



## **REPORT**

### *Development Services*

**To:** Land Use and Planning Committee      **Date:** 3/6/2017

**From:** Jackie Teed  
Acting Director of Development Services      **File:** HER00510,  
OCP00010

**Item #:** 9/2017

**Subject:** **514 Carnarvon (Holy Trinity Cathedral): Heritage Revitalization Agreement and Official Community Plan Amendment - Updated Application**

### **RECOMMENDATION**

***THAT** the Land Use and Planning Committee provide staff with feedback on the following three application approaches, as detailed in Section 6.1 of this report, with the goal of providing the applicant with a clear understanding of which approach the Committee would consider to be most appropriate:*

1. *Residential – Low Rise Apartment*
2. *Residential – Medium Rise Apartment*
3. *Residential – High Rise Apartment with Affordable Housing*

### **EXECUTIVE SUMMARY**

The City has received an application for a Heritage Revitalization Agreement (HRA) and Official Community Plan (OCP) Amendment for 514 Carnarvon Street (Holy Trinity Cathedral). The applicant is requesting to construct a 26 storey, 252 unit residential tower on the property with ground-level Parish-related uses and a five and a half level parkade in order to facilitate the restoration and future maintenance of the Holy Trinity Cathedral, and renovation/ additions for the Parish. The applicant is also considering including some affordable housing units. Staff continues to have concerns regarding the scale of the proposal

in relation to City land use and heritage policy, and requests feedback from the LUPC as summarized in Section 6.1 of this report.

## 1. PURPOSE

This application would permit development of a multi-unit residential building on the Holy Trinity site, which is currently zoned for institutional use. The purpose of this report is to request feedback from the Land Use Planning Committee on three application approaches with the goal of providing the applicant with a clear understanding of which approach the Committee would consider to be most appropriate.

## 2. POLICY AND REGULATIONS

**2.1 Official Community Plan (OCP):** The existing OCP designation for this site is Residential – Mid Rise Apartment which permits mid-rise apartments, low rise apartments, townhouses, stacked townhouses, row houses, community amenities (such as churches, child care, community space) and small-scale retail and service uses (restaurants). The intent of this designation is to permit buildings up to 12 storeys. As this was endorsed by Council as part of the Downtown Community Plan, it will not change as part of the OCP update.

The subject site is in the Albert Crescent Precinct of the Downtown Plan. The intent of this Precinct is to encourage the development of more ground-oriented housing and housing suitable for families, to preserve the existing market rental housing stock, and to respect, enhance and celebrate the recognized heritage resources such as Irving House and the four historic churches in the area (including Holy Trinity Cathedral).

Given that the applicant is proposing a high-rise on this site, the proposal is not compatible with the OCP.

**2.2 Zoning Bylaw:** The existing zoning for the subject property is Public and Institutional District (P-1). The intent of this zone is to allow institutional uses at a low density scale (FSR of 0.6).

The proposed development does not fit with this zone and the applicant is proposing to use a Heritage Revitalization Agreement.

**2.3 Downtown Density Bonus:** The Density Bonus Program (Phase 2) allows zones RM-4, RM-6 and C-4 in the Downtown to request to build to a higher density in exchange for an amenity contribution, and in accordance with the proposed land use designations within the Downtown Community Plan. A rezoning is required to go from the base density district (e.g. RM-6) to a bonus density district (e.g. RM-6(DB)). Projects that propose subsidized secured non-market rental housing may achieve this bonus without charge.

The proposed development is not zoned to take advantage of the Density Bonus Program but this policy provides context for an analysis of appropriate development scale on the subject site.

**2.4 Family-Friendly Housing Bylaw and Design Guidelines:** The policy states that a minimum of 30% of multi-family ownership units should be two- and three-bedroom with at least 10% of the total number of units being three-bedroom. For multi-family rental projects, these percentages are reduced to 25% and 5% respectively.

As currently proposed, the project would provide the total number of required family-friendly units, but the market portion would be slightly below requirements while the non-market portion would be slightly above. Should this proposal proceed, as an HRA application, the requirements could be varied to allow this split.

**2.5 Secured Market Rental Housing Policy:** The project may consider providing secured affordable rental housing in support of the City's objective of increasing the supply of rental housing and ensuring security of tenure over time. Should this proposal proceed, the applicant would be required to enter into a Housing Agreement as a condition of any rezoning.

**2.6 Standards and Guidelines for the Conservation of Historic Places in Canada:**

A preliminary review of the revised Heritage Conservation Plan for the proposed conservation of the exterior and interior of the Cathedral identifies that it meets the heritage principles outlined in the "Standards & Guidelines".

The proposed residential tower does not meet the "Standards & Guidelines", as detailed in Section 5.5 of this report.

### **3. BACKGROUND**

**3.1 Site Characteristics and Context:** The subject property is in an area consisting of a mix of multi-family residential, single-family residential, commercial, and institutional uses. The site has frontages north along Carnarvon Street and south along Clarkson Street. It is within half a block of both Sixth and Columbia Streets and is within half a block of the Columbia SkyTrain Station.

Given that the site is at the edge of the area designated in the Downtown Community Plan for high rise development, to the northwest and southwest of the site there are two Mixed-Use High Density buildings ranging from 18 to 26 storeys. The buildings are zoned C-8 and Comprehensive Development Zone (CD-56). There is also a Residential – Tower Apartment site to the northeast.

Within the adjacent properties that are the same designation as the subject site, there are four Residential-Mid Rise Apartment buildings, zoned RM-6A, ranging from four to 12 storeys. The floor space ratio for these range from 2.31 to 3.95.

To the immediate west is a single-family dwelling, constructed in 1899 that sits on a 2,988 square foot (278 square metres) lot, and a one storey commercial building constructed in 1946. There is also a 2 storey commercial building constructed in 1908 that faces Sixth Street.

A site context map is included in Appendix 1.

**3.2 Historic Value:** Holy Trinity Cathedral was established as a Parish in 1859 and its site chosen by Colonel Richard C. Moody. The Cathedral was originally constructed in wood in 1860, destroyed by fire in 1865, rebuilt in sandstone in 1862, only to be nearly destroyed in the Great Fire of 1898. The current structure was built immediately after the Fire between 1899 and 1902 using the surviving exterior stone walls. To cover the scorch marks of the fire, the walls were covered with cement parging, leaving only the stonework on the tower exposed.

The Cathedral is valued for its age and association with the pioneer days of New Westminster and for its connection to the Royal Engineers and their design of the city. The intention of the Royal Engineers was to locate this church on this site as a prominent central feature to demonstrate loyalty to England's primary faith. The Cathedral has been used continuously on this site since 1859.

Significance is also found in the historic architectural value of the Cathedral and for the architects associated with the three iterations of the building. The last design of the Cathedral was completed in the Gothic Revival style and designed by George William Grant, a well-known local architect of the time. The interior of the Cathedral was based on St. Paul's Church in Kensington, London, England. The bell tower was redesigned in 1910 by architect Frank Gardiner, also a noted New Westminster architect who, together with partner A.L. Mercer, designed many buildings in the city.

The Cathedral is substantially in its original condition in terms of both exterior and interior design and material elements. Valued interior elements include the vaulted space, the Bloomfield stained glass windows in the apse, dark-stained woodwork, the altar and reredos. Valued exterior elements include the steeply pitched rooflines, an offset buttressed tower, the asymmetrical bell tower and Gothic pointed-arch windows. Of particular note, the only bell, of the eight original bells, to survive the Great Fire still hangs in the tower.

The updated Heritage Conservation Plan (including Statement of Significance) is included in Appendix 3.



**3.3 Previous Application:** On September 15, 2014, Council considered an application for a Heritage Revitalization Agreement and Official Community Plan Amendment in order to retain and restore the Holy Trinity Cathedral, create some additional space and other renovations for use by the Parish, and provision of ongoing maintenance. The application followed the City working with the Parish to explore other options for supporting their proposed scope of work, as the scale of project proposed was expected to require redevelopment on the site that would exceed that supported by City policies.

The previous application proposed to develop a 28 storey residential tower with a five level parkade and space at the ground level to accommodate the Parish, in exchange for the restoration and protection of the Cathedral. An outdoor amenity area for resident and Parish use was proposed in addition to the formalization of the public pedestrian walkway between Carnarvon and Clarkson Streets that would run along the east property line to provide a connection to the Columbia SkyTrain station.

A careful review of the formal application identified that the relaxations being requested and the scale of the proposed development were not in keeping with intentions of City policies and regulations, and would have negative impacts to both the heritage building and the immediate neighbourhood. Council subsequently directed that staff work with the applicant to revise the proposed project such that it would better conform to City heritage and land use policies, by addressing the following points:

*a) inform the applicant that once the following changes have been incorporated into the proposal, it will be returned to Council for further consideration:*

- *No units below 350 sq. ft. in size;*
- *Off-street Parking to be provided on site in accordance with the minimums in the Downtown Parking Study taking into account the use of appropriate incentives;*
- *Off-street Loading to be provided;*
- *Sufficient Long-term and Short-term bicycle parking to be provided;*
- *Indoor Amenity Space to be provided at a ratio of 20 sq. ft. per unit;*
- *Storage lockers to be provided, at a minimum, for all units which are below 500 sq. ft. in size; and*
- *Any other items that may arise through further review of this proposal.*

*b) Work with the applicant to reduce the scale of the tower to better fit with the heritage and neighbourhood context*

## **4. PROJECT DESCRIPTION**

### **4.1 Project Description**

The Holy Trinity Parish of New Westminster BC has submitted a revised application for a Heritage Revitalization Agreement in order to retain and restore the Holy Trinity Cathedral and create some additional space for use by the Parish. In exchange for the restoration and protection of the Cathedral, the applicant is now proposing:

- 26 storey (previously 28 storey) residential tower
- five and a half level (previously five levels) parkade
- 250 residential units (previously 343 units), of which 44 would potentially be “affordable ownership units”
- indoor and outdoor amenity space on the roof for the residential component, plus some outdoor amenity space at ground level, including a dog relief station
- space at the ground level including outdoor amenity area to accommodate Parish functions (e.g. offices, multi-purpose halls) which would be used to continue providing services to the community, such as: Twelve Step Meetings, Drop-In Breakfast, Homelessness Connect Day, New Westminster Downtown Residents’ Association and other community meetings
- formalization of the public pedestrian walkway between Carnarvon and Clarkson Streets that would run between the Cathedral and the proposed residential tower (previously on the east side of the property) in order to provide a connection to the Columbia SkyTrain station.

In addition to a Heritage Revitalization Agreement, an amendment to the Official Community Plan would be required to allow a change in designation from “Residential – Mid Rise Apartment” to “Residential – Tower Apartment”. A Special Development Permit would subsequently be required as the proposed development is located within the Downtown neighbourhood.

The preliminary design package is included in Appendix 2. A full list of Parish services is included in Appendix 4. A petition and letter of support are included in Appendix 5.

### **4.2 Project Statistics**

The following preliminary statistics are provided comparing the existing site conditions with the previous application and current application, as well as what would be achievable under the RM-6 Zone which is the zone compatible with the subject site’s Residential – Mid Rise Apartment designation:

	Existing	RM-6 Zone	Previous Application	Current Application
Site Data	Frontage: 231.79 sf (70.49 m) Depth: 131.99 ft (40.23 m) Area: 3,342 sf (3,107 sm)			
Non-Residential Floor Area	16,450 sf (1,528 sm)	n/a	22,700 sf (2,109 sq.m.)	12,846 sf (1,193 sm)
Residential Floor Area	0	n/a	211,332 sf (19,633 sq.m.)	176,495 sf (16,397 sm)
Gross Floor Area	16,450 sf (1,528 sm)	n/a	230,539 sf (21,418 sq.m)	183, 825 sf (17,078 sm)
Floor Space Ratio	Res: 0.0 Inst: 0.492 Total: 0.492	Res: 2.0-2.5 Bonus Res: .5 – 1.0 Total: 3.0	Res: 6.22 Inst: 0.68 Total: 6.90	Res: 5.2 Inst: 0.3 Total: 5.5
Building Height	Unknown	150 ft (45m)  Bonus Height: +100 ft (30.48 m)	278.4 ft (84.9 m)	249.0 ft (75.9 m)
Number of Storeys	2	up to 12	28	26
Site Coverage at Grade	32.84%	n/a to this discussion	72%	31.7 %
Site Coverage at 40 feet	0%	n/a to this discussion	31%	17.8 %

## 5. ANALYSIS

**5.1 Relationship to OCP:** The Official Community Plan for Downtown (2010) is the document that indicates the community's and Council's intentions for development in the Downtown neighbourhood. As it was adopted relatively recently, the City considers that new applications should generally be in conformance with the Plan. As the subject property is designated Residential – Mid Rise Apartment in the Plan, it is not intended for high-rise residential tower development. While there have been recent high rise approvals within the area (527 Carnarvon Street and 508 Agnes Street), those proposals are located on properties that are designated in the Plan as Mixed Use High Density, and therefor in conformance with that designation. Other high rises in the area were developed prior to the adoption of the current Plan.

**5.2 Density Achievable Under Current City Policy:** As noted above, the OCP designation for this site contemplates mid-rise residential which would allow buildings up to 12 storeys. The zone that would be applied to a site under this designation would be RM-6. Under the Downtown Density Bonus Program, sites with this zone may be rezoned into a density bonus zone, which would allow up to 3.0 FSR of residential density. This is the maximum density consistent with the OCP designation for this site. The subject site currently zoned institutional, is permitted zero residential FSR and would not normally be considered for rezoning into such a density bonus zone. However, under a Heritage Revitalization Agreement, the City may consider relaxing the existing density requirements and permitting residential density on the site. Under such an application, it would be reasonable to consider permitting residential density up to 3.0 FSR. For the subject site, this would mean a full 3.0 FSR of residential density entitlement would be added to the site.

**5.3 Affordable Units:** The applicant proposes that 44 of the 250 units (17.6%) could be affordable units. The City requires that affordable housing be secured through a housing agreement, subsidized, and managed by a Not for Profit organization whose mandate is to provide such housing. In discussion with the applicant, they may consider such a structure, or they may offer “affordable home ownership” under which the market value of the affordable units would be capped through some means. The City does work with the latter model, and would only consider the units to be affordable housing if they were consistent with the City’s usual requirements. Should such units be proposed, they would be considered in light of the density bonus incentives in the City’s Secured Market Rental Housing policy.

**5.4 Balance of Benefits:** The applicant has noted that the density and height of the proposed project, both the previous and current applications, would support their proposed scope of heritage restoration, as well as renovations for Parish functions and future maintenance of the Cathedral. The intent of an HRA is to assist specifically with the restoration of a heritage asset (usually external restoration), and the benefits conferred to the applicant through an HRA must balance against the heritage benefit achieved through the project. While other benefits may be conferred to the applicant through the HRA application, these should be deemed to support other City priorities, as well as benefit the applicant. Staff notes that the proposed restoration proposed to be supported through the development is extensive, and that the HRA is also proposed to support other renovations and improvements related to Parish programming as well as ongoing maintenance. As proposed, staff considers the balance of heritage benefits to be outweighed by the benefits proposed to be conferred to the applicant. Staff notes that one way to make the project viable and fit with the heritage and land use policies of the City would be to reduce the scope of restoration, maintenance and other renovation work.

**5.5 Proximity to Cathedral:** Staff had identified in reviewing the previous application that the proposed residential building height and proximity to the Cathedral were not consistent with City heritage policy, as they would have a negative impact on the heritage value of the building, per the Standards and Guidelines. The revised design of the proposed

residential tower seeks to be respectful of the Cathedral in terms of material and form, using vertical and horizontal setbacks at the base of the tower on the elevations closest to these two buildings, and extensive glazing to give the appearance of lightness. However, given the height of 26 storeys, the proposed building is not consistent with City heritage policy. Staff recommends that, from a heritage evaluation perspective, any building over six storeys constructed adjacent to the Cathedral would have an impact on the heritage value, as detailed below:

- *“Conserve the heritage value of an historic place.”* The heritage value of the Cathedral lies partly in its location on the site, including the space around it and the view of it from Columbia Street. Despite efforts to make the tower slim and light, it would overwhelm the Cathedral.
- *“Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.”* Although every effort has been made to create a compatible tower design with material that respects the Cathedral, the height and massing of the proposed tower is not compatible with or subordinate to the Cathedral. It is, however, distinguishable.
- *“Avoid adding a new feature that alters or obscures the spatial organization of the historic site and avoid introducing a new feature that is incompatible in size, scale or design with the spatial organization.”* The height and massing of the proposed tower on such a constrained site would alter and obscure the spatial organization of the site. The proposed tower would not be compatible with the Cathedral in terms of size or scale.

**5.6 Other Required Revisions:** The revised application has addressed some of the other items (minimum unit size, off street loading). Although the parking structure in the revised application has been increased to five and one half storeys, the proposal does not yet meet parking requirements. The applicant has noted that they would continue to work to meet these, as well as the requirements for bicycle parking and storage lockers. Indoor amenity space is proposed at 1,510 sq.ft. (140 sq.m.) which is below the required 5,040 sq.ft. (468 sq.m.), although the applicant has noted they may consider sharing the Parish amenity space, which would raise the total amount to above the minimum.

**5.7 Urban Design:** An important aspect of the proposal is the intent to improve the streetscape of Clarkson and Church streets, as well as improve public access through the site to the SkyTrain Station. The previous application was considered to achieve these goals, and should a revised application proceed it would be evaluated with the same expectations.

## 6. DISCUSSION

**6.1 Summary of Approaches:** Based on the previous analysis, staff has identified three ways in which an application could proceed, each with pros and cons in relation to City land use, heritage and housing policy, as well as for the applicant's proposed scope or work.

*Given that this application has been under review for some time, at this time staff requests feedback from the Land Use and Planning Committee on the following three approaches with the goal of providing the applicant with a clear understanding of which approach the Committee would consider to be most appropriate.*

### 1. **Residential – Low Rise Apartment**

Propose rezoning the property to allow for a residential building up to six storeys with an FSR of approximately 1.5 to 2.0.

#### Pros:

- *Consistent with Land Use Policy* – This proposal would work within the expectations of the Downtown Community Plan;
- *Consistent with Heritage Policy* – A new building of this height adjacent to the Cathedral could be compatible with, relatively subordinate to, and distinguishable from the Cathedral;
- *Balanced Heritage Benefits* – up to 1.7 residential FSR entitlements (assuming 0.3 remains institutional) could be provided to the applicants through the HRA in support of some heritage building restoration and designation in lieu of voluntary amenity contributions.

#### Cons:

- *Reduced Restoration and Applicant Program* – The proposed scope of heritage conservation work, renovation/ addition for the Parish, and ongoing maintenance could not be supported. Possibly some of the Parish programs would have to be accommodated at another site, or discontinued.

### 2. **Residential – Medium Rise Apartment**

Propose rezoning the property to allow for a residential building up to 12 storeys with an FSR of up to 3.0.

#### Pros:

- *Consistent with Land Use Policy* – This proposal would work within the expectations of the Downtown Community Plan;
- *Somewhat Balanced Heritage Benefits* – up to 2.7 residential FSR entitlements (assuming 0.3 remains institutional) could be provided to the applicants through the HRA in support of more significant heritage building restoration and designation in lieu of voluntary amenity contributions.

#### Cons:

- *Inconsistent with Heritage Policy* – A new building of this height and design adjacent to the Cathedral would be distinguishable but would not be compatible

with or subordinate to the Cathedral, and would negatively impact the heritage value. As such, the project would not meet the City's evaluation standards for proceeding with consideration as an HRA;

- *Reduced Restoration and Applicant Program* – The proposed scope of heritage conservation work, renovation/ addition for the Parish, and ongoing maintenance could not be supported. Parish programs may be impacted.

### **3. Residential – High Rise Apartment with Affordable Housing**

Propose rezoning the property to allow for a residential building with a portion being secured, subsidized non-market housing in conformance with the City's usual requirements. Building could be over 12 storeys with up to maximum 5.2 FSR. The density proposed over 3.0 would include the non-market portion plus an additional square footage to be negotiated in relation to the amount of non-market housing proposed.

#### Pros:

- *Consistent with City's Affordable Housing Policy* – The provision of secured, subsidized residential units would help achieve the City's affordable housing goals;
- *Maintain Proposed Restoration and Applicant Program* – The proposed scope of heritage conservation work, renovation/ addition for the Parish, and ongoing maintenance could be supported;

#### Cons:

- *Inconsistent with Land Use Policy* - This zone would require an amendment to the Official Community Plan which was recently adopted. However, by capping the total density at 5.2 this approach would be in keeping with the maximum density contemplated by the OCP within the high rise designation;
- *Inconsistent with Heritage Policy* – A new building of this height and design adjacent to the Cathedral would be distinguishable but would not be compatible with or subordinate to the Cathedral, and would negatively impact the heritage value. As such, the project would not meet the City's evaluation standards for proceeding with consideration as an HRA;
- *Unbalanced Heritage Benefits* – Up to 4.9 residential FSR entitlements (assuming 0.3 remains institutional) could be provided to the applicants through the application. While the provision of affordable housing would achieve other City policies, overall the density benefits conferred to the applicant would not be balanced with heritage benefits, even under the proposed scope of restoration and designation.

## **7. INTERDEPARTMENTAL LIAISON**

There is now a project team-based approach for reviewing development applications. A staff-led project team would be assigned at the appropriate review stage for this application

and would consist of staff from Development Services (Planning and Building), Engineering, Electrical, Parks, Recreation and Culture Departments.

## **8. NEXT STEPS**

Should the application proceed, the applicant would be required to make a full submission for staff review. This would be brought back to the Land Use and Planning Committee for review prior to proceeding to consultation.

## **9. OPTIONS**

The following options are offered for consideration by the Land Use and Planning Committee:

1. That the Land Use and Planning Committee provide staff with feedback on the following three application approaches, as detailed in Section 6.1 of this report, with the goal of providing the applicant with a clear understanding of which approach the Committee would consider to be most appropriate:
  - a. Residential – Low Rise Apartment
  - b. Residential – Medium Rise Apartment
  - c. Residential – High Rise Apartment with Affordable Housing
2. THAT the Land Use and Planning Committee recommend Council provide staff with feedback on the following three application approaches, as detailed in Section 6.1 of this report, with the goal of providing the applicant with a clear understanding of which approach the Committee would consider to be most appropriate:
  - a. Residential – Low Rise Apartment
  - b. Residential – Medium Rise Apartment
  - c. Residential – High Rise Apartment with Affordable Housing
3. That the Land Use and Planning Committee provide staff with alternative feedback.

Staff recommends Option 1.



## **ATTACHMENTS**

Appendix 1: Site Context Map

Appendix 2: Cover Letter & Preliminary Design Package

Appendix 3: Updated Heritage Conservation Plan

Appendix 4: List of Parish Services & Ministry Plan

Appendix 5: Petition & Letter of Support

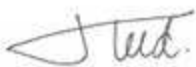
This report has been prepared by:

Julie Schueck, Heritage Planner

Rupinder Basi, Senior Planner

This report was reviewed by:

John Stark, Acting Manager of Planning



---

Jackie Teed

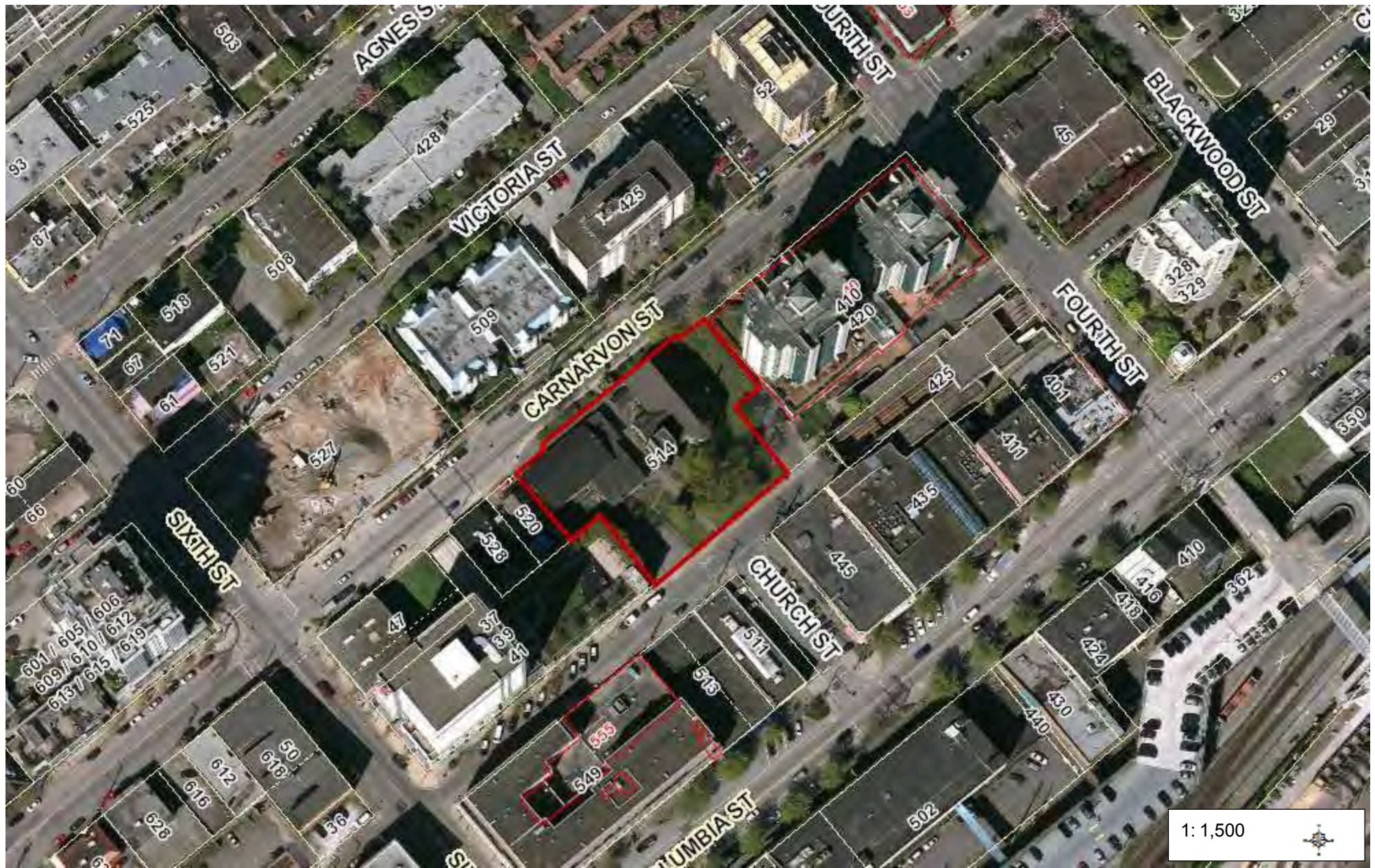
Acting Director of Development

Services

Appendix #1  
*Site Context Map*



## City of New Westminster: 514 Carnarvon Street (Holy Trinity Church)



0.1 0 0.04 0.1 Kilometers

NAD\_1983\_UTM\_Zone\_10N  
 CNW GIS Services

This map is a user generated static output from an Internet mapping site and  
 is for reference only. Data layers that appear on this map may or may not be  
 accurate, current, or otherwise reliable.



## Appendix #2

### *Cover Letter & Preliminary Design Package*



514 Carnarvon Street, New Westminster, B.C. V3L 1C4  
Phone: 604 521-2511 Website: [www.holytrinitycathedral.ca](http://www.holytrinitycathedral.ca)

Feb 10, 2017

Mr. Rupinder Basi, Senior Planner  
Land Use Planning Committee  
City of New Westminster  
511 Royal Avenue  
New Westminster, BC  
V3L 1H9

Dear Mr. Basi,

**Holy Trinity Cathedral Heritage Revitalization & OCP amendment- 514 Carnarvon Street**

Please accept the attached submission for inclusion on the March 6, 2017 Land Use and Planning Committee agenda. Our submission was last presented to City of New Westminster Council on September 9, 2014. We have worked hard with our consultant team, development partner (Conwest Developments) and City staff to address the concerns of our previous submission and respectfully request that the Land Use Planning Committee support the revised design concept.

The 2014 resolution of Council highlighted the following concerns:

1. That no units be below 350 sqft.
  - The current scheme as no units below 350 sqft and is providing a mix of units including bachelor, one, two and three bedroom units. The unit mix will also comply with the Family and Adaptable Housing Standards. In addition we are introducing affordable rental units to the project.
2. Off Street parking be provided to the City's minimum standard.
  - The current concept will comply with the City parking requirements and any combined or shared space will require support of a parking/ transportation study.
3. Sufficient long and short term parking to be provided.
  - Bicycle parking will be provided as required.
4. Reduce the scale of the tower to better fit with the heritage context and intent of the OCP

- The scale of tower has been reduced significantly from 343 units and 22,700 sqft. of non-residential floor area to 250 units (including 44 affordable units) and less than 10,000 sqft. of non-residential uses.
- The tower will also be “sculpted” and softened at the base and top to allow the church to shine and create an airy, safe public open space.

This revised concept will allow the Holy Trinity Cathedral of New Westminster the opportunity to meet most or all of the following long term objectives:

- Replace parish Hall for church and community functions
- Increase parking available for parish use during services
- Seismically upgrade and restore heritage church
- Create a more suitable exterior gathering place and surroundings for parish and community use.
- Address any building envelope and structural deficiencies.
- Restore Stained Glass Windows
- Restoration of Interior of Cathedral
- Improve Cathedral’s ability to accommodate performing arts
- HVAC for Cathedral
- Fire Suppression for Cathedral
- Building Services:
  - Upgrade electrical service
  - Install tel/data service
  - Install theatre lighting
  - Install new M/F/HC washrooms
  - Install ventilation
- Building Structure:
  - Seismic upgrade (base isolation option)
- Building Envelope:
  - Re and re windows, new roof
  - Re and re stucco, repoint bricks, repair sandstone
- Building Finishes:
  - Re and re ceiling insulation and remove bat guano
  - Repaint interior and exterior

The submission includes the following material:

- February 2017 Historical Summary and Heritage Rationale
- February 2017 updated Holy Trinity Conservation Plan (Luxton & Associates)
- January 2016 Holy Trinity Church of New Westminster Ministry Plan
- Holy Trinity Church Community Outreach and Community Amenity Summary
- June 12, 2015 Peter Julian MP, letter of support
- 2013-2014 Petition of support (38 pages)
- Francel Architecture Design Rationale
- Francel Architecture Design Concept

This proposal has come a long way to address the previous concerns while creating an opportunity for The Holy Trinity Cathedral to be restored and be enjoyed by future generations. This development proposal also creates the space required for the Church to continue to deliver services to its Community Partners and members.

Sincerely

A handwritten signature in blue ink, appearing to read "Dale Yardy", with a long horizontal flourish extending to the right.

Rev. Dale Yardy

Encl.



## AERIAL VIEW 1



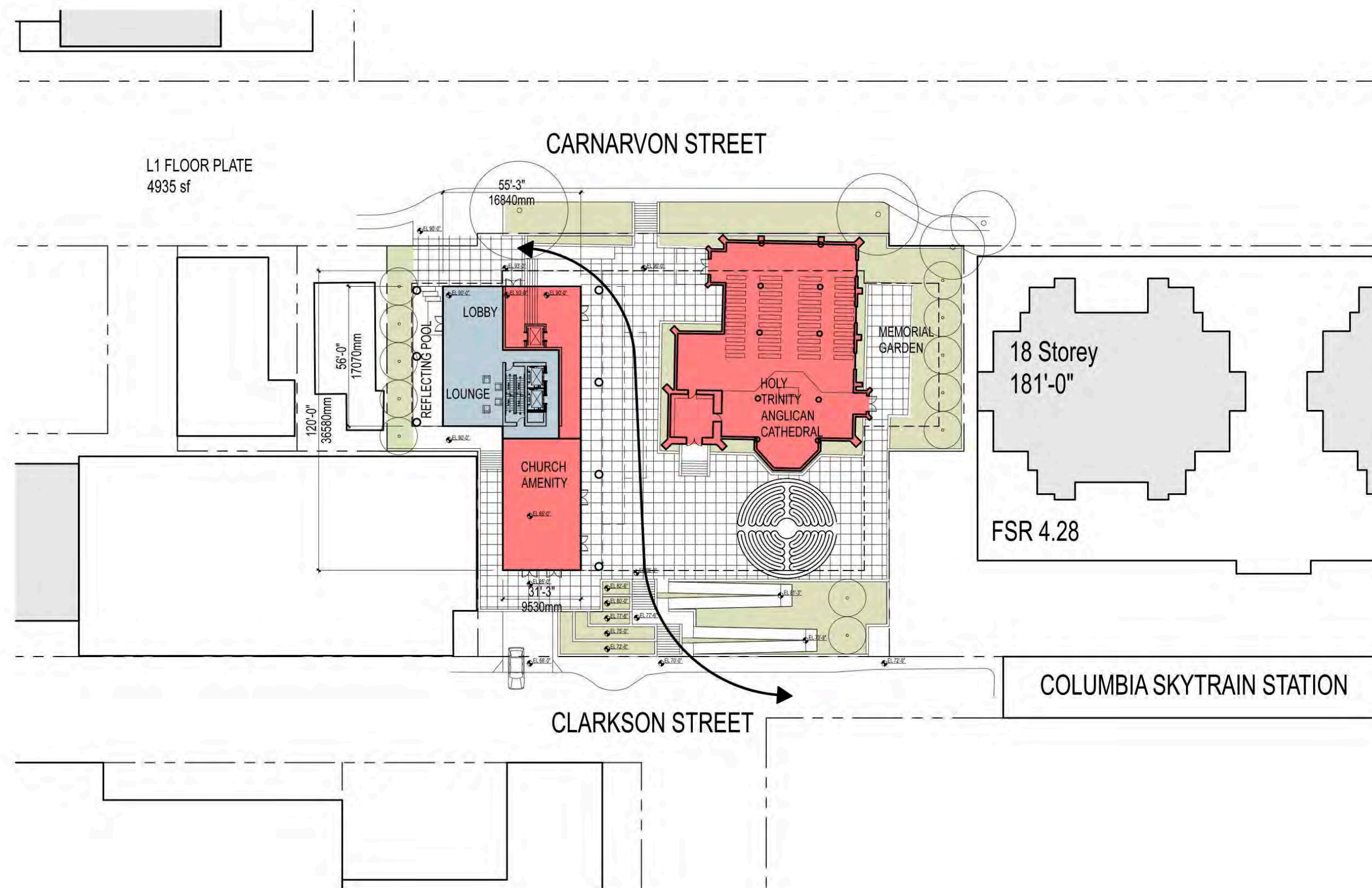


## AERIAL VIEW 2

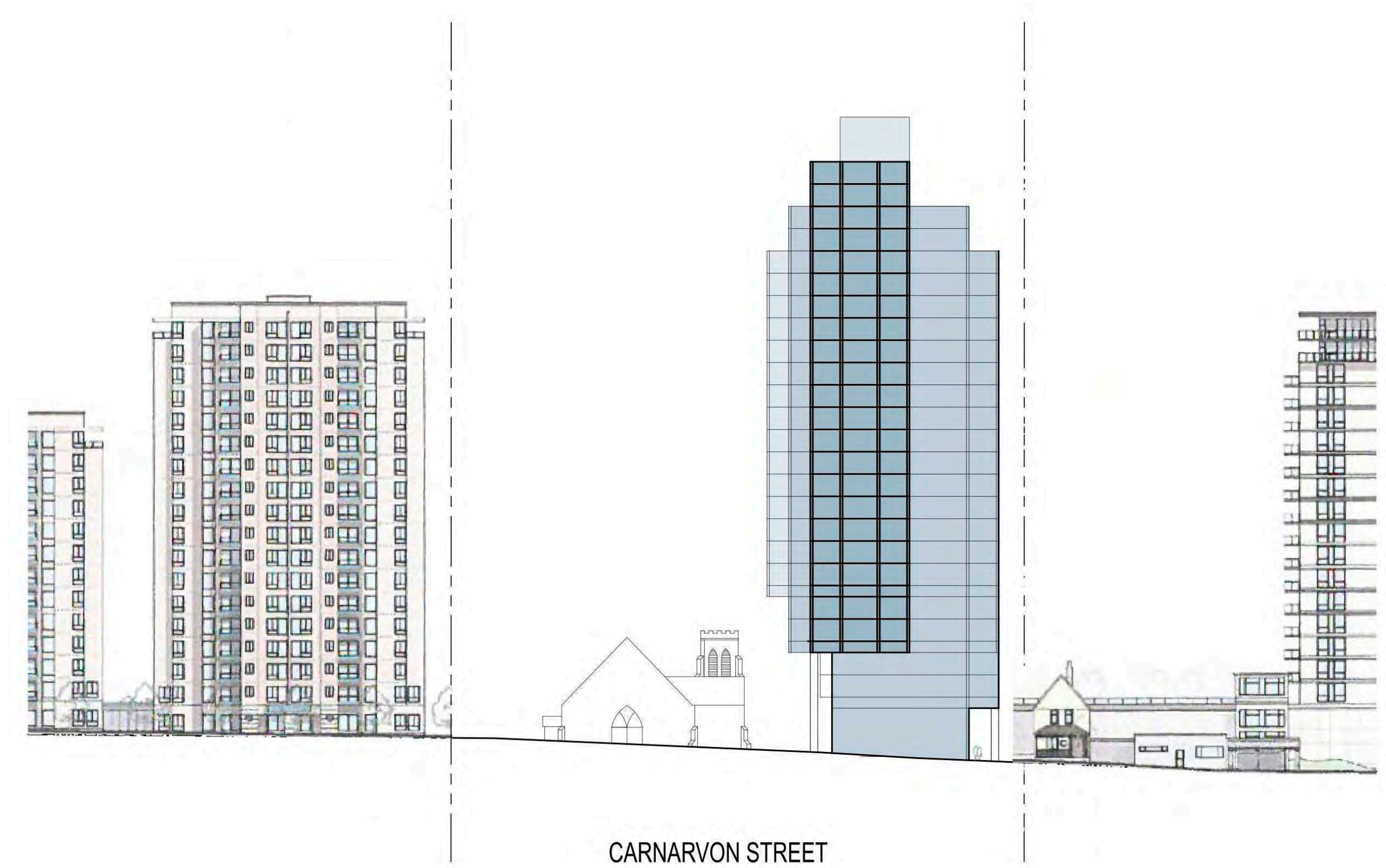




## LEVEL 1



STREET ELEVATION 1





STREET ELEVATION 2









## Appendix #3

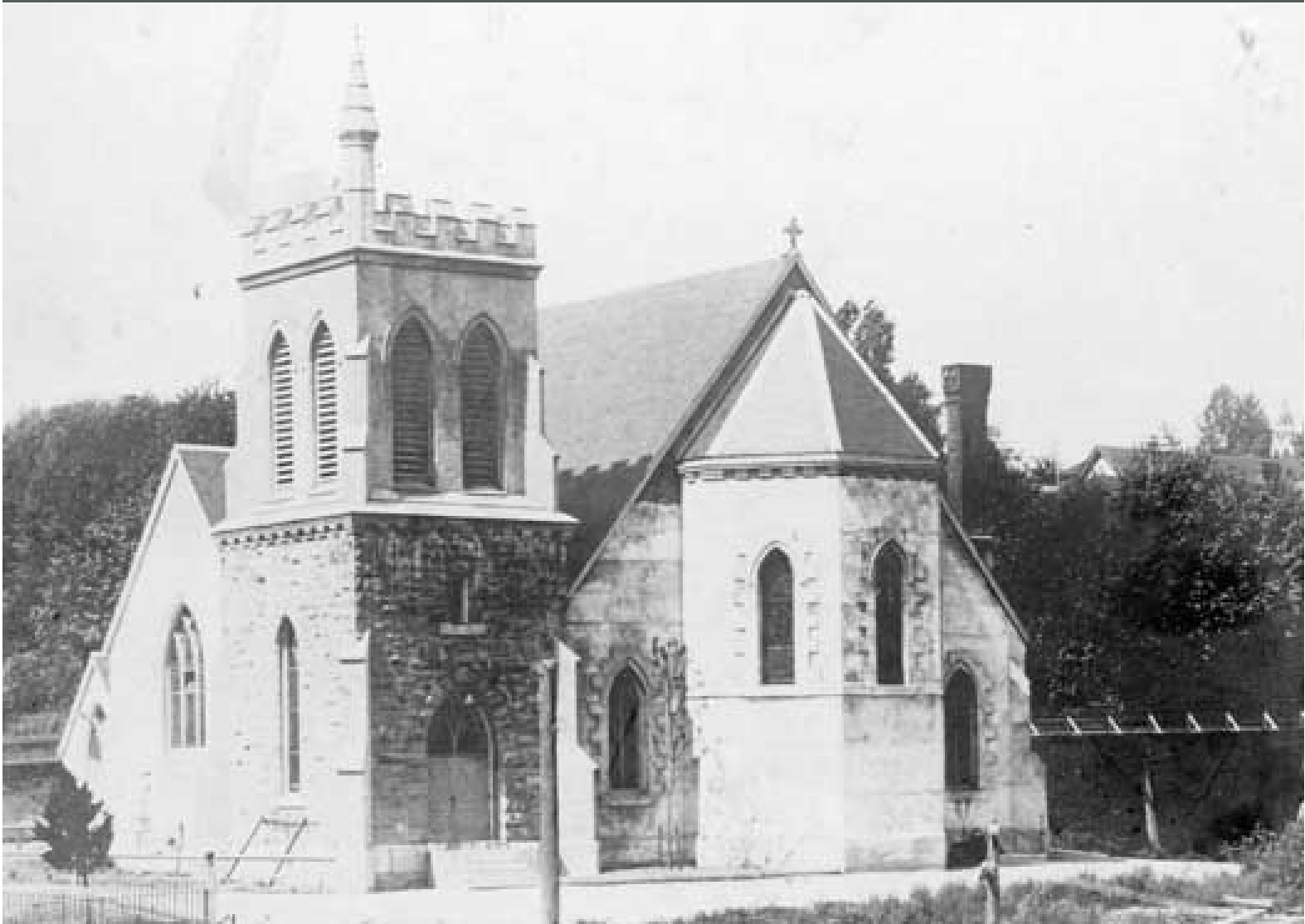
### *Updated Heritage Conservation Plan*

# HOLY TRINITY CATHEDRAL

514 CARNARVON STREET, NEW WESTMINSTER

## CONSERVATION PLAN

FEBRUARY 2017



**DONALD LUXTON**  
AND ASSOCIATES INC



DONALD LUXTON AND ASSOCIATES INC.  
1030 - 470 GRANVILLE STREET, VANCOUVER BC, V6C 1V5  
info@donaldluxton.com 604 688 1216 [www.donaldluxton.com](http://www.donaldluxton.com)

1. INTRODUCTION.....	4
2. SUMMARIES .....	6
2.1 HISTORICAL SUMMARY .....	6
2.2 SUMMARY OF HERITAGE VALUES .....	8
2.3 SUMMARY OF HERITAGE BENEFITS .....	8
3. HISTORY OF HOLY TRINITY .....	10
3.1 ESTABLISHMENT OF ANGLICAN CHURCH IN BRITISH COLUMBIA.....	10
3.2 THE ESTABLISHMENT OF NEW WESTMINSTER.....	11
3.3 FIRST HOLY TRINITY CHURCH .....	15
3.4 SECOND HOLY TRINITY CHURCH 1867 .....	16
3.5 GREAT FIRE AND REBUILDING 1898 .....	17
3.6 HISTORY OF TOWER .....	23
3.7 HISTORY OF INTERIOR .....	27
3.7.1 HISTORIC FURNISHINGS .....	33
4. STATEMENT OF SIGNIFICANCE.....	36
5. CONSERVATION GUIDELINES .....	38
5.1 STANDARDS AND GUIDELINES .....	38
5.2 CONSERVATION REFERENCES .....	39
5.3 GENERAL CONSERVATION STRATEGY .....	40
5.3.1 HERITAGE AGREEMENT FEATURE LIST - EXTERIOR .....	41
5.3.2 INTRIOR HERITAGE FEATURE LIST .....	45
5.4 SUSTAINABILITY STRATEGY .....	46
5.5 HERITAGE EQUIVALENCIES AND EXEMPTIONS .....	47
5.5.1 BRITISH COLUMBIA BUILDING CODE.....	47
5.5.2 ENERGY EFFICIENCY ACT .....	47
6. CONSERVATION RECOMMENDATIONS - EXTERIOR .....	48
6.1 SITE .....	48
6.2 OVERALL FORM, SCALE AND MASSING .....	49



# TABLE OF CONTENTS

6.3 EXTERIOR WALLS .....	49
6.4 TOWER .....	51
6.4.1 TOWER BRICKWORK.....	51
6.4.2 TOWER STONWORK .....	52
6.4.3 PARAPET CAP FLASHING .....	53
6.5 FENESTRATION.....	53
6.5.1 WINDOWS .....	53
6.5.2 DOORS .....	56
6.6 ROOF .....	56
5.6.1 CHIMNEY .....	57
6.7 EXTERIOR COLOUR SCHEDULE.....	57
7. CONSERVATION RECOMMENDATIONS – INTERIOR.....	58
7.1 STRUCTURE.....	60
7.2 WALLS AND CEILINGS .....	60
7.3 WOODEN FLOOR.....	61
7.4 WOOD TRIM.....	62
8. MAINTENANCE PLAN.....	62
8.1 MAINTENANCE GUIDELINES .....	62
8.2 PERMITTING.....	62
8.3 ROUTINE, CYCLICAL AND NON-DESTRUCTIVE CLEANING .....	62
8.4 REPAIRS AND REPLACEMENT OF DETERIORATED MATERIALS .....	63
8.5 INSPECTIONS .....	63
8.6 INFORMATION FILE.....	63
8.6.1 LOG BOOK .....	63
8.7 EXTERIOR MAINTENANCE .....	64
8.7.1 INSPECTION CHECKLIST .....	64
6.7.2 MAINTENANCE PROGRAMME .....	68
RESEARCH SUMMARY .....	68

## 1. INTRODUCTION

SUBJECT PROPERTY:	HOLY TRINITY CATHEDRAL
ADDRESS:	514 CARNARVON STREET, NEW WESTMINSTER
CONSTRUCTION DATE:	1867 (RECONSTRUCTED 1898-99)
HERITAGE STATUS:	NEW WESTMINSTER HERITAGE REGISTER

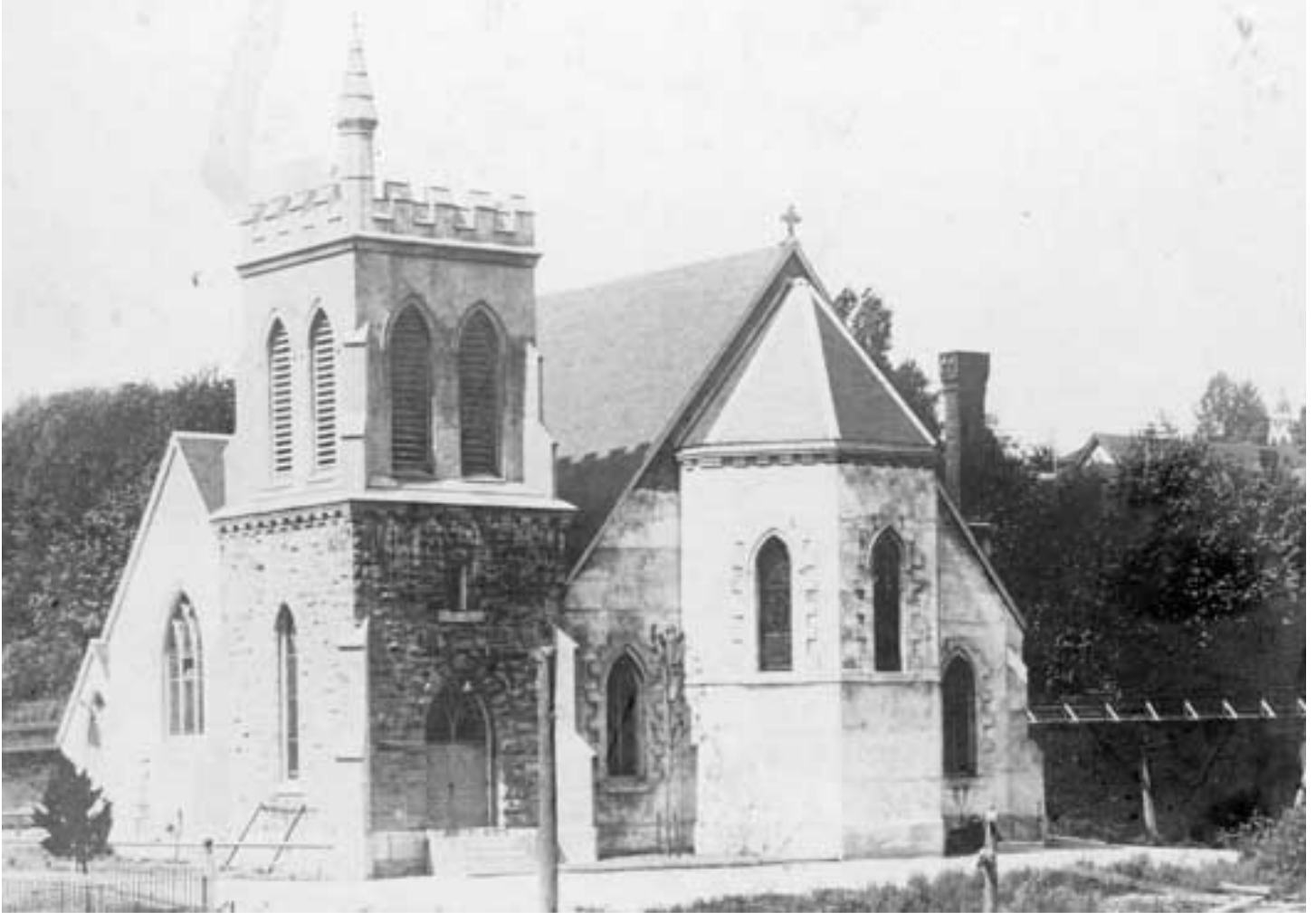
Holy Trinity is a historic parish, established in 1859, and was one of the first in the Mainland Colony of British Columbia. It is of heritage value for its association with Colonel Richard C. Moody of the Royal Engineers, who chose the location of the church in his original plan for the City. The first incarnation of this building was constructed of wood and burned in 1865, just five years after its completion. Its replacement was built two years later in sandstone, but could not withstand the Great New Westminster Fire of 1898. This current structure, constructed in 1898-99, was built incorporating the surviving walls of the earlier building.

Holy Trinity Cathedral is a prime example of the work of prolific local architect George W. Grant, who designed many of the buildings in downtown New Westminster, both before and after the Great Fire of 1898. He redesigned and restored buildings that survived, and designed replacement blocks for those that were destroyed, which were generally much reduced in scale and opulence from the pre-fire buildings. Grant's success at the time was tied not only to his skill in design, but also directly to his expertise in building construction.

This cathedral is of architectural significance for its Gothic Revival style, popular in ecclesiastical construction of the time, and its majestic tower, which was redesigned in 1910 by architect Frank G. Gardiner. Gardiner had a prolific architectural career, particularly with partner A.L. Mercer. Holy Trinity Cathedral contains art glass windows by Henry Bloomfield & Sons, which installed glass in numerous buildings. The interior also boasts woodwork of native tree species.

The proposed rehabilitation scheme involves rehabilitating the exterior, and parts of the interior, of Holy Trinity Cathedral, while undertaking a restoration of original materials. The church will be seismically upgraded, and aging windows will be repaired. The rehabilitated church will allow the Holy Trinity Parish to remain on the site that it has occupied since 1860.

# INTRODUCTION



HTC view from Clarkson Street, 1900 [NWMA IHP0327]

## 2. SUMMARIES

### 2.1 HISTORICAL SUMMARY

#### *The Establishment of New Westminster*

- In 1859, New Westminster was chosen as the new capital of the Mainland Colony of British Columbia. It was incorporated as Western Canada's first city the following year.
- In the spring of 1859, the Royal Engineers began clearing the land for the establishment of New Westminster.
- In February 1859, the British War Office decided to provide spiritual care for the troops under the command of Colonel Moody, and in September, sanctioned 100 pounds sterling for the purpose. John Sheepshanks was nominated.
- Reverend Sheepshanks conducted the first Anglican service in New Westminster on Sunday September 2nd, 1859 in the Customs House.
- Holy Trinity Church was the second Anglican Church built on the mainland; the first had been built near Fort Langley.
- The first Holy Trinity Anglican Church, built in 1860, was designed by Captain Arthur Reid Lemprière, who arrived with the third group of Royal Engineers in April, 1859.

#### *Construction of the Second Holy Trinity Anglican Church 1867*

- The first Holy Trinity was destroyed by fire in 1865.
- The second building was built of sandstone imported from Salt Spring Island, and was consecrated on December 18th, 1867.
- The architect was Hermann Otto Tiedemann, a successful architect, noted as the designer of the Colonial Administration Buildings in Victoria (the "Birdcages").
- The first Bishop of the new diocese, The Right Reverend Acton Wyndeyer Sillitoe, was consecrated Lord Bishop of New Westminster on All Saints' Day 1879.
- Holy Trinity Church became the Cathedral Church of the Diocese of New Westminster in 1892.

#### *Great Fire and Rebuilding 1898-99*

- Holy Trinity was burned during the great New Westminster fire of September 10, 1898.

- The wooden elements of the building were destroyed, but some of the walls, although damaged, remained standing.
- The current Cathedral is a reconstruction of the previous church, the walls and foundations of which were found to be sufficiently strong to be reused.
- The reconstruction was undertaken by local architect George W. Grant, who was extremely busy following the Great Fire, designing many of the structures in Downtown New Westminster that still stand.
- Of the peal, seven of the eight bells were cracked beyond repair, and were sent to San Francisco to be melted down to provide funds for rebuilding. The one original bell that remained, named "Wisdom", still hangs in the tower.
- Work was completed on the rebuilding of the Cathedral in 1899 in time for services on All Saints Day. The Cathedral was consecrated on April 3rd, 1902, following the settlement of the debt incurred by the restoration work.

#### *Twentieth Century to Present*

- This remained as the Cathedral Church of the Diocese until 1929 when Archbishop de Pencier designated Christ Church in Vancouver as his Cathedral.
- The Parish of Holy Trinity was bitterly disappointed, and following a fight which lasted over a year and which threatened to be dragged before the Supreme Court, a settlement was reached which included the right of Holy Trinity to retain the title of Cathedral in perpetuity.
- Notable surviving features of Holy Trinity Cathedral include the three stained glass windows in the apse, the work of local craftsmen, Henry Bloomfield and Sons.
- A number of historically significant artifacts grace the Cathedral. Ties to Westminster Abbey are represented by the pillared Credence Table in the sanctuary and the altar cross as well as the banner on the front of the pulpit. The brass lectern was a gift of the first Governor of the Colony, Sir James Douglas in 1875. This and other items were saved from the burning former building by the Rector of the day, the Reverend Shildrick.



Holy Trinity Cathedral, 1949 [BC Archives I-28023]

## 2.2 SUMMARY OF HERITAGE VALUES

### ***Historical Value***

Holy Trinity Cathedral is valued historically for its association with the earliest settlement of New Westminster. The first Anglican service in New Westminster was held in 1859, reflecting the British origins of the Royal Engineers who founded the city. The Cathedral is one of the few buildings in downtown New Westminster that retains substantial historic fabric that survived the Great Fire. Numerous important historic figures from the development and construction of British Columbia are featured in the Cathedral's story; including clergy the Rev. John Sheepshanks and the Rt. Rev. Acton Sillitoe; Colonel R.C. Moody of the Royal Engineers; architect H.O. Tiedemann; builder Thomas Trounce; and architect George Grant, as well as its association with many prominent New Westminster families.

### ***Architectural Value***

Aesthetically, Holy Trinity Cathedral is of architectural significance for its Gothic Revival style, and for its interior and exterior design. Little of the Cathedral has been changed, and it retains much of its original features and patina. The apse is illuminated by stained glass windows of exceptional quality, and the leaded windows of the nave are also fine examples of their craft.

### ***Community Value***

This has been the site of religious worship for longer than Canada has been a country. Beyond this historic significance, there is a deep-rooted tradition of community involvement and service. The parish is active in charitable organizations, notably the New Westminster Homelessness Coalition, and as part of the Anglican Church of Canada it is a participating member of the Primate's World Relief and Development Fund. It also provides a breakfast program, providing free meals to the less fortunate, and encourages participation from volunteers including students from St. Thomas More Collegiate. The Cathedral is the focal point for pastoral care to the community, including weddings, baptisms, hospital visitations and funeral services.

## 2.3 SUMMARY OF HERITAGE BENEFITS

There are many ways in which this project benefits the Parish as well as the citizens of New Westminster:

### ***Long-Term Conservation and Public Safety***

The retention and upgrading of this historic church supports the City's goals of both heritage conservation and sustainability. The maintenance of landmark churches is also important for symbolic and traditional reasons, linking the past to the present and providing visual and symbolic anchors to the community as it develops. Historic churches are typically maintained by the congregation at little or no cost to government, a community benefit that adds to cultural diversity and social programming capacity.

The funds generated through this project will allow Life Safety and BC Building Code upgrading of the historic structure. This will include careful and sensitive seismic upgrading of the unreinforced masonry structure, a very costly procedure that could not otherwise be undertaken. This will not only assist in the long-term conservation of the historic fabric, it will also enable safe occupancy and continued public use of the building.

The level of restoration of HTC will be of the highest order, with particular attention paid to the exterior as well as interior features. The restoration will enable the continuing historic religious use of HTC as a character-defining element.

### ***Enhanced Functionality***

The improvements to the site will ensure long-term viability of both the historic building as well as the use of the church. These improvements include the physical rehabilitation of the historic church building as well as improved community space incorporated into the new structure.

## ***Legal Protection of the Heritage Site***

In many ways, this church site is the very core of historic New Westminster and the original Mainland Colony. As part of this agreement, long-term legal protection will be provided for this very historic site.

## ***Institutional Preservation***

Institutions of faith are critical to the social fabric of the community. HTC, as a long-time anchor to the downtown, has been a transformative force that meets the social and faith-based needs of local residents and groups. The location in the downtown core is critical in serving the growing population, those who travel in on the weekend and those who work in businesses downtown.

In addition to its faith-based services, the critical role played by HTC includes:

- Providing space for community functions including programming, events and recreation for seniors and youth programs;
- Hosting arts and cultural events (e.g., providing space for City Stage West);
- Offering care, a sense of belonging and community counsel for disadvantaged populations; and
- Providing space and programming for recovery and health programs.

Faith-based institutions play a significant role in the development of a holistic community, and HTC is well aligned with current City of New Westminster and senior government policies and strategies in many key areas.

The Parish is challenged by its current outdated facilities, aging infrastructure and high costs of rehabilitation. This project will allow the historic HTC Parish to remain in its current location, and provide improved and expanded facilities for community use and outreach.

## ***Sustainability***

The redevelopment of the HTC site also supports sustainability in the following ways:

- Economic Sustainability
- Environmental Sustainability
- Social Sustainability
- Cultural Sustainability
- Spiritual Sustainability

The development of complete communities supports the Social Pillar of sustainability. In addition, the geographic proximity of programs and services for downtown residents promotes a compact, sustainable infrastructure through access to alternate forms of transportation. Given projections of continuing increase in the population in New Westminster, the presence of this historic institution offers an anchor of stability as well as a community resource of great public benefit.



### 3. HISTORY OF HOLY TRINITY

#### 3.1 ESTABLISHMENT OF THE ANGLICAN CHURCH IN BRITISH COLUMBIA

*You go not as enemies but as the benefactors of the land you visit, and children unborn will, I believe, bless the hour when Queen Victoria sent forth her sappers and miners to found a second England on the shores of the Pacific.*

With these words the Colonial Secretary, Sir Edward Bulwer-Lytton, dispatched the first contingent of Royal Engineers to tame the wilderness and the wild gold seekers in British Columbia. Bulwer-Lytton was alarmed not only at the “motley inundation of immigrant diggers” that were flooding the area, but also at the possibility that the Americans would attempt to annex the area north of the forty-ninth parallel now that valuable resources had been discovered there. The first priority for the Royal Engineers was to secure the British claim to the area by surveying the boundary with the United States, but they were also charged with surveying lands and roads for public purposes, suggesting a site for the capital city for the newly formed mainland colony, and reporting on the value of mineral resources. Colonel Richard Clement Moody was appointed to command the detachment. The first contingent of the Royal Engineers arrived in mid-1858. A separate detachment arrived in late 1858 with, as Sir Edward continued, a mission “not... to fight against men, but to conquer nature; not to besiege cities, but to create them.” This elite body of men laid the foundations for the development of the province. They created one major city, established the location and plan of smaller but strategically important towns, and determined the transportation routes that to this day move most people around the Lower Mainland and up into the central interior of the province.

James Douglas, newly-appointed Governor of the Mainland colony of British Columbia, had chosen Derby, near the site of the original Fort Langley, as the site for the new capital, and the Royal Engineers established their first camp there. Rev. William Burton Crickmer of Oxford was assigned as the contingent’s chaplain, and he arrived at Derby in February of 1859. Soon after his arrival, he wrote to the Colonial & Continental Church Society:

*Your missionary preached the very first regular sermon in the Colony of British Columbia... my church was a half-finished barrack, my congregation soldiers and civilians, my pulpit a Union Jack over a box, and my text Genesis 1:27, “The New Creation.”*

Construction began on a church, St. John the Divine, and a rectory, both built of redwood and likely designed by Crickmer himself and following the design of his old parish church in London, St. John the Divine. Town lots were offered at auction, raising considerable money for the government. Derby, however, proved to be a short-lived settlement. Only two months after the town’s inauguration, Colonel Moody condemned the site on sanitary, commercial, military and political grounds. Crickmer and his family were transferred to Yale, and the church at Derby sat empty and unused until 1882, when the Anglican congregation at Maple Ridge cut it into segments, floated it across the Fraser River, and hoisted it onto a new site, where it was reconstructed at about half its original length and still survives today.



St. John's, Derby (1859), drawn by Rev. Crickmer [City of Vancouver Archives AM447: St. John the Divine Church fonds]



# HISTORY OF HOLY TRINITY



Sapperton, circa 1863 [BC Archives] - A: Colonel Moody's residence, B: log church.

## 3.2 THE ESTABLISHMENT OF NEW WESTMINSTER

Over Governor James Douglas's objections, Moody rejected Derby as the permanent site for the new capital, and suggested another site, in a strategic location on an easily defended hill on the north side of the Fraser River, which was a greater distance from the American border and had easier access to Burrard Inlet. Queen Victoria decreed the capital would be called New Westminster. The Royal Engineers prepared a town plan suitable to the ideals of British colonialism: a romantic English plan using a grid intersected by formal gardens and grand avenues delineated Imperial presence on the land and allowed for the capitalist exchange of real estate; church and state reserves established the place of religion and government in the centre of the city; and English street names, gardens, and crescents inspired by Bath and other English cities helped transplant the culture of the Mother Country. Like those of its namesake, old Westminster, the future suburbs across the river would be known as Surrey. In the spring of 1859, the Royal Engineers began clearing the land for the establishment of New Westminster.

Despite the grand plans it was soon obvious that it would be a long time before anything resembling a city could be established, and the site was derisively called the "Imperial stump-field." Upriver, and separate from the capital, the Royal Engineers established their own camp at Sapperton where they constructed barracks, an impressive house for Colonel Moody, a school, and a log church, which was described in the *Victoria Gazette* as being of "a most singular and clumsy appearance."

New Westminster was laid out in a grand linear plan, parallel to the Fraser River. It terminated to the west at Dock Square, and to the east at Albert Crescent, patterned after the crescents at Bath and Brighton. Eight church reserves were located throughout the lower town, accommodating all denominations. The capital's main focus was to be the centrally located government and public gardens. Moody decided to place the Anglican Cathedral "as an ornamental feature" in the centre of Victoria Gardens, indicating its importance to both the City's appearance from the river as well as its central position in the new settlement's social life.

In February 1859, the British War Office decided to provide spiritual care for the troops under the command of Colonel Moody, and in September, sanctioned 100 pounds sterling for the purpose. John Sheepshanks was nominated, and arrived before quarters could be prepared; he was invited to live with the Moody family when he arrived. Reverend Sheepshanks conducted the first Anglican service in New Westminster on Sunday September 2nd, 1859 in the Customs House.

Born in 1834, Sheepshanks was educated at Christ's College, Cambridge. Ordained in 1857, he was a curate at Leeds Parish Church prior to becoming Rector of New Westminster and Chaplain to George Hills, the Bishop of Columbia. He later held incumbencies in Bilton, Yorkshire, and Anfield Liverpool before his election to the Episcopate as Bishop of Norwich in 1893, a post he held until his death in 1909.



*"We like our Clergyman, so far, very well, he is High Church, but very energetic and earnest and hard-working. I do not think he has taken a fancy to us for he is very quiet and reserved. He has a room in our House, but we seldom see him excepting on Sundays when our Meal times suit him better than the Mess Hours. He is very fond of Zeffie, and plays with her constantly."*

*The Letters of Mary S. Moody, October 11, 1859.*

*"Our Church is begun, and Mr. Sheepshanks living in a "Log Hut" near the Site, which I have named 'Castle Sheepshanks', however, poor man, he was nearly burnt out last night. He is going to Victoria for a holyday, and Mr. Dundas is coming up here."*

*The Letters of Mary S. Moody, April 16, 1860.*



Reverend John Sheepshanks, circa 1860. Photographer: G.R. Fardon [BC Archives F-05146]

Sheepshanks wrote in his memoir, "Bishop in the Rough":

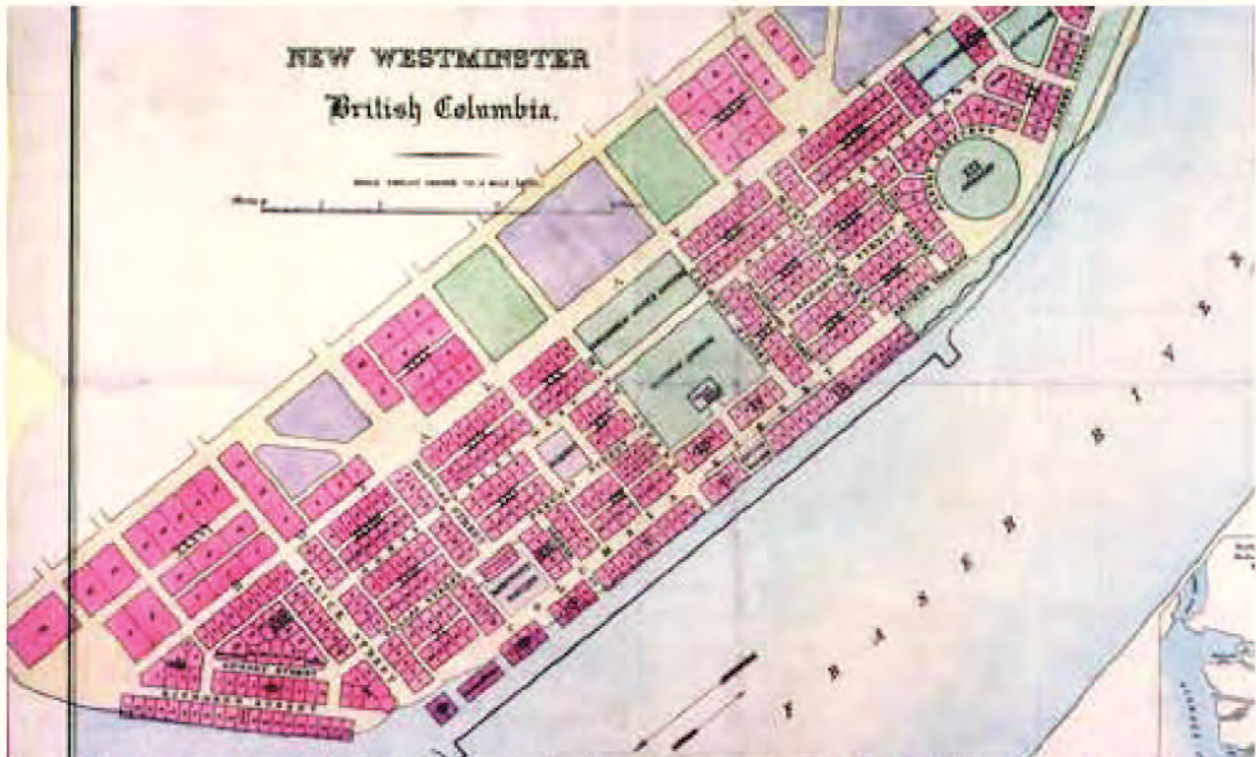
*During the day Mr. Sheepshanks' time was well occupied. No man can be described as idle who visits, collects subscriptions and gifts, supervises a work of building, teaches a Sunday school, preaches four sermons on the seventh day with the usual offices of the Church, and walks five or six miles in the performance of that duty. The church building progressed. There was a "bee" for the clearing of the ground. A considerable number of people put in a day's work, brought shovels and pickaxes, cleared the ground of stumps, rolled away logs, and made a pathway from the road up to the church lot. But the labours in the settlement were intermitted by an order from the Bishop to go up country and visit the miners and the Indians.*



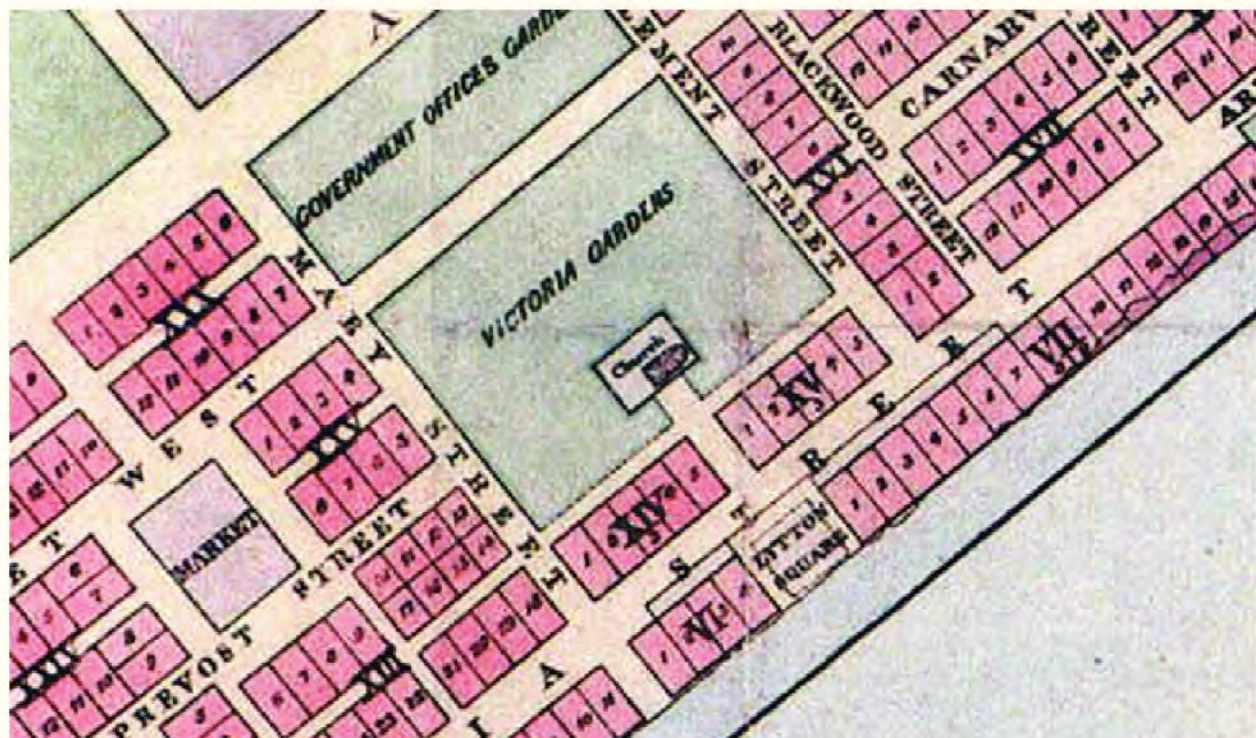
Bishop of Norwich, the Rt. Rev. John Sheepshanks, DD [NWMA IHP2530]



# HISTORY OF HOLY TRINITY



Plan of New Westminster, 1860. Detail below showing the already-constructed first Holy Trinity Church.







First Holy Trinity Church, New Westminster; church destroyed by fire in 1865. "Castle Sheepshanks" is visible in the foreground. Photographer Francis George Claudet. Date: 1860 [BC Archives A-01672]

# HISTORY OF HOLY TRINITY

## 3.3 FIRST HOLY TRINITY CHURCH, 1860

New Westminster's Holy Trinity Anglican Church, built in 1860, was designed by Captain Arthur Reid Lemprière, who arrived with the third group of Royal Engineers in April, 1859. The first of three Church buildings, it was of wood construction. On December 8, 1860, Holy Trinity was consecrated. The church was described in the *New Westminster Times*:

*The edifice, which commands a lovely view of the river, mountains and surrounding scenery, is built in the early style of Gothic Architecture... The interior consists of a nave, two aisles, chancel, vestry and recess for organ. The uprights and rafters are of fir, massive pillars with Gothic arches between, a series of arches also spanning the nave and giving a rich and ecclesiastical appearance to the whole. The internal fittings are of the handsomest description. The seats, which have been presented by various individuals whose hearts warmed towards the completion of the good work, are of fir, trimmed with the famous California redwood. The lectern or bible-desk (a gift) is of fir and the Columbian Cottonwood; the poppy heads of redwood are admirably contrasted, and present an exceedingly rich and elegant appearance. The communion rails, designed by one of the Royal Engineers, are beautifully executed. The whole building reflects the highest credit both upon the taste of the committee, who approved of the plans (presented by Captain A.R. Lemprière, R.E.,) and upon the builders, Messrs. Manson and White, who have performed their part in a truly workmanlike and skillful manner.*

Sheepshank's parsonage was a log hut built by two miners, close to the church and measuring 7 feet by 10 feet. Notches were cut into the logs for whiskey bottles, which originally served as windows, soon replaced by a cloth curtain on a sliding frame. Sheepshanks noted that he could "sit on my wooden bunk and open the window, shut the door, poke the fire in the stove, and get anything down from the shelf without moving."

*The helpful, friendly Engineers were ordered home [in 1863], and embarked for England to the tune so hard for exiles to bear, "Home, sweet Home." The monotony of Church life was broken by what may be called the Battle of the Bells. About this time we heard in the Victoria, V. I., newspaper of a beautiful peal of bells for the Bishop's church at Victoria, given by Miss (afterwards Lady) Burdett-Coutts. And in due time the arrival of the ship with the bells was chronicled. I happened to be in Victoria at the time, and meeting my good friend Mr. Holbrook, who also chanced to be down there, we agreed to go on board the vessel and have a look at them.*

*Accordingly we went on board, and, the hatches being open, we looked down and saw one or two of the bells being uncovered. I climbed down into the hold and read the inscription on the tenor bell, and I remember well the shout of delight with which I called up to Mr. Holbrook, who was looking down from the deck above, to tell him that the inscription was 'for the Church of St. Stephen, New Westminster.'*

*There was always a good deal of rivalry and jealousy between Victoria and New Westminster, and we knew that every effort would be made by the people of Victoria to retain the bells there. With regard to this fine peal of bells, it was true that our church was not dedicated in the name of St. Stephen, yet the crucial point, we thought, was the place, and as they were inscribed 'New Westminster,' we believed and maintained that of right they were ours.*

*We took measures accordingly, and got up a public meeting and began a movement for the erection of a bell-tower, and memorialized the Bishop. And, in short, we showed ourselves so unanimous and insistent that we gained our point, and in a few weeks' time the bells were deposited on the bank of Frazer River.*

*John Sheepshanks, "Bishop in the Rough."*

In 1865, a 100-foot bell tower designed by architects Wright & Sanders of Victoria, was built to house the bells. The church burned to the ground that year.

### 3.4 SECOND HOLY TRINITY CHURCH, 1867

The first Holy Trinity was destroyed by fire in 1865. The second building was built of stone and was consecrated on December 18th, 1867. Hermann Otto Tiedemann (1821-1891) was a successful architect, surveyor and civil engineer, who emigrated from Prussia to Victoria in 1858. Noted as the designer of the Colonial Administration Buildings in Victoria (the “Birdcages”), in 1867 he secured the architectural commission for Holy Trinity Anglican Church in New Westminster. Built in the “pure Gothic” style desired by the clients, Holy Trinity was of cross-axial design with a semi-octagonal apse. The contract for its construction was awarded to Thomas Trounce, and its walls were built of sandstone imported from Salt Spring Island.

The first Bishop of the new diocese, The Right Reverend Acton Wyndeyer Sillitoe, was born in Australia in 1840 and educated in England. He married first, in 1870, Charlotte, second daughter of Thomas Sillitoe, of Buenos Aires (who died in 1878), and secondly, in 1878, Violet Emily, second daughter of Justinian Pelly, of Yoxford, Suffolk. He was educated at King’s College School, London, and at Pembroke College, Cambridge, and was ordained in 1869. After holding various preferments, he was consecrated Lord Bishop of New Westminster on All Saints’ Day 1879. He and Mrs. Sillitoe arrived in New Westminster on June 18th, 1880.

The boundaries of the diocese were from the forty-fifth parallel to the fifty-fourth, and from the Rocky Mountains to the Pacific Ocean, an area of 160,000 square miles. The Rev. L.N. Tucker, Rector of Christ Church, Vancouver, voiced the opinion: “No one, I am sure, could know Bishop Sillitoe intimately without being charmed by his genial and friendly manner, and without being impressed by his zeal, earnestness, and manliness. Such qualities – the gifts of the Eternal Spirit – are not likely soon to die or to be forgotten. Through them, though dead, he yet speaketh, and will speak for many years to come to all who knew him.”

Holy Trinity Church became the Cathedral Church of the Diocese of New Westminster in 1892.



Right Reverend Acton Sillitoe, circa 1870  
[City of Vancouver Archives CVA Port P1282]



# HISTORY OF HOLY TRINITY



Interior of Holy Trinity Cathedral, prior to fire of 1898. [BC Archives G-01086]

## 3.5 GREAT FIRE AND REBUILDING 1898-99

Holy Trinity burned during the great New Westminster fire of September 10, 1898. The wooden elements of the building were destroyed, but some of the walls, although damaged, remained standing. Of the peal, seven of the eight bells were

cracked beyond repair. Burdett-Coutts refused to donate more bells, so the seven cracked bells were sent to San Francisco to be melted down to provide funds for rebuilding the Cathedral. The one original bell that remained, named "Wisdom," still hangs in the tower.



The fire-damaged bells of Holy Trinity Cathedral. [BC Archives A-03362]

The current Cathedral is a reconstruction of the previous church, the surviving walls and foundations of which were found to be sufficiently strong to be reused. Much of the masonry was still structurally sound and was retained, though a cement parging was used to conceal the scorch marks. Further, the nave was extended 13 feet and the bell tower constructed thirty feet beyond its existing height. The reconstruction was undertaken by local architect George W. Grant, who was extremely busy following the Great Fire, designing many of the structures in Downtown New Westminster that still stand. Work was completed on the rebuilding of the Cathedral in 1899 in time for services on All Saints Day. The Cathedral was

consecrated on April 3rd, 1902, following the settlement of the debt incurred by the restoration work.

The majestic bell-tower was redesigned in 1910 by architect Frank G. Gardiner. Gardiner had a prolific architectural career, particularly with partner A.L. Mercer, who designed many buildings in downtown New Westminster. Holy Trinity Cathedral contains art glass windows by Henry Bloomfield and Sons, which installed glass in numerous buildings, including St. Paul's Anglican Church in Vancouver. The interior also boasts woodwork of native tree species.



# HISTORY OF HOLY TRINITY

This remained as the Cathedral Church of the Diocese until 1929 when Archbishop de Pencier designated Christ Church as his Cathedral. The Parish of Holy Trinity was bitterly disappointed, and following a fight which lasted over a year and which threatened to be dragged before the Supreme Court, a settlement was reached which included the right of Holy Trinity to retain the title of Cathedral in perpetuity.

Notable surviving features of Holy Trinity Cathedral include the three stained glass windows in the apse, the work of local craftsmen, Henry Bloomfield and Sons. The left window is believed to be among the first depictions of First Nations people in stained glass. The right window was of gift of the Grand Lodge of British Columbia of which Bishop Sillitoe was

Grand Chaplain. It contains symbols of the Masonic Order and represents the Holy Spirit descending upon the Apostles at Pentecost. The Bloomfield sons gave Saint Peter, the central figure, the face of their father, Henry. The central window represents Christ the King enthroned in glory. This window also contains a delightful blushing angel.

A number of historically significant artifacts grace the Cathedral. Ties to Westminster Abbey are represented by the pillared Credence Table in the sanctuary and the altar cross as well as the banner on the front of the pulpit. The brass lectern was a gift of the first Governor of the Colony, Sir James Douglas in 1875. This and other items were saved from the burning former building by the Rector of the day, the Reverend Shildrick.



Cement parging on exterior of church, 1900 [NWMA IHP0009]



The second Holy Trinity Church and Bell-Tower, 186- [BC Archives C-03820]

# HISTORY OF HOLY TRINITY

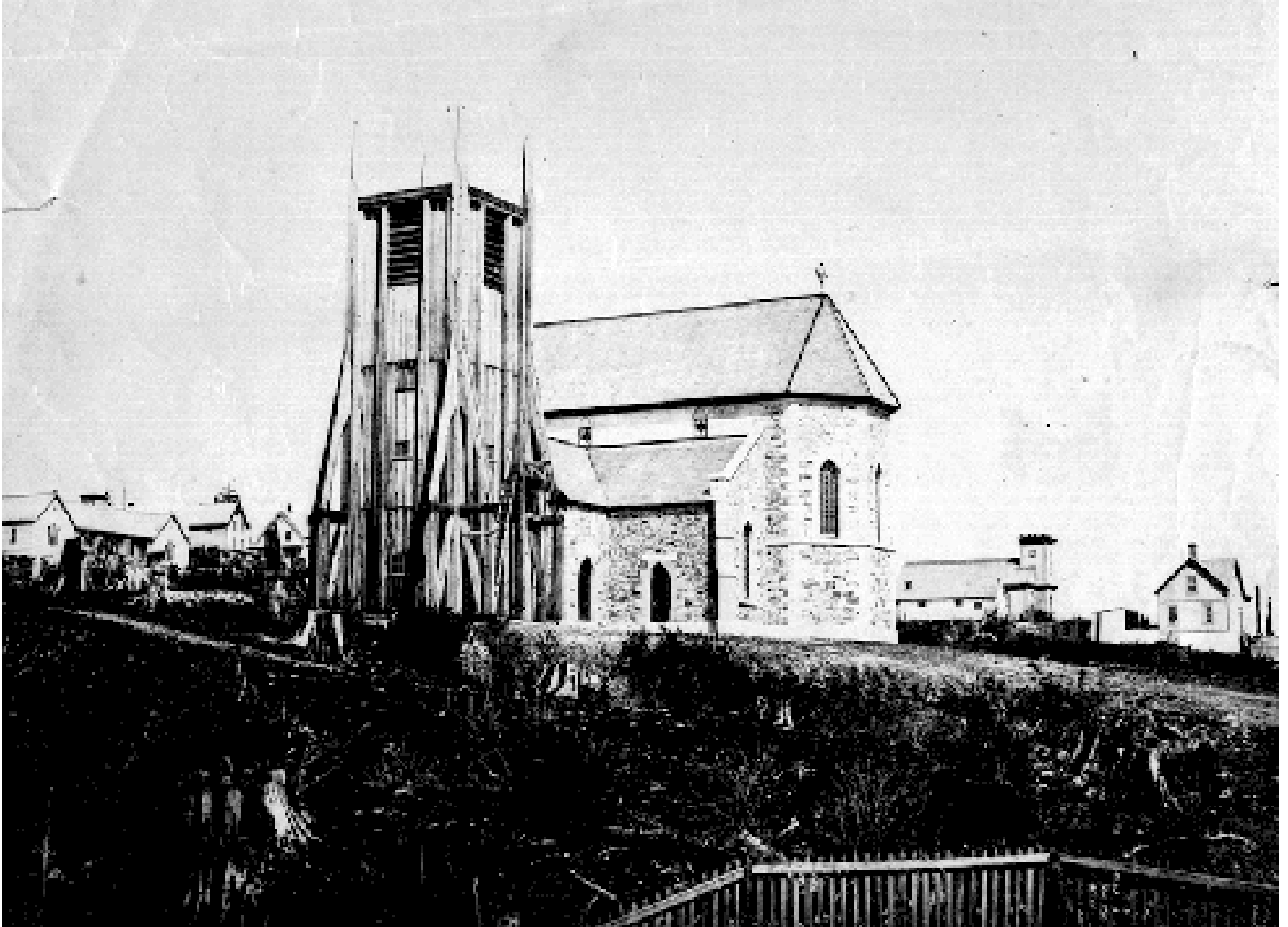


Fire-damaged Holy Trinity Cathedral, 1898 [NWPL 576]



Interior of rebuilt Holy Trinity Cathedral [BC Archives D-07839]

### 3.6 HISTORY OF THE TOWER



Second Holy Trinity Cathedral (First built in stone), with 1865 wood tower, 186- [BC Archives A-01593]

*June 12th, 1867, the contract to erect a new stone church was let to Mr. Thomas Trounce of Victoria... On October 16th, 1867, the cornerstone was laid by Governor Seymour... Lack of funds prevented the completion of the tower... The tower itself had been raised all too hastily and none too*

*well... In 1880, it was decided that the old tower could be left standing no longer, but though it had appears so decrepit, it turned defiant at the last and proved far more sturdy than they thought. It was with some difficulty, even with three teams of horses, that it was pulled down.*

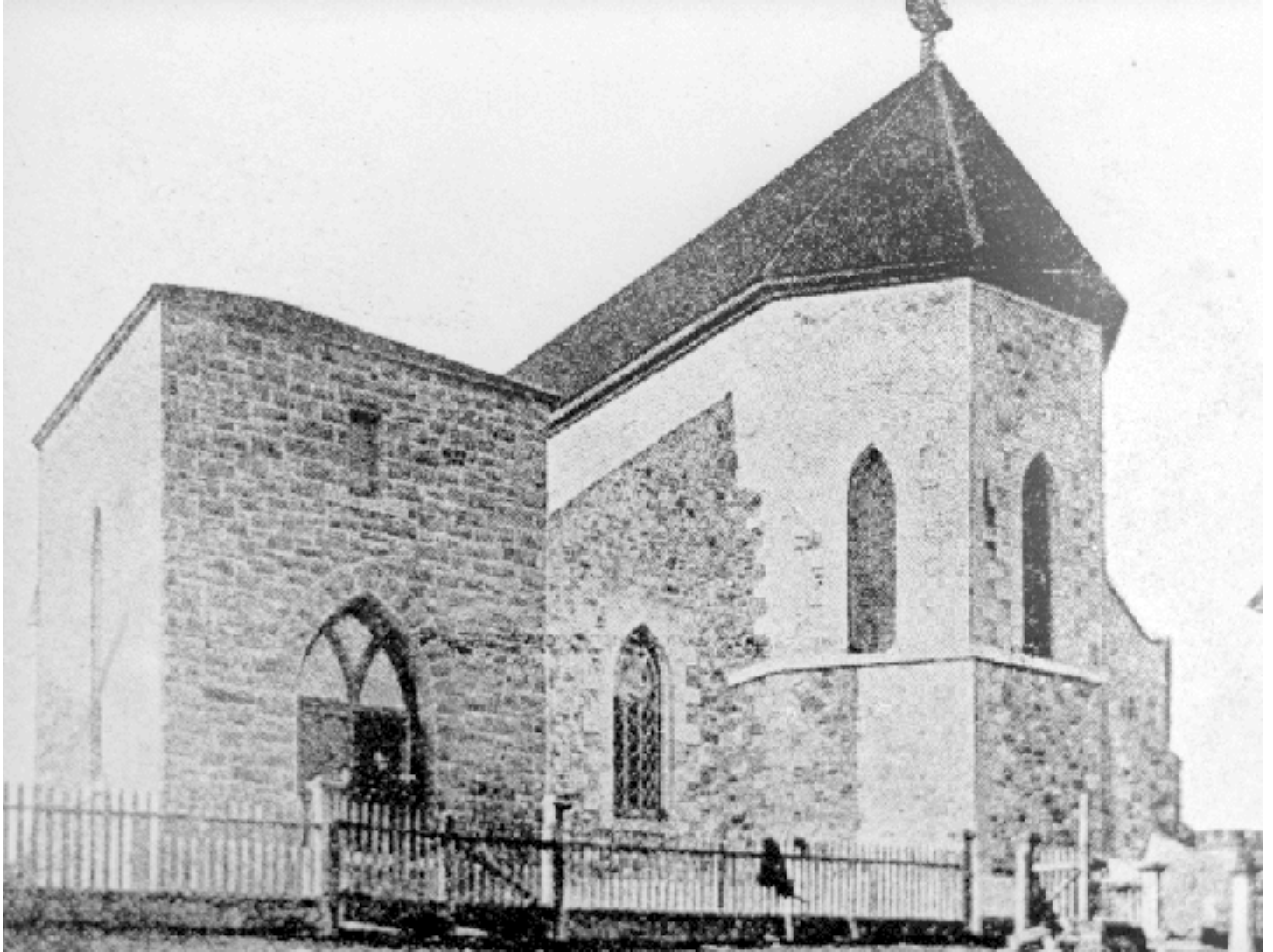




Laying of the new tower cornerstone, April 1886 [NWMA IHP0647]

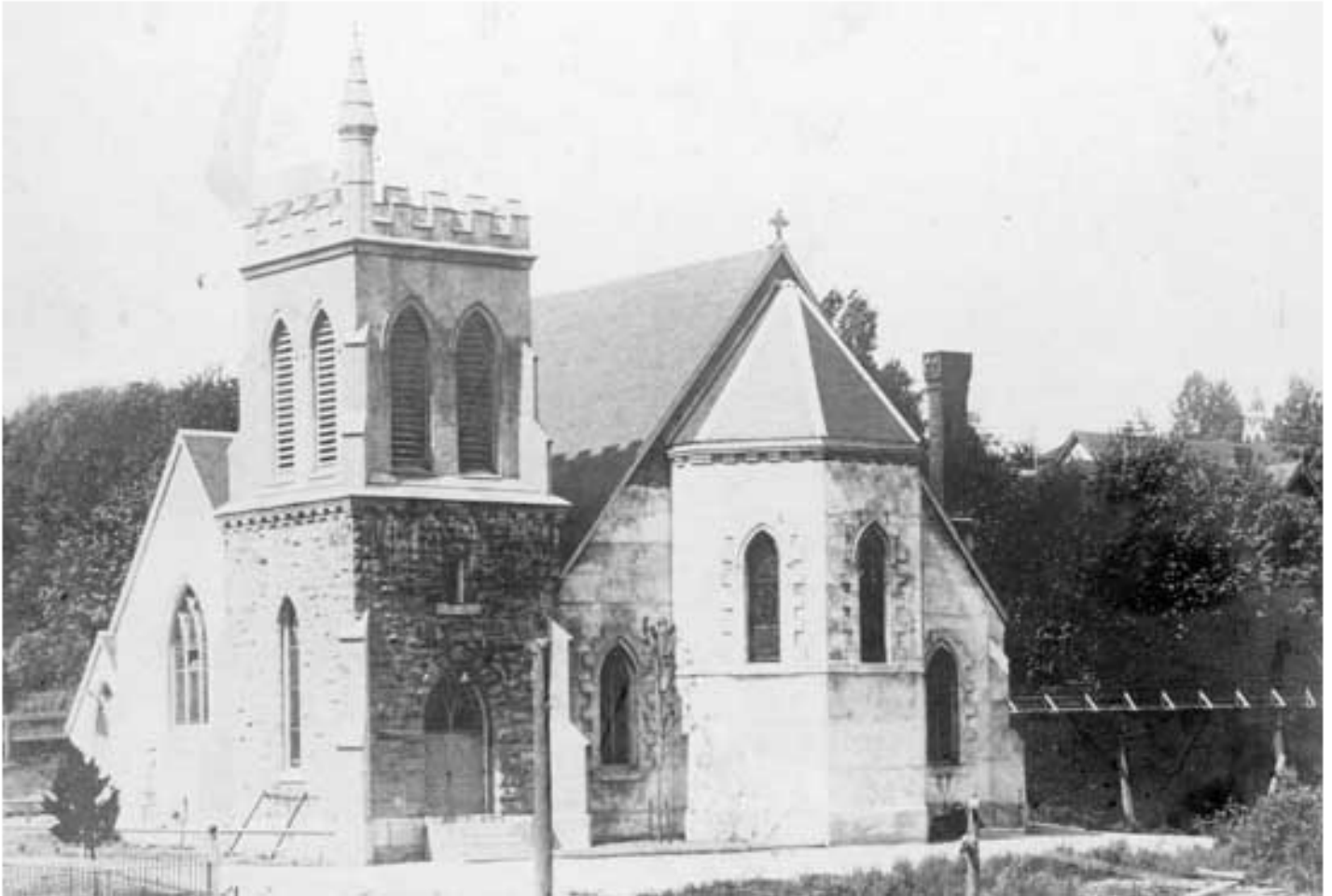
*It was not until April 10th, 1886, that the cornerstone of the new tower was laid... But the tower, begun with such high hopes, was never sufficiently completed for the bells to be hung.*





Holy Trinity Cathedral [BC Archives B-05504]

*Then came the disastrous fire of '98. For the second time, the Church of Holy Trinity was in ruins and this time the bells which had been stored in a shed nearby, were lost.*



Rebuilt Church, view from Clarkson Street, 1900 [NWMA IHP0327]

### 3.7 HISTORY OF INTERIOR



Interior of Holy Trinity Cathedral, 1867 [NWPL 1654]



Interior of Holy Trinity Cathedral, 1901 [NWPL 1658]





Interior of Holy Trinity Cathedral, February 2, 1901 [NWPL 1657]



Interior of Holy Trinity Cathedral, 1951 [NWPL 1653]





Interior of Holy Trinity Cathedral, 195- [BC Archives D-07839]



Interior of Holy Trinity Cathedral, 1959 [NWPL 1656]

# HISTORY OF HOLY TRINITY

## 3.7.1 HISTORIC FURNISHINGS

The Holy Trinity Cathedral features a large collection of significant interior furnishings that are of historical value to the Church. These historic furnishings will be removed, stored, restored and reinstated following rehabilitation work.

The following descriptions are sourced from *The Memories of a Cathedral – A Century of Christian Activity 1859-1959*.

### WINDOWS



The three windows in the Sanctuary are worthy of close inspection for they contain a wealth of interesting detail. The North Window designed to remind us of God, the Father, represents the Baptism of Jesus when the voice of the Father was heard saying, "This is my beloved Son, in whom I am well pleased." Two interesting features of this window are, the Episcopal Coat of Arms of Bishop Sillitoe, and the two Indian figured on either side of it, set against the blue mountains of Vancouver Island with the setting sun going down behind them

The Central Window depicts God the Son, enthroned in glory. This window contains a delightful blushing angel and the symbols of the four Evangelists. Both these windows were given by friends and parishioners in memory of Bishop Sillitoe. The third window is a gift of the Masons of British Columbia and is also a memorial to Bishop Sillitoe who was at one time,

their Grand Champlain. It contains many symbols of the Order and represents God the Holy Spirit by depicting the descent of the Holy Spirit upon the Disciples at Pentecost.

One of the most interesting facts about these windows is that they were made in British Columbia at the turn of the Century, by the firm of Henry Bloomfield and Sons, which was established in New Westminster until the great fire of '98, after which it was moved to Vancouver. The windows were designed by one of the sons, James, who at that time, was in Manchester, England. He sent out the designs, and the glass was made and assembled by another son, Charles, a boy still in his teens. A touching and unique feature of the Masonic Window is that the boys gave to the Central figure, St. Peter, the face of their father, Henry.

### THE ALTAR AND REREDOS

The Sanctuary, as well as the East Windows of Holy Trinity, form a memorial to Bishop Sillitoe. The Altar and Reredos were designed by Canon Beanlands of Victoria. Across the top of the carved reredos are eight heraldic shields, which are relative to Bishop Sillitoe's life. Facing the Altar from left to right they are 1. The Coat of Arms of St. John Baptist Church, Coventry, where Bishop Sillitoe was consecrated Bishop; 2. The Coat of Arms of York Minster; 3. The Coat of Arms for Lichfield Cathedral where the Bishop was ordained both deacon and priest; 4. The Coat of Arms of Canterbury Cathedral; 5. The Coat of Arms of the Diocese of British Columbia; 6. The Coat of Arms of the Sillitoes; 8. The Coat of Arms of Mrs. Sillitoe's family, the Pellys, of Upton, Essex, Baronets.

### THE FRONTALS AND EUCHARIST VESTMENTS

The Frontals and Eucharist Vestments of Holy Trinity are magnificent. These priceless ornaments were made and embroidered by the Sisters of the Community of All Hallows', Ditchingham, Norfolk.





#### THE ALTAR CROSS

*The Altar Cross was presented to Bishop Sillitoe by the Dean of Westminster Abbey, the Very Rev. Arthur Penrhyn Stanley, known to the world as "Little Arthur" in "Tom Brown's School Days," "As a mark of sympathy between the old and new cities." Old Westminster and New Westminster. The base of the Cross is of oak fashioned from a rafter of the Abbey of the time of Henry V.*



#### THE BISHOP'S THRONE AND CHAIR

*Holy Trinity has both a Bishop's Throne and a Bishop's Chair in the Sanctuary. The former, lofty and simple in design, is the original Bishop's Throne for the Diocese of New Westminster. It is of oak, upholstered in Purple Velvet in contrast to the Sedilia, opposite, which is upholstered in crimson. The beautifully carved Bishop's Chair stands beside the Throne and is made of walnut. It is a memorial to William August Bartlett Stokes, R.C.A.F., killed in action June 11th, 1943, aged 24.*





# HISTORY OF HOLY TRINITY



## THE ALTAR LIGHTS

*The beautiful Candlesticks on the Altar were carved at Oberamnergau by the Passion Players, legend attributing exquisite work to principal character Anton Lang. They were the gift of the Victorian philanthropist, Arthur Evans, Esq., of London, England, in 1896.*

## THE CREDENCE

*The Credence in Holy Trinity is most unique. The four pedestals once supported the marble mensa of the Altar in the Chapel of Henry VII, Westminster Abbey. They are of cedarwood, richly wrought with Renaissance foliage and covered with gold leaf.*

## THE DOUGLAS LECTERN

*The handsome brass Lectern, known as the Douglas lectern, was presented to Holy Trinity by Sir James Douglas, K.C.B., first Governor of the Colony in 1875.*

## THE COMMUNION SETS

*The two Communion Services in possession of Holy Trinity are very fine. The first, consisting of jewelled chalice of silver gilt, flagon and paten was the gift of the parishioners of Coatham, Yorkshire, in 1886. The less elaborate set, consisting of jewelled chalice and paten was presented by the Rev. Herbert Bering.*



## THE FONT AND EWER

*The Font is of sandstone and was presented by the Whatsoever Society of Holy Trinity Parish, a parochial organization long extinct, but in its day was very active in raising funds for the church. The Font cover was bequeathed to the Cathedral by Mr. John P. Voss on Easter Day, April 4th, 1926. The magnificent brass Ewer was a gift from St. Agatha's Guild of St. James Church, Vancouver, in memory of Bishop Sillitoe.*

## THE REGIMENTAL COLORS

*The colors of the Westminster Regiment hang in the Chancel. They were deposited by the Commanding Officer, Lt.-Col. G. B. Corbould, on Saturday, October 26th, 1929. Holy Trinity, from the days of the Royal Engineers has always been considered by the Regiment as its Garrison Church. Over the 100 years the closest ties between the two have been formed. As were many of his predecessors, the present Rector is Chaplain of the Regiment. On the other hand, many of the officers and men have taken a very active part in the affairs of the Parish.*

## THE CATHEDRAL ORGAN

*The Cathedral Organ was manufactured by Karn-Warren Organ Co. Ltd. of Woodstock, Ontario, and was brought, second-hand, in Montreal in 1899 and installed in the present building which had just been restored following the disastrous fire of 1898.*

*At the ripe old age of one hundred year or more, it is probably the oldest pipe organ on the Lower Mainland. From time to time, additions were made to it, the most extensive in 1945, when through a legacy from the estate of the late L. A. Lewis, a part of the Cassavant Organ of the old Rex Theatre on Hastings Street in Vancouver, was purchased. Then in 1956, this grand old instrument was transformed into one of the newest and most up-to-date in Canada. It was equipped with a modern three-manual console and new electric action. All of the original pipes, mellowed with age, have been retained and some 116 pipes added, bringing the total to the surprising figure of 1058. The renovated organ was dedicated by Bishop Gower on January 22nd, 1956.*

## 4. STATEMENT OF SIGNIFICANCE

### Description Of Historic Place

Holy Trinity Cathedral is a stone and brick Gothic Revival church with a front gabled roof and a brick and stone tower. The building is located in a commanding position on Carnarvon Street at Church Street, near New Westminster's historic downtown core.

### Heritage Value Of Historic Place

Holy Trinity Cathedral is valued for its association with the earliest settlement of New Westminster. The first Anglican service in New Westminster was held in 1859, reflecting the British origins of the Royal Engineers who founded the city. Colonel R.C. Moody of the Royal Engineers designed the original layout of the city to include this church site as a prominent central feature, demonstrating loyalty to the primary faith of the Mother Country. The first Holy Trinity Anglican church, built by the Royal Engineers in 1860, was destroyed by fire in 1865. A second church, designed by Victoria architect H.O. Tiedemann and built from imported Salt Spring Island sandstone, was erected in 1867-68. In 1892,

Holy Trinity became the Cathedral Church of the Diocese of New Westminster. The disastrous 1898 fire, which wiped out the greater part of downtown New Westminster, destroyed the second Holy Trinity, but the thick stone walls survived. Between 1899 and 1902 the cathedral was rebuilt using the original walls of the earlier building.

Additionally, Holy Trinity Cathedral is of architectural significance for its Gothic Revival style, and for its interior and exterior design. The reconstruction of the church was designed by George William Grant (1852-1925), a prolific architect who designed many of the buildings in downtown New Westminster, before and after the Great Fire. The interior of Holy Trinity Cathedral was based on the design of St. Paul's Church, Kensington, London, and remains in substantially original condition. The vaulted space is illuminated by art glass windows executed by Henry Bloomfield and Sons, a prominent firm established in New Westminster in 1890.

# HISTORY OF HOLY TRINITY

## Character-Defining Elements

Key elements that define the heritage character of the Holy Trinity Cathedral include its:

- continuous use as a church site since the earliest development of the city;
- location on Carnarvon Street, part of a grouping of late Victorian and Edwardian era buildings in historic downtown New Westminster;
- ecclesiastical form, scale and massing as expressed by its irregular picturesque shape, steeply-pitched rooflines, and offset buttressed tower with a crenellated roof-line
- gabled roof with minimal overhangs and gabled roof on the western projection;
- elements of the Gothic Revival style, such as the massive masonry construction, asymmetrical bell tower and Gothic pointed-arch windows; and
- interior features such as the original vaulted ceilings, art glass windows, dark-stained woodwork, altar and reredos.

## 5. CONSERVATION GUIDELINES

### 5.1 STANDARDS AND GUIDELINES

The Holy Trinity Cathedral is a listed building on the New Westminster municipal Heritage Register, and is a significant historical resource in the City of New Westminster. The Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) is the source used to assess the appropriate level of conservation and intervention. Under the Guidelines, the work proposed for the Holy Trinity Cathedral includes aspects of preservation, rehabilitation and restoration.

**PRESERVATION:** *the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.*

**RESTORATION:** *the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*

**REHABILITATION:** *the action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.*

Interventions to the Holy Trinity Cathedral should be based upon the Standards outlined in the *Standards and Guidelines*, which are conservation principles of best practice. The following **General Standards** should be followed when carrying out any work to an historic property.

#### STANDARDS

##### ***Standards relating to all Conservation Projects***

1. Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.
5. Find a use for a historic place that requires minimal or no change to its character defining elements.
6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of character-defining element to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining element by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.



# CONSERVATION GUIDELINES

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.

## ***Additional Standards relating to Rehabilitation***

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. Conserve the heritage value and character-defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

## ***Additional Standards relating to Restoration***

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

## 5.2 CONSERVATION REFERENCES

The proposed work entails the Rehabilitation and Restoration of the exterior of the Holy Trinity Cathedral, and the rehabilitation of parts of the interior. The following conservation resources should be referred to:

*Standards and Guidelines for the Conservation of Historic Places in Canada*, Parks Canada, 2010.

<http://www.historicplaces.ca/en/pages/standards-normes/document.aspx>

National Park Service, Technical Preservation Services. Preservation Briefs:

**Preservation Brief 1:** Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings.

<http://www.nps.gov/tps/how-to-preserve/briefs/1-cleaning-water-repellent.htm>

**Preservation Brief 2:** Repointing Mortar Joints in Historic Masonry Buildings.

<http://www.nps.gov/tps/how-to-preserve/briefs/2-repoint-mortar-joints.htm>

**Preservation Brief 3:** Improving Energy Efficiency in Historic Buildings.

<http://www.nps.gov/tps/how-to-preserve/briefs/3-improve-energy-efficiency.htm>

**Preservation Brief 4:** Roofing for Historic Buildings.

<http://www.nps.gov/tps/how-to-preserve/briefs/4-roofing.htm>

**Preservation Brief 9:** The Repair of Historic Wooden Windows.

<http://www.nps.gov/tps/how-to-preserve/briefs/9-wooden-windows.htm>

**Preservation Brief 10:** Exterior Paint Problems on Historic Woodwork.

<http://www.nps.gov/tps/how-to-preserve/briefs/10-paint-problems.htm>

**Preservation Brief 14:** New Exterior Additions to Historic Buildings: Preservation Concerns.

<http://www.nps.gov/tps/how-to-preserve/briefs/14-exterior-additions.htm>

**Preservation Brief 16:** The Use of Substitute Materials on Historic Buildings.

<http://www.nps.gov/tps/how-to-preserve/briefs/16-substitute-materials.htm>

**Preservation Brief 21:** Repairing Historic Flat Plaster – Walls and Ceilings.

<http://www.nps.gov/tps/how-to-preserve/briefs/21-flat-plaster.htm>

**Preservation Brief 28:** Painting Historic Interiors.

<http://www.nps.gov/tps/how-to-preserve/briefs/28-painting-interiors.htm>

**Preservation Brief 33:** The Preservation and Repair of Historic Stained and Leaded Glass.

<http://www.nps.gov/tps/how-to-preserve/briefs/33-stained-leaded-glass.htm>

**Preservation Brief 41:** The Seismic Retrofit of Historic Buildings: Keeping Preservation in the Forefront.

<http://www.nps.gov/tps/how-to-preserve/briefs/41-seismic-retrofit.htm>

### 5.3 GENERAL CONSERVATION STRATEGY

The primary intent is to preserve the existing historic structure, while undertaking a rehabilitation that will upgrade its structure and services to increase its functionality. As part of the scope of work, character-defining elements will be preserved, while missing or deteriorated elements will be restored.

The major proposed interventions of the overall project are to:

- preserve the original character-defining elements of the church,
- restore character-defining elements that have been altered over the years,
- seismically upgrade the structure as required, and
- rehabilitate windows and doors, as required.

The rehabilitation of the church is part of a larger proposed redevelopment plan of the site, which includes demolishing the existing adjacent Parish Hall and constructing a new residential tower with a new amenity structure that directly connects to the historic church.

***Structural Upgrades:***

The church has been structurally assessed, and will require significant intervention to ensure its longevity and stability through seismic upgrading. All structural rehabilitation work should be sensitive to the historic structure, and will respect character-defining elements.

# CONSERVATION GUIDELINES

## 5.3.1 HERITAGE FEATURE LIST - EXTERIOR

EAST ELEVATION	
MAIN STRUCTURE	
<b>Stonework</b>	Currently parged in cement stucco
<b>Windows</b>	
1.	Pointed arch clerestory window above door
2.	Southernmost window, pointed arch
3.	Centre window, pointed arch
4.	Northernmost window, pointed arch
<b>Eave Brackets</b>	Brackets course along roofline
<b>Entryway</b>	Projecting front-gabled side entryway portico
<b>Stone Buttresses</b>	Currently parged with cement stucco
<b>Window Hoods</b>	Hoods above windows
TOWER	
<b>Stonework</b>	Original stonework (Currently parged in cement stucco)
<b>Crenellated Parapet</b>	
<b>Wood Louvres</b>	Two pointed arch wood louvres (Currently have metal mesh covering)
<b>Brickwork</b>	Exposed brickwork
<b>Anchor Ties</b>	Circular cast-iron anchor ties



NORTH ELEVATION	
MAIN STRUCTURE	
<b>Stonework</b>	Currently parged in cement stucco
<b>Windows</b>	
<b>1.</b>	Large pointed arch window
<b>Louvre</b>	Single wood louvre within gable-end
<b>Buttresses</b>	Parged
<b>Granite Base</b>	
<b>Window Hood</b>	Hood above window
TOWER	
<b>Stonework</b>	Original stonework (Currently parged above roofline in cement stucco)
<b>Crenellated Parapet</b>	
<b>Wood Louvres</b>	Two pointed arch wood louvres (Currently have metal mesh covering)
<b>Brickwork</b>	Exposed brickwork
<b>Anchor Ties</b>	Circular cast-iron anchor ties



SOUTH ELEVATION	
MAIN STRUCTURE	
<b>Stonework</b>	Currently parged in cement stucco
<b>Windows</b>	
1.	Westernmost window, pointed arch
2.	Easternmost window, pointed arch
3.	Westernmost window in bay, pointed arch
4.	Centre window in bay, pointed arch
5.	Easternmost window in bay, pointed arch
<b>Quoining around windows</b>	Quoining around all windows, parged in cement stucco
<b>Continuous Sill</b>	Within bay
<b>Eave Brackets</b>	Located along roofline, within bay
<b>Window Hoods</b>	Hoods above windows
TOWER	
<b>Stonework</b>	Original stonework, exposed
<b>Granite Base</b>	
<b>Granite Sills</b>	
<b>Windows</b>	
1.	Clerestory pointed arch window within doorway assembly
2.	Pointed arch (Currently has exterior lexar covering)
<b>Brickwork</b>	Exposed brickwork on upper storey with detailed brickwork cornice above stone walls
<b>Brick Buttresses</b>	Corner buttresses
<b>Crenellated Parapet</b>	
<b>Wood Louvres</b>	Two pointed arch wood louvres (Currently have metal mesh covering)
<b>Anchor Ties</b>	Circular cast-iron anchor ties

Elements that are NOT included in the Heritage List:

- Copper Gutters (main structure): Within bay
- Copper Flashing (main structure)
- Cross (main structure): Cross on gable-end peak
- Door (tower): Double wood panelled door, ironwork



WEST ELEVATION	
MAIN STRUCTURE	
<b>Stonework</b>	Currently parged in cement stucco
<b>Windows</b>	
1.	Large pointed arch window within front-gabled side extension
2.	Pointed arch window above entry door
3.	Window south of entry door
4.	Window within north facing elevation of side extension, pointed arch
<b>Eave Brackets</b>	Located along roofline
<b>Entryway</b>	Projecting front-gabled side entryway portico
<b>Window Hoods</b>	Hoods above windows
TOWER	
<b>Stonework</b>	Original stonework, exposed
<b>Granite Base</b>	
<b>Granite Sills</b>	
<b>Windows</b>	
1.	Second storey small window, rounded arch
<b>Brickwork</b>	Exposed brickwork on upper storey
<b>Brick Buttresses</b>	Corner buttresses
<b>Crenellated Parapet</b>	
<b>Wood Louvres</b>	Two pointed arch wood louvres (Currently have metal mesh coverings)
<b>Anchor Ties</b>	Circular cast-iron anchor ties

Elements that are NOT included in the Heritage List:

- Door (main structure): Double wood panelled entry door
- Copper Gutters (main structure): Within bay

# CONSERVATION GUIDELINES

## 5.3.2 INTERIOR HERITAGE FEATURE LIST

INTERIOR - NOT INCLUDED IN HERITAGE AGREEMENT	
FEATURE	TREATMENT
<b>Structure</b>	Pointed arch interior structural configuration and detail; retain and repair
<b>Wood Trim</b>	Includes fir column covers; retain in situ as possible
<b>Wood Floor</b>	Remove, for salvage
<b>Altar and Reredos</b>	Reconfigure
<b>Frontals and Eucharist Vestments</b>	Retain
<b>Bishops Throne and Chair</b>	Retain
<b>Altar Cross</b>	Pre-fire (From 2nd HTC); Retain
<b>Altar Lights</b>	Pre-fire (From 2nd HTC); Retain
<b>Credence</b>	Retain
<b>Douglas Lectern</b>	Pre-fire (From 2nd HTC); Retain
<b>Communion Sets</b>	Retain
<b>Font and Ewer</b>	Retain
<b>Regimental Colors</b>	Retain
<b>Cathedral Organ</b>	To be reconfigured and rehabilitated
<b>Pulpit</b>	Installed Feb 19, 1900 - Memorial to Bishop Sillitoe, gift from W.A. (Sillitoe, First Bishop of New Westminster 1879-1894, died June 9 1894); Retain and relocate
<b>Pews</b>	Some to be retained, with some flexible seating installed
<b>Bell</b>	Retain and restore
<b>Vestry</b>	Re-use fir panelling in new locations
<b>Foldstool or Litany Desk</b>	Presented to the Cathedral following the fire, 1899; retain
<b>Light fixtures</b>	Retain and rehabilitate. Lighting to be augmented.
<b>Hardware</b>	Retain as possible
<b>Alter Rail</b>	Originally from Westminster Abbey. Renovated and re-installed in March 1969; retain
<b>Oak Panelling</b>	Salvage as possible

## 5.4 SUSTAINABILITY STRATEGY

Sustainability is most commonly defined as “meeting the needs of the present without compromising the ability of future generations to meet their own needs” (Common Future. The Bruntland Commission). The four-pillar model of sustainability identifies four interlinked dimensions: environmental, economic, social and cultural sustainability, the latter including the built heritage environment.

Current research links sustainability considerations with the conservation of our built and natural environments. A competitive, sustainable economy requires the conservation of heritage buildings as an important component of a high quality urban environment.

*“We need to use our cities, our cultural resources, and our memories in such a way that they are available for future generations to use as well. Historic preservation makes cities viable, makes cities liveable, makes cities equitable.”* (Economic Benefits of Preservation, Sustainability and Historic Preservation)

Heritage conservation and sustainable development can go hand in hand with the mutual effort of all stakeholders. In a practical context, the conservation and re-use of historic structures contributes to environmental sustainability by:

- Reducing solid waste disposal (reduced impact on landfills and their expansions);
- Saving embodied energy (defined as the total expenditure of energy involved in the creation of the building and its constituent materials);
- Conserving historic materials that are significantly less consumptive of energy than many new replacement materials (often local and regional materials, e.g. timber, brick, concrete, plaster, can be preserved and reduce the carbon footprint of manufacturing and transporting new materials).

The following considerations for energy efficiency in historic structures are recommended in the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) and can be utilized for the Holy Trinity Cathedral.

### **Sustainability Considerations**

- Add new features to meet sustainability requirements in a manner that respects the exterior form and minimizes impact on character-defining elements.
- Work with sustainability and conservation specialists to determine the most appropriate solution to sustainability requirements with the least impact on the character-defining elements and overall heritage value of the historic building.
- Comply with energy efficiency objectives in a manner that minimizes impact on the character-defining elements and overall heritage value of the historic building.

### **Energy Efficiency Considerations**

- Identifying the historic place's heritage value and character-defining elements — materials, forms, location, spatial configurations, uses and cultural associations or meanings.
- Complying with energy efficiency objectives in such a manner that character-defining elements are conserved and the heritage value maintained.
- Working with energy efficiency and conservation specialists to determine the most appropriate solution to energy conservation problems that will have the least impact on character-defining elements and the overall heritage value.
- Weighing the total environmental cost of energy saving measures against the overall environmental costs of retaining the existing features or fabric, when deciding whether to proceed with energy saving measures.

### **Buildings: Insulation**

- Exercising caution and foreseeing the potential effects of insulating the building on the envelope system so as to avoid damaging changes such as displacing the dew point and creating thermal bridges.
- Installing thermal insulation in attics and in unheated cellars, if applicable, and crawl spaces to increase the efficiency of the existing mechanical systems unless this could adversely affect the building envelope.



# CONSERVATION GUIDELINES

- Installing insulating material on the inside of masonry and wood-frame walls to increase energy efficiency where there is no character-defining interior moulding around the windows or other character-defining interior architectural detailing.

## **Buildings: Windows**

- Utilizing the inherent energy conserving features of a building by maintaining character-defining windows and/or louvered blinds in good operating condition for natural ventilation.
- Improving thermal efficiency with weather-stripping and storm windows.
- Installing exterior storm windows that do not damage or obscure character-defining windows and frames.

## **Buildings: Mechanical Systems**

- Improving the energy efficiency of existing mechanical systems by installing insulation in attics and basements, unless this could adversely affect the building envelope.

The conservation recommendations for the Holy Trinity Cathedral recognize the need for sustainable interventions and adhere to the *Standards and Guidelines* as outlined.

## 5.5 HERITAGE EQUIVALENCIES AND EXEMPTIONS

As a Municipal Heritage Register-listed site, the Holy Trinity Cathedral will be eligible for heritage variances that will enable a higher degree of heritage conservation and retention of original material, including considerations available under the following legislation.

### 5.5.1 BRITISH COLUMBIA BUILDING CODE

Building Code upgrading ensures life safety and long-term protection for historic resources. It is important to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements do not recognize the

individual requirements and inherent strengths of each building. Over the past few years, a number of equivalencies have been developed and adopted in the British Columbia Building Code that enable more sensitive and appropriate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements. Table A-1.1.1.1., found in Appendix A of the Code, outlines the “Alternative Compliance Methods for Heritage Buildings.”

Given that Code compliance is such a significant factor in the conservation of heritage buildings, the most important consideration is to provide viable economic methods of achieving building upgrades. In addition to the equivalencies offered under the current Code, the City can also accept the report of a Building Code Engineer as to acceptable levels of code performance.

### 5.5.2 ENERGY EFFICIENCY ACT

The provincial Energy Efficiency Act (Energy Efficiency Standards Regulation) was amended in 2009 to exempt buildings protected through heritage designation or listed on a community heritage register from compliance with the regulations. Energy Efficiency standards therefore do not apply to windows, glazing products, door slabs or products installed in heritage buildings. This means that exemptions can be allowed to energy upgrading measures that would destroy heritage character-defining elements such as original windows and doors.

These provisions do not preclude that heritage buildings must be made more energy efficient, but they do allow a more sensitive approach of alternate compliance to individual situations and a higher degree of retained integrity. Increased energy performance can be provided through non-intrusive methods of alternate compliance, such as improved insulation and mechanical systems. Please refer to the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) for further detail about “Energy Efficiency Considerations.”

## 6. CONSERVATION RECOMMENDATIONS - EXTERIOR

A condition review of the Holy Trinity Cathedral was carried out during a site visit in January, 2014. The recommendations for the preservation and rehabilitation of the historic façades are based on the site review and archival documents that provide valuable information about the original appearance of the historic building. The following chapter describes the materials, physical condition and recommended conservation strategy for the Holy Trinity Cathedral, based on Parks Canada's *Standard and Guidelines for the Conservation of Historic Places in Canada* (2010).



Exterior of the Holy Trinity Cathedral from Carnarvon Street.

### 6.1 SITE

Holy Trinity Cathedral remains in its original location. The church sits in a prominent central location, on a sloping site between Clarkson and Carnarvon Streets, near the Columbia Skytrain Station. The grading originally was less steep, as demonstrated in archival photographs. The current steep grading to the south of the church provides difficult access to the main entryway, as approached from Clarkson Street. As a result, the doorway through the tower is no longer used as a main entryway. Currently, the south, east and north elevations consist of soil in direct contact with the exterior walls and foundation.

The site is proposed to be preserved and fully rehabilitated as part of the proposed redevelopment scheme. The church will be stabilized, and the re-graded site will sit atop the proposed basement extension, and will be accessed by stairs from Clarkson Street. As a result of the redevelopment scheme, existing vegetation will be removed.

#### Conservation Strategy: Preservation

- Preserve the original location of the building. All rehabilitation work should occur within the property lines.
- Drainage issues should be addressed through the provision of adequate site drainage measures.
- Rehabilitate site to meet functional and access requirements.

# CONSERVATION RECOMMENDATIONS

## - EXTERIOR

### 6.2 OVERALL FORM, SCALE AND MASSING

Holy Trinity Cathedral features an ecclesiastical form, scale and massing as expressed by its irregular picturesque shape, steeply-pitched rooflines, and offset buttressed tower with a crenellated roof-line. The form, scale and massing of the church is a character-defining element of the historic structure, and should be preserved. The church lost much of its overall material following the fire of 1898, however the front and some side walls were retained due to the fire resistant nature of the heavy sandstone walls in the tower and front elevation of the church. The full form of the original church was re-built following the fire, with the addition of a 13 foot extension towards Carnarvon Street. The church in its existing form, which is original to the 1898-99 rebuilt Cathedral, should be retained during rehabilitation work. Any additions or alterations of the form, scale and massing should be reviewed by the Heritage Consultant.

#### **Conservation Strategy: Preservation**

- Preserve the overall form, scale and massing of the building.

### 6.3 EXTERIOR WALLS

Some of the original sandstone walls were destroyed in the fire of 1898, with the exception of the tower base and some walls on the front and side elevations. Currently, the stone walls of the church are rendered in cement parging, and only the stonework on the tower is exposed. The parging was installed following the reconstruction of the church, due to the scorch marks from the fire on the original exterior walls. The exterior parging continues on all exterior elevations of the church, and features a large raked rectangular pattern. The window quoining and exterior buttresses are also parged in stucco. The parging appears to be in sound condition on most exterior walls, with minimal cracking or damage visible. A number of locations also demonstrate heavy organic build-up, particularly the north and east elevations.

Further investigation is required into the condition of the cement parging and the structural stone and brickwork underneath. The parging is not sympathetic to the historic character of the church, and could be removed, if technically feasible. It is unclear at this time the condition or material of the substrate on all exterior walls, so parging should be carefully removed in an inconspicuous location. If parging is in good condition, and full removal is not viable, then the cement parging should be repaired and prepared for repainting.

#### **Conservation Strategy: Preservation and Rehabilitation**

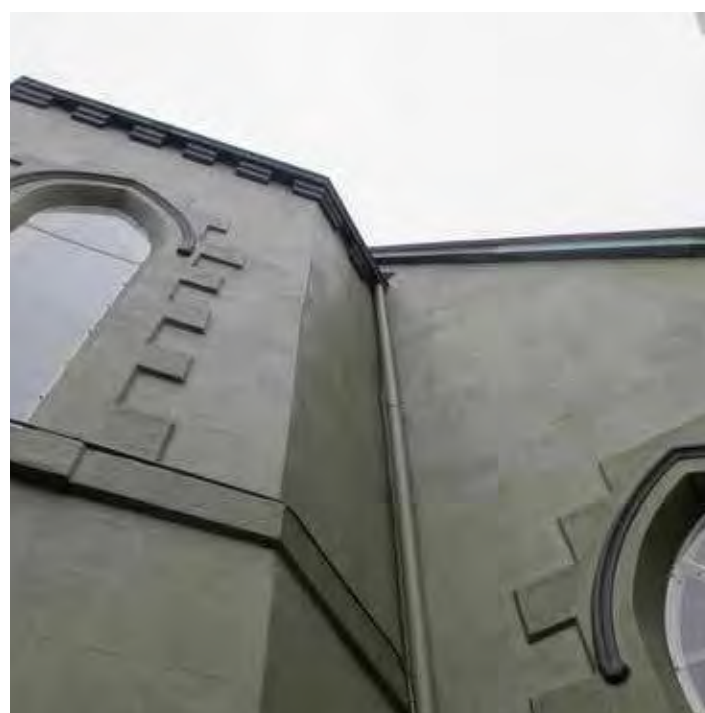
- Undertake complete condition survey of all exterior surfaces.
- Investigate the condition of the parging, and determine if removal is possible. Remove parging in an inconspicuous sample location, to determine if full removal is possible. Heritage Consultant can review once destructive testing takes place.
- If removal of parging is possible, ensure substrate materials are protected during rehabilitation work. If not, repair parging as required.



- Brick and stonework may require repointing. Cleaning, repair and repointing specifications to be reviewed by Heritage Consultant. When cleaning, use a soft natural bristle brush and mild water rinse. Only approved chemical restoration cleaners may be used. Sandblasting or any other abrasive cleaning method of any kind is not permitted, due to the delicate nature of the sandstone.
- Repoint the exposed stonework by raking out loose mortar material to a uniform depth. Take care that the brittle sandstone is not damaged. Work should only be undertaken by skilled masons. Do not use power tools to cut or grind joints; hand-held grinders may be used for the initial raking of horizontal joints after test samples have been undertaken and only if approved by the Heritage Consultant. Repoint mortar joints with new mortar that matches existing in consistency, composition, strength, colour and pointing profile; note the finely tooled profile of the original mortar joints.
- If parging is to be retained, then repair as required and prepare surfaces for repainting. Paint exterior surfaces according to colour schedule devised by Heritage Consultant.



Cracking cement parging on buttress.



Exterior cement parging.



# CONSERVATION RECOMMENDATIONS

## - EXTERIOR

### 6.4 TOWER

The original wooden tower of the earlier structure was pulled down in 1880, and rebuilt in stone construction. The stonework on the tower survived the 1898 fire. The stone and brickwork on the tower appear to be in fair-to-good condition, with minor evidence of staining or organic build-up on the brickwork. The fenestration openings within the tower are original, and new stained glass windows and wooden door were installed following the fire of 1898. The tower with its stone base and decorative brickwork between the stone base and brick upper storey and crenellated roofline is a character-defining element of the historic place, and should be preserved.

#### 6.4.1 TOWER BRICKWORK

The church features exposed brickwork on the uppermost storey of the tower, and on the tower buttresses. The bricks are high-fire bricks, varying from dark red to light buff, and are laid in a varied bond pattern. A decorative brick cornice sits atop the stone second storey, and features an exposed brick fascia, dentil course, corbelling and a decorative row of bricks on the diagonal.

The brick appears to be in fair condition, with evidence of staining and organic build-up. The mortar joints appear to be in poor condition, with holes and cracking on most elevations. An initial visual review suggests the brickwork will require moderate cleaning, and may require repointing. Further investigation is required to determine the full condition of all exterior brickwork on the tower.

#### **Conservation Strategy: Preservation and Rehabilitation**

- Preserve the brickwork whenever possible, and replace in kind brickwork that is too deteriorated for safe use.
- Undertake complete condition survey of all brick surfaces.
- Cleaning, repair and repointing specifications to be reviewed by Heritage Consultant.
- All redundant metal inserts and services mounted on the exterior walls should be removed or reconfigured.
- Any holes in the brick should be filled or replaced to match existing.

- Overall cleaning of the brick on the exterior front façade and rear elevation should be carried out. Use a soft natural bristle brush and mild water rinse. Only approved chemical restoration cleaners may be used. Sandblasting or any other abrasive cleaning method of any kind is not permitted.
- Repoint the brickwork by raking out loose mortar material to a uniform depth. Take care that the arrises of the brick are not damaged. Work should only be undertaken by skilled masons. Do not use power tools to cut or grind joints; hand-held grinders may be used for the initial raking of horizontal joints after test samples have been undertaken and only if approved by the Heritage Consultant. Repoint mortar joints with new mortar that matches existing in consistency, composition, strength, colour and pointing profile; note the finely tooled profile of the original mortar joints.
- Retain sound exterior masonry or deteriorated exterior masonry that can be repaired.



Brickwork on tower.

#### 6.4.2 TOWER STONEMWORK

The cathedral features original sandstone walls that survived the fire in 1898. The imported Saltspring Island sandstone is a character-defining element of the historic church, and should be preserved. The stone appears to be in good condition, but the mortar joints should be inspected to determine their condition. The mortar appears to be a new intervention, and does not match the historic original tuck pointed mortar joints that are visible on the narrow north wall of the tower, between the buttress and the west elevation of the church. If possible, the original mortar joint profile should be reinstated on the remaining elevations of the tower.

#### Conservation Strategy: Preservation and Rehabilitation

- Preserve the stone tower walls whenever possible, and replace in kind stonework that is too deteriorated for safe use.
- Undertake complete condition survey of all stone surfaces.
- Cleaning, repair and repointing specifications to be reviewed by Heritage Consultant.
- All redundant metal inserts and services mounted on the exterior walls should be removed or reconfigured.
- Any holes in the stone should be filled or replaced to match existing.
- Overall cleaning of the sandstone on the exterior tower walls should be carried out. Use a soft natural bristle brush and mild water rinse. Only approved chemical restoration cleaners may be used. Sandblasting or any other abrasive cleaning method of any kind is not permitted.



Early pointing.

- If required, repoint the stonework by raking out loose mortar material to a uniform depth. Work should only be undertaken by skilled masons. Do not use power tools to cut or grind joints; hand-held grinders may be used for the initial raking of joints after test samples have been undertaken and only if approved by the Heritage Consultant. Repoint mortar joints with new mortar that matches existing in consistency, composition, strength, colour and pointing profile; note the finely tooled profile of the original mortar joints. The new mortar should match the original tuck pointed mortar joints, which are visible on the narrow north wall of the tower, between the buttress and the west elevation of the church.



Tower base.

# CONSERVATION RECOMMENDATIONS

## - EXTERIOR

### 6.4.3 PARAPET CAP FLASHING

Once access is available, the parapet cap flashing over the crenellated tower walls should be investigated. New flashing will be required, to ensure the prolonged protection of the masonry walls. IF new flashing is required, the colour and material should be reviewed by Heritage Consultant.

#### **Conservation Strategy: Investigate + Rehabilitation**

- Evaluate the overall condition of the parapet cap flashing to determine whether more than protection, maintenance and limited repair or replacement in kind is required.
- Remove corrosion that may be discovered upon close inspection, patch and repair, caulk joints as required.
- Repair or replace deteriorated flashing, as required. Repairs should be physically and visually compatible.
- If new flashings are installed, ensure that the colour is compatible with the overall colour scheme. Heritage Consultant should review, as part of the overall restoration colour scheme.

### 6.5 FENESTRATION

*Windows and doors are among the most conspicuous feature of any building. In addition to their function — providing light, views, fresh air and access to the building — their arrangement and design is fundamental to the building's appearance and heritage value. Each element of fenestration is, in itself, a complex assembly whose function and operation must be considered as part of its conservation. – Standards and Guidelines for the Conservation of Historic Places in Canada (2010).*

#### 6.5.1 WINDOWS

Holy Trinity Cathedral features many character-defining windows that should be preserved. An initial visual ground review suggest the windows appear to be in fair to good condition, with evidence of some damage to the window lites and sashes. The windows of the Holy Trinity Cathedral feature distinct symbols significant to the church's history. There are three unique types of stained glass windows, each with varying levels of detail and manufactured by different sources.

The three windows within the church's apse are symbolic. Henry Bloomfield and Sons made windows at the turn of the Century. James Bloomfield designed them in Manchester, England and Charles Bloomfield made and assembled them in New Westminster. The left window is believed to be among the first depictions of First Nations people in stained glass. The right window was of gift of the Grand Lodge of British Columbia of which Bishop Sillitoe was Grand Chaplain. It contains symbols of the Masonic Order and represents the Holy Spirit descending upon the Apostles at Pentecost. The Bloomfield sons gave Saint Peter, the central figure, the face of their father, Henry. The central window represents Christ the King enthroned in glory.

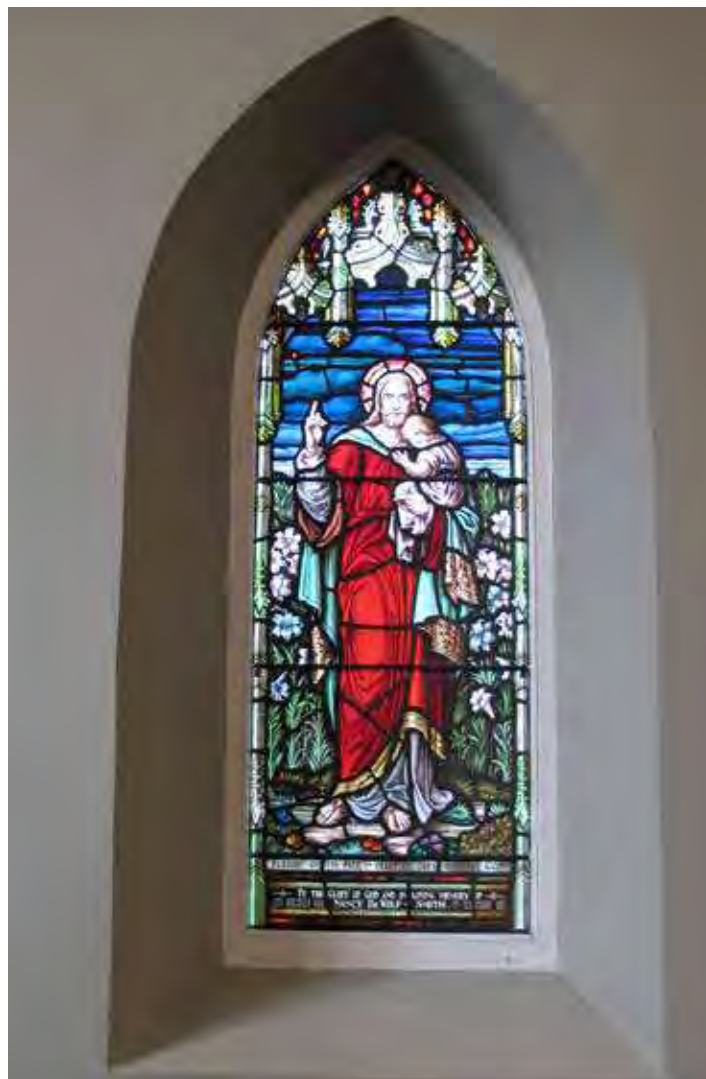


Another significant window is located in the west transept, on the north wall across from the tower. This detailed stained-glass window was manufactured by R. McCausland, in Toronto in 1941. At the base of the window, the words “Blessed are the pure in heart, for they shall see God” and “To the glory of God and in loving memory of Nancy DeWolf Smith” are depicted.

The aforementioned windows should be preserved. Additional windows should also be retained, if possible. Each window should be investigated to determine their full condition, and repaired as required.

#### **Conservation Strategy: Preservation and Rehabilitation**

- Inspect for condition and complete detailed inventory to determine extent of recommended repair or replacement.
- Retain existing window sashes/leading; repair as required; install replacement matching sashes/leading where missing or beyond repair.
- Preserve and repair as required, using in kind repair techniques where feasible.
- Overhaul, tighten/reinforce joints. Repair frame, trim and counterbalances.
- Each window should be made weather tight by re-puttying and weather-stripping as required.
- New glass storm windows should be installed to ensure the prolonged protection of the important stained-glass windows.
- Retain historic glass, where possible. All window repairs should be undertaken by a contractor skilled in stained leaded-glass heritage restoration.
- Any replacement glass to be single glazing, and visually and physically compatible with existing.
- Prime and repaint exterior trim, if any, as required in appropriate colour, based on colour schedule devised by Heritage Consultant.



McCausland window.



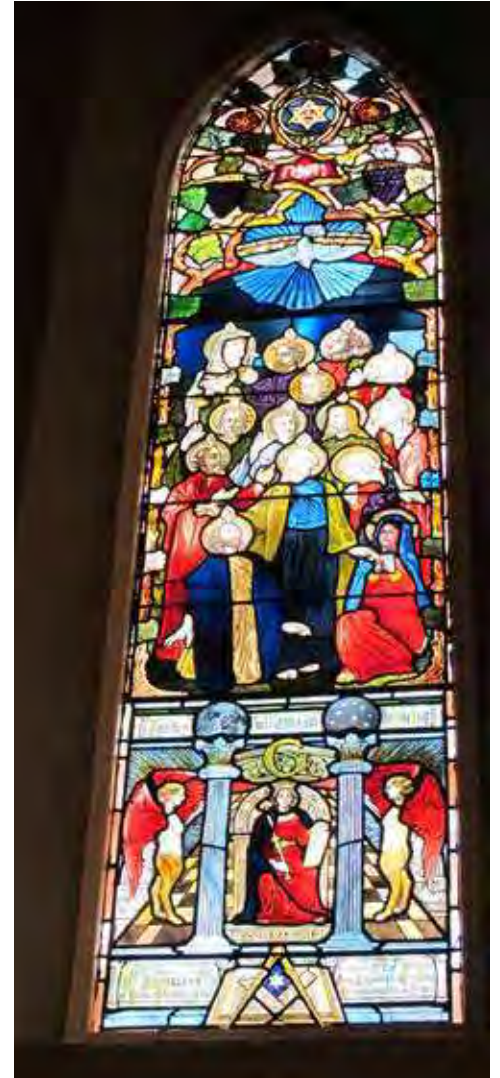
# CONSERVATION RECOMMENDATIONS - EXTERIOR



Left sanctuary window.



Centre sanctuary window.



Right sanctuary window.

### 6.5.2 DOORS

The main entryway to the church was relocated from within the south elevation of the tower, to the west elevation of the church. An additional door exists on the east elevation. All exterior doors should be retained and repaired, as required.

#### Conservation Strategy: Rehabilitation

- Retain the door openings in their original locations, and preserve and repair all original doors.
- Any new doors should be visually compatible with the historic character of the building.

### 6.6 ROOF

Originally, the Holy Trinity Cathedral featured clerestory windows below the roof line and wood shingles as the cladding material. Following the fire of 1898, the roof was simplified, the clerestory windows removed, and the roof rebuilt with slate tile, which is a more fire resistant material. The rebuilt 1898 roof configuration has been retained over the years, but new roof cladding has been installed. The current cladding consists of metal tiles with a composite encasement, and is not sympathetic to the historic character of the church. It is recommended that the 1898 slate roofing material should be restored, if possible. Wide corbel trim runs the full length of the side elevations, which should be preserved during rehabilitation work.

Copper gutters and flashing are installed on the side elevations of the church. Further investigation is required into the condition of the copper, and whether it can be retained.

#### Conservation Recommendation: Rehabilitation

- Preserve the roof structure in its current configuration.
- Roofing membrane and cladding system should be rehabilitated. Slate tile is the preferred material, and GAF TruSlate or traditional slates are recommended. Heritage Consultant can review material, when available.

- Design and install adequate rainwater disposal system and ensure proper drainage from the site is maintained. Copper gutters with galvanized steel downspouts are recommended. Paint all drainage system elements according to colour schedule devised by Heritage Consultant, as required.



Current roofing tile.



Roof over apse.



# CONSERVATION RECOMMENDATIONS

## - EXTERIOR

### 5.6.1 CHIMNEY

Holy Trinity Cathedral features an external brick chimney on the east elevation of the church. The red brick is laid in a stretcher bond, with a simple concrete pot and no additional decorative features. The chimney should be retained, if required as part of the upgrade of mechanical services. The chimney is not a character-defining element and can be removed as part of the seismic upgrading if redundant.

#### **Conservation Recommendation: Rehabilitation (if retained)**

- Chimney may require structural stabilization.
- Investigate condition of brickwork. If required, brickwork may be repointed and cleaned using a natural bristle brush and mild rinse detergent.
- Brickwork may require repointing. Paint chimney according to colour schedule devised by Heritage Consultant.

### 6.7 EXTERIOR COLOUR SCHEDULE

Part of the Restoration process is to finish the building in historically appropriate paint colours. A restoration colour scheme will be developed in conjunction with the project architect.

The building displays areas where there was original applied paint. The final colour scheme will be based on a colour palette that will be determined by sampling. Onsite testing will be carried out once access is available, and paint samples assessed by microscopic analysis in order to reveal the original colour scheme of the structure.

#### **Conservation Recommendation: Restoration**

- Determine an appropriate historic restoration colour scheme for exterior painted finishes.



Chimney.

## 7. CONSERVATION RECOMMENDATIONS – INTERIOR

The interior of the third Holy Trinity Cathedral appears as completed in 1899. G.W. Grant was the architect. The interior is based on the style of St. Paul's Church, Kensington, London.

*"Interior features can include elements such as interior walls, floors and ceilings, mouldings, staircases, fireplace mantels, faucets, sinks, built-in cabinets, light fixtures, hardware, radiators, mail chutes, telephone booths and elevators. Because their heritage value resides not only in their physical characteristics, but also in their location in the historic building, it is important to protect them from removal. This is particularly true of doors, banisters, church pews, fireplace mantels, sinks and light fixtures, which are often replaced instead of being upgraded. Reuse in their original location not only protects their heritage value, but is also a more sustainable approach to conserving these artefacts." Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*

Building Code upgrading is one of the most important aspects of heritage building rehabilitation, as it ensures life safety and long-term protection for the resource. However, the interior features of an historic property are often heavily altered in the process. The British Columbia Building Code offers equivalencies and exemptions to heritage buildings, which enable a higher degree of heritage conservation and retention of original material. The following guidelines pertaining to Health, Safety and Security Considerations from the *Standards and Guidelines* should be followed when faced with the conservation of interior character-defining elements:

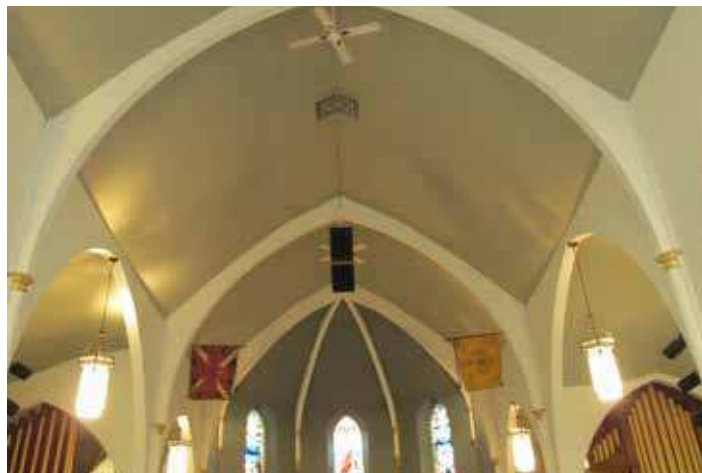
- Upgrade interior features to meet health, safety and security requirements, in a manner that preserves the existing feature and minimizes impact on its heritage value.
- Work with code specialists to determine the most appropriate solution to health, safety and security requirements with the least impact on the character-

defining elements and overall heritage value of the historic building.

- Explore all options for modifications to existing interior features to meet functional requirements prior to considering removal or replacement.
- Remove or encapsulate hazardous materials, such as friable asbestos insulation, using the least-invasive abatement methods possible, and only after thorough testing has been conducted.
- Install sensitively designed fire-suppression systems that retain character-defining elements and respect heritage value.

### 7.1 STRUCTURE

The vaulted sanctuary is supported by the thick exterior walls and two rows of 6 tall timber columns that run parallel through the full length of the church. The columns connect to one another by pointed arches that run both north and south. As the church features unreinforced masonry exterior walls, seismic upgrading will be required to ensure the long-term conservation of the historic church. Seismic upgrading should be sensitive to the historic fabric of the church, and should be concealed within the existing structure as much as possible. Interior walls may be rehabilitated to accommodate additional bracing, but all work should be inconspicuous and sensitive to interior features.



Internal structure, view of ceiling.



# CONSERVATION RECOMMENDATIONS - INTERIOR



Internal structure, view of apse.

## 7.2 WALLS AND CEILINGS

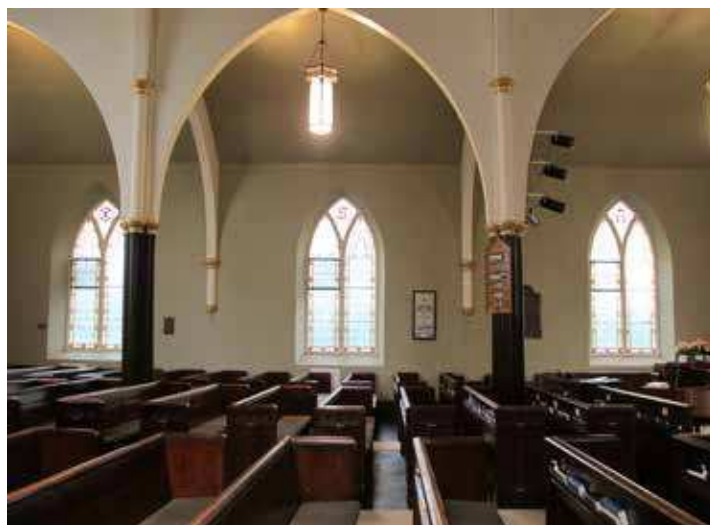
The interior of the church features simple, unadorned lath and plaster walls. Due to the simplicity of the interior walls, this is the preferred location for rehabilitation work related to seismic upgrading, as the interior wall surfaces can easily be recreated. Rehabilitation work should be as minimally invasive as possible, and refinished walls should be consistent in appearance to their original condition.

Most interior walls, whether plaster, gypsum or other sheathing material, are covered in a protective coating of paint, which is fairly durable. Any dirt that gets brought in to the building may become airborne, which comes to rest on walls and ceilings, or additionally may be deposited on walls by the touch of people, furniture or other objects. Extensive dirt build up, most often seen around radiators and air grills, may damage the walls and ceiling finishes, and should be cleaned with appropriate conservation methods to ensure continued preservation.

### Conservation Recommendation: Rehabilitation and Maintenance

- Preserve original interior walls and ceilings and their original finishes, wherever possible.
- Due to the need for seismic upgrading, it is acceptable to apply any seismic interventions within the interior wall structure. Seismic bracing will be installed within the perimeter wall structure, and will involve cutting vertically between existing studs. Steel bracing will be installed within the openings, and will be attached to the stonework from the interior. Following installation of bracing elements, lath and plaster should be reinstalled over all openings to match original. The interior walls surfaces will then require repainting.

- Maintain interior walls and ceilings by routine cleaning using dry methods such as dusting, light vacuuming with a soft dusting tool or with a treated dust cloth. Ledges and other horizontal elements collect dust and dirt at a much faster rate than vertical surfaces, and should be addressed more frequently.
- Only oil based paint, varnish and modern coatings can be safely washed using wet methods.



Internal structure, view through arches.

## 7.3 WOODEN FLOOR

Holy Trinity Cathedral features original 2-3/8" tongue and groove dark-stained fir floors. The floors demonstrate heavy wear-and-tear, but appear to be in sound condition. The floors are original to the reconstructed 1898 building, and are a significant element of the church's interior.

The proposed seismic upgrading may involve the rehabilitation to the floor plate of the sanctuary, and may require the original fir floors to be removed to allow for the installation of a structural diaphragm. If this is the case, then the flooring

# CONSERVATION RECOMMENDATIONS

## - INTERIOR

should be well documented, and carefully salvaged and stored during rehabilitation work. During this time, the floors should be inspected to determine if reinstatement of the original material is viable, or if new flooring is required. If new flooring is required due to the condition of the original material, then the new flooring should be visually consistent with the original 2-3/8" tongue and groove dark-stained fir floors. Heritage Consultant can review specifications, if applicable.

### **Conservation Recommendation: Preservation and Maintenance**

- Review worn areas of wooden flooring. Repair may require careful removal and examination. Turn individual boards over, if the underside is not deteriorated. Where floor boards have deteriorated beyond repair, replace in-kind as required; install new boards in inconspicuous locations, and retain original boards wherever appropriate.
- If removal is required, then carefully salvage all wooden floorboards and store them in a dry and secure location throughout the entirety of the rehabilitation work. The original flooring should be inspected to determine the viability of reinstatement and restoration.
- If new flooring is required due to seismic rehabilitation and/or poor condition of the original flooring, then new flooring should be 2-3/8" tongue and groove dark-stained fir floors, to match original.
- High-traffic floor treatment may be required, in order to protect the new floors from wear and tear. Consider new carpeting in areas of high traffic that are currently exposed.
- Inspect the flooring to determine if any boards require repair or replacement. Flooring should be cleaned prior to any repair.
- For high traffic areas, treat the floor with a polish with high content of carnauba polish, mixed with high quality beeswax. A polyurethane varnish may be used if necessary, however it tends to provide an "artificial" appearance.



Current condition of floor.

### **7.4 WOOD TRIM**

The Church features wide floor boards throughout the sanctuary and in adjacent rooms, and plywood wainscot around the perimeter walls. The boards are 15" in height, and are finished in a dark stain. The trim appears to be original to the reconstructed 1898 building, and should be retained. The plywood wainscot will likely be replaced following seismic upgrade work along the perimeter walls.

### **Conservation Recommendation: Preservation and Restoration**

- Preserve the original wood trim, where possible.
- Consider stripping and refinishing painted wood trim to match original.
- Consider replacing the plywood wainscot with tongue and groove wainscot boards, which is a more historically appropriate material that would enable a higher degree of accurate interior restoration. The new wainscot should be installed following seismic upgrading and rehabilitation to perimeter walls.

## 8. MAINTENANCE PLAN

A Maintenance Plan should be adopted by the property owner, who is responsible for the long-term protection of the heritage features of the historic building. The Maintenance Plan should include provisions for:

- Copies of the Maintenance Plan and this Conservation Plan to be incorporated into the terms of reference for the management and maintenance contract for the building;
- Cyclical maintenance procedures to be adopted as outlined below;
- Record drawings and photos of the building to be kept by the management / maintenance contractor; and
- Records of all maintenance procedures to be kept by the owner.

A thorough Maintenance Plan will ensure the integrity of Holy Trinity Cathedral is preserved. If existing materials are regularly maintained and deterioration is significantly reduced or prevented, the integrity of materials and workmanship of the building will be protected. Proper maintenance is the most cost effective method of extending the life of a building, and preserving its character-defining elements. The survival of historic buildings in good condition is primarily due to regular upkeep and the preservation of historic materials.

### 8.1 MAINTENANCE GUIDELINES

A maintenance schedule should be formulated that adheres to the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010). As defined by the Standards and Guidelines, maintenance is defined as:

*Routine, cyclical, non-destructive actions necessary to slow the deterioration of a historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save.*

The assumption that newly renovated buildings become immune to deterioration and require less maintenance is a falsehood. Rather, newly renovated buildings require heightened vigilance to spot errors in construction where previous problems had not occurred, and where deterioration may gain a foothold.

Routine maintenance keeps water out of the building, which is the single most damaging element to a heritage building. Maintenance also prevents damage by sun, wind, snow, frost and all weather; prevents damage by insects and vermin; and aids in protecting all parts of the building against deterioration. The effort and expense expended on an aggressive Maintenance Plan will not only lead to a higher degree of preservation, but also over time potentially save large amount of money otherwise required for later repairs.

### 8.2 PERMITTING

Repair activities, such as simple in-kind repair of materials, or repainting in the same colour, should be exempt from requirements for City permits. Other more intensive activities will require the issuance of a Heritage Alteration Permit.

### 8.3 ROUTINE, CYCLICAL AND NON-DESTRUCTIVE CLEANING

Following the *Standards and Guidelines for the Conservation of Historic Places in Canada*, be mindful of the principle that recommends “using the gentlest means possible”. Any cleaning procedures should be undertaken on a routine basis and should be undertaken with non-destructive methods. Cleaning should be limited to the exterior materials such as masonry wall surfaces and wood elements such as trim. All of these elements are usually easily cleaned, simply with a soft, natural bristle brush, without water, to remove dirt and other material. If a more intensive cleaning is required, this can be accomplished with warm water, mild detergent and a soft bristle brush. High-pressure washing, sandblasting or other abrasive cleaning methods should not be undertaken under any circumstances.



## 8.4 REPAIRS AND REPLACEMENT OF DETERIORATED MATERIALS

Interventions such as repairs and replacements must conform to the *Standards and Guidelines for the Conservation of Historic Places in Canada*. The building's character-defining elements – characteristics of the building that contribute to its heritage value (and identified in the Statement of Significance) such as materials, form, configuration, etc. - must be conserved, referencing the following principles to guide interventions:

- An approach of minimal intervention must be adopted - where intervention is carried out it will be by the least intrusive and most gentle means possible.
- Repair rather than replace character-defining elements.
- Repair character-defining elements using recognized conservation methods.
- Replace 'in kind' extensively deteriorated or missing parts of character-defining elements.
- Make interventions physically and visually compatible with the historic place.

## 8.5 INSPECTIONS

Inspections are a key element in the Maintenance Plan, and should be carried out by a qualified person or firm, preferably with experience in the assessment of heritage buildings. These inspections should be conducted on a regular and timely schedule. The inspection should address all aspects of the building including exterior, interior and site conditions. It makes good sense to inspect a building in wet weather, as well as in dry, in order to see how water runs off – or through – a building.

From this inspection, an inspection report should be compiled that will include notes, sketches and observations. It is helpful for the inspector to have copies of the building's elevation drawings on which to mark areas of concern such as cracks, staining and rot. These observations can then be included in the report. The report need not be overly complicated or formal, but must be thorough, clear and concise. Issues of

concern, taken from the report should then be entered in a log book so that corrective action can be documented and tracked. Major issues of concern should be extracted from the report by the property manager.

An appropriate schedule for regular, periodic inspections would be twice a year, preferably during spring and fall. The spring inspection should be more rigorous since in spring moisture-related deterioration is most visible, and because needed work, such as painting, can be completed during the good weather in summer. The fall inspection should focus on seasonal issues such as weather-sealants, mechanical (heating) systems and drainage issues. Comprehensive inspections should occur at five-year periods, comparing records from previous inspections and the original work, particularly in monitoring structural movement and durability of utilities. Inspections should also occur after major storms.

## 8.6 INFORMATION FILE

The building should have its own information file where an inspection report can be filed. This file should also contain the log book that itemizes problems and corrective action. Additionally, this file should contain building plans, building permits, heritage reports, photographs and other relevant documentation so that a complete understanding of the building and its evolution is readily available. This will aid in determining appropriate interventions when needed.

The file should also contain a list outlining the finishes and materials used, and information detailing where they are available (store, supplier). The building owner should keep on hand a stock of spare materials for minor repairs.

### 8.6.1 LOG BOOK

The maintenance log book is an important maintenance tool that should be kept to record all maintenance activities, recurring problems and building observations and will assist in the overall maintenance planning of the building. Routine maintenance work should be noted in the maintenance log

to keep track of past and future activities. All items noted on the maintenance log should indicate the date, problem, type of repair, location and all other observations and information pertaining to each specific maintenance activity. Each log should include the full list of recommended maintenance and inspection areas noted in this Maintenance Plan, to ensure a record of all activities is maintained. A full record of these activities will help in planning future repairs and provide valuable building information for all parties involved in the overall maintenance and operation of the building, and will provide essential information for long term programming and determining of future budgets. It will also serve as a reminder to amend the maintenance and inspection activities should new issues be discovered or previous recommendations prove inaccurate. The log book will also indicate unexpectedly repeated repairs, which may help in solving more serious problems that may arise in the historic building. The log book is a living document that will require constant adding to, and should be kept in the information file along with other documentation as noted.

## 8.7 EXTERIOR MAINTENANCE

Water, in all its forms and sources (rain, snow, frost, rising ground water, leaking pipes, back-splash, etc.) is the single most damaging element to historic buildings.

The most common place for water to enter a building is through the roof. Keeping roofs repaired or renewed is the most cost-effective maintenance option. Evidence of a small interior leak should be viewed as a warning for a much larger and worrisome water damage problem elsewhere and should be fixed immediately.

### 8.7.1 INSPECTION CHECKLIST

The following checklist considers a wide range of potential problems specific to Holy Trinity Cathedral, such as water/moisture penetration, material deterioration and structural deterioration.

## EXTERIOR INSPECTION

### **Site Inspection:**

- Is the site well drained? Is there pooling of water?
- Does water drain away from foundation?

### **Foundation:**

- Does pointing need repair?
- Paint peeling? Cracking?
- Is bedding mortar sound?
- Moisture: Is rising damp present?
- Is there back splashing from ground to structure?
- Is there any moisture problem general or local?
- Is spalling from freezing present? (Flakes or powder?)
- Is efflorescence present?
- Is spalling from sub-fluorescence present?
- Is damp proof course present?
- Are there shrinkage cracks in the foundation?
- Are there movement cracks in the foundation?
- Is crack monitoring required?
- Is uneven foundation settlement evident?
- Are foundation crawl space vents clear and working?
- Do foundation openings (doors and windows) show: rust; rot; insect attack; paint failure; soil build-up?
- Deflection of lintels?

### **Masonry:**

- Are moisture problems present? (Rising damp, rain penetration, condensation, water run-off from roof, sills, or ledges?)
- Is spalling from freezing present? Location?
- Is efflorescence present? Location?
- Is spalling from sub-fluorescence present? Location?
- Need for pointing repair? Condition of existing pointing and re-pointing?
- Is bedding mortar sound?
- Are weep holes present and open?
- Are there cracks due to shrinking and expansion?
- Are there cracks due to structural movement?
- Are there unexplained cracks?

# MAINTENANCE PLAN

- Do cracks require continued monitoring?
- Are there signs of steel or iron corrosion?
- Are there stains present? Rust, copper, organic, paints, oils / tars? Cause?
- Do the surfaces need cleaning?

## Wood Elements:

- Are there moisture problems present? (Rising damp, rain penetration, condensation moisture from plants, water run-off from roof, sills, or ledges?)
- Is there insect attack present? Where and probable source?
- Is there fungal attack present? Where and probable source?
- Are there any other forms of biological attack? (Moss, birds, etc.) Where and probable source?
- Is any wood surface damaged from UV radiation? (bleached surface, loose surface fibres)
- Is any wood warped, cupped or twisted?
- Is any wood split? Are there loose knots?
- Are nails pulling loose or rusted?
- Is there any staining of wood elements? Source?

## Condition of Exterior Painted Materials:

- Paint shows: blistering, sagging or wrinkling, alligatoring, peeling. Cause?
- Paint has the following stains: rust, bleeding knots, mildew, etc. Cause?
- Paint cleanliness, especially at air vents?

## Entries:

- Are steps safe? Handrails secure?
- Attachment – are porches, steps, etc. securely connected to the building?

## Windows:

- Is there glass cracked or missing?
- If the glazing is puttied has it gone brittle and cracked? Fallen out? Painted to shed water?
- Is there condensation or water damage to the paint?

- Is the frame free from distortion?
- Do sills show weathering or deterioration?
- Are drip mouldings/flushing above the windows properly shedding water?
- Is the caulking between the frame and the cladding in good condition?

## Doors:

- Do the doors create a good seal when closed?
- Are the hinges sprung? In need of lubrication?
- Do locks and latches work freely?
- If glazed, is the glass in good condition? Does the putty need repair?
- Are door frames wicking up water? Where? Why?
- Are door frames caulked at the cladding? Is the caulking in good condition?
- What is the condition of the sill?

## Gutters and Downspouts:

- Are downspouts leaking? Clogged? Are there holes or corrosion? (Water against structure)
- Are downspouts complete without any missing sections? Are they properly connected?
- Is the water being effectively carried away from the downspout by a drainage system?
- Do downspouts drain completely away?

## Roof:

- Are there water blockage points?
- Is the leading edge of the roof wet?
- Is there evidence of biological attack? (Fungus, moss, birds, insects)
- Are slate tiles damaged or severely weathered? Are they split or lifting?
- Are flashings well positioned and sealed?
- Are metal joints and seams sound?
- If there is a lightning protection system are the cables properly connected and grounded?
- Does the soffit show any signs of water damage? Insect or bird infestation?

## INTERIOR INSPECTION

### **Basement/ Mechanical Room**

- Are there signs of moisture damage to the walls? Is masonry cracked, discoloured, spalling?
- Is wood cracked, peeling rotting? Does it appear wet when surroundings are dry?
- Are there signs of past flooding, or leaks from the floor above? Is the floor damp?
- Are walls even or buckling or cracked? Is the floor cracked or heaved?
- Are there signs of insect or rodent infestation?

### **Sanctuary**

- Materials: plaster, wood, metal, masonry – are they sound, or uneven, cracked, out of plumb or alignment; are there signs of settlement, old, or recent (bulging walls, long cracks, etc)?
- Finishes: paints, stains, etc. – are they dirty, peeling, stained, cracked?
- Are there any signs of water leakage or moisture damage? (Mould? Water-stains?)

### **Concealed Spaces/ Attic**

- Is light visible through walls, to the outsider or to another space?
- Are the ventilators for windowless spaces clear and functional?
- Do pipes or exhausts that pass through concealed spaces leak?
- Are wooden elements soft, damp, cracked? Is metal material rusted, paint peeling or off altogether?
- Infestations - are there signs of birds, bats, insects, rodents, past or present?

## 6.7.2 MAINTENANCE PROGRAMME

### INSPECTION CYCLE:

#### **Daily**

- Observations noted during cleaning (cracks; damp, dripping pipes; malfunctioning hardware; etc.) to be noted in log book or building file.

#### **Semi-annually**

- Semi-annual inspection and report with special focus on seasonal issues.
- Thorough cleaning of drainage system to cope with winter rains and summer storms
- Check condition of weather sealants (Fall).
- Clean the exterior using a soft bristle broom/brush.

#### **Annually (Spring)**

- Inspect foundations and walls for cracks, deterioration.
- Inspect metal elements, especially in areas that may trap water.
- Inspect windows for paint and glazing compound failure, corrosion and wood decay and proper operation.
- Complete annual inspection and report.
- Clean out of all perimeter drains and rainwater systems.
- Touch up worn paint on the building's exterior.
- Check for plant, insect or animal infestation.
- Routine cleaning, as required.



# MAINTENANCE PLAN

## **Five-Year Cycle**

- A full inspection report should be undertaken every five years comparing records from previous inspections and the original work, particularly monitoring structural movement and durability of utilities.
- Repaint windows every five to fifteen years.

## **Ten-Year Cycle**

- Check condition of roof.

## **Twenty-Year Cycle**

- Confirm condition of roof and estimate effective lifespan. Replace when required.

## **Major Maintenance Work (as required)**

- Thorough repainting, downspout and drain replacement; replacement of deteriorated building materials; etc.

## RESEARCH SUMMARY

**DATE OF CONSTRUCTION:** 1867-68; rebuilt 1898-1902

**OWNER:** Anglican Diocese

**ARCHITECT:** H.O. Tiedemann in 1867; G.W. Grant for rebuilding in 1899

### REFERENCES

- Wright & Sanders, 1865: tower for Holy Trinity Anglican Church, 1865; tower dismantled 1880 (*British Columbian* [New Westminster], March 25, 1865, page 3).
- Tiedemann 1867: Holy Trinity Anglican Church, 1867; burned 1898 (*British Columbian* [New Westminster], April 13, 1867, page 3).

### SOURCES

- *Memoirs of a Cathedral: A Century of Christian Activity.* Holy Trinity Church, New Westminster 1859-1959.
- Donald Luxton, "Building the West: The Early Architects of British Columbia" – articles on Tiedemann and Trounce.
- Holy Trinity website
- *Downtown Heritage Inventory*, p.156
- *Albert Crescent Walking Tour*
- *Downtown Walking Tour*

### HISTORICAL PHOTOGRAPHS

- B.C. Archives, online
- New Westminster Archives, online
- New Westminster Public Library, online

# RESEARCH SUMMARY



HTC view from Clarkson Street, 1900 [NWMA IHP0327]



DONALD LUXTON  
ASSOCIATES



## Appendix #4

### *List of Parish Services & Ministry Plan*

# **Holy Trinity Cathedral Facility Use Analysis 2015**

## **Community Use (about 400 times):**

- 3 Twelve Step groups, meeting weekly
- 5 Community groups functions or gatherings
- 7 Concerts
- 1 Dance group, meeting weekly
- 1 Martial Arts group, meeting weekly
- 3 Movie useages
- 1 Other church, meeting 2 to 3 times per week
- 1 Polling place useage
- 4 Strata group meetings
- 3 Youth organizations, 1 weekly, 2 1 event only
- Homeless Coalition Day

## **Outreach Breakfast, about 5,200 meals per year**

Every week on Thursday, serving up to 165 each week (average 100 per week), **5,200 meals**

## **Church & Hall Use:**

- Sunday and other services
- Funeral teas
- Weddings
- Church meals
- Church Concerts
- Bake sale
- Choir practices
- Youth group
- Sunday school
- Bible studies
- Anglican Diocesan meetings



## MINISTRY PLAN

*“Welcome one another, therefore, just as Christ has welcomed you, for the glory of God.” (Romans 15:7)*

A Ministry Plan designed to nurture growth, spiritual vitality, and sustainability at

Holy Trinity Cathedral,  
New Westminster





## Our vision

To welcome one another, as Christ has welcomed us as we seek to revitalize Holy Trinity Cathedral, led by the Spirit, into a major heritage center that nurtures spirituality, community, and creativity for the glory of God.





# We are called to gather

1. We nurture the practice of radical hospitality.

We are being called to equip all laity and clergy, out of their love for Christ and for others, to invite, greet, orient, and incorporate newcomers, helping them grow in the faith as they become part of the Body of Christ.



## WE offer INVITATION to people through....

1. The development of our new website - [www.holytrinitycathedral.ca](http://www.holytrinitycathedral.ca)
2. The development of our new parish logo and signage/professional photography
3. Social dinners & other church events to help build relationships/rapport with the church
4. The establishment of invitational welcome packs and a welcome table for newcomers
5. Partnering with the local arts community to create a new contemplative prayer service





## We gather to offer greeting to people through....

1. Building awareness on how to welcome people more intentionally
2. The creation of information cards for newcomers to fill out so they can more easily connect
3. The creation of user friendly liturgical service cards that include all you will need for worship
4. A newcomers welcome brunch offered regularly throughout the year
5. A revisioning of how we can make Sunday coffee hour even more effective and welcoming



We gather to help orient those who are new to our tradition by....

1. The development of regular newcomer classes on Anglicanism 101 - our norms/tradition
2. A welcome call & card from the Rector to all newcomers
3. An information pack to be sent out to all newcomers
4. A welcome call to all newcomers by the Tele-team
5. Offering coffee meet ups with the Rector for newcomers (as well as regular members!)





## We gather to bring others into community by...

1. Establishing a new young adults discipleship group for the 20's, 30's, & 40's
2. The introduction of discipleship groups for all ages for newcomers and regular members
3. Ongoing training of Readers, Greeters, Servers, Lay Administrators, & Intercessors
4. The development of a catechumenal process & invitation to be baptized/received
5. The invitation to invest in the community through gifts of time, talent, & treasure.





## We are called to be transformed

### 2. We nurture the practice of intentional corporate and personal prayer

We are being called to create the space and make the resources available for people to enter into and develop a rhythm of prayer and spiritual practice in both their personal lives and in the life of the church.



We are transformed by prayer....

1. Our Altar Guild's dedication to caring for and beautifying the liturgical space
2. The establishment of a Women's Prayer Group
3. The launch of our website's online chapel offering a variety of practices of prayer
4. The use of the Daily Office, providing a regular place to come for midweek prayer
5. Visits from the clergy who offer prayer, comfort, & a friendly face in times of need





We are called to be transformed

### 3. We nurture the practice of passionate worship

Our worship will connect people to God and to one another. It shall be alive, authentic, warm, and accessible. People will leave our services with a sense of belonging, an encounter with God's Spirit, and an openness to being transformed.





## We are transformed in worship through...

1. Our Director and Choir's dedication to enhancing our worship experience through hymns of praise
2. The Word and Sacraments – which speak to us and move us into an encounter with the living God
3. The initiation of a mid week contemplative prayer service
4. The ministry of our Lay Administrators, Readers, Greeters, Servers, and Intercessors
5. The institution of a Healing Service for those who wish to pray for themselves and others



## We are called to be transformed

### 4. We nurture intentional faith and leadership development

We are called to offer compelling and transformative learning experiences that help people understand Scripture, faith, & tradition in deeper ways. We also invest in resourcing and coaching our leaders to develop their skills as we actively engage the mission of God in our local neighbourhood.





## We are transformed by faith & leadership development by...

1. Running programs, groups, and lectures that deepen our exploration of facets of the faith
2. Regular teambuilding coaching mornings that help support leadership growth
3. The dedication of our Sunday School Teachers who help our children explore the faith
4. Encouraging all leaders to attend the Diocesan School for Parish Development
5. Annual recognition in the liturgy of all leaders who serve the church so faithfully





## We are called to be sent out

5. We nurture acts of extravagant generosity & service  
as we are sent out to love and serve the Lord

We are called to respond to the extraordinary generosity of Spirit that Christ extends to all. Through our use of time, talent, and treasure we give back to God with grateful hearts a portion of what God has given us in order to carry out God's mission in the world today.





We are sent out into the world in service to.....

1. Serve approximately 120 Hot Breakfasts to those in need every Thursday morning
2. Be a resource/advocate for those in need (the poor, refugees, the homeless)
3. Strengthen our ability to meet the needs of the world through reimagining stewardship
4. Be a vibrant centre for sacred music, the arts, & spiritual formation/practice to thrive
5. Offer workshops/retreats on aspects of human and spiritual development to community





# Revitalizing an Historic Landmark of the City

## Why we are invested in revitalizing Holy Trinity Cathedral

1. It will enable the preservation of one of the most historically significant buildings in the City
2. It will create a safe, structurally sound worship space for all to enjoy
3. It will allow us to provide much needed community space for the people of New Westminster
4. It will enable us to provide space for the arts to thrive in our community
5. It will expand our efforts to address the growing needs of the poor and hungry in our wider neighbourhood





## How will our Ministry Plan help transform the Cathedral?

By keeping us focused on the role of the Church to gather, transform, & send people out by;

1. Nurturing the practice of radical hospitality
2. Nurturing the practice of intentional corporate and personal prayer
3. Nurturing the practice of passionate worship
4. Nurturing intentional faith and leadership development
5. Nurturing acts of extravagant generosity and service



# Revitalization project

You might have noticed we are also in the process of seeking to revitalize our buildings.

The parish is currently addressing the challenges of having outdated facilities, aging infrastructure and the high costs of rehabilitation.

The project, if successful, will allow the people of Holy Trinity Cathedral to continue to worship in their current location, after the construction phase is complete, and will provide improved and expanded facilities for community use and outreach.

## **Project Aims**

- The aging church will be upgraded and the church hall will be replaced.
- Parking capacity will be increased and made available during the week to the community.
- Funds will be generated to seismically upgrade and restore the heritage church structure.
- An ongoing source of funds will be created for the upkeep of the heritage church.
- An ongoing source of funds will be created to allow operation of the parish hall for church and community functions.
- Improved access to Skytrain.
- A more suitable exterior gathering place and surroundings will be created for church and public use.





# Thank you

For more information on ways to connect with  
Holy Trinity Cathedral & to see a more extensive  
list of our current services and programs please visit  
[www.holytrinitycathedral.ca](http://www.holytrinitycathedral.ca)

## Appendix #5

### *Petition and Letter of Support*





February 9, 2017

City of New Westminster  
Planning Department

Re: Holy Trinity Cathedral  
Development Proposal  
Petitions in Support

Terra Housing Consultants worked with Holy Trinity Cathedral's "Connections Committee" from mid-2013 through mid-2014 to assess the community support for a redevelopment of the land next to the Cathedral, if it provided an improved community space and the long-term retention of the heritage asset of the Cathedral.

A poster and brochure showing the original proposed tower designed by Oberti Architects, the restored Cathedral and corresponding plaza were distributed and accompanied by a petition. An on-line petition was also available to sign. *Over 300 signatures in support were received.*

The petition was available for signature at:

- Holy Trinity and other community churches
- Queens Park Residents Association
- New Westminster Show & Shine 2014
- Downtown New Westminster Resident's Association meeting Jan. 2014 (who meet in the Church Hall)

Plus:

- Majority of merchants between Royal and Columbia were approach in person and all signed the petition
- Information table was set up one weekend at New Westminster Quay

The community indicated over whelming support of the goal to preserve Holy Trinity Cathedral, noting the heritage significance of the site and its contribution to the community. The majority of folks understood the significant cost necessary to maintain an asset of this type and were sympathetic to the idea of developing the Church Hall site, as proposed, in order to do so.

I trust this information is helpful to you.

Sincerely,

Sheila McLaughlin  
Senior Development Manager

# Petition to the City of New Westminster

To: New Westminster City Councillors  
CC: Mayor Wayne Wright

We, the undersigned citizens (or residents) of Canada

draw the attention of the City Council of New Westminster to the following:

THAT, funding for historic buildings is not readily available from senior governments.

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

*M. Ligonbrich*  
*Dee McLaughlin*  
*[Signature]*  
*Rita M. Gunning*  
*Tanya Te Hukomake*  
*Rita [Signature]*  
*Shirley McLaughlin*  
*[Signature]*  
*[Signature]*  
*[Signature]*  
*L. Birdsell*  
*Kiri Stacey*  
*Kiera Gogo*

## Addresses

(Give your full home address, or your city and province)

*501-209 Cameron St. New Westminster, B.C.*  
*708-1445 Maypole St. Vancouver*  
*1811 EAST 14th AVE, VANCOUVER.*  
*406-223 Anthony North Van*  
*106-12565 190A Street, Port Meadows*  
*12-3410 West Meridian Rd. Port Coquitlam*  
*852 Vernon St., VANCOUVER, B.C.*  
*12464-219th St. Maple Ridge BC*  
*475 Aubrey Pl. Vancouver, BC. V5V 2T5*  
*15022 59th Ave Surrey, BC*  
*10-1872 HARBOUR ST PO BOX 145*  
*710 5TH ST. NEW WESTMINSTER BC V3X 2W3*  
*2670 Adair St. Vancouver V5K 2M7*  
*1422 W 73rd Ave Vanc. BC V6P 3E8*

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

*[Signature]*  
*Ashley Doney*  
*[Signature]*  
*Paul D. Smith*  
*Jan Smith*  
*M. Giefenbach*

## Addresses

(Give your full home address, or your city and province)

*Vancouver B.C.*  
*New Westminster, BC*  
*Vancouver, BC*  
*Vancouver, BC*  
*Vancouver, B.C.*  
*SURREY B.C.*



# Petition to the City of New Westminster

To: New Westminster City Councillors  
CC: Mayor Wayne Wright

**We, the undersigned citizens (or residents) of Canada**

draw the attention of the City Council of New Westminster to the following:

THAT, funding for historic buildings is not readily available from senior governments.

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

F.H. Alden  
Wm Douglas Parker  
Richard Max Alpine  
To June  
Webster  
E.M. Stogard  
Ruth Johnson  
Stogard  
Stogard  
Kustelbach  
Gene McClelland  
Betty McDonald  
Carl Murdoch  
Dan Murdoch  
Elizabeth Jones  
James L. Lane  
Annette Martin

## Addresses

(Give your full home address, or your city and province)

Burnaby, B.C.

1408 Hamilton St New Westminster  
704-420 Cameron St NW, V3L5P1  
927 2nd St New West  
15764-102 B Ave Surrey BC  
7771 SPARBROOK CR., VANCOUVER BC  
927 2nd St New West  
779 4th Ave NW V6V1N5  
7771 Sparbrooke Cres, Van., B.C.  
7661 West St Burnaby V3A3X9  
7661 West St Burnaby V3A5X7  
304-707 Hamilton St New West  
1110 8th Ave W West  
1008 10 Ave New Westminster  
6392 Kitchener St, Burnaby V5G  
10775 Hemlock Rd Delta V5L  
10778 Dunlop Rd Delta  
316 Renaissance Sq NW  
822-612 St Ave NW  
301-211 Ash St New West V3M3N5

Page 1 of 36

# Petition to the City of New Westminster

To: New Westminster City Councillors  
CC: Mayor Wayne Wright

**We, the undersigned citizens (or residents) of Canada**

draw the attention of the City Council of New Westminster to the following:

THAT, funding for historic buildings is not readily available from senior governments.

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

Nancy Chabot  
Skip Cassidy  
Marilyn Cassidy  
Joyce Harwood  
Valerie Heger  
~~B. Macdonald~~  
~~Alison~~  
Kenna Kowalski  
Theresa Paul  
Gilbo AVISO  
Sue Woods  
Peter F. Dyer  
~~John J. ...~~  
OK to see  
Anne Morgan  
Elizabeth Piek  
Stephen Cool  
... ..

## Addresses

(Give your full home address, or your city and province)

309-7465-13<sup>th</sup> Ave, Burnaby BC  
401-1725 Balsam St. Van BC. V6K 4V4  
" 1725 Balsam St. Vancouver. V6K 4V4  
115-6707 Southport Dr. Bg. V3N 1C  
115 6707 Southport Dr Bg VAN 4  
6392 KIRKDALE Bg V3B 2T  
2395 MARVELA AVE COX  
2395 Harold & Coan Pl  
8-1 Kirk Court New Westminster  
8-11 Kirk Court New West  
11380 280<sup>th</sup> St. Maple Ridge B  
310 THIRD ST. NEW WESTMINSTER  
New Westminster V3C 2  
New Westminster  
416 Pielman Pl Port Moody  
914 Fourth St New Westminster  
2029 Kugler Ave, COX V3K 2S5  
6261 Tenth Line W, Mississauga ON  
314 Second Street, New Westminster BC

(Richard)

# Petition to the City of New Westminster

Petition  
# 2

To: New Westminster City Councillors  
CC: Mayor Wayne Wright

We, the undersigned citizens (or residents) of Canada

draw the attention of the City Council of New Westminster to the following:

THAT, funding for historic buildings is not readily available from senior governments.

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

Signatures

New West - Merchants

Addresses

(Sign your own name. Do not print.)

(Give your full home address, or your city and province)

Tom Tae-Hoon Lee 07/01/23  
Eveready Press

302 Columbia St, New Westminster, BC V3L 1A6

KOSTAS STATHIS Brooklyn MA  
+ CRIL

250 COLUMBIA ST New West

LEE, CHANGTIN 07/01/23  
PINGTREE TCM CLINIC

312 Columbia St New Westminster

Koula Papadimitriou 07/01/23  
9040

326 Columbia St. New Westminster  
332 Columbia St. New Westminster

UFCW - Frank Pizzolom  
\* Blackwood Pharmacy - S. SYED  
Shaun

New West  
317-columbia St New West

Stefan 315 Columbia St New West  
Daniel Anaya (Amn Hair)  
WINSTON LEE  
PAUL MINHAS

New West  
401 Columbia St New West  
405 COLUMBIA ST New West  
447 Columbia St NW

MARIA ROYAL CITY JEWELLERS  
JAY CHI

515 COLUMBIA ST NW  
633 Columbia St. NW.  
667 Columbia St. N.W.  
714 Columbia St N.West

Around The World Flags  
G House



# Petition to the City of New Westminster

To: New Westminster City Councillors  
CC: Mayor Wayne Wright

We, the undersigned citizens (or residents) of Canada

draw the attention of the City Council of New Westminster to the following:

THAT, funding for historic buildings is not readily available from senior governments.

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

Sydney Lusin  
Glen Canyon

Kerry  
Ted White

Holly Withers  
Linda Withers

Don Dempsey  
Angie Hemphill

10 ~~Chloe~~

J. J. J. J.  
J. J. J. J.

Barclay W  
G. Birmingham

R. J. J. J.

M. J. J. J.

G. J. J. J.

C. J. J. J.

## Addresses

(Give your full home address, or your city and province)

231 Queens Ave. New Westminster  
J31 Queens Ave New West

315 Fourth Ave, New Westminster  
315 4th Avenue, New Westminster

315 4th Ave, New Westminster  
315 4th Ave, New Westminster

320 5th Ave New Westminster

320 5th Ave New West V3L 1K8

429 Oak St. New West V3L 2T4

429 Oak St. New West V3L 2T4

503 2nd St. New West V3L 2M1

503 2nd St. New West V3L 2M1

119 St. Patrick St New West V3L 1P6

119 St. Patrick St. New West V3L 1P6

411-2nd St New West V3L 2L3

411-2nd St New West V3L 2L3

412 2nd St New West V3L 2L3

412 2nd St New West V3L 2L3

503 QUEENS AVE, NEW WEST V3L 1K2

802 Burnaby Street, New West V3L 4V7.



# Petition to the City of New Westminster

Sheridan  
Queens Park +

To: New Westminster City Councillors  
CC: Mayor Wayne Wright

We, the undersigned citizens (or residents) of Canada

draw the attention of the City Council of New Westminster to the following:

THAT, funding for historic buildings is not readily available from senior governments.

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

Natalie Zylk  
Hedra O'Donnell  
Vaone Douk  
Gerald  
Ben M.  
Cameo Taylor  
Tina H. B. S.  
Mark P.  
Shirley Fox  
Sally Smith  
M. Smith  
L. D. Law  
Theresa Baker  
Margaret Brown

## Addresses

(Give your full home address, or your city and province)

802 Burnaby Street, New Westminster, B.C.  
~~802 Burnaby St. New Westminster~~  
514 1st St. New West. B.C.  
41-7th Ave New West  
514 186 STREET NEW WEST.  
220 QUEEN'S AVE NEW WEST  
218 4th Ave New West BC V3L1N6  
217 3rd Ave New West B.C.  
217 3rd Ave New West V3L1K9  
333 2nd St New West V3L2K9  
113 Oakland St, New West V3L1P5  
113 Oakland New West V3L1P5  
112 5th Ave V3L1R2  
86 COURTNEY CR N.W. V3L4M2  
86 COURTNEY CR. N.W. V3L4M2  
86 Courtney Cres N.W. V3L4M2  
121 St. Patrick NW V3L1P6  
" " "  
417 Oak St NW V3L2T6  
238 Second St New West BC



# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

## Addresses

(Give your full home address, or your city and province)

Augustine Maxwell

3156 Jervis Street Port Coquitlam

Andrew Jaimy James Evans

Hugh Munster

1330 Harewood St, Vancouver

Tina M. Mervelat

8428 15th Ave Bby BC

Geoff Clements

8150 Hunter St Bby

Jenny B Roche

201-209 Carnarvon St, New West.

George Ryan

1204-9521 Carleton Ct Bby

Sidriano "Idrian" Buzgall

8576 15th St. Surrey, BC (Respect for the people)

Orin Olson

#507-720 Carnarvon Street.

Paul Kurland

Rugby,

Ryan Kurland

Rugby

Big 7040000

Quayside Dr.

R. Kurland

1502-108 W. Carleton, Vanc.

Lesley E. Spence

502-820 6 Ave. New West.

Linda Asgerisson

103-1045 Quayside Dr. New West V3M 6C9

Sam Hill

#3311-716 Ave Surrey BC

Frank Waugh

802-69 Jamieson Ct NW V3L 5R3

Naura Martinez

1015 Floyd Ave Bby V3J 2C8

Carol Webster

4347 Underwood Ave V7K 2R8 NV

Derek Baker D.E.B.

#317-220 7745 NW V3K 3Y1

Joe Smith

401-8750 Selkirk St. Vanc V6P 4J4

Joe Smith

401-8750 Selkirk St Vanc BC V6P 4J4

Joe Smith

86 Courtney Crest

Josephine Baydack

New Westminster BC.

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

Margaret Cole  
 Carol Lee  
 Lauren Seaton  
 WINSTON L. SEATON  
 M. Joan Goodmell  
 Betty Buntan  
 Carole Shaw  
 Bob Vander Brink  
 Terry Lee Coffey  
 Wes Ayne  
 Mylie Samuels  
 Sylvia Dawson  
 STELLA LOVERIDGE  
 Carol White  
 Audrey Fairbairn  
 Sue Lusk  
 Charles Balfour  
 D. Bogdan  
 Janet Bogdan  
 Jennifer Allan  
 Elizabeth Corral  
 Ann McNamee  
 Beth Scott  
 Wayne Scott  
 Carmine Goodmell  
 Vin Scott

## Addresses

(Give your full home address, or your city and province)

#114 - 12075 Edge St. Maple Ridge BC V2X 9E6  
 240A ST Maple Ridge BC  
 203-12075 Edge St. Maple Ridge BC  
 203-12075 EDGE ST. MAPLE RIDGE BC  
 #2-11355 Cottonwood Dr. M.R.  
 312 12148 24th ST Maple Ridge  
 22611 - 116 AVE MAPLE RIDGE BC  
 21298 - River Rd Maple Ridge B.C.  
 12169, 217th Maple Ridge, B.C.  
 #7-23580 NEWCASTLE AVE. MAPLE RIDGE, B.C.  
 #13 11435 BRISTOL MAPLE RIDGE  
 #308-22170, Dewdney Tr. Rd. Maple Ridge  
 #18 22308 724 MAPLE RIDGE  
 #18-11358 Cottonwood Dr. Maple Ridge.  
 11643 Graves St. Maple Ridge.  
 20656 POWELL AVE MAPLE RIDGE B.C.  
 11642 RIVERWIND ST. MAPLE RIDGE BC  
 5-19452 Fraser Way Pitt Meadows BC.  
 5-19452 Fraser Way, Pitt Meadows BC  
 23412 TAMARACK LAKE M.C.  
 20801 STONEY AVE M.R.  
 21297, 123RD AVE Maple Ridge  
 9837-256th St Maple Ridge  
 9837-256th Maple Ridge B.C.  
 #2-11355 Cottonwood DR. M.R.  
 204 ~~12148~~ - 224th M. Ridge. B.C.



# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

*Jeffrey & Yif*  
*Maryanne Yip*  
*Eddy Chang*  
*Ms*  
*M. Dominelli*  
*Delwack Johnson*  
*Dm Clarke*  
*Maista Zabutsky*  
*Caryn Haffner*  
*Shela Price*  
*Lorna Newfield*  
*Sail Romero*  
*Helgi Mitsasale*  
*Veronica Staehli*  
*Ben Yip*  
*Holly Chang*  
*Annie Chan*  
*Ale Johnson*  
*Jan Kenney*  
*GORDON SMITH*  
*MARION FLEMING*  
*Chapman Chan*  
*James I. Russell*

## Addresses

(Give your full home address, or your city and province)

*701 Sydney Ave. COQUITLAM BC*  
*701 Sydney Ave COQ*  
*193 Cardiffway Pt. Moody BC*  
*648 Penhale Ave Coquitlam BC*  
*602-1633 West 10th Ave, Vancouver*  
*602-1633 W 10th Ave, Vancouver BC*  
*11048 155 St Surrey BC*  
*3653 Brookman Ave Van BC*  
*923 Surrey St New Westminster, B.C.*  
*1534 Edinburgh St New West BC*  
*7173 Bayfield Av. Delta BC*  
*15820 Suffolk Rd. Surrey B.C.*  
*2428 Latimer Ave. Coquitlam BC.*  
*1404-110 W. 4th Street, North Vancouver BC*  
*308-428 W 8th Av Van BC*  
*2668 W. 6th Ave Van, BC*  
*323 Hickey DR COQUITLAM BC*  
*323 Hickey Dr. Coquitlam*  
*1030 Westminster Dr H. Moody V3H1K9*  
*West Vancouver*  
*3003 Pt. Grey Rd Van. BC.*  
*2909 SEA POINT DR. VICTORIA, BC.*



# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

Brent Hill  
Peter Blinn

Jeanne Wood Seton only

Jeanne Gamelin  
Carol Dean

Rosanne Khan

Doreen Fenech

Janghwa Kim

Angela St. Laurent

Merritt

Mara Wood

Berndette Klassen

Donna Mitchell

Philippa Lub

John M. M. M.

Julie M. M.

Patricia Clark

Elise Holmes

A. Kennedy

Sally St. Walker

## Addresses

(Give your full home address, or your city and province)

\*106-210 Carnarvon St, New Westminster, BC.

2217 Hamilton Street, New Westminster, BC

\*902.3-1185 Quayside Dr. New West V3M 6T8

700-108 4th Ave NW

6051 N 05 Rd. Rich. V6Y 2V1

102-615 Colborne Rd St New Ws 1

#1-912 Queens Ave New West V3M 1M2

183 6038 Imperial Street Blyth

#41-15788 104 Ave, Surrey

420- Carnarvon St N.W BC V3L 5P1

5692 Carson St Burnaby, BC V5T 2Z5

700 4th Ave #108 NW

115 4th AVE NEW WEST V3L 1N2

1825 London St. New West V3M 3E2

#1-216 9th St. New West V3M 3V3

104 6th Ave New Westminster BC V3L 1Y4

6381 Walker Ave, Burnaby, BC V5E 3P7

903-710-70th Ave, New West V3M 5V3

206, 707 Hamilton St, N.W V3M 2M7

905-8th Ave New West V3M 2K4

205-1220 Quayside Dr V3M 6H1

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

Elizabeth Pluck  
 Christine Nazarene  
 John Parusa  
 David Smith  
 James  
 John Thomas  
 Annette Martin  
 James White  
 Jacqueline Lewis  
 Marilyn & Fred Harding  
 Bill Coen  
 Muriel Egan  
 Brian Dobson  
 Robert E. Taylor  
 Margaret Abel  
 Patricia Allen  
 Maryann Smith  
 Ed. Smith  
 J. J. Brown  
 Cathie Wilson  
 Lynn Archer  
 W. S. Smith  
 Lindsay Bar  
 Gordon Cook

## Addresses

(Give your full home address, or your city and province)

2029 Kugler Ave, Coq. V3K 2S5  
 3418 Ambury Rd VAN V5S 4P9  
 915 6th St NW V3C  
 405-2050 HILSON ST VANCOUVER  
 221 Dewey St New West  
 8188 Westlark St. Bky  
 301-211 ARK ST. NEW WEST V3M 3M5  
 1-50 Panorama Place, Port Moody, BC  
 #13-7459 17th Ave Bky  
 4055 Phrasian St Bky. BC  
 4055 Burnside & Bky BC  
 #315-1945 Woodway Place Bky  
 -410  
 9775-13757 C. Ave S. L. New W.  
 11303/152 Saturna Dr Burnaby BC  
 #106-841 meadow Blvd. New West  
 #9-115 2nd St  
 523 5th St  
 15764 103rd Ave Surrey  
 1150 Quayside Dr New West  
 523 5th St New Westminster  
 Port Moody  
 181 Ravine Dr. Pt. Moody  
 7956 Burnfield Cr. Burnaby

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

## Addresses

(Give your full home address, or your city and province)

MW - (Quick Str.)  
SILK  
J. L. S.  
L. S.  
H. S.  
M. S.  
F. S.  
A. S.  
P. S.  
H. S.  
A. S.  
C. S.  
F. S.

5498 MORELAND DR BRY BC V5H1Z8  
2627 POINT GREY ROAD VAN.  
1215 DOUGLAS TER U37 ST GUY K1A4  
BOX 10288 WHITEHORSE YT Y1A 7A1  
414 -1485 6TH AVE VAN V6H 4G1  
819 FATER AVE COX  
120 DURHAM ST. New West.  
120 DURHAM ST New West.  
1309 HARBOUR DR, COQUITLAM.  
3323 West 7th Avenue VR  
3323 West 7th Ave, VR  
964 Thermal Dr. COQUITLAM, BC  
787-SPRICE GROVE COQUITLAM  
22-16363 85 AVE SURREY  
7181 BUCHANAN ST. BAY BE  
646 Pembroke Ave Coquitlam, BC.  
652 Pembroke Ave. Co. B.C.  
652 Pembroke Ave. Coquitlam B.C.  
4627 W. 14th Ave, VAN, BC



(Richard)

# Petition to the City of New Westminster

Petition # 1

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## GENERAL PUBLIC

### Signatures

(Sign your own name. Do not print.)

Don Wane

Irene Wine

~~James~~

James General

O Chur

GORDON GROUNDWATER

Jana Regier

Vera Dizer

Marilyn Bergen- MJBergen

Nadine Haddad

VIVIAN CHAN

Michael Misko

Tina Yen

Ray Glose

~~James~~

1270

~~James~~

Tara Lancaster

Rek Aman

STEVE WEBSTER

ERIC MUIR ~~Eric~~

Shem McDermott

### Addresses

(Give your full home address, or your city and province) BC

12235 NORTH PARK CRES. SURREY

12235 Northpark CRES. Surrey BC

6521 Sunshine Drive, Delta BC

6521 Sunshine Dr. Delta BC

2980 ATLANTIC AVE, COQUITLAM, BC

2615 CAMBRIDGE ST, VCR BC

60 GLENMERE DRIVE, W. VAN BC

4-2422 Hawthorne Ave, Port Coquitlam

805-121 Tenth str, New Westminster

11012 - Shelley Pl., Delta, B.C.

303- 989 Nelson Street, Vancouver BC

#1402, 10523 UNIVERSITY DRIVE SURREY B

#21, 21661 88 Ave Langley BC

Unit 118-100 Laval St Coquitlam, BC

Bby BC

11-57101 Delta, BC VAN 3C5

947 AURORA AVE PORTMOODY

7878-112th St Delta B.C

596-CHARLOTTE WAY, COQUITLAM BC

9141 25th Ave, Aldershot BC

New Westminster

Aldershot

1106 PREMIER ST N VANCOUVER BC

5850 STERLING AVE, BURNABY

8679 207 Street Langley BC V1T

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

*A.E. Cooper*  
*P. R. R. R. R.*  
*K. Pellett*  
*John O'Brien* Hatfield, Selkirk, New West  
and Laker, West Vancouver  
N.W. B.C. T.O. 1980  
*Brenda Co.*  
*Patricia R. R. R.*  
*Dore Hall*  
*Mickey Thompson*  
*Margaret A. Amos*  
*Randa M. R. R.*  
*Rosa Weisenfeld*  
*Fran Gordon*  
*The Rev. Trudi Shaw*  
*Fay R. R. R.*  
*Aro R. R. R.*  
*David Nash*  
*Mary Lou Kyle*  
*Natasha MacDonald*  
*U. U. U.*  
*Anna R. R. R.*  
*R. R. R.*  
*Rosa Weisenfeld*  
*John R. R.*  
*Richard Leggett*

## Addresses

(Give your full home address, or your city and province)

*1802 Harbour Dr. Coquitlam B.C.*  
*1516 Rita Pl. Port Moody*  
*6161 Sumas St. Burnaby*  
*9555 Evergreen Lane. Laker B.C. V4H 2V6.*  
*458 McGill Dr. Port Moody*  
*4810 Oaktree Court, Burnaby*  
*682 Fairview St. Coquitlam*  
*844 Alderside Dr. Port Moody*  
*#1803*  
*2901 New West Dr. Port Moody*  
*#203-1695 Augusta Ave. Burnaby.*  
*15413 Charland Ave. Coq.*  
*33-1190 Falcon Dr. Coq*  
*8918 Orion Place Burnaby V3T 1A3*  
*314 Oak St. Port Moody.*  
*9-2865 Glen Drive Coquitlam*  
*112-615 North Rd, Coquitlam, B.C. V3J 1A1*  
*17 Champion Court Pt. Moody*  
*1870 Charles St, Pt. Moody*  
*2921 Fremont St. Port Coquitlam*  
*1385 DRAVCOY RD NO. VAN*  
*7600 Glover Road Langley*  
*14565 60 Ave Surrey B.C. V3R 1K6*  
*15413 Charland Ave. Coq BC*  
*315 Agnes St. New West. B.C.*  
*\*8-1516 66A Ave Surrey V3S 4K2*



# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print)

M. McNeil  
 M. Paul  
 E. Vangelis C. Paul  
 Jim Le  
 Lea Sims  
 J. B. Valley  
 M. Fekete Piskorik  
 Marlene Sholens  
 Barry J. H. H.  
 Anja Heath  
 Paul Long & Angela  
 Peggy MacDonnell  
 Liskaj  
 Frank McHughan  
 Flora Kennedy  
 CHRISTIE BRUCE  
 Lillian J. J.  
 Motilin Payot  
 Susan M. Dwyer  
 P. G. R. B. K.  
 JENELON DELA CRUZ  
 RICARDO PIYOT  
 Mary Dwyer  
 Peter Dawe  
 Erin McYoungall

## Addresses

(Give your full home address, or your city and province)

1501-1135 QUAYSIDE RD NW V3M 6T4  
 435 5th St. New West, V3L 2X5, B.C.  
 127 Rousseau St. NW V6L 5R2  
 615 Hamilton St New Westminster  
 309 Pine St. N.W. V3L 2T1  
 705 - 550 - 8th NW.  
 79 Seymour Rd - M.W.  
 92 Richmond St. N.W.  
 720 CARNARVON ST N.W.  
 201 - 31 Reliance St N.W.  
 116 Granville St NW  
 912 Kent Street New West  
 #209 529 Tenth St New Westminster V3M 3Z4  
 1220 - 8th Ave, N.W. V3M 2R9  
 8334 VINEWOOD PLACE  
 321 PINE ST. NEW WEST, B.C. V3L 2T1  
 427) Hammond St. Coz. BC V3K 4S3  
 111-44 624 Agnes St, New West  
 1500 - 8th Ave NW V3M 2S4  
 109 - 418 3rd ave New West  
 241 - 720 QUEENS AVE - NEW WEST  
 12 - 624 AGNES ST, NEW WEST  
 25 Park Crescent. NW  
 302-316 cedar st. new west  
 V3L 3P1



# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

Margaret Bradley  
 Thomas Brown  
 Rebecca Elias  
 Sandra Fink  
 Patricia Pestano  
 P. Hume  
 Canada  
 W. H.  
 T. M. & L. H.  
 P. H.  
 Paul Joseph  
 (PATRICK KNOWLES) Patrick Knowles  
 J. & L.  
 Peter Tiberto  
 Billy Keenan  
 G. F. (Propina Naurcho)  
 D. M. S.  
 Conch McCullough  
 Steven Toky  
 David McKinnon  
 J. O'Hara  
 Joseph Nguyen  
 M. E. C. D.

## Addresses

(Give your full home address, or your city and province)

New Westminster, B.C.  
 102-125-1151 NW  
 New Westminster  
 4861 Oaktree Ct.  
 204 Agnes Street, New Westminster  
 720 Queens Ave, NW  
 488 Agnes St New Westminster  
 723 1270 B. N.W.  
 723 1271 St. N.W.  
 1058 Nelson St.  
 915 Laurel St New West BC  
 202-580 12th St NW.  
 202-580 12 St. NW.  
 427 ROUSSEAU ST., N.W. V3L 3R2  
 502-615 Hamilton NW V3L 47A  
 1420-A Elk Ave. NW  
 PO Box 16037 RPO 6th St. New West, BC  
 #208 327 Agnes St. New West, BC V3L 1E2  
 HW - 4th St NW  
 1101 7th Ave NW  
 #1506-121- Tenth St. New West  
 1250 - 5th Ave NEW WEST  
 320 - 9th ST.  
 619-505 6th Ave.  
 #104 - 120, 7th Ave, New Westminster

Parish

## Petition to the City of New Westminster

To: New Westminster City Councillors  
CC: Mayor Wayne Wright

We, the undersigned citizens (or residents) of Canada

draw the attention of the City Council of New Westminster to the following:

THAT, funding for historic buildings is not readily available from senior governments.

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

### Signatures

(Sign your own name. Do not print.)

*[Handwritten signatures]*  
GARRY Sambo  
Donna Britton  
Robert Sides  
Elaine J. Mudry  
Michael Mudry

### Addresses

(Give your full home address, or your city and province)

*[Handwritten addresses]*  
621 135 St New Westminster  
North Delta  
Port Moody  
13909 Lake Dr Surrey  
1-3341 Dowdney Trunk Road, Port Moody  
3416 94th Ave A. V.M. B.C. V5S 4P9  
3174 Moscrop St, Bby, Bc V5G 2C9  
1824 Nainaimo St. N.W  
H 203 619 Fifth Ave N.West  
13928 113 Avenue, Surrey, BC  
150 - 621 8TH ST NEW WEST V3M 3S5  
144 E. Durham St New West  
307 Queen Ave New Westminster  
303 Princess St. New Westminster  
303 Princess St New Westminster

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

*[Handwritten signatures]*  
 Renée Choy  
 Maggie Cotton  
 Marie Hocking  
 Lorraine Currie  
 Mary Oundson  
 Ursula Repoi  
 Lidia Chodunski  
 Tim Marcia  
 FLORENA V FURNINCE  
 Liz Patis  
 Maria Chakeredza

## Addresses

(Give your full home address, or your city and province)

302-316 Cedar St. New Westminster  
 112-1013 Queens Ave, New West  
 703-814 Royal Av, New West.  
 " " " "  
 #901 185 DUNYSLIDE DR. N.W.  
 " "  
 4205-60 RICHMOND ST. N.W.  
 210 Manitoba St New Westminster.  
 #804 901 CALDWELL ST NEW WEST  
 #403 580-12th St New West  
 240-8th Ave E New West  
 240 E 8th Ave New West  
 822 CHESTNUT ST N.W.  
 #13-18 KOLICK CRT X.  
 606-6888 Station Hill Dr Burrmo.  
 1016 CORNWALL ST, New West.  
 700 719 PRINCESS ST NEW WEST B.C.  
 705-220 11th St New West  
 101-1314 Fifth Ave, New West



# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

Cathy M. M. M.  
 John M. M.  
 Edward Arenas  
 Edgar Arenas  
 M. M.  
 John E. Leeson  
 R. M.  
 Anna & David Gillman  
 Rachel Johnson  
 Michael M.  
 Miriam T. T.  
 Paul M. M.  
 J. M.  
 M. B. Keenan  
 Belvise de Souza  
 Frank B. B.  
 M. M.  
 Dennis L. L.  
 Roland L. L.

## Addresses

(Give your full home address, or your city and province)

303-71 Jamieson Ct. New Westminster, BC  
 303-71 Jamieson Ct. New Westminster, BC  
 309-706 Queens Ave New W.  
 304-706 Queens Ave New W.  
 102-250 Francis Way, New West.  
 85 8th Ave New West BC  
 #407-315 Agnes St. New West.  
 #308-8 Laguna Crt, New West  
 15033 Phrasant dr, Surrey BC  
 #301-3F Spruce Ave New West  
 37-72 JAMIESON CRT NEW WEST  
 107-610 3rd Ave New West  
 606-6888 Station Hill Dr. Burnaby BC  
 124 E. 7th Ave. New West BC.  
 12745 115A Ave Surrey BC V3V3R3  
 407-109 10th St. New West V3M 3X7  
 219 Boyne St. V3M 5J7  
 320 Royal Ave. New West  
 319-17 Royal Ave. New West  
 317 14 Royal Ave New West

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

~~John D. Jones~~  
Wanda White  
~~M. J. Jones~~  
Lillian Johnson  
Patricia Jones  
Wanda Faye  
C. B. Jones  
D. B. Jones  
A. N. Jones  
Amy Jones  
D. B. Jones  
E. B. Jones  
Barbell Jones  
Shirley Jones

## Addresses

(Give your full home address, or your city and province)

6250 187 St, Surrey, BC.  
215-6707 Southpoint Dr Burnaby BC.  
215-6707 Southpoint Dr  
314-6707 Southpoint Dr Burnaby  
15085 91 AVE, Surrey BC  
6707 Southpoint Dr BC  
982 Esmond Ave. BC  
5824 204 Langton  
15085 91 AVE, Surrey, BC  
1920 Kent Ave, Vancouver BC  
62-13817 102 Ave, Surrey BC  
7445 Delon St, Vancouver BC  
216 1670 56 St Delta V4L 2M7  
1714 Duncan Dr Delta  
317 Roselind Wynd, Delta BC  
12451 78 Ave, Surrey, B.C.

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

*[Signature]*  
*[Signature]*  
*[Signature]*  
*[Signature]*  
*[Signature]*  
*[Signature]*  
 DAVE W. DRIER  
 COLA MCINTYRE  
 Kelly McCaffrey  
*[Signature]*  
*[Signature]*  
 C. HUBBARD

## Addresses

(Give your full home address, or your city and province)

2040 CORNWALL AVE, VANCOUVER.  
 2475 BAYSWATER, VANCOUVER.  
 706-503 W 16th Van B.C.  
 2006 13th Ave Vancouver  
 9517 Rope Tow Way Whistler, BC V1W 1P9  
 Kitsilano, Vancouver  
 #502-425 CRAWFORD ST. NW WST.  
 #104 420 CRAWFORD ST NW  
 #205 330 Royal Ave NW.  
 431 Queen's Avenue, New West.  
 431 QUEENS AVE N.W.  
 319 Regina St N.W.  
 435 Third St NW V2L 2S5



# Petition to the City of New Westminster

To: New Westminster City Councillors  
CC: Mayor Wayne Wright

We, the undersigned citizens (or residents) of Canada

draw the attention of the City Council of New Westminster to the following:

THAT, funding for historic buildings is not readily available from senior governments.

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

~~Blank~~  
~~Blank~~  
~~Blank~~  
~~Blank~~

## Addresses

(Give your full home address, or your city and province)

6370 Gingert, New Westminster, BC.  
228 3rd St NW BC  
36-19250 119 Ave Pitt Meadows  
36-19250 119 Ave Pitt Meadows.

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

Shirley  
H. H. H.  
S. S. S.  
Shirley  
H. H. H.  
H. H. H.

## Addresses

(Give your full home address, or your city and province)

441 2<sup>nd</sup> St. N.W B.C V3L2L8  
331 6<sup>th</sup> St NEW WEST V3L3A9  
408 8<sup>th</sup> St, New West V3L 1Y3  
1036 - 7<sup>th</sup> Ave, New West V3M2 J5  
~~005 372~~ 327 3<sup>rd</sup> St. New West.  
822 Massey St, New West, V3L 4S9  
u u i u o p p  
331 Pike St. New West V3L 2T1  
415 2nd Street, New west V3L2L3  
415 - 2<sup>nd</sup> St New West V3L2L3  
315 PRINCESS ST. NEW WESTMINSTER V3L1V6

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

Melissa Winter  
 Jim Clayton  
 Kalma Runy  
 Doreen Hammond  
 Barbara Rourke  
 Karin Wiers  
 Shelley Winter  
 Laura Glen  
 Anne Clayton  
 Sharon Goddard  
 Mary & Debbie Hailstone  
 Colleen Williams  
 Doug Young  
 Margaret Bellamy  
 Shona Newfeld  
 Keith Field  
 Doug Brown

## Addresses

(Give your full home address, or your city and province)

7658 Hedley Ave, Bly, BC  
 916 EDINBURGH ST. N.W. 7  
 4371 Mayberry Ct. B.R.  
 106-511 ARH ST N.W.  
 13255-64th Ave Surrey  
 4810 Kilmer, Burnaby  
 5745 Mayview Circle, Burnaby  
 10511 Siskin Cres Rich BC  
 916 Edinburg St. New West  
 901-209 Carnarvon St New West  
 76  
 7624 Carnaby Pl. Delta BC  
 7634 CARNABY PL. DELTA BC  
 411 Queen's Avenue, New Westminster  
 7750 Newcombe St. Burnaby BC  
 405 Fourth Ave New West BC  
 222 3rd ST NW



# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

### Signatures

(Sign your own name. Do not print.)

## Addresses

(Give your full home address, or your city and province)

725 McKay St New L [as Jan 13/46  
315 PRINCESS ST. NEW WESTMINSTER U3LIVE  
35372 ANGUS CREE - ARBOISFODBL V360A2  
805 Rochester Ave COQUITMAN V3H 2G2

980 Cross Creek Rd. W. Van. BC V7S 2S5  
275 Spruce Ave Coquitlam BC  
2457 Oak Avenue, Coquitlam BC V3T 2P2  
2180 Chilcotin Crescent, Kelowna BC V1V 2M9  
#202 5835 Hampton Pl. Vancouver  
2180 Chilcotin Cres. Kelowna, BC

Donna Sammie

Connie Wags

Darlene Harris

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

D. H. Jackson  
Daniel Jackson  
Elizabeth Peckers  
V. J. Jackson  
E. Rohloff  
The Sobushky  
Z. J. J. J. J.  
D. J. J. J. J.  
M. J. J. J. J.  
C. J. J. J. J.  
M. J. J. J. J.  
"C. J. J. J. J.  
C. J. J. J. J.

## Addresses

(Give your full home address, or your city and province)

22101 45A AVE, LANGLEY, BC  
22101 45A Ave, Langley B.C.  
409 31 Reliance Ct. New Westminster  
1529 Crestview Dr. Burnaby  
7032 GRAY AVE, BURNABY  
960 Brown Ave, Coquitlam BC V3T 3E6  
1131 E. 23rd Ave. Vancouver BC V5P 1S5  
1196 Kava Dr. Burnaby V5A 3T1  
1559 West Ave Burnaby BC V5C 5B9  
123 N. Holcom, Burnaby V5B 1K2  
348-Bewick Ave North Van V7M 3B7  
7779 Sandbrook Ct. Van V5S 3K5  
7749 Sparhawk Cir Van V5S 3K3

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

(Sign your own name)

*[Signature]*

Melad

Spencer Stephenson

KM Taylor

D. Westad

White

DP output

Judy Ross  
C. E. H.

## Addresses

(Give your full home address, or your city and province)

Reena Meijer Drees, 727 McKay St, New West

Amber Porter, 6280 Buchanon St., Burnaby  
Maya Latava 5-370 Gingsar Dr. New Westminister

607 1135 Jayside Dr. New Lk

1928 Dublin G. New West K3M 3A5

921 5th Street, New West. 113L245

A003 - 898 Cameron St, New Westminster V3M0C3

NO - I don't support this project

550 Royal

72 FIRST ST. NEW WEST BC. V3L2G1



# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

*Samela Simms*

*Rebecca Pittford*

*Simms*

*Fare M. Cuy*

*Rose. L. McElroy*

*Rebecca Simms*

*[Signature]*

## Addresses

(Give your full home address, or your city and province)

*7129 Clarendon St. Vanc. BC V5S 2K5*

*4437 Skyline N.W. V7R 3H2*

*7129 Clarendon St. Van. V5S 2K5*

*4939 Collingwood St. Van V6N 1S7*

*234 - Oshawa Ave. New West - V3C 1Y8*

*401 - 98 Tenth St New West*

*401 - 98 Tenth St NW V3M 6L5*

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

681  
 The Harris  
 Johnson  
 Lemke  
 (M)  
 Calley  
 P.H.  
 [Signature]

## Addresses

(Give your full home address, or your city and province)

318 Pine St., New Westminster, BC  
246 Osborne Avenue, New Westminster, BC  
1401 Nanaimo St New Westminster, BC  
416 Princeton Ave <sup>Port Moody BC</sup> ~~New Westminster~~  
313 Warren Ave New West. V3L 1L5  
109 Owens Ave., New West V3L 1Z1  
503-306 SIXTH ST. NEW WESTMINSTER V3L 0C9  
613 Fourth St New Westminster V3L 2V8

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

1400 AM 72m  
 1000 60m  
 1100 50m  
 1200 40m  
 1300 30m  
 1400 20m  
 1500 10m  
 1600 0m  
 1700 0m  
 1800 0m  
 1900 0m  
 2000 0m  
 2100 0m  
 2200 0m  
 2300 0m  
 2400 0m  
 2500 0m  
 2600 0m  
 2700 0m  
 2800 0m  
 2900 0m  
 3000 0m  
 3100 0m  
 3200 0m  
 3300 0m  
 3400 0m  
 3500 0m  
 3600 0m  
 3700 0m  
 3800 0m  
 3900 0m  
 4000 0m  
 4100 0m  
 4200 0m  
 4300 0m  
 4400 0m  
 4500 0m  
 4600 0m  
 4700 0m  
 4800 0m  
 4900 0m  
 5000 0m  
 5100 0m  
 5200 0m  
 5300 0m  
 5400 0m  
 5500 0m  
 5600 0m  
 5700 0m  
 5800 0m  
 5900 0m  
 6000 0m  
 6100 0m  
 6200 0m  
 6300 0m  
 6400 0m  
 6500 0m  
 6600 0m  
 6700 0m  
 6800 0m  
 6900 0m  
 7000 0m  
 7100 0m  
 7200 0m  
 7300 0m  
 7400 0m  
 7500 0m  
 7600 0m  
 7700 0m  
 7800 0m  
 7900 0m  
 8000 0m  
 8100 0m  
 8200 0m  
 8300 0m  
 8400 0m  
 8500 0m  
 8600 0m  
 8700 0m  
 8800 0m  
 8900 0m  
 9000 0m  
 9100 0m  
 9200 0m  
 9300 0m  
 9400 0m  
 9500 0m  
 9600 0m  
 9700 0m  
 9800 0m  
 9900 0m  
 10000 0m

## Addresses

(Give your full home address, or your city and province)

246 Osborn Ave New Westminster  
121 Green Ave New Westminster  
318 PINE ST NEW WESTMINSTER  
728 4TH ST New Westminster BC  
225 Richmond St. New Westminster BC  
321 Fifth Ave New Westminster, B.C.



Parish

## Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

### Signatures

(Sign your own name. Do not print.)

*[Signature]*  
Margaret Corl  
C. Williams  
H. R. Haywood  
A. H. N. [Signature]  
C. M. [Signature]  
H. [Signature]  
J. [Signature]  
Jenny Styles

### Addresses

(Give your full home address, or your city and province)

1008 TENTH AVE New West B.C.  
7956 Burnside Cr. Burnaby  
3141 7th St. New Westminster  
1405 Hamilton St. New Westminster  
6470 CABELDA CR. Delta  
4470 Cabelda Cr. Delta  
#302 119 Ames St. N.W.  
same as above  
1617 8th Ave New West  
13928 113 Ave Surrey

Parish

## Petition to the City of New Westminster

To: New Westminster City Councillors  
CC: Mayor Wayne Wright

We, the undersigned citizens (or residents) of Canada

draw the attention of the City Council of New Westminster to the following:

THAT, funding for historic buildings is not readily available from senior governments.

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

### Signatures

(Sign your own name. Do not print.)

Jamara Stockli  
Jordan Stockli  
Bella Graham  
Diana (Rothwell)  
C. J. Lang  
M. Gauri  
K. Penney  
Cynthia Styles

### Addresses

(Give your full home address, or your city and province)

#106-4047<sup>th</sup> ST N.W.  
" " "  
#104-707 7<sup>th</sup> Ave NW  
125 4<sup>th</sup> Ave, New Westminster BC V2M 1N2  
Royal Ave, New West  
4739 Greig Ave Burnaby BC  
7739 Goay Ave Burnaby BC  
14362, Kindersley Ave, Surrey B.C.

Parish

## Petition to the City of New Westminster

To: New Westminster City Councillors  
CC: Mayor Wayne Wright

We, the undersigned citizens (or residents) of Canada

draw the attention of the City Council of New Westminster to the following:

THAT, funding for historic buildings is not readily available from senior governments.

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

### Signatures

(Sign your own name. Do not print.)

*[Signature]*  
*[Signature]*  
P. F. FAYSON  
*[Signature]*  
Auton. Allen  
Marcus Aiso  
Adelaine Miller  
*[Signature]*  
K. Glaventa

### Addresses

(Give your full home address, or your city and province)

228-320 St New Westminster  
#202-119 Angus St New Westminster  
#38-8763 ASHROVE CRES BC  
38-8763 Ash Grove Cres BC,  
8-11 Kauri Ct New West  
16447 64th Ave Surrey  
^ ^ ^  
#404-420 Cameron St New West



# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

John MacDonnell

William Boland

Larry Rowley

Michael Hurst

Richard Beron

Debbie Greenwood

Robert Hay

Gigant, Gandy

~~Gandy~~

PAUL MINHAS

K. Kempik

## Addresses

(Give your full home address, or your city and province)

898 Baker Drive Coq

1790 KILKENNY RD. N. VANCOUVER BC

23100-115 AVE. MAPLE RIDGE BC

605 Barham Road Wnt Vancouver

North Delta, BC

4154-103 Ave Surrey B.C.

1114 OVERTON STREET Port Coq.

11976 WOODRIDGE CRES, DELTA BC.

6821 Lemiskine Drive, Delta BC

#806-39th - 65th Street NW

646 Columbia St. New West

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

elleybaybridalBoutique  
Debra Ducharme  
Paul Wright  
Sabeeh Nascer  
NEW WEST DRUID

## Addresses

(Give your full home address, or your city and province)

708 COLUMBIA ST. NEWWEST BC  
548 COLUMBIA ST - NW  
548 Columbia ST NW  
424 Columbia St, Newwest  
408 Columbia St N.W.

# Petition to the City of New Westminster

THEREFORE, your petitioners request that City Council please use the Heritage Revitalization Agreement tool available to the City of New Westminster to permit the parish of Holy Trinity Cathedral to build a high rise of sufficient size to enable the proposed preservation of this important historic site in our city.

## Signatures

(Sign your own name. Do not print.)

Ray Kevork  
 MARIL JAMES  
 [Signature]  
 Jyoti Dhill  
 [Signature]  
 Donna O'Ginski  
 [Signature]  
 PALMER HUBERT  
 Kathy Markelch  
 N. Ziganluk

## Addresses

(Give your full home address, or your city and province)

306-6838 Station Hill Dr BURNABY  
 306-6<sup>th</sup> AVE ~ WEST  
 705-1185 DELAYSI D- DRIVE  
 604-783-2532 Sapperton BC.  
 887 Carnation ST BC  
 1535 Edinburgh St. New Westminster, V3M 2A7  
 5241 Westminster Ave Delta  
 3815 202nd St. Langford, BC V1P 1P3  
 5248-141st Surrey BC V4P 3L8  
 #5-36 Richmond St New West





House of Commons  
Chambre des communes  
CANADA

*Constituency Office*

7615 6th Street  
Burnaby, BC V3N 3M6  
Phone: 604.775.5707  
Fax: 604.775.5743  
peter.julian.c1@parl.gc.ca

www.peterjulian.ca

*House of Commons*

Confederation Building  
Room 184  
Ottawa, ON K1A 0A6  
Phone: 613.992.4214  
Fax: 613.947.9500

peter.julian@parl.gc.ca



**Peter Julian**

MP / Député

Burnaby-New Westminster

*Bureau de circonscription*

7615, 6ième rue  
Burnaby (C.B.) V3N 3M6  
Tél. : 604.775.5707  
Télec. : 604.775.5743  
peter.julian.c1@parl.gc.ca

www.peterjulian.ca

*Chambre des communes*

Édifice de la Confédération  
Pièce 184  
Ottawa (ON) K1A 0A6  
Tél. : 613.992.4214  
Télec. : 613.947.9500

peter.julian@parl.gc.ca

June 12, 2015

TO: Department of Canadian Heritage  
Canada 150 Fund

FROM: Peter Julian, MP (Burnaby-New Westminster)

RE: Holy Trinity Parish of New Westminster  
514 Carnarvon Street, New Westminster, BC

As the Member of Parliament for Burnaby and New Westminster, I am writing this letter in support of the Holy Trinity Parish of New Westminster and their application to the Canada 150 Community Infrastructure Program for funding.

As a long-time 4<sup>th</sup> generation resident of New Westminster, my family and I have witnessed first-hand the incredible support Holy Trinity Cathedral has provided for the multi-cultural community of New Westminster. As well as offering spiritual guidance and a place of worship, the location is used for important community events, concerts, AA meetings, meal programs for the homeless and youth empowering activities to name a few.

Holy Trinity is an historic parish established in 1859, and has been the Chapel to the Royal Westminster Regiment who celebrated their sesquicentennial in 2013. The cathedral's architectural style is Gothic Revival. It contains art glass windows by Henry Bloomfield & Sons and woodwork from native tree species. As one of the oldest Anglican churches in the Lower Mainland, Holy Trinity Cathedral requires rehabilitation to maintain its importance in the community - historically, traditionally and symbolically - and to continue serving the spiritual needs of the citizens of New Westminster.

I ask you to please give Holy Trinity Parish of New Westminster every consideration when making your decision.

Thank you.

Sincerely,

Peter Julian, MP  
Burnaby-New Westminster

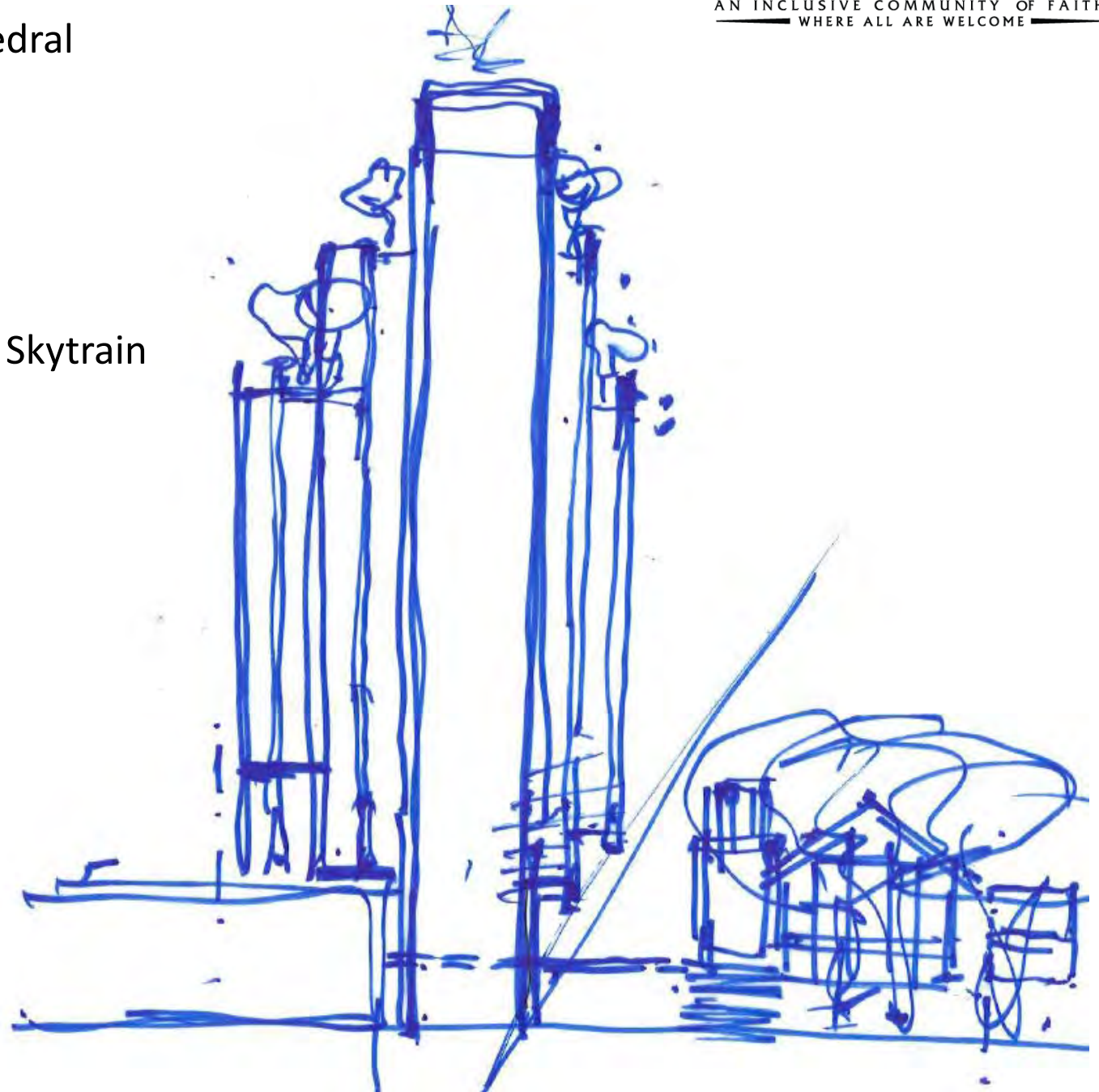




514 Carnarvon Street, New Westminster



- Heritage Conservation of Landmark Cathedral
- Community Amenity/ Services
- Community Plaza
- Safe public accessible access to Columbia Skytrain
- 252 housing units
- 77 Family Housing Units
- 42 Affordable Rental Units
- Architecturally Significant Building
- Community Support

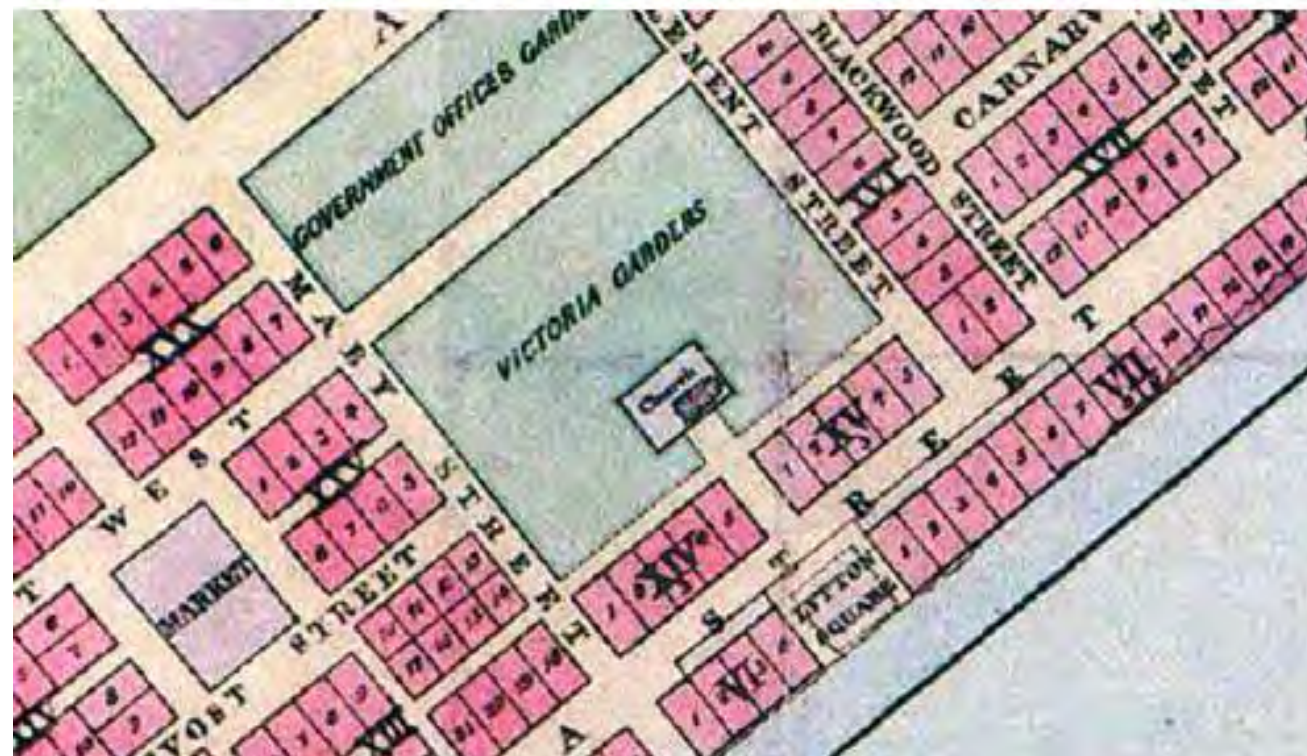


## Project Objectives

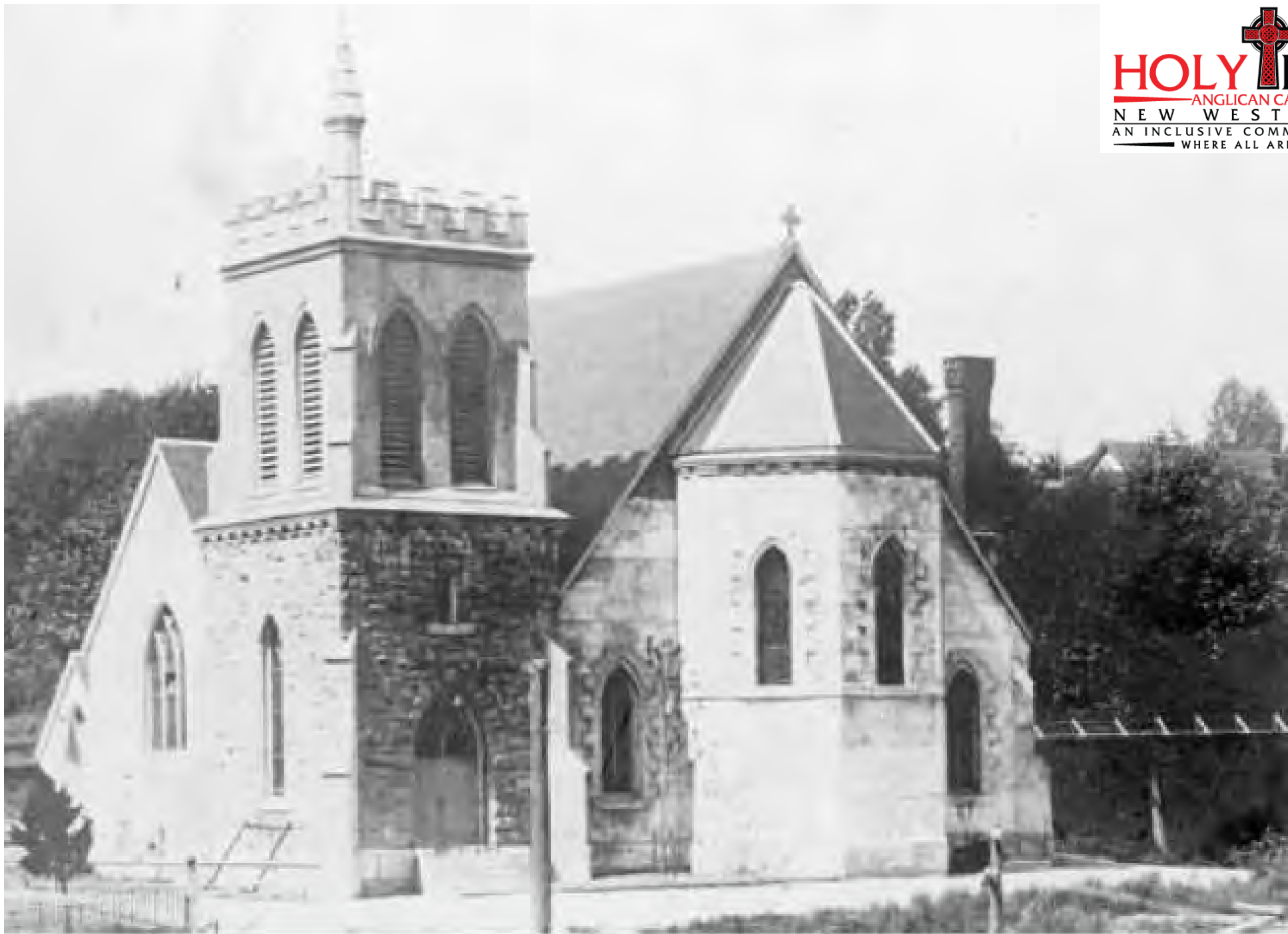




Map of New Westminster, 1860. Detail below showing the already-constructed first Holy Trinity Church.



Heritage Site / Location



**DONALD LUXTON**  
AND ASSOCIATES INC



514 Carnarvon Street, New Westminster

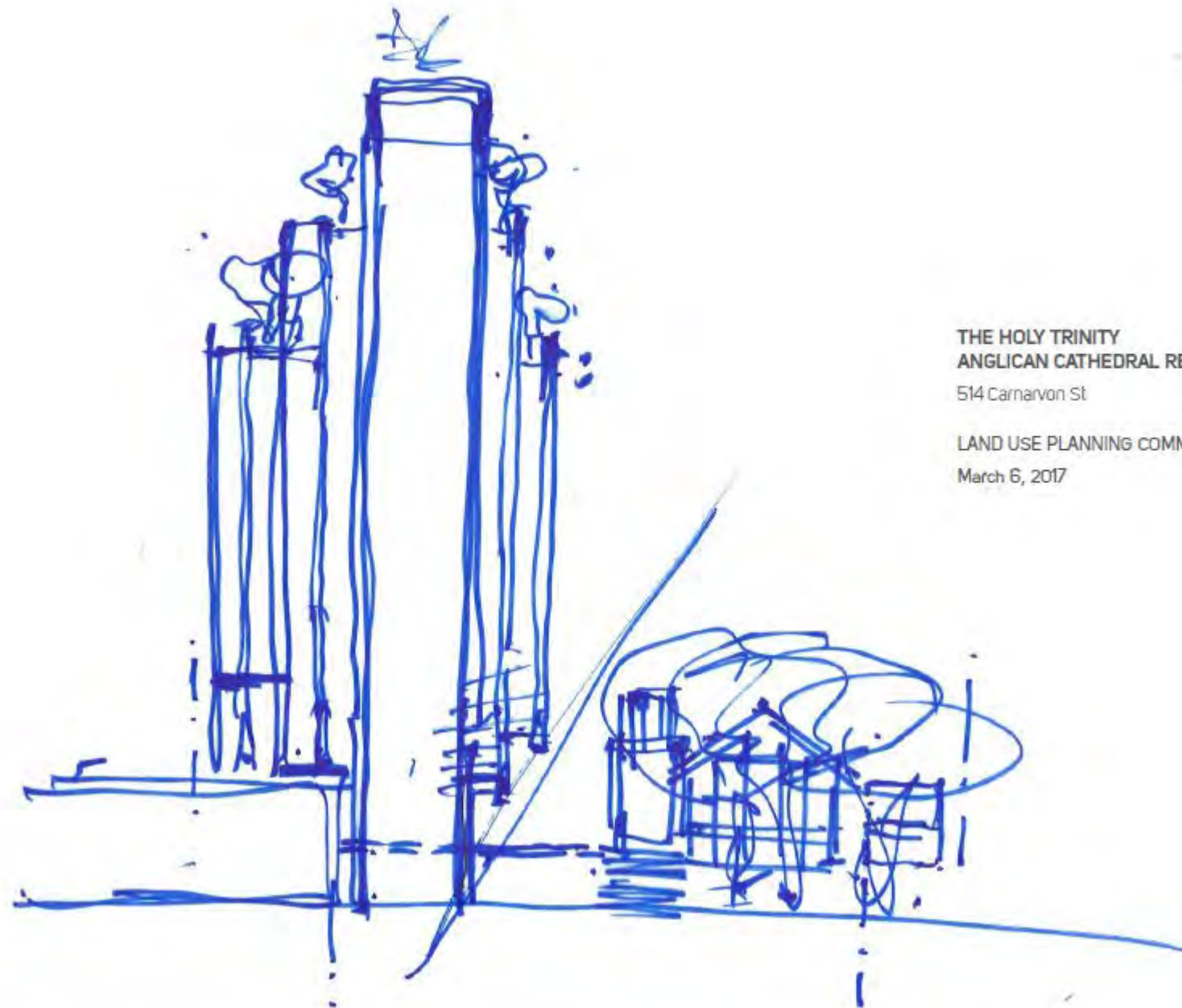




1. Long Term Conservation
2. Public Safety
3. Improved functionality
4. Legal Protection
5. Space for community events and programming
6. Institutional Preservation
7. Social, cultural and spiritual sustainability

## Heritage Outcomes



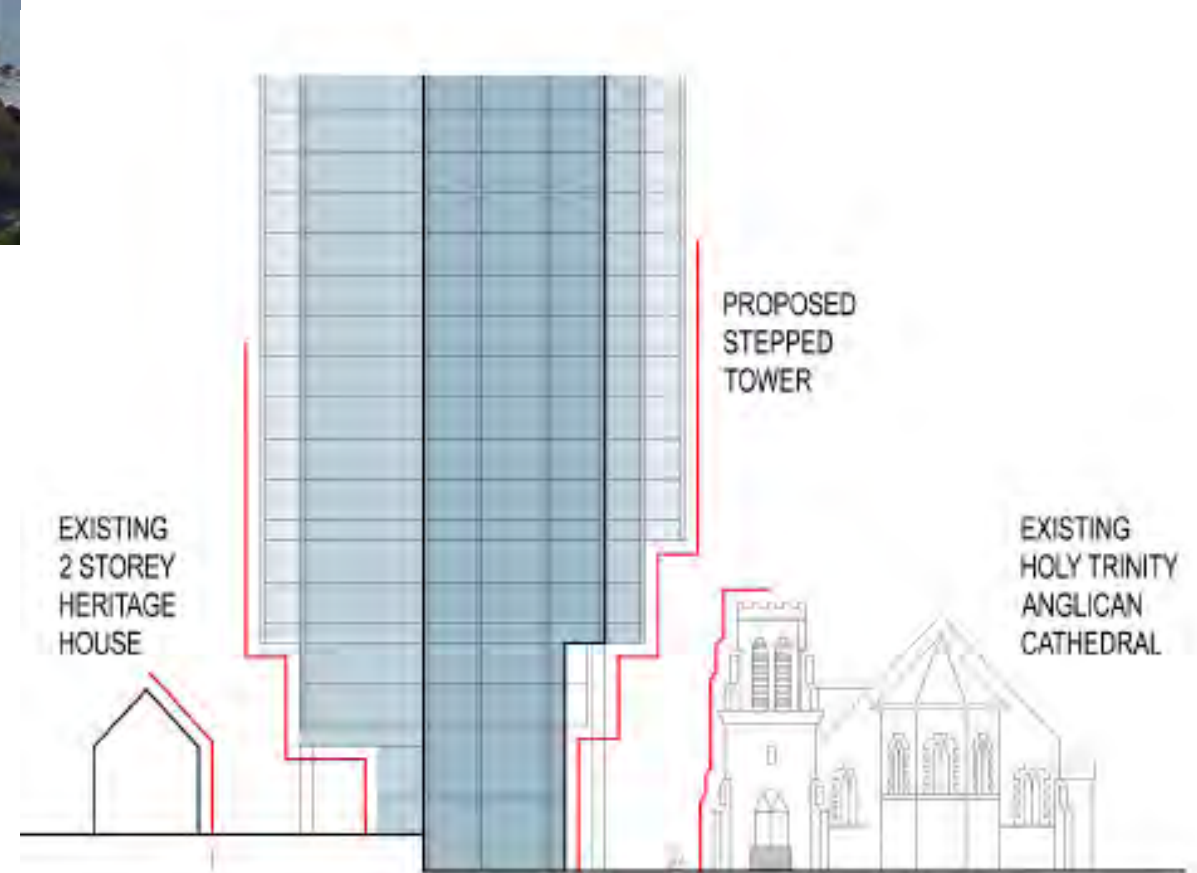


THE HOLY TRINITY  
ANGLICAN CATHEDRAL RENEWAL  
514 Carnarvon St  
  
LAND USE PLANNING COMMITTEE  
March 6, 2017

Architectural & Urban Design Response

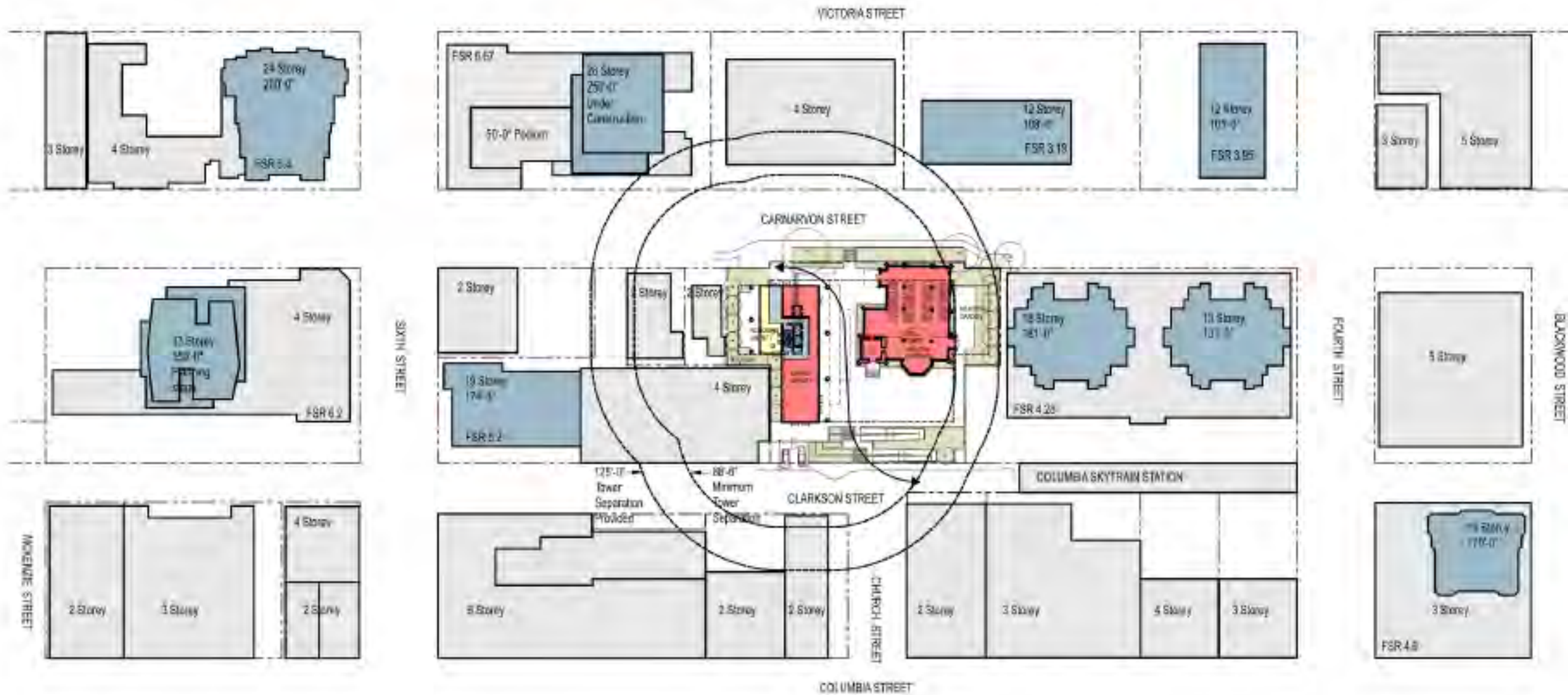


Public Realm & Plaza



## Architectural Response





Downtown Site Context





Church Street View





Streetscape





## MINISTRY PLAN

*“Welcome one another, therefore, just as Christ has welcomed you, for the glory of God.” (Romans 1*

A Ministry Plan designed to nurture growth, spiritual vitality, and sustainability at

Holy Trinity Cathedral,  
New Westminster





## Our vision

To welcome one another, as Christ has welcomed us as we seek to revitalize Holy Trinity Cathedral, led by the Spirit, into a major heritage center that nurtures spirituality, community, and creativity for the glory of God.

## **Holy Trinity Cathedral Facility Use Analysis 2016**

### **Community Use (about 400 times):**

Twelve Step groups (4 groups), meeting weekly (208 meetings)

Community groups, functions or gatherings (11)

Acorn

Ancient Grains

Go Bananas

Hyack Ambassadors

NW Downtown Residents Association (6)

Pride

Youth organizations, 2 groups:

Job's Daughters (meeting twice a month) (24)

Girl Guides (1)

Concerts/Recitals or Workshops (10 uses)

Anne Unger (3)

Lyric Singers (2)

Newcomers Choir

Drift Compatibles

Vivo Choir

Williams & Dresselhuis recital

Winter Harp

Martial Arts group, Heisei Dojo meeting usually 4 times a month, (40)

Movie shoots or use of facilities (4)

Other Church, Ebenezer Pentecostal, (meeting 1 – 2 times a week, (90)

Strata groups, (4)

Bayside Properties (2)

Dorchester Service Residential (1)

First Service Residential (1)

### **Outreach Breakfast, about 5,200 meals per year**

Every week on Thursday, serving up to 165 each week  
(average 100 per week), **5,200 meals**

### **Church & Hall Use:**

Sunday and other services

Funeral teas

Weddings

Church meals

Bake sale

Choir practices

Sunday school

Women's prayer groups

Anglican Diocesan meetings

## **Community Amenity**





# Revitalizing an Historic Landmark of the City

## Why we are invested in revitalizing Holy Trinity Cathedral

1. It will enable the preservation of one of the most historically significant buildings in the City
2. It will create a safe, structurally sound worship space for all to enjoy
3. It will allow us to provide much needed community space for the people of New Westminster
4. It will enable us to provide space for the arts to thrive in our community
5. It will expand our efforts to address the growing needs of the poor and hungry in our wider neighbourhood





# Thank you

For more information on ways to connect with  
Holy Trinity Cathedral & to see a more extensive  
list of our current services and programs please visit  
[www.holytrinitycathedral.ca](http://www.holytrinitycathedral.ca)