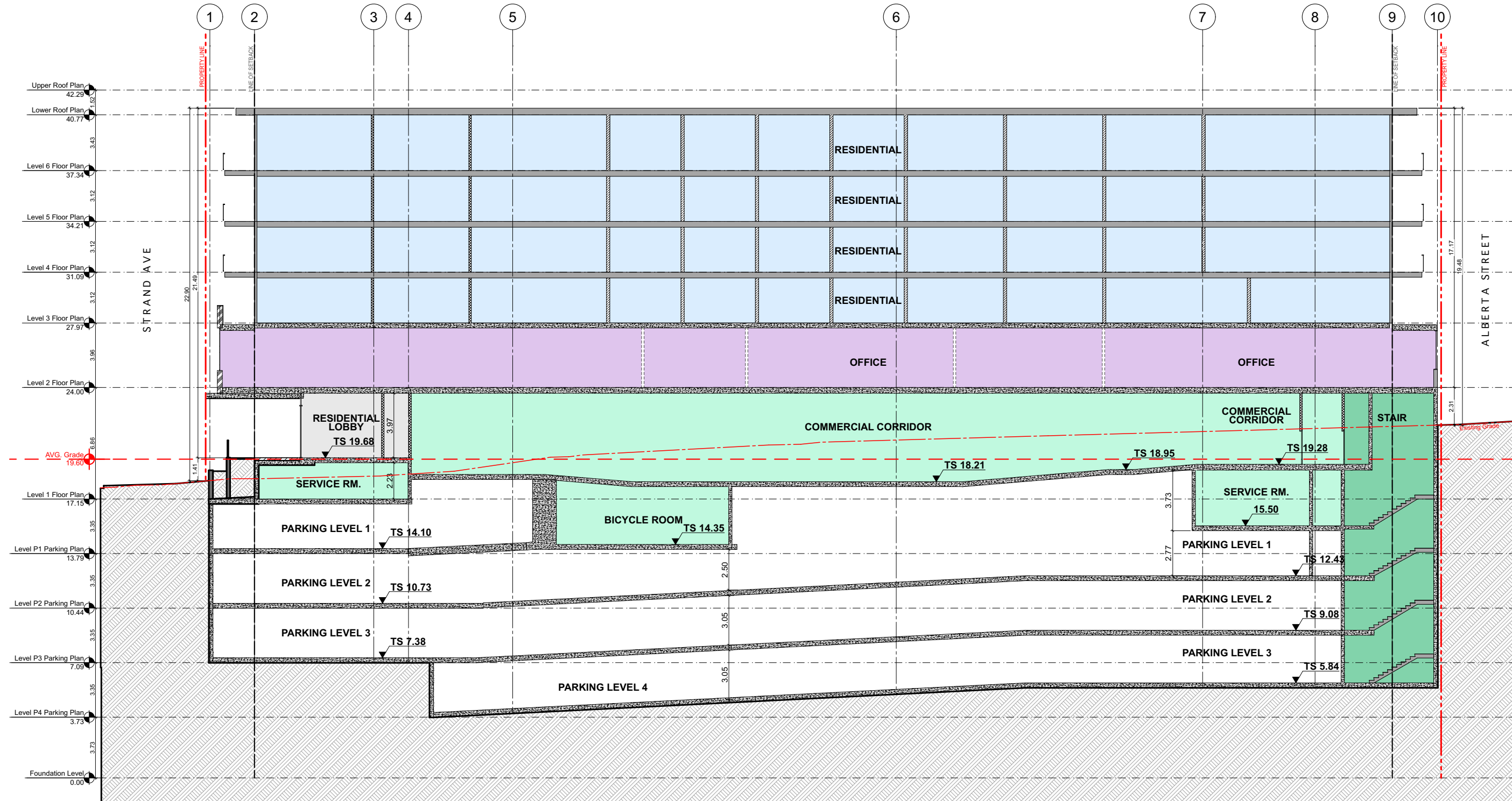
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Architectural Drawings.

BUILDING SECTION - NORTH - SOUTH 02

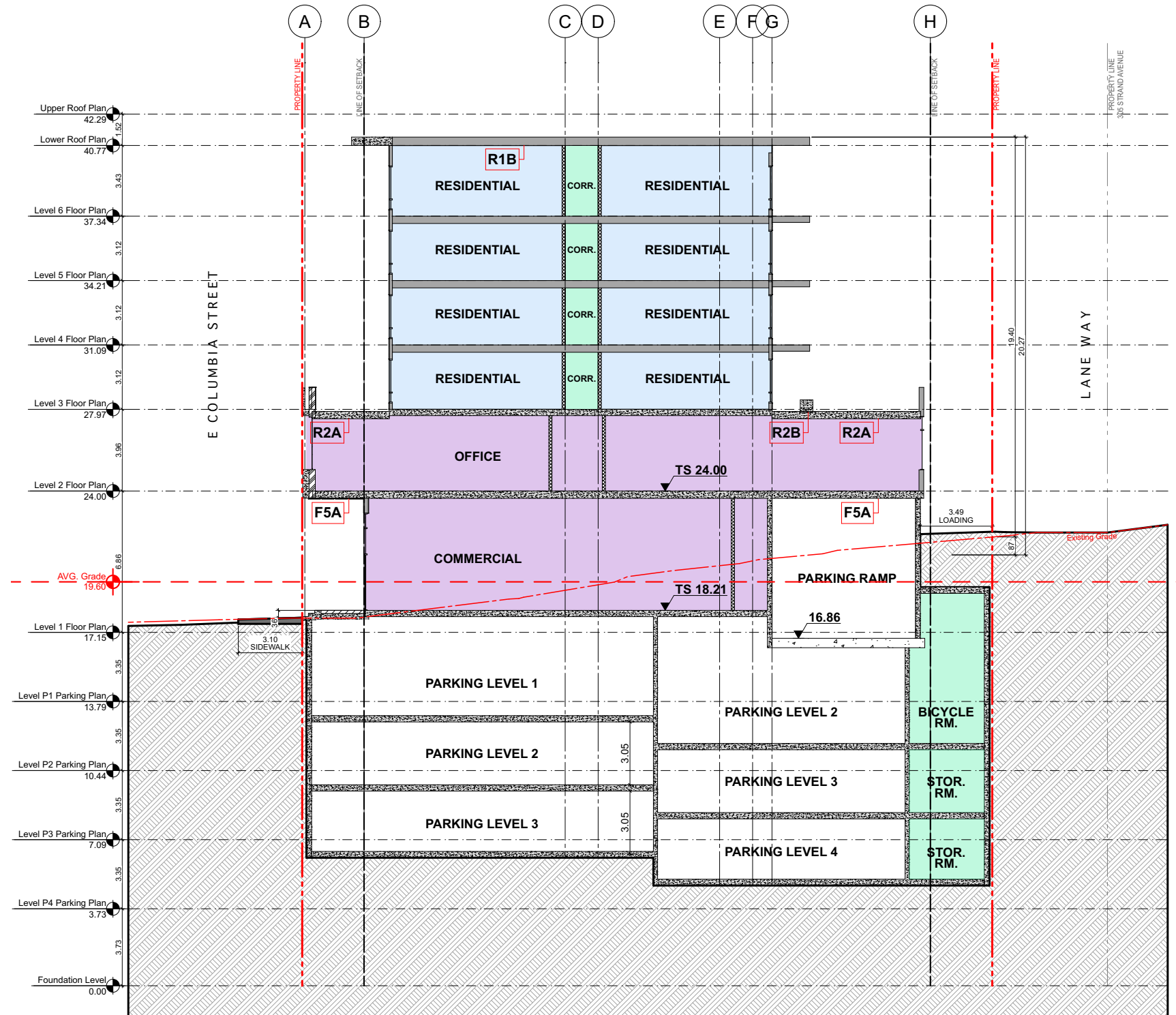
1:250



Architectural Drawings.

BUILDING SECTION - EAST - WEST 01

1:250



Architectural Drawings.

SIGNAGE DRAWINGS - EAST ELEVATION

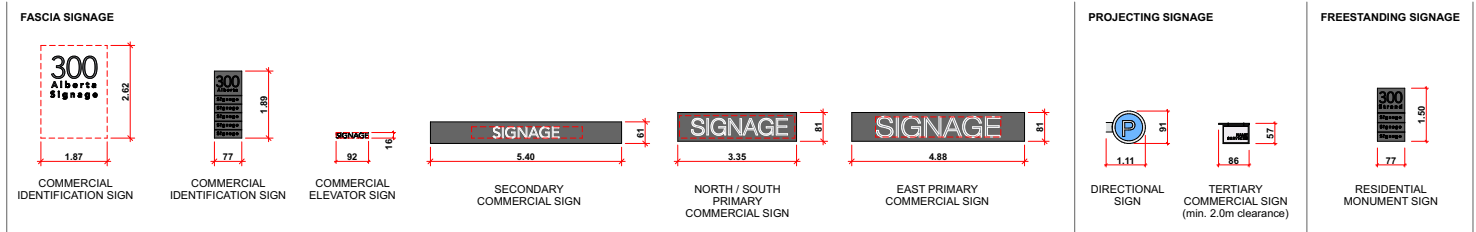
1:250



9.1 Sign Area

The maximum sign area of any combination of awning signs, canopy signs and fascia signs shall not exceed 1.0 square metre of sign area for each 1.0 linear metre of building wall to a maximum sign area of 14.0 square metres, except in the C-10 Large Format Commercial District to a maximum of 37.2 square metres.

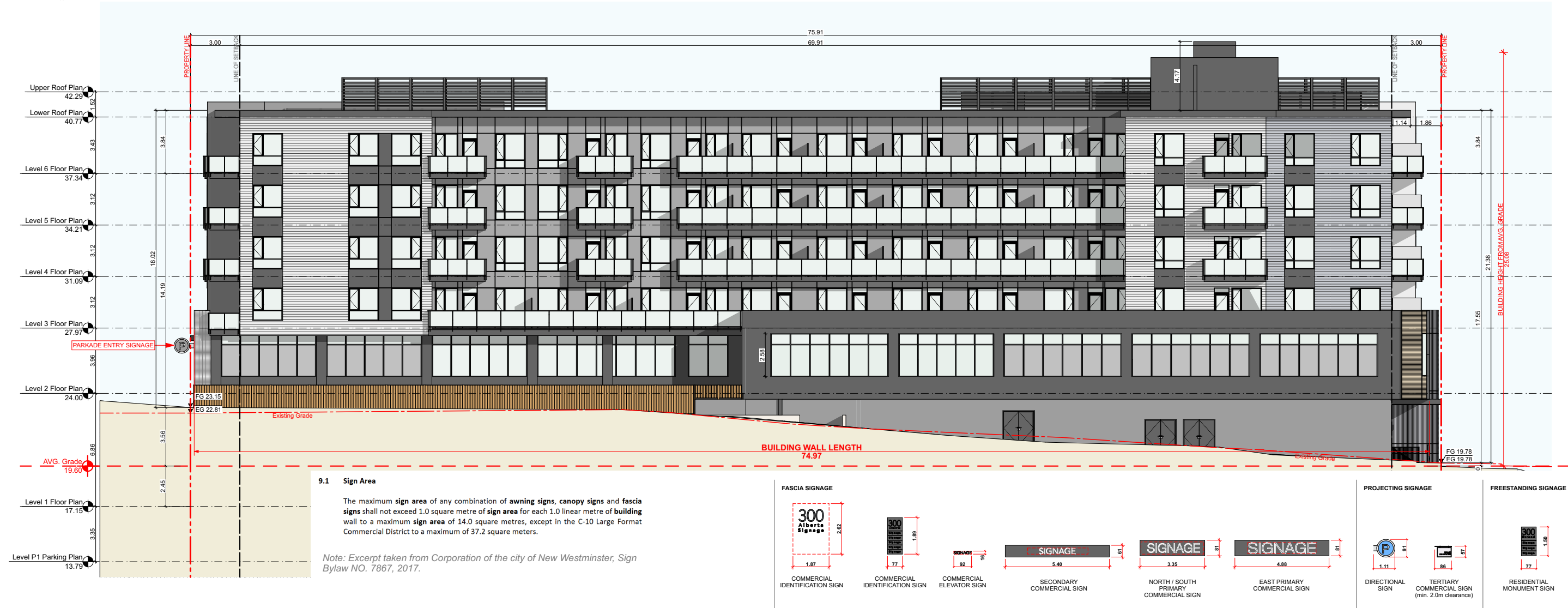
Note: Excerpt taken from Corporation of the city of New Westminster, Sign Bylaw NO. 7867, 2017.



Architectural Drawings.

SIGNAGE DRAWINGS - WEST ELEVATION

1:250



Architectural Drawings.

SIGNAGE DRAWINGS - SOUTH ELEVATION

1:250



9.1 Sign Area

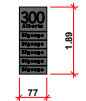
The maximum sign area of any combination of awning signs, canopy signs and fascia signs shall not exceed 1.0 square metre of sign area for each 1.0 linear metre of building wall to a maximum sign area of 14.0 square metres, except in the C-10 Large Format Commercial District to a maximum of 37.2 square metres.

Note: Excerpt taken from Corporation of the city of New Westminster, Sign Bylaw NO. 7867, 2017.

FASCIA SIGNAGE



COMMERCIAL IDENTIFICATION SIGN



COMMERCIAL IDENTIFICATION SIGN



COMMERCIAL ELEVATOR SIGN



SECONDARY COMMERCIAL SIGN

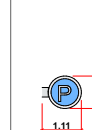


NORTH / SOUTH PRIMARY COMMERCIAL SIGN



EAST PRIMARY COMMERCIAL SIGN

PROJECTING SIGNAGE



DIRECTIONAL SIGN



TERTIARY COMMERCIAL SIGN (min. 2.0m clearance)

FREESTANDING SIGNAGE



RESIDENTIAL MONUMENT SIGN

Architectural Drawings.

SIGNAGE DRAWINGS - NORTH ELEVATION

1:250



9.1 Sign Area

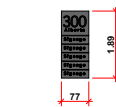
The maximum sign area of any combination of awning signs, canopy signs and fascia signs shall not exceed 1.0 square metre of sign area for each 1.0 linear metre of building wall to a maximum sign area of 14.0 square metres, except in the C-10 Large Format Commercial District to a maximum of 37.2 square metres.

Note: Excerpt taken from Corporation of the city of New Westminster, Sign Bylaw NO. 7867, 2017.

FASCIA SIGNAGE



COMMERCIAL IDENTIFICATION SIGN



COMMERCIAL IDENTIFICATION SIGN



COMMERCIAL ELEVATOR SIGN



SECONDARY COMMERCIAL SIGN

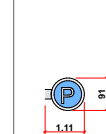


NORTH / SOUTH PRIMARY COMMERCIAL SIGN



EAST PRIMARY COMMERCIAL SIGN

PROJECTING SIGNAGE



DIRECTIONAL SIGN



TERTIARY COMMERCIAL SIGN (min. 2.0m clearance)

FREESTANDING SIGNAGE



RESIDENTIAL MONUMENT SIGN

Landscape Drawings.

COVER PAGE + LEGENDS

DRAWING LIST	
L-0.0	Cover Sheet
L-1.1	Level 1 Materials & Grading Plan
L-1.2	Level 1 Planting Plan
L-1.3	Level 1 Soil Depths
L-1.4	Level 3 Materials Plan
L-1.5	Level 3 Planting Plan
L-1.6	Level 3 Soil Depths
L-1.7	Rooftop Materials Plan
L-1.8	Rooftop Planting Plan
L-1.9	Rooftop Soil Depths
L-2.1	Landscape Sections
L-3.1	Landscape Details
L-3.2	Landscape Details
L-3.3	Landscape Details

Legend	
	42" Guardrail
	Privacy Screen
	Overhang
	Extent of Slab
	6' High Fence at PL
	Fence at Dog Area

Materials Legend	
	Shrub and Perennial Planting
	Privacy hedge
	Urban Agriculture
	Sodded Lawn
	Poured in Place Rubber Resilient Surfacing
	18x18" Hydrapressed Concrete slabs Charcoal
	18x18" Hydrapressed Concrete slabs Grey
	Concrete Pavers 2 tone (Slip resistant)
	CIP Concrete
	Drainage Gravel
	Decorative gravel
	36"x12" Hydrapressed Concrete slabs Grey
	Artificial Turf
	Structural Soil

Furnishing Legend	
	Top-of-Wall Bench, Cantilevered Universe System, Landscape Forms Backless, Approx. dimensions: 70" x 18"
	Top-of-Wall Bench, Not Cantilevered Universe System, Landscape Forms Backless, Approx. dimensions: 70" x 18" & 39" x 18"
	Bench Generation 50, Landscape Forms
	Tree Grate
	Outdoor Cooking with BBQ and Sink
	Cornhole Game at L3
	Bench at L3 & Rooftop NeoVano Bench, Landscape forms
	Bike Rack Frances Andrew, Express Lo'ipop - Series 12
	Play Logs - Upright and Vertical
	Trellis
	Kompan Play Tower with Slide
	Metal Planter - Dimensions Vary, See Plans 3' x 7' x 24" 3' x 7' x 42" 3' x 8' x 24" 3' x 8' x 42"

Grading & Drainage Legend	
	Existing Survey Grade 1.6.72m
	Finished Grade 1.6.72m
	Top of Wall 1.6.72m
	Bottom of Wall 1.6.72m
	Direction, % Slope Down
	Direction, # of Risers Down

Lighting & Irrigation Legend	
	Down Lighting in Trellis
	Recessed Wall Lighting Shielded, Down lit, Energy Efficient
	Exterior Lighting on Building See ARCH
	Hose Bib

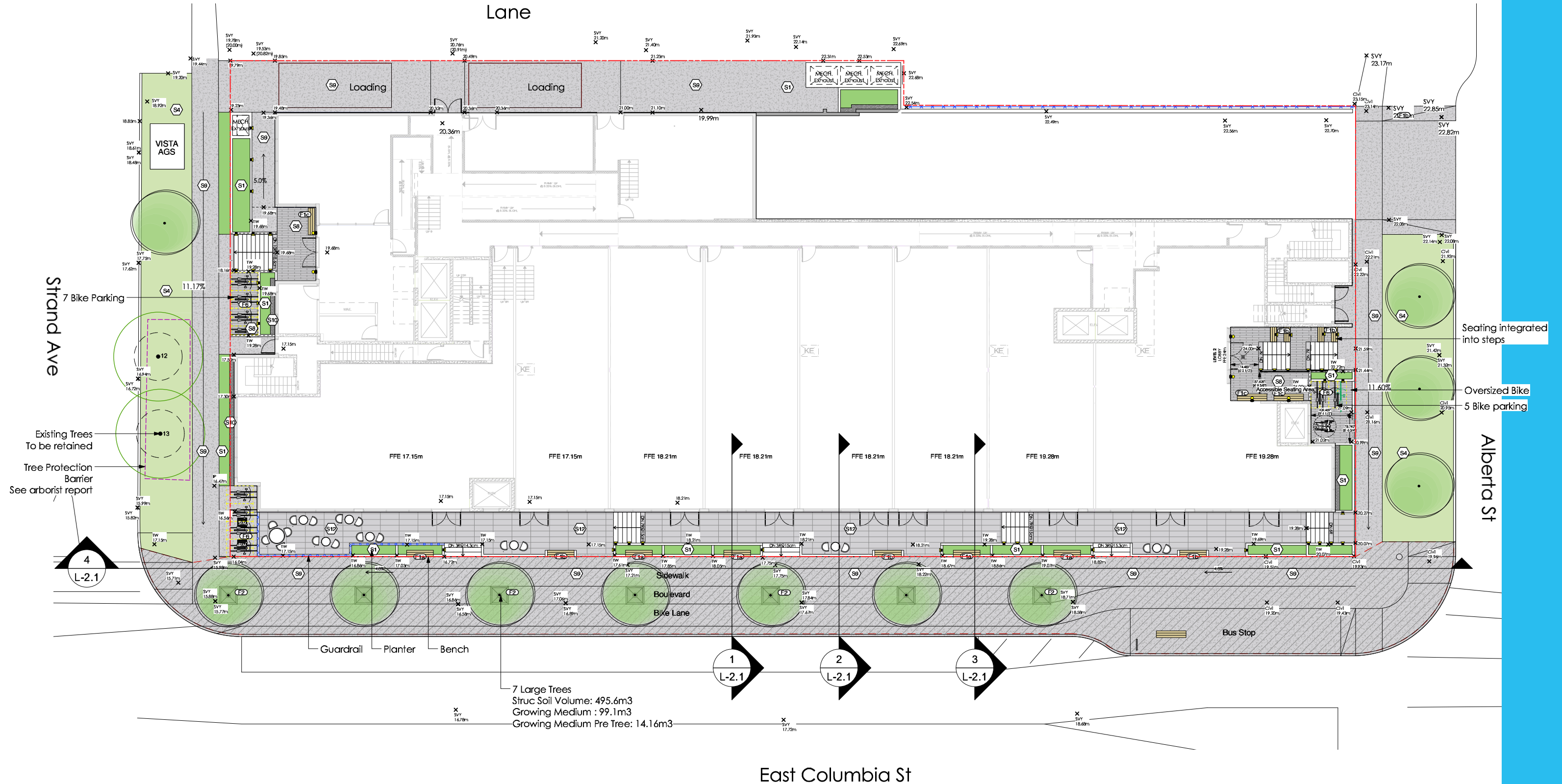
General Notes	
<p>General Notes</p> <ol style="list-style-type: none"> 1. Refer to architectural drawings for all walls and stair layout and elevations, unless otherwise noted. 2. Refer to electrical drawings for all final landscape lighting layout and specifications. 3. Refer to architectural and mechanical drawings for all drain locations and rim elevations. <p>Planting Notes</p> <ol style="list-style-type: none"> 1. All work shall meet or exceed the requirements as outlined in the Current Edition of the Canadian Landscape Standard. 2. Plant selection subject to availability at the time of planting. 3. Contractor shall source specified plant material and only after area of search has been exhausted will substitutions be considered. 4. All trees to be staked in accordance with CLA Standards. 5. All plants to be sourced from nurseries certified free of P. ramorum. 6. Plant sizes and related container classes are specified according to the B.C. Landscape Standards current edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list calls for #5 class containers, these shall be as defined in the CLA (ANSI) Standard. 7. All trees to have minimum 10 cubic meters of growing medium unless otherwise specified. 8. All On-site Soft Landscape Areas to be irrigated to IABC Standards with a high efficiency irrigation system. Design of irrigation system to be submitted to consultant and reviewed prior to installation. The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines. 	<p>Soil Preparation and Placement Notes</p> <ol style="list-style-type: none"> 1. All growing medium placed on project to meet or exceed CLA and B.C. Landscape Standards latest edition. 2. Submit sieve analysis by an approved independent soil testing laboratory for each type of growing medium being used on the project PRIOR to placement for review and approval. Clearly identify source and type for each. Resubmit as required until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project. Minimum 1 litre physical sample. 3. Submittals shall be made at least seven (7) days prior placement. 4. Contractor shall not move or work growing medium or add/lives when they are excessively wet, extremely dry, or frozen or in any manner which will adversely affect growing medium structure. Growing medium whose structure has been destroyed by handling under these conditions will be rejected. Growing medium shall not be handled in wet or frozen conditions. 5. Sub drainage shall be 19mm (3/4") diameter drain gravel free from any silt and clay as shown in details. 6. Place growing medium, except structural to required finish grades and minimum depths as detailed, unless shown otherwise. <p>Product and Material Notes</p> <ol style="list-style-type: none"> 1. All materials to be as specified or pre-approved equivalent. 2. All materials and products to be installed per manufacturer's specifications.

Plant List				
Trees				
SYMBOLS	NUMBER	BOTANICAL NAME	COMMON NAME	SIZE/SPACING
	2	Cornus kousa var. chinensis	Chinese dogwood	7cm cal / B+B
	12	Street Trees - Species to be selected by the City		7cm cal / B+B
Shrubs				
SYMBOLS	NUMBER	BOTANICAL NAME	COMMON NAME	SIZE/SPACING
A1	39	Azalea 'Jumbo Pink'	Gumbo Pink Azalea	#1 pot / 24" O.C.
Cs	10	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	#2 pot / 24" O.C.
Cd	14	Coloneaster dammeri	bearberry cotoneaster	#2 pot / 24" O.C.
H	3	Hamamelis x intermedia	witchhazel	2m ht B&B, Multi-Stem
Is	15	Iberis sempervirens	evergreen candytuft	#1 pot / 18" O.C.
La	25	Lavandula angustifolia	English lavender	#1 pot / 28" O.C.
Lp	15	Lonicera Pileata	privet honeysuckle	#2 pot / 42" O.C.
Rj	39	Rhododendron 'Ken Janeck'	Ken Janeck rhododendron	#2 pot / 36" O.C.
Ri	6	Rhododendron impeditum	dwarf purple rhododendron	#2 pot / 30" O.C.
Sh	26	Sarcococca hookeriana var. humilis	Himalayan Sweet Box	#1 pot / 18" O.C.
T	45	Taxus x media 'Hicksii'	yew hedge	4h B&B
Vd	3	Viburnum davidii	David viburnum	#2 pot / 60" O.C.
Perennials				
SYMBOLS	NUMBER	BOTANICAL NAME	COMMON NAME	SIZE/SPACING
d	37	Dicentra formosa	Pacific Bleeding Heart	#1 pot / 12" O.C.
f	75	Frangara x ananassa	garden strawberry	#1 pot / 6" O.C.
ho	10	Helleborus orientalis	lenten Rose	#1 pot / 18" O.C.
L	157	Liriope muscari	blue Lily turf	#1 pot / 12" O.C.
nt	4	Nassella tenuissima	Mexican feather grass	#1 pot / 24" O.C.
S	6	Sedum 'Autumn Joy'	Autumn Joy stonecrop	#1 pot / 18" O.C.

Design Rationale	
<p>Located in the Sapperton neighbourhood of New Westminster the site is situated on a diverse and developing, 'Great Street' within the municipality, fronting East Columbia Street and bounded by Strand Avenue and Alberta Street the site is within walking distance of a sky train station, hospital, park spaces, elementary school, retail, and housing.</p>	<p>Despite the challenging grading all entrances are accessible for users of all ages and abilities. A combination of steps and 2.5m flush entry connections into the commercial/retail area allow users to seamlessly move between the spaces. Lighting is also provided for visibility at all entrances. Rhythmically stepped planting and seating along East Columbia provides an opportunity for people alone or in groups to enjoy the public realm.</p>
<p>Bike racks are located next to East Columbia Street for the convenience of those traveling along the adjacent bike lane. Additional bike racks are located adjacent to the residential entry point on Strand Avenue and at the office entry point on Alberta Street, thus providing convenient short term bike parking options for all building uses.</p>	<p>The outdoor common space on level 3 provides passive play equipment with seating for residents of all ages as well as a separated nook for cooking, eating, and relaxing. Private patios adjoining the amenity space are screened by a planter and hedge. Generous outdoor patios have also been provided for many of the homes on Level 3. The rooftop offers a larger play space and urban agriculture spaces which relate towards the play space as a learning tool for children, or for anyone to use at their leisure.</p>
<p>Street trees will be provided in the public realm. Planting throughout the site is a mix of native and adaptive plants to BC. Evergreen shrubs form the backbone of the plant pallet with some perennials and deciduous plants providing seasonal interest and a variety of habitat.</p>	

Landscape Drawings.

GROUND LEVEL - MATERIALS & GRADING PLAN



Seating integrated into steps
Oversized Bike
5 Bike parking

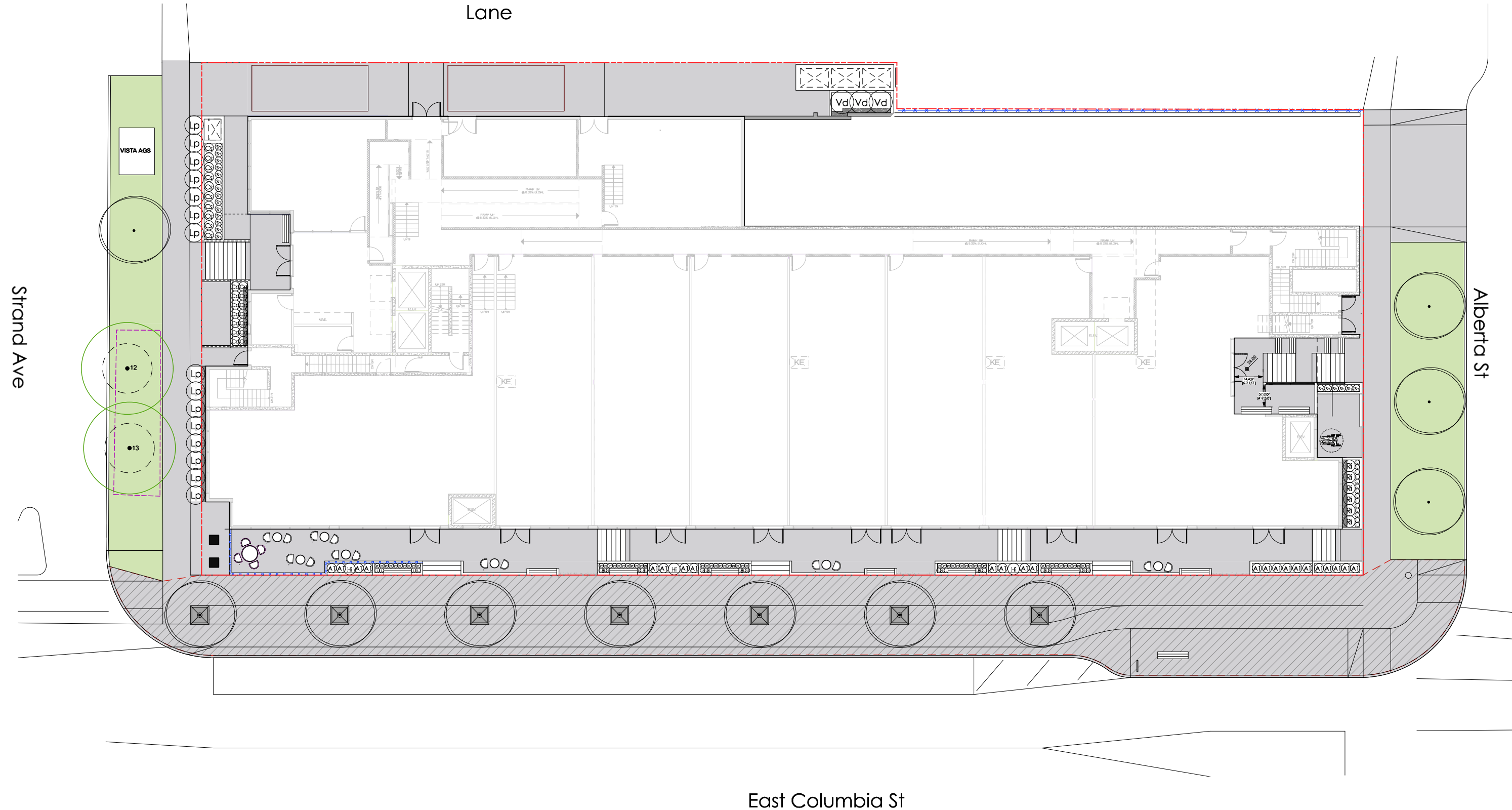
Strand Ave

Alberta St

East Columbia St

Landscape Drawings.

GROUND LEVEL - PLANTING PLAN



Strand Ave

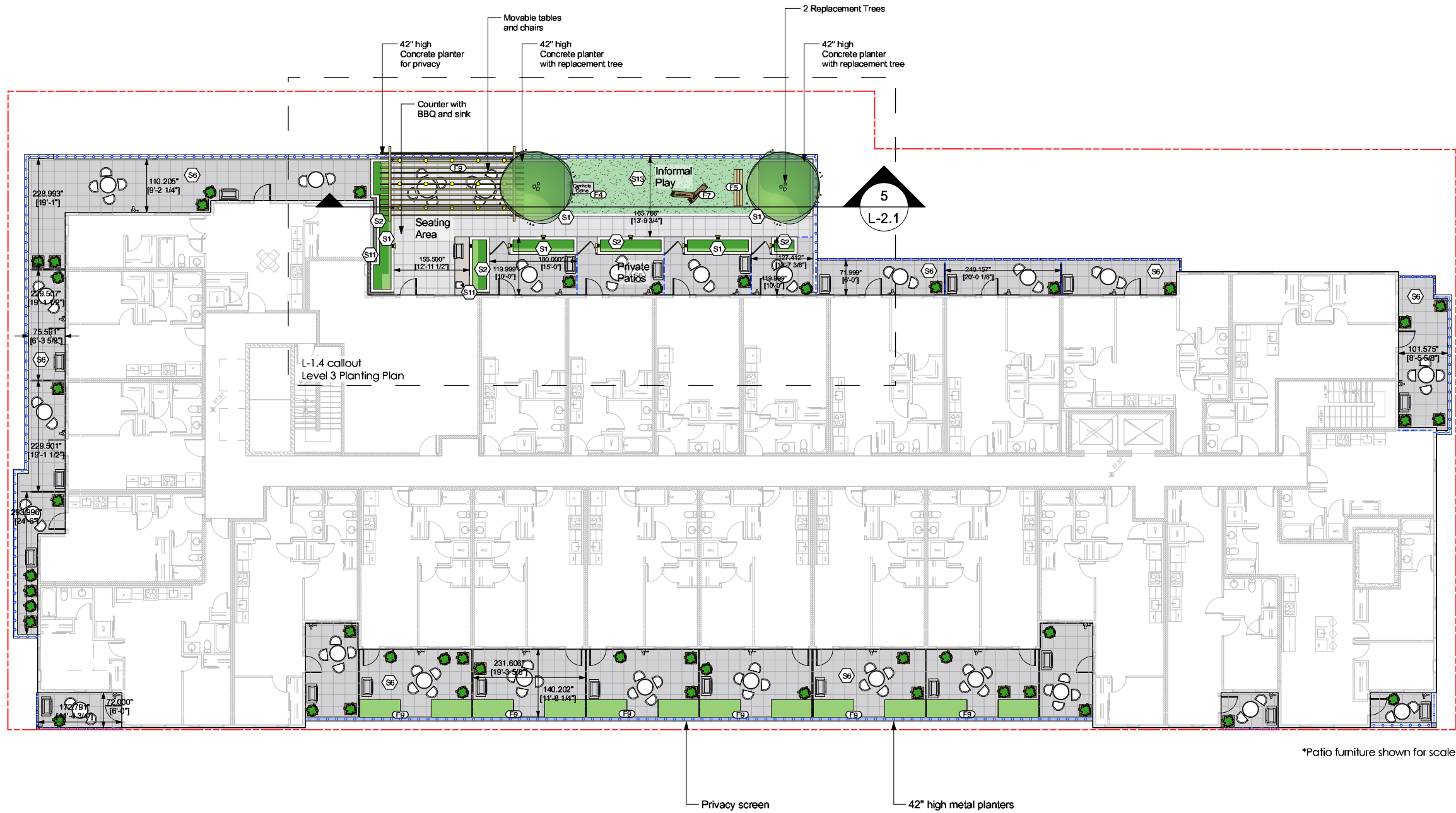
Lane

Alberta St

East Columbia St

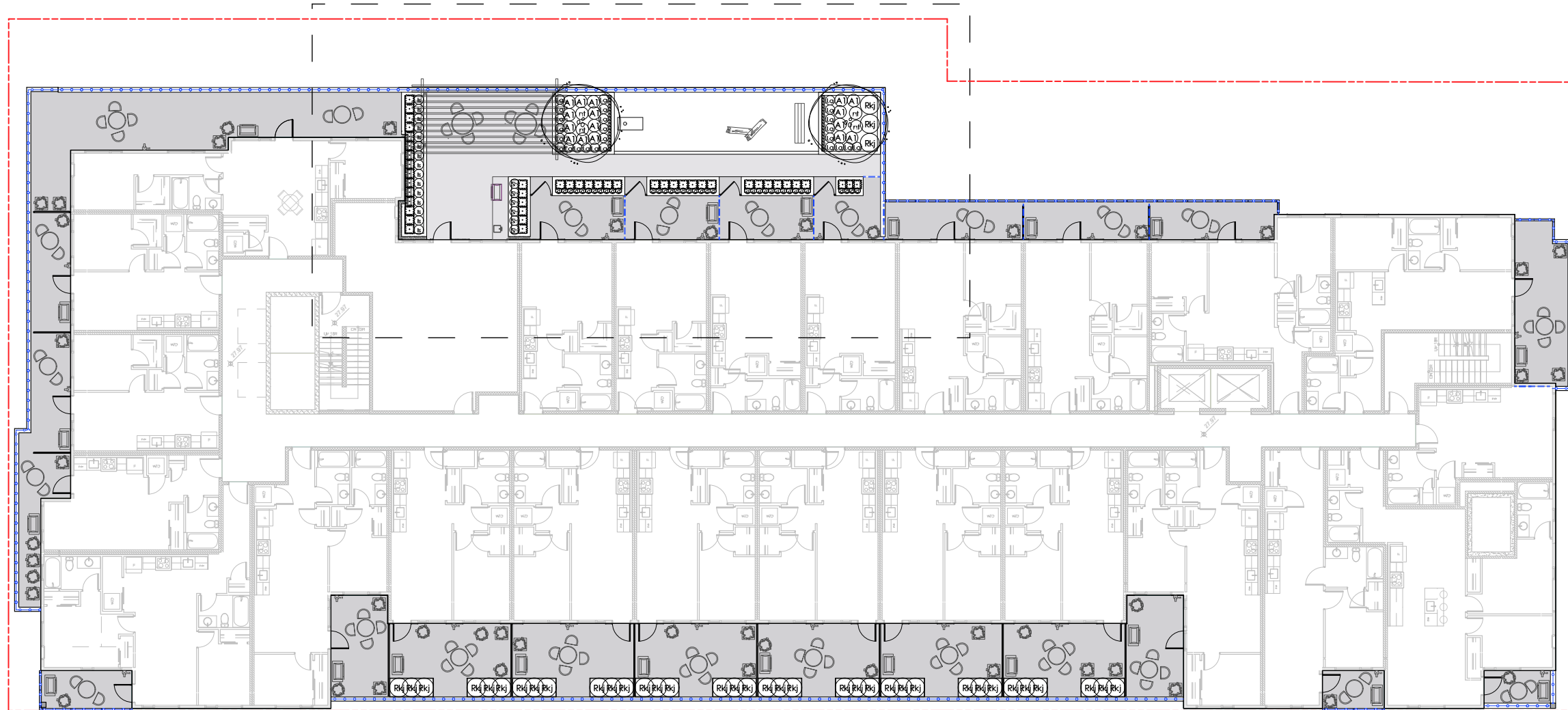
Landscape Drawings.

LEVEL 3 - MATERIALS PLAN



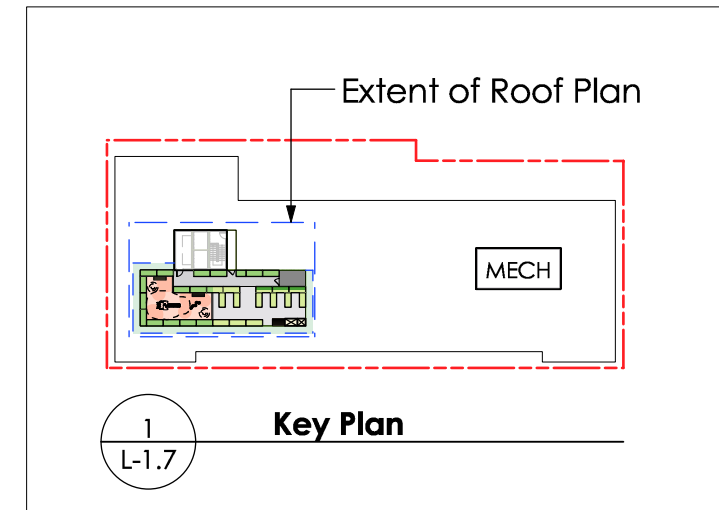
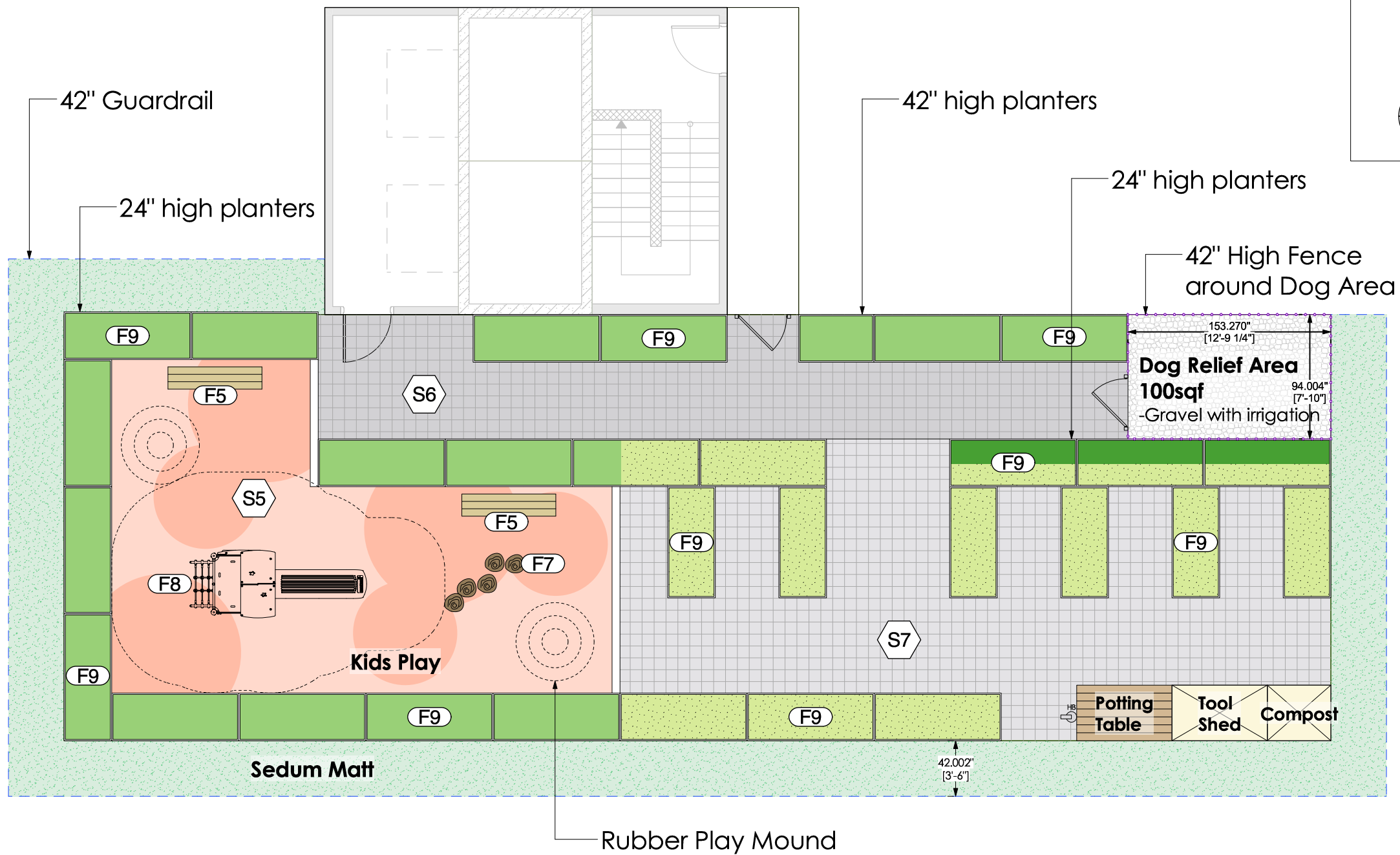
Landscape Drawings.

LEVEL 3 - PLANTING PLAN



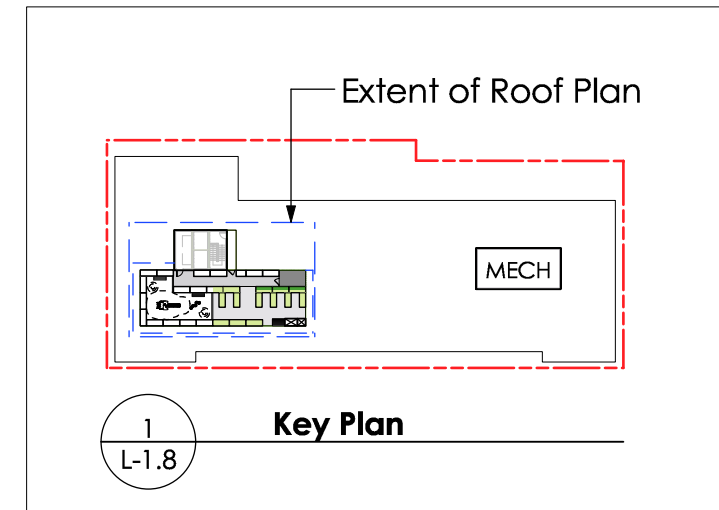
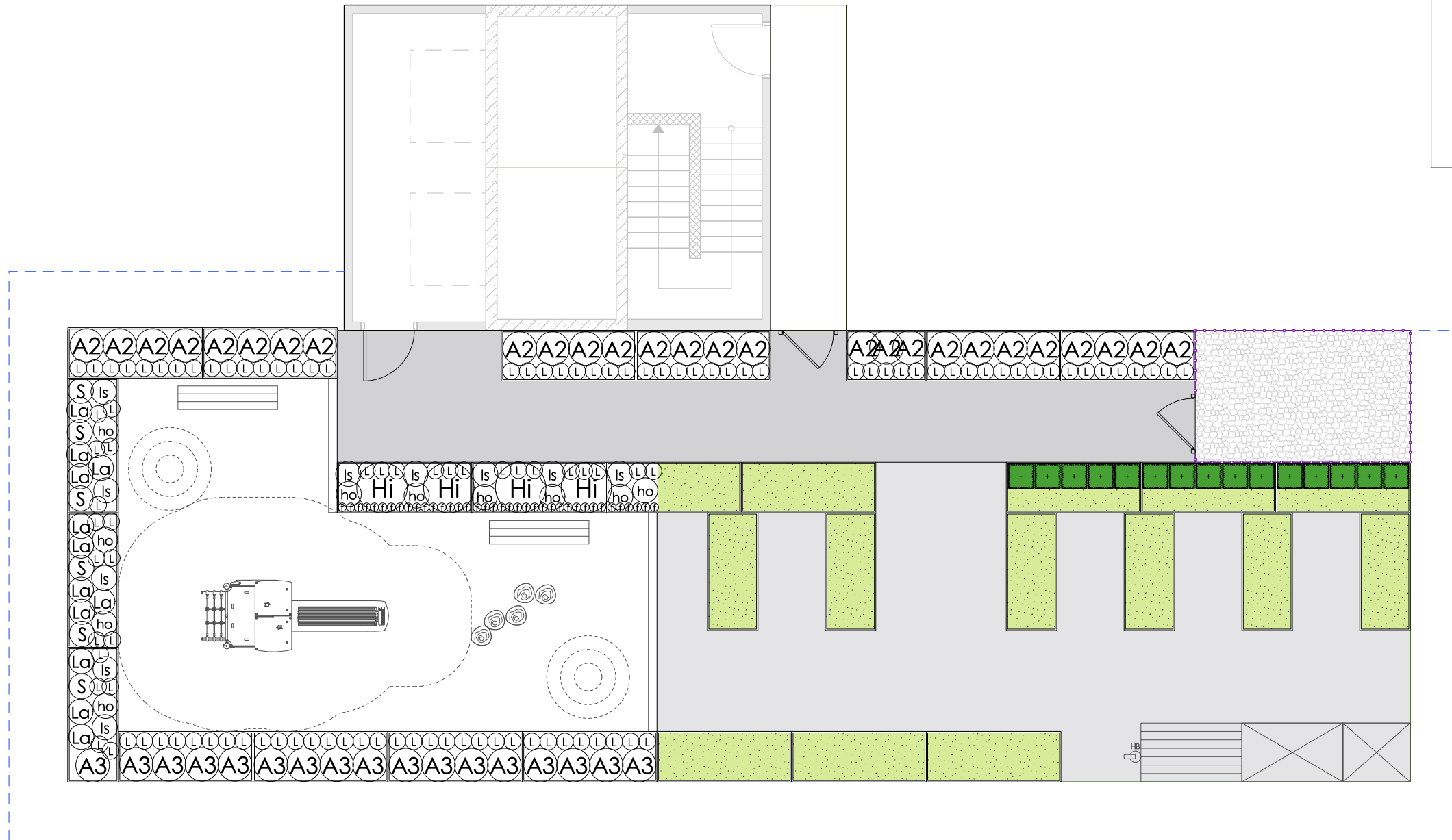
Landscape Drawings.

ROOF LEVEL - MATERIALS PLAN



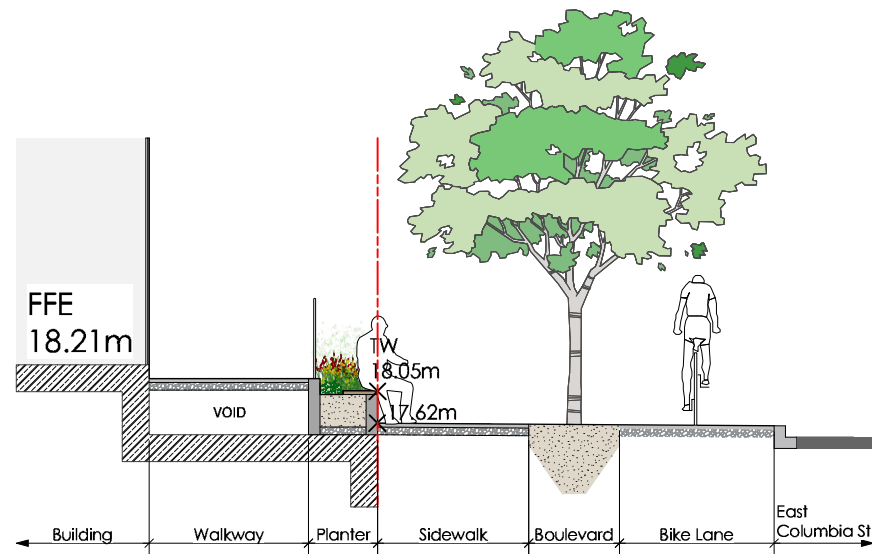
Landscape Drawings.

ROOF LEVEL - PLANTING PLAN

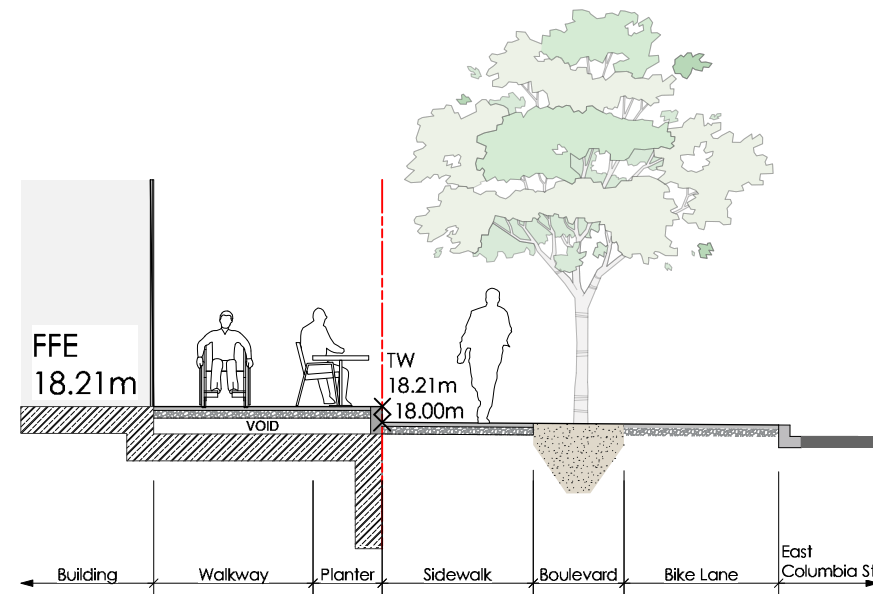


Landscape Drawings.

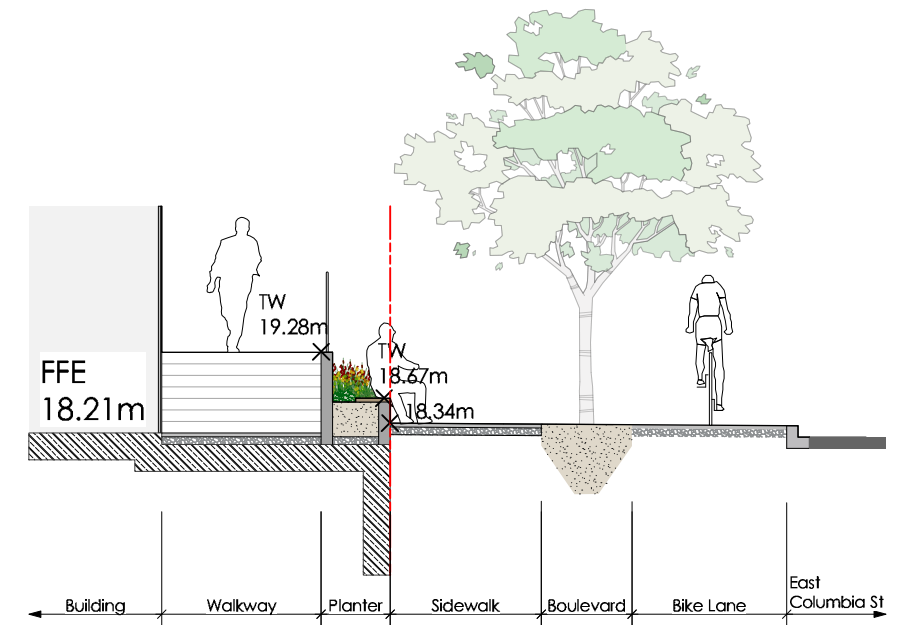
LANDSCAPE SECTIONS



1
L-2.1
East Columbia St. Section



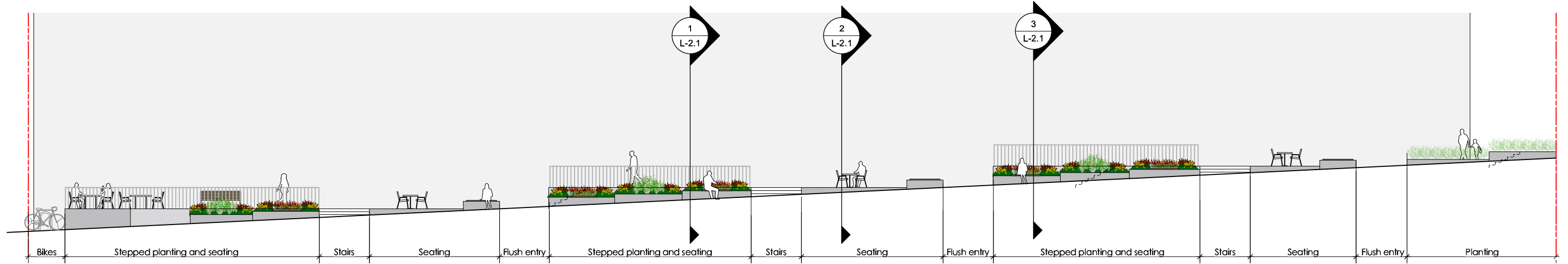
2
L-2.1
East Columbia St. Section



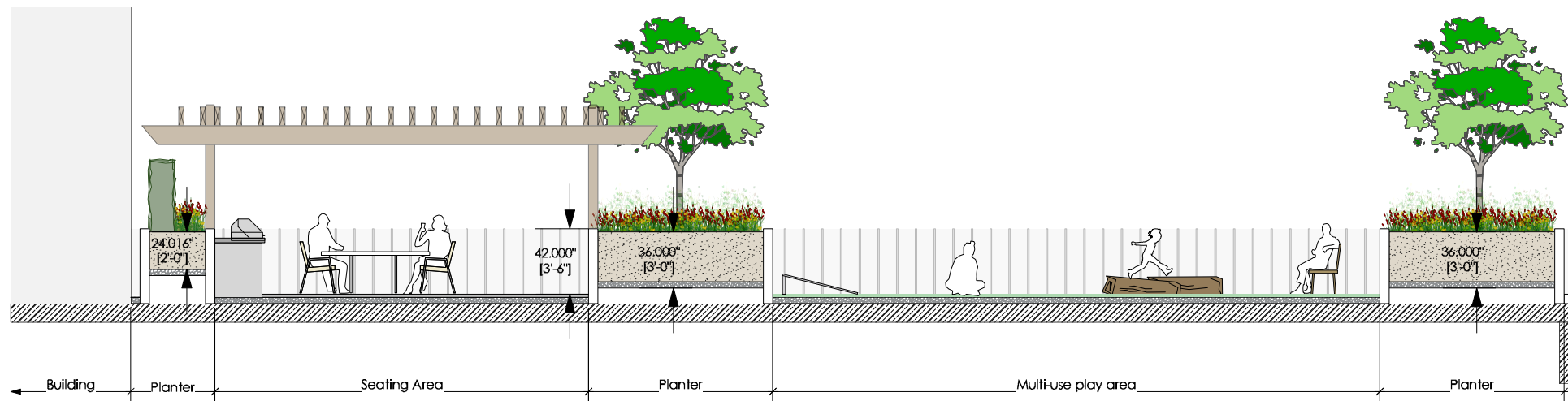
3
L-2.1
East Columbia St. Section

Landscape Drawings.

LANDSCAPE SECTIONS



4
L-2.1
East Columbia St. Elevation



5
L-2.1
Level 3 Amenity Space