CORPORATION OF THE CITY OF NEW WESTMINSTER

HERITAGE REVITALIZATION AGREEMENT (HOLY TRINITY CATHEDRAL)

BYLAW NO. 8089, 2022

A Bylaw to enter into a Heritage Revitalization Agreement under Section 610 of the *Local Government Act*

WHEREAS the City of New Westminster and the owner of Holy Trinity Cathedral property located at 514 Carnarvon Street, New Westminster, British Columbia wish to enter into a Heritage Revitalization Agreement in respect of that property;

NOW THEREFORE, the Council of the City of New Westminster enacts as follows:

Citation

1. This Bylaw may be cited as "Heritage Revitalization Agreement (Holy Trinity Cathedral) Bylaw No. 8089, 2022".

Heritage Revitalization Agreement

2. The City of New Westminster is authorized to enter into a Heritage Revitalization Agreement under section 610 of the *Local Government Act* with the registered owner of the Holy Trinity Cathedral property located at 514 Carnarvon Street, New Westminster, British Columbia, and legally described as PID: 008-186-430 Parcel "One" Victoria Gardens Reference Plan 74708 in the form attached as **Schedule A**.

3. The Mayor and City Clerk are authorized to execute and deliver such Heritage Revitalization Agreement on behalf of the City of New Westminster.

READ A FIRST TIME this 13th day of June, 2022.

READ A SECOND TIME this 13th day of June, 2022.

PUBLIC HEARING held this _____ day of _____, 2022.

READ A THIRD TIME this _____ day of _____, 2022.

ADOPTED this _____ day of _____, 2022.

Mayor Jonathan X. Cote

Jaqueline Killawee, City Clerk

SCHEDULE A

HERITAGE REVITALIZATION AGREEMENT (HOLY TRINITY CATHEDRAL)

THIS AGREEMENT dated for reference June 2, 2022 is

BETWEEN:

THE HOLY TRINITY PARISH OF NEW WESTMINSTER B.C., 514 Carnarvon Street, New Westminster, British Columbia, V3L 1C4

(the "**Owner**")

AND:

THE CORPORATION OF THE CITY OF NEW WESTMINSTER, City Hall, 511 Royal Avenue, New Westminster, British Columbia, V3L 1H9

(the "**City**")

WHEREAS:

A. The Owner is the registered owner in fee simple of the lands and all improvements located at 514 Carnarvon Street, New Westminster, British Columbia, and legally described as PID 008-186-430, Parcel "One" Victoria Gardens Reference Plan 74708 (the "**Land**").

B. The Owner intends to apply to the City's Approving Officer for approval of a subdivision plan to divide the Land into two separate parcels, generally as shown on the site plan (the "**Site Plan**") attached as Appendix 1 and identified as "**Sub-District A**" and "**Sub-District B**".

C. There is a building currently situated on the Land known as the Holy Trinity Cathedral (the "**Heritage Cathedral**"), which building is located within Sub-District B and is listed in the City's Heritage Register.

D. The City and the Owner agree that the Heritage Cathedral has heritage value and should be conserved, restored and properly maintained.

E. The Owner wishes to make certain alterations and restorations to the Heritage Cathedral, including seismic upgrading (the "**Seismic Upgrade**") in accordance with plans prepared by Structural Solutions Engineering Inc. and dated January 21, 2020 a copy of which is

Appendix 2 (the "**Seismic Upgrade Plans**"), and restoration and rehabilitation work (the "**Conservation Work**") in accordance with the heritage conservation plan prepared by Donald Luxton and Associates and dated October 2021 a copy of which is attached as **Appendix 3** (the "**Conservation Plan**").

F. The Owner wishes to develop within Sub-District A a multi-storey building of complementary design containing 285 residential dwellings, including 271 strata-titled ownership units and 14 secured market rental units, as well as underground vehicle parking spaces, a new parish hall, and public amenity space including an outdoor plaza and pedestrian access corridor with elevator (collectively the "**Mixed Use Building**").

G. It is intended that HTC Foundation will use its profits (revenue in excess of costs) to support the ongoing maintenance and operations of the Heritage Cathedral.

H. The proposed subdivision and development of residential housing units on the Land are not permitted by City of New Westminster Zoning Bylaw No. 6680, 2001.

I. Section 610 of the *Local Government Act* authorizes a local government to enter into a Heritage Revitalization Agreement with the owner of heritage property, which may, among other things, vary or supplement the provisions of a land use bylaw or permit under Part 14 or Part 15 of the *Local Government Act*.

J. The Owner and the City wish to enter into this Heritage Revitalization Agreement and the City has adopted a bylaw authorizing the City to do so.

K. The Owner wishes to also confirm the designation of the Heritage Cathedral as protected heritage property under section 611 of the *Local Government Act*.

THIS AGREEMENT is evidence that in consideration of the sum of ten dollars ($10.00) now paid by each party to the other and for other good and valuable consideration (the receipt of which each party hereby acknowledges) the Owner and the City each covenant with the other pursuant to Section 610 of the *Local Government Act* as follows:

Seismic Upgrade to Heritage Cathedral

1. **Commencement** - After registration of this agreement, the Owner shall commence and undertake to completion the Seismic Upgrade in accordance with the Seismic Upgrade Plans attached as Appendix 2, for clarity, commencement of the Seismic Upgrade includes preparation of plans and permit processing.

2. **Professional Oversight** - The Owner shall, throughout the course of the Seismic Upgrade, engage a member of the Association of Professional Engineers and Geoscientists of British Columbia (the "**Structural Engineer**") to oversee the Seismic Upgrade.

   The Owner shall cause the Structural Engineer to:

(a) prior to commencement of the Seismic Upgrade, and at any time during the course of the Seismic Upgrade that a Structural Engineer has been engaged in substitution for a Structural Engineer previously engaged by the Owner, provide to the City an executed and sealed Confirmation of Commitment in the form attached as **Appendix 4**;

(b) supervise the Seismic Upgrade and ensure substantial compliance of the Seismic Upgrade work with the Seismic Upgrade Plans;

(c) provide regular reports to the City's Director of Climate Action, Planning and Development on the progress of the Seismic Upgrade;

(d) upon substantial completion of the Seismic Upgrade, provide to the City an executed and sealed Certification of Compliance in the form attached as **Appendix 5**; and

(e) notify the City within one business day if the Structural Engineer's engagement by the Owner is terminated for any reason.

3. **Minor Revisions** - The Owner may request approval from the Director of Climate Action, Planning and Development, at the Director's sole discretion, for minor revisions to the Seismic Upgrade Plans if such revisions are recommended in writing to the Owner by the Structural Engineer during the course of the work; for this purpose, minor revisions do not alter character defining elements on the interior or exterior of the Heritage Cathedral as described in the building's Statement of Significance in the Conservation Plan (Appendix 3).

4. **Completion** - The Owner shall, within five years following the date of registration of this agreement, complete the Seismic Upgrade and provide a Certificate of Compliance to the City in respect of the Seismic Upgrade.

Conservation Work to Heritage Cathedral

5. The Owner shall complete the Conservation Work described in the Conservation Plan prepared by Don Luxton, dated October 2021 attached as Appendix 3 and the design plans and specifications prepared by Jonathan Ehling Architect Inc. , dated February 26, 2019, a copy of which is attached hereto as **Appendix 6** (the "Cathedral **Design Plans**"), full-size copies of which plans and specifications are on file at the New Westminster City Hall.

6. The Owner shall undertake the Conservation Work in accordance with generally accepted heritage conservation practices. If any conflict or ambiguity arises in the interpretation of the Conservation Plan, or with respect to any City approved minor revisions, the parties agree that the ambiguity shall be resolved having regard to the Standards and Guidelines for the Conservation of Historic Places in Canada, 2nd edition, published by Parks Canada in 2010.

7. **Heritage Professional** – The Owner shall throughout the course of the Conservation Work engage a member of the Architectural Institute of British Columbia or the Canadian Association of Heritage Professionals with specialization in Building or Planning (the "**Heritage Professional**") to oversee the Conservation Work.

The Owner shall cause the Heritage Professional to:

(a) prior to commencement of the Conservation Work, and at any time during the course of the Conservation Work that a Heritage Professional has been engaged in in substitution for a Heritage Professional previously engaged by the Owner, provide to the City an executed and sealed Confirmation of Commitment in the form attached as Appendix 4 and, if the Heritage Professional is a member of the Canadian Association of Heritage Professionals, the Heritage Professional shall provide evidence of their membership and specialization when submitting such executed and sealed Confirmation of Commitment;

(b) provide regular reports to the City's Climate Action, Planning and Development Department, on the progress of the Conservation Work;

(c) upon substantial completion of the Conservation Work, provide to the City an executed and sealed Certification of Compliance in the form attached as Appendix 5; and

(d) notify the City within one business day if the Heritage Professional's engagement by the Owner is terminated for any reason.

8. **Minor Revisions** - During the course of completing the Conservation Work, the Owner may propose to the City's Director of Climate Action, Planning and Development minor revisions to the Conservation Plan if such revisions are recommended in writing to the Owner by the Heritage Professional, and the Director may approve such minor revisions at their sole discretion.

9. **Completion** - The Owner shall complete the Conservation Work within five years following the date of registration of this Agreement.

Damage to or Destruction of Heritage Cathedral

10. After the completion of the Seismic Upgrade and Conservation Work:

(a) if the Heritage Cathedral is damaged, the Owner shall restore and repair the Heritage Cathedral to the same condition and appearance that existed before the damage occurred;

(b) if, in the opinion of the City, the Heritage Cathedral is completely destroyed, the Owner shall construct a replica, using equivalent contemporary materials if

necessary, of the Heritage Cathedral that complies with the Conservation Plan and with City of New Westminster Zoning Bylaw No. 6680, 2001, as varied and supplemented by this Agreement; and

(c) the Owner shall use its best efforts to commence and complete any restoration of and repairs to the Heritage Cathedral, or the construction of a replica, with reasonable dispatch.

Heritage Designation of Heritage Cathedral

11. The Owner irrevocably:

(a) agrees to the designation of the Heritage Cathedral exterior as protected heritage property under section 611 of the *Local Government Act*;

(b) waives its right to compensation under section 613 of the *Local Government Act*; and

(c) releases the City from any obligation to compensate the Owner under that section.

12. Except for completion of the Seismic Upgrade and the Conservation Work in accordance with this Agreement, the Owner shall not at any time alter the exterior appearance of the Heritage Cathedral, except as permitted by a heritage alteration permit under Part 15 of the *Local Government Act*.

Ongoing Maintenance of Heritage Cathedral Post Restoration

13. **Maintenance** -Following the completion of the Seismic Upgrade and Conservation Work, the Owner shall maintain the Heritage Cathedral in good repair in accordance with the Conservation Plan in Appendix 3 and the maintenance standards set out in City of New Westminster Heritage Properties Minimum Maintenance Standards Bylaw No. 7971, 2018, as amended or replaced from time to time, and, in the event that Bylaw No. 7971 is repealed and not replaced, the Owner shall continue to maintain the building to the standards that applied under Bylaw No. 7971 immediately prior to its repeal.

14. **Maintenance Funding -** The Owner shall perform or cause to be performed the on-going maintenance work and operations as identified in accordance with the maintenance plan detailed in the Conservation Plan (Appendix 3), and the City may in its discretion but not more than once per calendar year, require the Owner to provide documentary evidence of such maintenance and expenditure. If in any calendar year the Owner's maintenance expenditures do not, in the reasonable opinion of the City's Director of Climate Action, Planning and Development comply with this requirement, the City may, in lieu of or in addition to enforcing the Heritage Properties Minimum Maintenance Standards Bylaw

No. 7971, require the Owner to contribute the amount of any shortfall in expenditures towards the maintenance of the Heritage Cathedral.

If Sub-District A is subdivided by deposit of an air space plan under Part 9 of the *Land Title Act* and in compliance with section 23, the requirements of this section and section 16 shall not apply to Sub-District A except for the parcel containing the parish hall portion of the Mixed Use Building.

Construction and Use of Mixed Use Building

15. The Owner shall construct the Mixed Use Building in strict accordance with Zoning Bylaw No. 6680, 2001 as varied and supplemented by this Agreement, and such development permits as the City may issue pursuant to the *Local Government Act* or the *New Westminster Redevelopment Act* and in accordance with the Mixed Use Building plans, a copy of which is attached as Appendix 8 (the "**Mixed Use Building Design Plans**") and the Site Plan (Appendix 1).

16. The Owner agrees that the City may, notwithstanding that such a permit may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a development permit or building permit for the Mixed Use Building if plans submitted with the application for the development permit or the building permit, as the case may be, are not in accordance with the Mixed Use Building Design Plans, and may withhold a permit or inspection to occupy the Mixed Use Building or any portion thereof if the work completed is not in accordance with the Mixed Use Building Design Plans. In this Agreement, a reference to development permit shall include special development permits under the *New Westminster Redevelopment Act*.

17. The Owner shall commence and complete all actions required for the completion of the Mixed Use Building and related amenities, including the plaza, pedestrian access corridor, stairs and elevator, within six years following the date of the registration of the this Agreement.

18. Following completion of the construction of the Mixed Use Building, in accordance with this Agreement, the Owner shall not alter the unit count, total floor space, interior layout or exterior appearance of the Mixed Use Building, except as permitted by the City.

Restrictions on Timing of Mixed Use Building Construction and Occupancy & Sub-District A Subdivision

19. **Construction -** Construction of the Mixed Use Building on the Land shall be subject to the following restrictions and requirements and the Owner shall observe and comply with, and be subject to, all of the following requirements and restrictions:

    (a) No above grade construction of the Mixed Use Building shall begin on the Land, and the City may refuse to issue a building permit for any such above-grade work,

until and unless the City has issued a building permit for the construction of the Seismic Upgrade and the Owner has commenced the Seismic Upgrade as such commencement is clarified in Section 1.

(b) The Owner shall proceed with and complete the Seismic Upgrade and Conservation Work prior to or concurrently with the construction of the Mixed Use Building and complete the Seismic Upgrade and Conservation Work prior to or concurrently with the completion of the Mixed Use Building.

(c) The Owner shall cause the Structural Engineer, in respect of the Seismic Upgrade, and the Heritage Professional, in respect of the Conservation Work, to provide a written report to the City, in a form and with such details as may be required by the City's Director of Climate Action, Planning and Development, describing the status of completion of the Seismic Upgrade and the Conservation Work, within 14 days following such work reaching each of the 25%, 50% and 75% completion states. In addition, the Owner shall cause the Structural Engineer or the Heritage Professional to advise the Director of completion status promptly following a request from the Director from time to time.

(d) Owner shall complete the Seismic Upgrade before the Owner books with the City for either the final fire-stop inspection of the Mixed Use Building or for insulation inspection above the 23rd floor of the Mixed Use Building and the Owner shall not apply for such inspections and the City may refuse to conduct such inspections until the Seismic Upgrade is complete and the requirements of paragraphs (i), (ii) and (iii) of the next section with respect to the Seismic Upgrade only have been satisfied.

20. **Subdivision** - Sub-District A shall not be subdivided by any means, including by deposit of an air space parcel plan under Part 9 of the **Land Title Act** or by deposit of a strata plan of any kind under the *Strata Property Act*, and the City's approving officer may refuse to approve any such subdivision, until and unless: (i) the Owner has provided a Certificate of Compliance to the City in respect of the Seismic Upgrade and the Conservation Work, (ii) the City has completed a satisfactory heritage inspection, and (iii) the City's Director of Climate Action, Planning and Development has confirmed in writing that they are satisfied that the Seismic Upgrade and Conservation Work have been completed.

21. **Occupancy** - The Mixed Use Building shall not be occupied or used for any purpose, and the City may refuse to issue an occupancy permit for the Mixed Use Building, until and unless: (i) the Owner has provided a Certificate of Compliance to the City in respect of the Seismic Upgrade and the Conservation Work, (ii) the City has completed a satisfactory heritage inspection, and (iii) the City's Director of Climate Action, Planning and Development has confirmed in writing that they are satisfied that the Seismic Upgrade and Conservation Work have been completed.

Inspection

22. Upon request by the City, the Owner shall cause its Structural Engineer or Heritage Professional to advise the City's Director of Climate Action, Planning and Development of the status of the Seismic Upgrade or the Conservation Work, as the case may be, and, without limiting the City's power of inspection conferred by statute and in addition to such powers, the City shall be entitled at all reasonable times and from time to time to enter onto the Land for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner.

General

23. **Owner Expense** - The Owner shall comply with this Agreement, and perform its obligations under this Agreement, at its own expense.

24. **Zoning** – The City of New Westminster Zoning Bylaw No. 6680, 2001 is varied and supplemented in its application to the Lands as set out in **Appendix 7**.

25. **Permits Required** - Prior to commencement of the Seismic Upgrade, the Conservation Work, and construction of the Mixed Use Building, the Owner shall obtain from the City all necessary permits and licenses, including but not limited to development permit, heritage alteration permit, building permit, and tree permit. Nothing in this Agreement relieves the Owner from having to obtain any permits from the City to do anything required or permitted by this Agreement.

26. **Subdivision** - Nothing in this Agreement commits the Approving Officer to approve the proposed subdivision plan as generally shown on the Site Plan (Appendix 1).

27. **Signage** - The Owner shall at the Owner's sole expense, erect on the Land and keep erected throughout the course of the Seismic Upgrade and Conservation Work, a sign of sufficient size and visibility to effectively notify contractors and tradespersons entering onto the Land that the work involves protected heritage property and is being carried out for heritage conservation purposes.

28. **Conformity with City Bylaws** - The Owner acknowledges and agrees that, except as expressly varied by this Agreement, any development or use of the Land, including any preservation, rehabilitation, restoration and repairs done with respect to the Heritage Cathedral, must comply with all applicable bylaws of the City.

29. **Statutory Authority Retained** - Nothing in this Agreement shall limit, impair, fetter or derogate from the statutory powers of the City, all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled.

30. **Business Day** – In this Agreement, "business day" means a day other than a Saturday, Sunday or statutory holiday in British Columbia.

Enforcement of Agreement

31. The Owner acknowledges that it is an offence under Section 621(1)(c) of the *Local Government Act* to alter the Land or the Heritage Cathedral in contravention of this Agreement, punishable (as of the date of registration of this Agreement) by a fine of up to $50,000.00 or imprisonment for a term of up to 2 years, or both.

32. The Owner acknowledges that it is an offence under Section 621(1)(b) of the *Local Government Act* to fail to comply with the requirements and conditions of any heritage alteration permit issued to the Owner pursuant to this Agreement and Section 617 of the *Local Government Act*, punishable in the manner described in the preceding section.

33. The Owner acknowledges that, if the Owner alters the Land or the Heritage Cathedral in contravention of this Agreement, the City may apply to the British Columbia Supreme Court for:

    (a) an order that the Owner restore the Land or the Heritage Cathedral, or both, to their condition before the contravention;

    (b) an order that the Owner undertake compensatory conservation work on the Land or the Heritage Cathedral, or both;

    (c) an order requiring the Owner to take other measures specified by the Court to ameliorate the effects of the contravention; and

    (d) an order authorizing the City to perform any and all such work at the expense of the Owner.

34. The Owner acknowledges that if the City undertakes work to satisfy the terms, requirements or conditions of any heritage alteration permit issued to the Owner pursuant to this Agreement upon the Owner's failure to do so, the City may add the cost of the work and any incidental expenses to the taxes payable with respect to the Land, or may recover the cost from any security that the Owner has provided to the City to guarantee the performance of the terms, requirements or conditions of the permit, or both.

35. The Owner acknowledges that the City may file a notice on title to the Land in the Land Title Office if the terms or conditions of this Agreement have been contravened.

36. The City may notify the Owner in writing of any alleged breach of this Agreement and the Owner shall have that reasonable time specified in the notice to remedy the breach. In

the event that the Owner fails to remedy the breach within the time specified, the City may enforce this Agreement by:

(a) seeking an order for specific performance of the Agreement;

(b) any other means specified in this Agreement; or

(c) any means specified in the *Community Charter* or the *Local Government Act*,

and the City's resort to any remedy for a breach of this Agreement does not limit its right to resort to any other remedy available at law or in equity.

Indemnity

37. The Owner hereby releases, indemnifies, and saves the City, its officers, employees, elected officials, agents and assigns harmless from and against any and all actions, causes of action, losses, damages, costs, claims, debts and demands whatsoever by any person, arising out of or in any way due to the existence or effect of any of the restrictions or requirements in this Agreement, or the breach or non-performance by the Owner of any term or provision of this Agreement, or by reason of any work or action of the Owner in performance of its obligations under this Agreement or by reason of any wrongful act or omission, default, or negligence of the Owner.

38. In no case shall the City be liable or responsible in any way for:

(a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that be suffered or sustained by the Owner or by any other person who may be on the Land; or

(b) any loss or damage of any nature whatsoever, howsoever caused to the Land, or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements in this Agreement, wrongful or negligent failure or omission by the Owner to comply with the restrictions and requirements in this Agreement or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements in this Agreement or with any other term, condition, or provision of this Agreement.

No Waiver

39. No restrictions, requirements, or other provisions of this Agreement shall be deemed to have been waived by the City unless a written waiver signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default, nor any previous

written waiver, shall be taken to operate as a waiver by the City of any subsequent default or in any way defeat or affect the rights and remedies of the City.

Headings

40. The headings in this Agreement are inserted for convenience only and shall not affect the interpretation of this Agreement or any of its provisions.

Appendices

41. All Appendices to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

42. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Interpretation

43. In this Agreement, "Owner" shall mean all registered owners of the Land or subsequent registered owners of the Land, as the context requires or permits.

Balance of Page Intentionally Blank

Successors Bound

44. All restrictions, rights and liabilities herein imposed upon or given to the respective parties shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date written above.

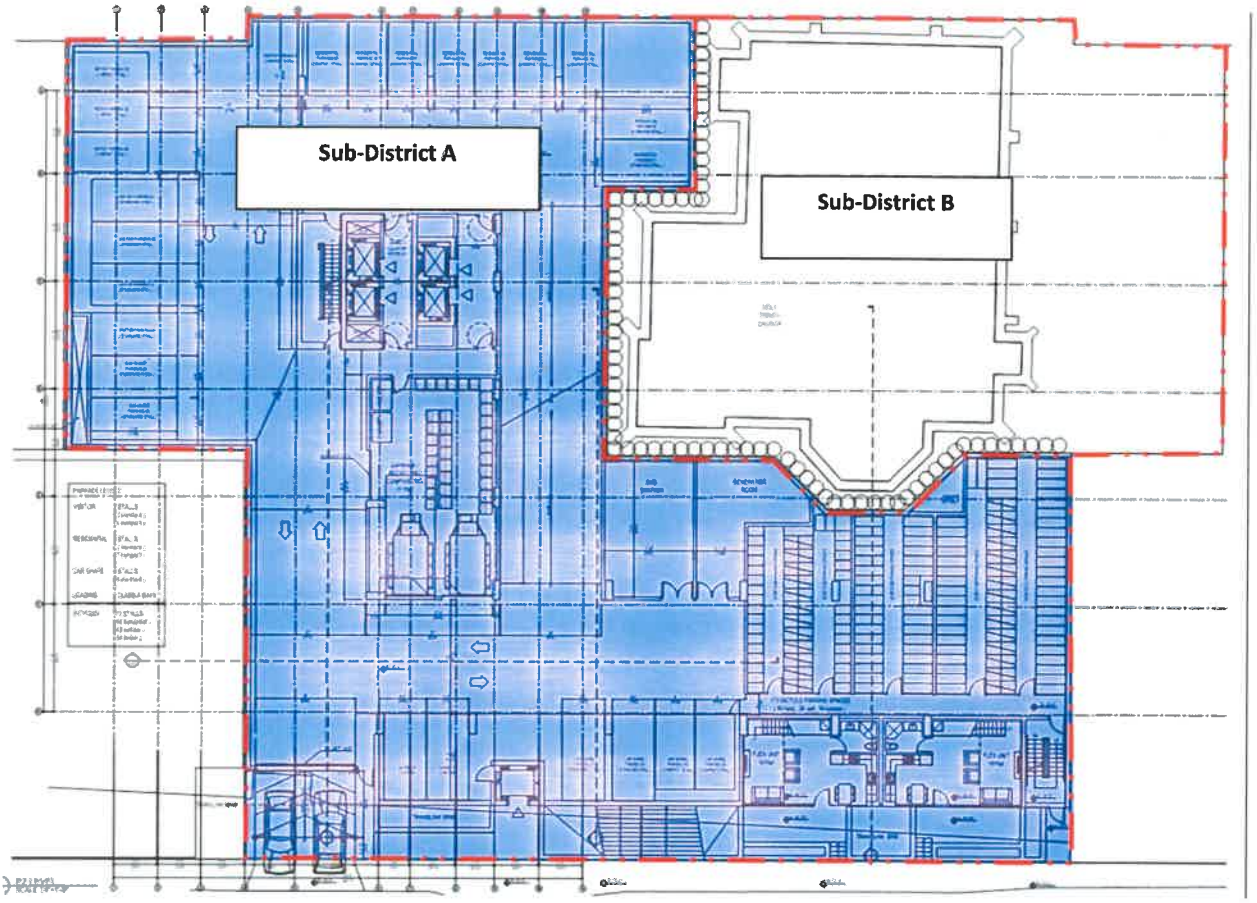
Signed, sealed and delivered by the authorized signatories of The Holy Trinity Parish of New Westminster B.C. in the presence of:	)	**THE HOLY TRINITY PARISH OF NEW WESTMINSTER B.C.** by its authorized signatories:
_____	)	_____
Name	)	The Venerable Dr. Richard Leggett, Archdeacon of Westminster and Vicar of the Parish
_____	)	
Address	)	
_____	)	_____
Occupation	)	Carla Jones, Bishop's Warden
(as to both signatures)	)	

CORPORATION OF THE CITY OF NEW WESTMINSTER
by its authorized signatories:

_____
Mayor J. Cote

_____
Jacqueline Killawee, City Clerk

APPENDIX 1



APPENDIX 2

Seismic Upgrade Plans

GENERAL

READ ALL CONSULTANTS' DRAWINGS, SPECIFICATIONS AND MANUFACTURERS' PRODUCT INFORMATION IN CONJUNCTION WITH THESE DRAWINGS. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS FOR ALL PRODUCTS. CHECK AND VERIFY DIMENSIONS ON ALL DOCUMENTS PRIOR TO COMMENCING WORK. NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES FOR CLARIFICATION.

THESE DRAWINGS SHOW ONLY THE COMPLETED NEW STRUCTURE. THE CONTRACTOR SHALL PROVIDE BRACING AND SHORING FOR STABILITY OF THE STRUCTURE AND EXCAVATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY AT THE JOB SITE AND SHALL FOLLOW ALL WORKERS' COMPENSATION BOARD OF B.C. REGULATIONS.

ALL BUILDING CODES AND REFERENCE MATERIALS SHALL BE THE LATEST EDITIONS ACCEPTED BY THE AUTHORITY HAVING JURISDICTION.

EXISTING STRUCTURES

THE CONTRACTOR SHALL VERIFY ALL RELEVANT EXISTING DIMENSIONS REQUIRED TO EXECUTE THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND THE ENGINEER FOR CLARIFICATION PRIOR TO CONSTRUCTION.

ANY DAMAGE TO THE EXISTING ADJACENT BUILDINGS CAUSED BY THE CONSTRUCTION ACTIVITY SHALL BE REPAIRED AND MADE GOOD BY THE CONTRACTOR, AT HIS OWN COST, TO THE SATISFACTION OF THE ARCHITECT.

THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION AND DESIGN OF SHORING AND/OR UNDERPINNING OF EXISTING ADJACENT STRUCTURES AND SERVICES. THE DESIGN OF SHORING AND UNDERPINNING SHALL BE PERFORMED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN BRITISH COLUMBIA.

DESIGN LOADS AND CODES (BCBC)

THE STRUCTURE IS DESIGNED TO THE FOLLOWING CODE REFERENCES AND SPECIFIED LOADS. THE CONTRACTOR SHALL DESIGN (BY A P.ENG) AND PROVIDE TEMPORARY SUPPORT/SHORING OF THE STRUCTURE DURING THE CONSTRUCTION PROCESS.

- B.C. BUILDING CODE 2018
- CONCRETE TO CAN/CSA A23.3
- TIMBER TO CAN/CSA O86
- STEEL TO CAN/CSA 16
- MASONRY TO CAN/CSA S304.1

SPECIFIED UNIFORM LOADS (U.N.O. ON PLANS, kPa (PSF))	LIVE LOAD	SUPERIMPOSED DEAD LOAD
ROOF (SNOW =0.8 Ss + Sr)	2.0 (42)	0.5 (10)
IMPORTANCE:	Is (ULS) = 1.0 Is (SLS) = 0.9	
GROUND SNOW Ss	2.3 (48)	
RAIN COMPONENT Sr	0.2 (4.1)	
TYPICAL FLOOR (W/O TOPPING)	4.8 (100)	0.75 (15)

SUPERIMPOSED DEAD LOADS INCLUDE ITEMS SUCH AS FINISHES, CONCRETE TOPPING, INSULATION, ROOFING, MECHANICAL AND ELECTRICAL FIXTURES.

ADD SLIDING AND DRIFTING SNOW LOADS TO THE NOTED BASE SNOW LOAD.

LATERAL LOADS
(WHERE APPLICABLE TO PART 4 OF THE BUILDING CODE)

SEISMIC LOAD PARAMETERS	Ra = 1.5 IE = 1.0	Ro = 1.3
	Sa (0.2)	=0.800
	Sa (0.5)	=0.704
	Sa (1.0)	=0.419
	Sa (2.0)	=0.244
	Sa (5.0)	=0.077
	Sa (10.0)	=0.037
	PGA	=0.341
	PGV	=0.532
ASSUMED SOIL CLASS	SITE CLASS "C"	
HOURLY WIND PRESSURES	q 1/50 Iw (ULS) = 1.0 Iw (SLS) = 0.75	=0.44 kPa

FOUNDATIONS

FOUNDATION DESIGN IS BASED ON THE RECOMMENDATIONS STATED IN THE GEOTECHNICAL REPORT FILE: 15088 DATED: JULY 26, 2017 BY: GEOPACIFIC. THE CONTRACTOR SHALL REFER TO THIS REPORT FOR ALL GEOTECHNICAL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO: BEARING CAPACITY, EXCAVATION, SHORING, UNDERPINNING, BACKFILLING, SUBGRADE AND FILL MATERIALS AND FROST PROTECTION.

A FACTORED BEARING CAPACITY OF 525KPA (11000PSF) FOR STRIP AND PAD FOOTINGS IS USED FOR THE DESIGN OF THE FOUNDATION. AN SLS LIMIT OF 350 KPA (7300PSF) IS USED FOR THE DESIGN OF FOUNDATIONS. THE BEARING SURFACE AND FACTORED BEARING PRESSURE SHALL BE REVIEWED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO POURING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF THE SOIL BEARING CAPACITY IS LESS THAN THAT ASSUMED.

REQUIRED DESIGN LOADS FOR MICRO PILES IS AS NOTED ON PLANS.

CENTRE FOOTINGS BENEATH WALLS AND COLUMNS U.N.O.

UNLESS NOTED OTHERWISE DO NOT BACKFILL AGAINST RETAINING AND BASEMENT WALLS UNTIL:

- THE CONCRETE HAS CURED FOR 14 DAYS MINIMUM AND HAS REACHED 100% OF SPECIFIED STRENGTH AND,
- THE SLAB ON GRADE ON THE LOWER SIDE HAS CURED FOR 7 DAYS AND,
- ALL INTERMEDIATE AND GROUND FLOOR SLAB/CONSTRUCTION IS COMPLETE AND THE CONCRETE HAS CURED FOR 7 DAYS MINIMUM

FIELD REVIEW

THE PURPOSE OF THE ENGINEER'S FIELD REVIEW IS TO OBSERVE WHETHER THE CONTRACTOR'S WORK IS BEING CARRIED OUT IN GENERAL CONFORMITY WITH THE STRUCTURAL DOCUMENTS.

THE FOLLOWING STRUCTURAL ELEMENTS REQUIRE FIELD REVIEW BY THE ENGINEER PRIOR TO CONCEALMENT.

- REINFORCING STEEL FOR CONCRETE
- WOOD FRAMING
- STRUCTURAL STEEL

ALL WORK SHALL BE COMPLETE AND THOROUGHLY INSPECTED BY THE CONTRACTOR TO ENSURE THE WORK CONFORMS TO THE CONSTRUCTION DOCUMENTS PRIOR TO REQUESTING FIELD REVIEW. PROVIDE A MINIMUM OF 24 HOURS ADVANCE NOTICE AND SAFE ACCESS FOR THE ENGINEER TO PERFORM THE FIELD REVIEW. THE STRUCTURE SHALL REMAIN CLEARLY EXPOSED.

SHOP DRAWINGS

SUBMIT 4 SETS OF SHOP DRAWINGS TO THE ARCHITECT AND ENGINEER AND ALLOW 5 WORKING DAYS FOR REVIEW BY THE ENGINEER.

ALL SHOP DRAWINGS SUBMITTED MUST BE COMPLETED, SIGNED AND SEALED BY THE SUPPLIER'S PROFESSIONAL ENGINEER. THE SUPPLIER'S PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE COMPONENTS' DETAILING, DESIGN AND FIELD REVIEW AND MUST BE REGISTERED IN B.C.

UPON COMPLETION OF THE WORK, THE PROFESSIONAL ENGINEER RESPONSIBLE FOR THE SHOP DRAWING COMPONENTS SHALL SUBMIT TO THE ENGINEER OF RECORD A SIGNED AND SEALED LETTER CERTIFYING CONFORMITY OF THE WORK TO THE CONTRACT DOCUMENTS AND APPLICABLE CODES.

CONCRETE

CODE REFERENCES AND CONFORMANCE:

- CONCRETE DESIGN TO CSA-A23.3
- CONCRETE AND PERFORMANCE OF WORK TO CSA-A23.1
- CONCRETE FOR PARKING SURFACES SHALL CONFORM TO CSA S413
- PRECAST CONCRETE SHALL CONFORM TO CSA-A23.4
- TESTING OF CONCRETE AND MATERIAL SHALL CONFORM TO CSA A23.2.
- FORMWORK TO CSA S269.3 AND WCB REGULATIONS.

USE NORMAL DENSITY CONCRETE WITH COMPRESSIVE STRENGTHS AND MIX REQUIREMENTS NOTED BELOW;

	MIN 28 DAY STRENGTH	AGGREGATE SIZE (MAX)	EXPOSURE CLASS
TOWER FOOTING	30 MPA	20MM (3/4")	-
SHEAR WALL FTG	30 MPA	20MM (3/4")	-
SHEAR WALL PEDESTAL (USE HIGH SLUMP CONCRETE FOR PEDESTALS)	50 MPA	20MM (3/4")	C2
INTERIOR WALLS & COLUMNS	30 MPA	20MM (3/4")	-
EXTERIOR WALLS & COLUMNS	30 MPA	20MM (3/4")	F2
INTERIOR SLABS ON GRADE	25 MPA	20MM (3/4")	F2
EXTERIOR SLABS ON GRADE	32 MPA	20MM (3/4")	C2

EXPECT FOR THE SHEAR WALL PEDESTALS, MAXIMUM SLUMP FOR CONCRETE SHALL BE 80MM ± 20MM. USE HIGH SLUMP CONCRETE FOR THE SHEAR WALL PEDESTALS. FOR ALL CONCRETE, AIR CONTENT SHALL CORRESPOND TO EXPOSURE CLASS. DO NOT USE ADMIXTURES OTHER THAN SUPERPLASTICIZER, AIR ENTRAINMENT ADMIXTURE OR STANDARD WATER REDUCERS WITHOUT PRIOR APPROVAL FROM THE ENGINEER. DO NOT ADD WATER FOR WORKABILITY IN THE FIELD BEYOND THE AMOUNT THAT WAS SPECIFIED FOR THE DESIGN.

THE CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS TO THE MATERIAL TESTING AGENCY AND THE ENGINEER FOR REVIEW PRIOR TO COMMENCING WORK.

CONCRETE TESTING SHALL BE PERFORMED BY AN INDEPENDENT MATERIAL TESTING AGENCY RETAINED BY THE OWNER. CONDUCT CONCRETE TESTS FOR EACH MIXED DESIGN, EACH POUR, AND FOR EACH 100 CUBIC METERS WHERE POUR VOLUME EXCEEDS 100 CUBIC METERS.

IF THE CONTRACTOR OR THE MATERIAL TESTING AGENCY SUSPECTS THE QUALITY OF THE CONCRETE DELIVERED THEN NOTIFY THE ENGINEER FOR FURTHER INSTRUCTIONS OR REJECT THE SUSPECT CONCRETE DELIVERED. REJECTION OF CONCRETE SHALL BE AT THE SUPPLIER'S EXPENSE.

ALL HOT AND COLD WEATHER CONCRETE WORK SHALL CONFORM TO CSA A23.1. IF THE TEMPERATURE IS EXPECTED TO BE 5 DEGREES CELSIUS OR COLDER WITHIN 3 DAYS OF PLACING CONCRETE THE CONTRACTOR SHALL SUBMIT PROVISIONS FOR COLD WEATHER CONCRETE WORK TO THE ENGINEER FOR APPROVAL.

THE CONTRACTOR IS RESPONSIBLE FOR THE ENGINEERING DESIGN OF FORMWORK IN CONFORMITY TO CSA S269.3 AND WCB REQUIREMENTS AND DESIGNING OF SUSPENDED CONCRETE ELEMENTS. SUBMIT POUR JOINT LOCATIONS TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

DO NOT WET DOWEL REINFORCING, ANCHOR BOLTS AND OTHER EMBEDDED COMPONENTS. ACCURATELY INSTALL AND SECURELY TIE ALL REINFORCING, EMBEDDED PLATES, ANCHOR BOLTS ETC. USE TEMPLATE FOR PLACEMENT OF COLUMN REBAR DOWELS, ANCHOR BOLTS, MASONRY REBAR DOWELS AND OTHER EMBEDDED COMPONENTS REQUIRING TIGHT CONSTRUCTION TOLERANCE. MASONRY WALL DOWELS SHALL BE PLACED IN THE CENTRE OF WALL U.N.O.

CAMBER THE TOP AND BOTTOM SURFACES OF SUSPENDED SLABS, SLAB BANDS AND BEAMS 6MM FOR EACH 3000MM OF SPAN.

DO NOT REMOVE FORMS FOR FOOTINGS, WALLS (EXCLUDING WALL BEAMS) AND COLUMNS UNTIL THE CONCRETE COMPRESSIVE STRENGTH HAS REACHED 10MPA AND HAS CURED 24 HOURS MINIMUM.

DO NOT REMOVE FORMS FOR SUSPENDED SLABS, SLAB BANDS, BEAMS AND WALL BEAMS UNTIL THE CONCRETE HAS REACHED STRENGTH OF 17MPA. STRENGTH OF CONCRETE SHALL BE DETERMINED FROM TESTING OF FIELD CURED CYLINDERS. THE SUSPENDED STRUCTURE SHALL BE RESHORED AFTER FORM REMOVAL. THE RESHORING MUST BE APPROVED BY A SHORING ENGINEER RETAINED BY THE CONTRACTOR PRIOR TO FORM REMOVAL. THE SHORES SHALL REMAIN IN PLACE UNTIL THE CONCRETE HAS REACHED THE STRENGTH SPECIFIED.

SLAB ON GRADE JOINTS SHALL BE 25MM DEEP SAWCUTS SPACED MAXIMUM 4500 (15'-0") APART. LAYOUT OF JOINTS SHALL BE APPROVED BY THE ARCHITECT.

CONCRETE REINFORCEMENT

CODE REFERENCE AND CONFORMANCE:

- DEFORMED BARS TO CSA G30.18 (FY=400MPA)
- WELDED WIRE MESH TO CSA G30.5
- EPOXY COATING TO ASTM A775

ALL REINFORCING SHALL BE NEW, CLEAN, CORROSION FREE AND UNDAMAGED. USE WELDABLE GRADE WHERE REINFORCEMENT WILL BE WELDED AND FOR CONCRETE SHEARWALLS WITH DUCTILITY "R" GREATER THAN 2. DO NOT WELD REINFORCING OR USE MECHANICAL REBAR COUPLERS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.

THE CONTRACTOR SHALL PROVIDE REINFORCING FOR ALL CONCRETE ELEMENTS SHOWN ON ALL DRAWINGS AND SPECIFICATIONS AND CARRYING BARS FOR REBAR PLACEMENT IN ADDITION TO THE REINFORCING SHOWN ON THE STRUCTURAL DOCUMENTS.

ALL REINFORCING SHALL BE ACCURATELY PLACED, CHAIRED AND SECURELY TIED TO RESTRICT DISPLACEMENT AND TO MAINTAIN THE SPECIFIED CONCRETE COVER DURING CONSTRUCTION.

CHAIRS SHALL BE OF NON-CORRODING MATERIAL WHERE THE CONCRETE SURFACES ARE EXPOSED TO VIEW, TO THE EXTERIOR ENVIRONMENT OR TO CORROSIVE ENVIRONMENTS. ALL OTHER CHAIRS MAY BE PLASTIC COATED.

SUPPLY AND PLACE EPOXY COATED REBAR AS SHOWN ON THE STRUCTURAL DRAWINGS IN CONFORMITY WITH AND WHERE REQUIRED BY CAN/CSA-G413. USE ONLY PLASTIC CHAIRS AND PLASTIC COATED WIRE TIES IN CONTACT WITH EPOXY COATED REBAR. FIELD APPLY EPOXY PER MANUFACTURER'S RECOMMENDATION WHERE EPOXY COATING ON REBAR IS DAMAGED.

ACCURATELY PLACE AND SECURE ALL REINFORCING TO THE FOLLOWING CLEAR CONCRETE COVER:

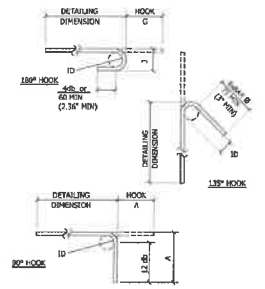
FIRE RESISTANCE RATING	0-2 HOURS	2-3 HOURS
ALL SURFACES CAST AGAINST GROUND	75MM (3")	75MM (3")
FORMED SURFACES EXPOSED TO GROUND	50MM (2")	50MM (2")
WALLS	32MM (1 1/4")	32MM (1 1/4")
INTERIOR COLUMNS (TO VERTICAL BARS)	40MM (1 1/2")	40MM (1 1/2")
EXTERIOR COLUMNS (TO VERTICAL BARS)	50MM (2")	50MM (2")
SLABS (U.N.O.)	25MM (1")	32MM (1 1/4")
SLAB BANDS AND BEAMS	40MM (1 1/2")	40MM (1 1/2")
TOP BARS OF PARKING SLABS/SLAB BANDS/BEAMS	45MM (1 3/4")	45MM (1 3/4")
BOTTOM BARS OF PARKING SLABS/SLAB BANDS/BEAMS	30MM (1 1/4")	30MM (1 1/4")
SLAB ON GRADE	40MM (1 1/2")	40MM (1 1/2")

LENGTHS AND BENDING RADIUS OF ALL STANDARD HOOKS SHALL CONFORM TO CSA A23.1. BEND NON-STANDARD HOOK BARS AS SHOWN IN STRUCTURAL DETAILS. ALL BAR LENGTHS INDICATED ARE TOTAL LENGTHS AND INCLUDE THE HOOK LENGTH. ALL BARS ARE TO BE COLD BENT WITHOUT APPLIED HEAT.

REINFORCING NOMENCLATURE:

ALSO SEE ABBREVIATIONS FOR FURTHER INFORMATION

STANDARD HOOK CONFIGURATION:



BAR SIZE	STEEL GRADE							
	400 R or 500 R				400 W or 500 W			
	ID	J	G	A	ID	J	G	A
10M	70	93	140	150	60	83	130	150
15M	100	132	190	220	90	122	170	210
20M	120	159	230	260	100	139	200	260
25M	150	200	280	340	150	200	280	340
30M	250	310	400	420	200	260	350	410
35M	300	371	480	510	250	321	430	490

SEE CSA 23.1 FOR OTHER BAR SIZES

BARS DRAWN W/ A SOLID LINE ARE TOP BARS OR AT NEAR FACE AS APPLICABLE. U.N.O.

BARS DRAWN W/ A DASHED LINE ARE BOTTOM BARS OR AT FAR FACE AS APPLICABLE. U.N.O.

ALL SPLICE LENGTHS SHALL BE FULL TENSION SPLICES U.N.O. SPLICE LENGTHS ARE AS FOLLOWS:

CONCRETE STRENGTH	25 MPa	30 MPa	35 MPa	40 MPa	45 MPa
REBAR	COMM. SPLICE		TENSION SPLICE		
10M	350 (14")	450 (18")	450 (18")	400 (16")	350 (14")	300 (12")
15M	500 (20")	600 (24")	600 (24")	500 (20")	450 (18")	400 (16")
20M	600 (24")	750 (30")	750 (30")	650 (26")	550 (22")	500 (20")
25M	750 (30")	1000 (40")	1000 (40")	900 (36")	800 (32")	800 (32")
30M	900 (36")	1400 (56")	1400 (56")	1200 (48")	1050 (42")	950 (38")
35M	1050 (42")	1700 (68")	1700 (68")	1450 (58")	1250 (50")	1150 (46")

INCREASE SPLICE LENGTHS BY FACTOR OF 1.3 FOR HORIZONTAL BARS WITH 300MM (12") OR MORE CONCRETE BELOW REBAR BEING SPLICED.

INCREASE SPLICE LENGTH BY FACTOR OF 1.7 FOR EPOXY COATED HORIZONTAL BARS WITH 300MM (12") OR MORE CONCRETE BELOW REBAR AND BY FACTOR OF 1.5 FOR EPOXY COATED HORIZONTAL BARS WITH LESS THAN 300MM (12") OF CONCRETE BELOW REBAR BEING SPLICED.

U.N.O. STRIP FOOTINGS SHALL BE REINFORCED WITH A MINIMUM OF 2-15M CONTINUOUS BARS OR WITH STEEL EQUIVALENT TO 0.2% OF FOOTING CROSS SECTIONAL AREA. PAD FOOTINGS SHALL BE REINFORCED WITH A MINIMUM STEEL AREA EQUIVALENT TO 0.2% OF FOOTING CROSS SECTIONAL AREA IN BOTH DIRECTIONS PLACED AT THE BOTTOM OF THE PAD FOOTING. SUPPLY AND PLACE HOOKED DOWELS TO MATCH COLUMN AND WALL REINFORCING WITH TENSION SPLICE LENGTH ABOVE POUR AND WITH HOOK PLACED ON THE BOTTOM REINFORCING MAT.

U.N.O. SLAB ON GRADE SHALL BE REINFORCED WITH A MINIMUM OF 10M@500MM EACH WAY PLACED AT MID-DEPTH OR WITH STEEL EQUIVALENT TO 0.2% OF CROSS SECTIONAL AREA IN TWO PERPENDICULAR DIRECTIONS.

ALL SUSPENDED SLABS AND WALLS SHALL BE REINFORCED IN TWO PERPENDICULAR DIRECTIONS WITH PRINCIPAL REINFORCING AS SHOWN ON THE DRAWINGS AND TEMPERATURE REINFORCING IN THE OTHER DIRECTION PER MINIMUM REINFORCING SCHEDULE BELOW. WHERE PRINCIPAL REINFORCING IS NOT INDICATED ON THE DRAWINGS REINFORCE SLABS AND WALLS WITH THE MINIMUM REQUIREMENTS IN TWO PERPENDICULAR DIRECTIONS PER SCHEDULE BELOW.

MINIMUM SUSPENDED SLAB REINFORCING IN TWO PERPENDICULAR DIRECTIONS:

SLAB THICKNESS	REINFORCING		
125 (5")	10M@450 (16")		
150 (6")	10M@325 (12")	OR	15M@450 (18")
175 (7")	10M@250 (10")	OR	15M@300 (20")
200 (8")	15M@300 (20")		
225 (9")	15M@250 (18")		
250 (10")	15M@200 (16")		
275 (11")	15M@175 (15")		
300 (12")	15M@325 (13")		

FOR OTHER SUSPENDED SLAB DEPTHS THE AREA OF STEEL REINFORCING SHALL BE 0.2% OF THE SLAB CROSS SECTIONAL AREA AND SPACED NO MORE THAN 500MM NOR 5 TIMES THE SLAB THICKNESS APART.

MINIMUM WALL REINFORCING:

WALL THICKNESS	REINFORCING
150 (6")	VERT. 15M@450 (18") CENTERED & HOR. 10M@300 (12") CENTERED
200 (8")	VERT. 15M@450 (18") CENTERED & HOR. 15M@450 (18") CENTERED
250 (10")	VERT. 15M@500 (20") EACH FACE & HOR. 15M500 (20") EACH FACE
300 (12")	VERT. 15M@500 (20") EACH FACE & HORI. 15M@500 (20") EACH FACE

STRUCTURAL COMPOSITE LUMBER

ACCEPTABLE STRUCTURAL COMPOSITE LUMBER PRODUCTS INCLUDE:

- TJI ENGINEERED I JOIST (ENGINEERED BY SUPPLIER)
- LSL LAMINATED STRAND LUMBER (1.5E THREESTRAND)
- LVL LAMINATED VENEER LUMBER (1.9E WS MICROLAM, GANG-LAM 2.0E OR TECLAM 2.0E)
- PSL PARALLEL STRAND LUMBER (2.0E WS PARALLAM)

HANDLE AND STORE MATERIAL IN DRY VENTILATED CONDITION PER MANUFACTURER'S RECOMMENDATIONS.

REFER TO THE MANUFACTURER'S RECOMMENDATIONS FOR MULTI-LAMINATE CONSTRUCTION AND RESTRICTIONS ON HOLE CUTTING AND DRILLING

DO NOT USE STRUCTURAL COMPOSITE LUMBER IN EXPOSED EXTERIOR APPLICATIONS UNLESS TREATED AND SEALED TO THE APPROVAL OF THE MANUFACTURER.

ENGINEERED FLOOR JOISTS AND BEAMS SHALL BE DESIGNED BY THE SUPPLIER'S PROFESSIONAL ENGINEER FOR THE LOADING SHOWN ON THE DRAWINGS WITH CONSIDERATION FOR VIBRATION CONTROL. SUBMIT SIGNED AND SEALED SHOP DRAWINGS FOR REVIEW. SEE GENERAL NOTES UNDER SHOP DRAWINGS FOR ADDITIONAL REQUIREMENTS.

LIVE AND TOTAL DEFLECTION SHALL NOT BE MORE THAN L/600 AND L/300 RESPECTIVELY FOR FLOOR SYSTEMS. LIVE AND TOTAL DEFLECTION SHALL NOT BE MORE THAN L/480 AND L/300 FOR ROOF SYSTEMS.

WOOD FRAME

CODE REFERENCES AND CONFORMANCE:

- ALL WOOD AND FRAMING MATERIALS CSA-O86
- ALL DIMENSIONAL LUMBER TO N.L.G.A. GRADING RULES
- PLYWOOD SHEATHING TO CSA STANDARD O151
- ANCHOR RODS TO ASTM A307
- LAG SCREWS TO CSA STANDARD B34
- NAILS AND SPIKES TO CSA STANDARD B111
- MISC. STEEL HARDWARE TO CAN/CSA S400 (FY=300MPA YIELD STRENGTH)
- FRAMING TO PART 9 BRITISH COLUMBIA BUILDING CODE, UNLESS NOTED OTHERWISE.

LUMBER GRADE SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

STRUCTURAL ELEMENT	LUMBER GRADE
JOIST & RAFTERS	ENGINEERED I-JOIST
STUDS AND BUILT-UP POSTS	K.D. SPF NO.2 OR BETTER
WALL PLATES	D.FIR NO.2 OR BETTER
POSTS AND BEAMS	STRUCTURAL COMPOSITE LUMBER
SHEATHING	D.FIR PLYWOOD

STORE ALL FRAMING MATERIAL IN DRY, WELL VENTED CONDITION. RAISE FRAMING MATERIAL OFF THE GROUND WITH CRIBBING.

ISOLATE ALL TIMBER FROM CONCRETE AND MASONRY SURFACES WITH PEEL AND STICK OR OTHER APPROVED MATERIAL.

BUILT-UP (B/U) MEMBERS SHALL CONSIST OF MINIMUM 2 PLYS OF DIMENSIONAL LUMBER WITH LAMINATION NAILING PER TYPICAL DETAIL. HEADERS SHALL BE MINIMUM 2-38X235 (2-2X10) BUILT-UP BEAM.

SUPPORT POINT LOADS FROM BEAMS, HEADERS, GIRDER TRUSSES AND POSTS WITH SOLID OR BUILT-UP MEMBERS ACROSS THE FULL AREA OF THE SUPPORTED MEMBER. CARRY SUPPORT DOWN TO CONCRETE FOUNDATIONS. FULLY BLOCK ALL JOIST SPACES INLINE WITH THE SUPPORTS.

USE MINIMUM DOUBLE BEARING STUDS FOR BEAMS AND HEADERS WITH SPANS GREATER THAN 2400MM (8'-0").

"2B+1K" INDICATES 2 BEARING STUDS + 1 KING STUD.

INSTALL DOUBLE JOISTS UNDER NON-LOAD BEARING PARTITIONS PARALLEL TO THE JOIST.

INSTALL CROSS-BRIDGING/BLOCKING AT MAXIMUM 2100MM (7'-0") ON CENTRE FOR JOIST AND RAFTER SPANS GREATER THAN 3000MM (10'-0") OR REFER TO SUPPLIER'S DETAILS FOR ENGINEERED LUMBER.

USE JOIST HANGERS WITH MINIMUM 6.8 kN (1500 LBS) CAPACITY FOR ALL FLUSH FRAMING. U.N.O. ON PLANS.

FASTEN SILL PLATES TO CONCRETE FOUNDATIONS WITH MINIMUM 16MM@X250MM LONG (5/8"@X10") CAST-IN-PLACE ANCHORS AT 1200MM (4'-0") ON CENTRE PLUS ONE ADDITIONAL ANCHOR AT WALL ENDS, EDGE OF OPENINGS, WALL INTERSECTIONS AND CORNERS. USE MINIMUM 3 ANCHOR RODS PER WALL SEGMENT. SEE PLANS FOR ADDITIONAL ANCHORS FOR SHEARWALLS.

WHERE STUD WALLS ABUT CONCRETE, FASTEN END OF WALL TO CONCRETE WITH 16MM (5/8"Ø) ANCHORS AT 900MM (36") ON CENTRE THROUGH A DOUBLE STUD.

SHEATHING FOR EXTERIOR WALLS AND SHEARWALLS SHALL BE MINIMUM 12MM (1/2") THICK (U.N.O.). DRILL ADEQUATE HOLES THROUGH EXTERIOR WALLS FOR VENTILATION. FASTEN WITH MINIMUM 2½" COMMON NAILS AT 150MM (6") ON CENTRE ALONG PANEL EDGES AND AT 300MM (12") ALONG INTERMEDIATE FRAMING U.N.O. ALSO REFER TO SHEARWALL SCHEDULE.

SHEATHING FOR ROOFS SHALL BE MINIMUM 16MM (5/8") THICK (U.N.O.) WITH 2-1/2" COMMON NAILS AND FOR FLOORS SHALL BE 19MM (3/4") THICK (U.N.O.) WITH 2½" COMMON NAILS. NAIL SHEATING SHALL BE MINIMUM 300MM (4") ALONG PANEL EDGES, 300MM (12") ALONG INTERMEDIATE FRAMING U.N.O. ALSO REFER TO DIAPHRAGM SCHEDULE.

BLOCK PANEL EDGES WITH MINIMUM 38X89 (2X4) WHERE NOTED ON PLANS. NAIL SHEATHING ALONG DRAG LINES TO SHEARWALLS, EXTERIOR WALLS AND BEAMS IN LINE WITH THESE WALLS WITH 3" COMMON NAILS AT 100MM (4") ON CENTRE MINIMUM.

ALL NAIL FASTENERS SHALL BE COMMON ROUND STEEL WIRE NAILS, THE USE OF POWER DRIVEN NAILS (P-NAILS) IS PERMITTED ONLY IF THEY ARE OF EQUAL DIAMETER AND LENGTH. SEE NAIL SPECIFICATION DETAIL FOR SIZE.

NAIL LENGTH	DIAMETER	
	IMPERIAL (IN)	METRIC (mm)
2 ½" (8d)	0.128	3.25
3" (10d)	0.144	3.66
3 ½" (16d)	0.16	4.06
4"	0.192	4.88
5"	0.232	5.89
6"	0.276	7.01

STANDARD STEEL HARDWARE AND CUSTOM STEEL CONNECTIONS EXPOSED TO VIEW SHALL BE HOT-DIPPED GALVANIZED. USE SIMPSON STRONG TIE, MGA OR EQUIVALENT HARDWARE.

ALL FASTENERS/HARDWARE IN CONTACT W/ TREATED WOOD ARE TO BE DOUBLE HD GALV. (G185) (INCLUDING NAILS) OR STAINLESS STEEL TYP.

STRUCTURAL AND MISCELLANEOUS STEEL

FABRICATION, ERECTION, STRUCTURAL DESIGN AND DETAILING OF ALL STRUCTURAL STEEL AND CONNECTIONS SHALL COMPLY WITH CAN3-S16.

SUBMIT SHOP DRAWINGS (4 SETS U.N.O.) FOR STEEL FABRICATIONS TO THE ENGINEER AND ARCHITECT FOR REVIEW PRIOR TO FABRICATION. ALL SHOP DRAWINGS SHALL SHOW ALL DETAILS, MATERIAL SPECIFICATIONS AND SHALL BE SEALED FOR CONNECTION DESIGN BY THE FABRICATOR'S PROFESSIONAL ENGINEER REGISTERED IN B.C.

UNLESS NOTED OTHERWISE, ALL STRUCTURAL STEEL CONNECTIONS SHALL BE DESIGNED BY THE FABRICATOR FOR ONE HALF THE SHEAR CAPACITY OF BEAMS AND THE FULL BUCKLING CAPACITY OF COLUMNS (TO A MAXIMUM OF ONE HALF THE SQUASH LOAD OF THE COLUMN). ALL WELDS SHALL HAVE A MIN. 4.5MM (0.18") THROAT AND A MIN. LEG OF 6MM (1/4") U.N.O. ALL MAIN CONNECTION BOLTS SHALL BE A MIN. 19MM (3/4") DIAMETER. USE MIN. TWO BOLTS PER CONNECTION.

THE PROFESSIONAL ENGINEER SEALING THE SHOP DRAWINGS SHALL BE RESPONSIBLE FOR INSPECTING THE INSTALLATION OF THEIR DESIGN COMPONENTS FOR CONFORMANCE WITH THEIR DESIGN AND THE SHOP DRAWINGS. THEY SHALL UPON COMPLETION OF THEIR WORK, PROVIDE CERTIFICATION OF SUBSTANTIAL CONFORMITY TO THE CONSULTANT.

WELDING SHALL CONFORM TO CSA W59 AND SHALL BE PERFORMED BY CERTIFIED WELDERS. FABRICATION SHOPS SHALL BE APPROVED BY THE CANADIAN WELDING BUREAU TO CSA W47.1. CERTIFICATES SHALL BE SUPPLIED TO THE ENGINEER UPON REQUEST.

THE GENERAL REQUIREMENTS FOR STRUCTURAL STEEL SHALL CONFORM TO CAN3-G40.20 AND TO CAN3-G40.21 FOR QUALITY.

GRADES OF MATERIAL (U.N.O.):

HOLLOW STRUCTURAL SECTIONS (HSS)		350W, CLASS C
STRUCTURAL PIPE		ASTM A53 (240 MPA)
OTHER STRUCT. STEEL AND MISC. METAL		350W
BOLTS, NUTS AND WASHERS (STEEL TO STEEL)		ASTM A325
ANCHOR BOLTS		ASTM A307
WELDS		E49XX (490 MPA)
SHOP PRIMER	(INTERIOR)	CISC/CPMA 1-73A
	(EXTERIOR)	ZINC-CHROMATE TYPE 1 CONFORMING TO CGSB 1-GP-40U

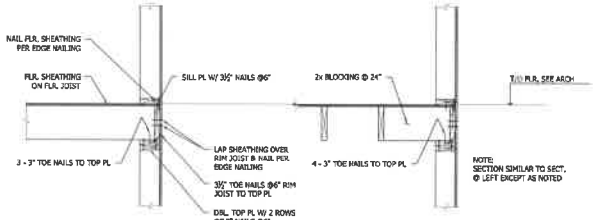
UNLESS NOTED OTHERWISE APPLY ONE COAT OF SHOP PRIMER TO ALL STEEL WORK. PROVIDE WELDABLE PRIMER WHERE APPLICABLE.

PROVIDE 4.8MM (3/16") THICK STEEL CAP PLATE WITH SEAL WELD ALL AROUND AT THE OPEN END OF PIPES, TUBES AND HSS U.N.O. OR ACCEPTED OTHERWISE BY THE ENGINEER.

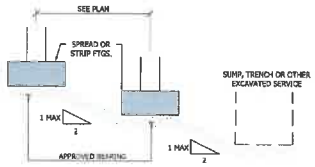
ALL MEMBERS DESIGNATED AS DIAPHRAGM CHORD MEMBERS AND ALL PERIMETER EDGE ANGLES SHALL BE CONNECTED BY FULL STRENGTH GROOVE WELDS OR BY FULL STRENGTH SPLICE PLATES ON EACH LEG TO FORM CONTINUOUS COMPRESSION AND TENSION MEMBERS.

UNLESS NOTED OTHERWISE ALL EDGES OF METAL DECKING SHALL BE SUPPORTED BY EDGE ANGLES FASTENED TO MAIN STRUCTURAL MEMBERS. ROOF ANGLE: 175x75x6, FLOOR ANGLE: L100X100X6.

UNLESS NOTED OTHERWISE ALL BEAMS SHALL HAVE ONE 10MM (3/8

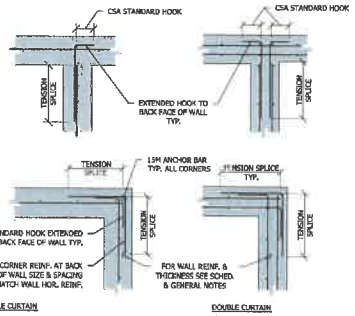


1 SECTION A & SECTION B
S1.2 SCALE: 3/4"=1'-0"



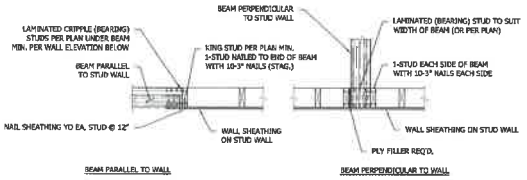
SEE GEOTECHNICAL REPORT FOR FURTHER DETAIL

2 RELATIVE ELEV. SUBSURFACE STRUCTURE
S1.2 SCALE: 3/4"=1'-0"



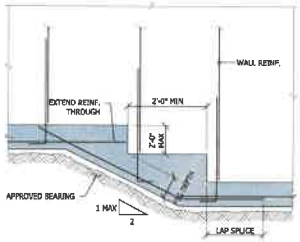
NOTE: HOR. DOWELS TO MATCH SIZE AND SPACING OF HOR. REINF.

3 TYPICAL CORNER REINFORCING DTL.
S1.2 SCALE: 3/4"=1'-0"

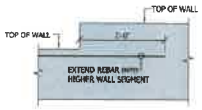


NOTES TO BEAM/STUD WALL CONNECTION:
CARRY LAMINATED BEARING STUDS DOWN TO TOP OF FOUNDATION BLOCK. FULL BLOCK JOIST SPACE BETWEEN UPPER AND LOWER STUDS AT FLOORS

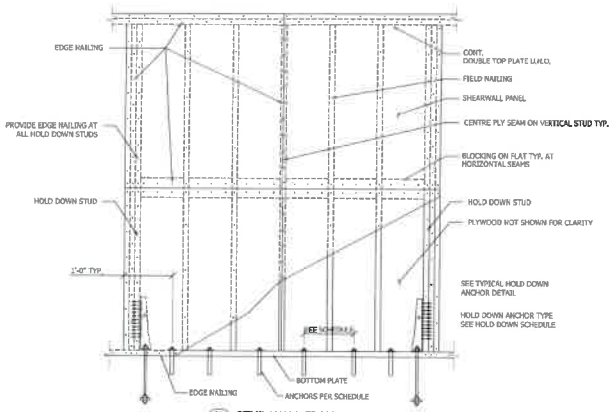
4 BEAM BEARING DETAIL
S1.2 SCALE: 3/4"= 1'-0"



5 TYPICAL STEPPED FOOTING
S1.2 SCALE: 3/4"=1'-0"



6 STEPPED FOUNDATION WALL ELEVATION
S1.2 SCALE: 3/4"=1'-0"



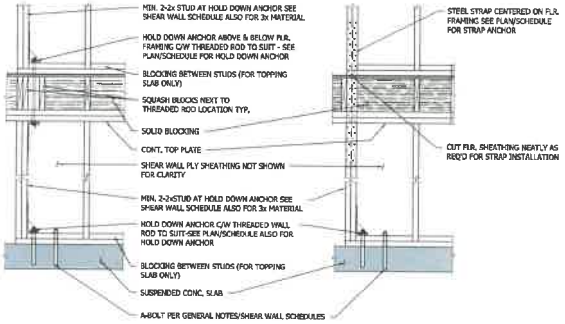
7 STUD WALL FRAMING
S1.2 SCALE: 3/4"=1'-0"

STAGGERED CONDITION

NON STAGGERED CONDITION

8 TYPICAL LEDGER DTL.
S1.2 SCALE: 3/4"=1'-0"

NOTE:
SEE PLANS FOR STRAPS/HOLD DOWN/BEAM/WALL/COLUMN LOCATION



9 HOLD DOWN ANCHORS AT ENDS OF SHEAR WALL
S1.2 SCALE: 3/4"=1'-0"

No.	DESCRIPTION	DATE (yyr.mo.dy)
02	ISSUED FOR COORDINATION	09.12.31
03	ISSUED FOR COORDINATION	11.02.16
04	ISSUED FOR COORDINATION AND PRICING	01.11.30
05	RE-ISSUED FOR COORDINATION AND PRICING	02.28.30
06	UPDATES	03.31.20

DO NOT CONSTRUCT WITH THE INFORMATION SHOWN ON THIS DRAWING UNTIL IT IS NOTED "ISSUED FOR CONSTRUCTION".
COPYRIGHT RESERVED
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND MAY BE REPRODUCED ONLY WITH THEIR AUTHORIZATION

STRUCTURAL SOLUTIONS
engineering inc.
501 - 525 FIFTH AVE.
NEW WESTMINSTER, BC. V3M 1X4
604 544 1082
www.ssel.ca

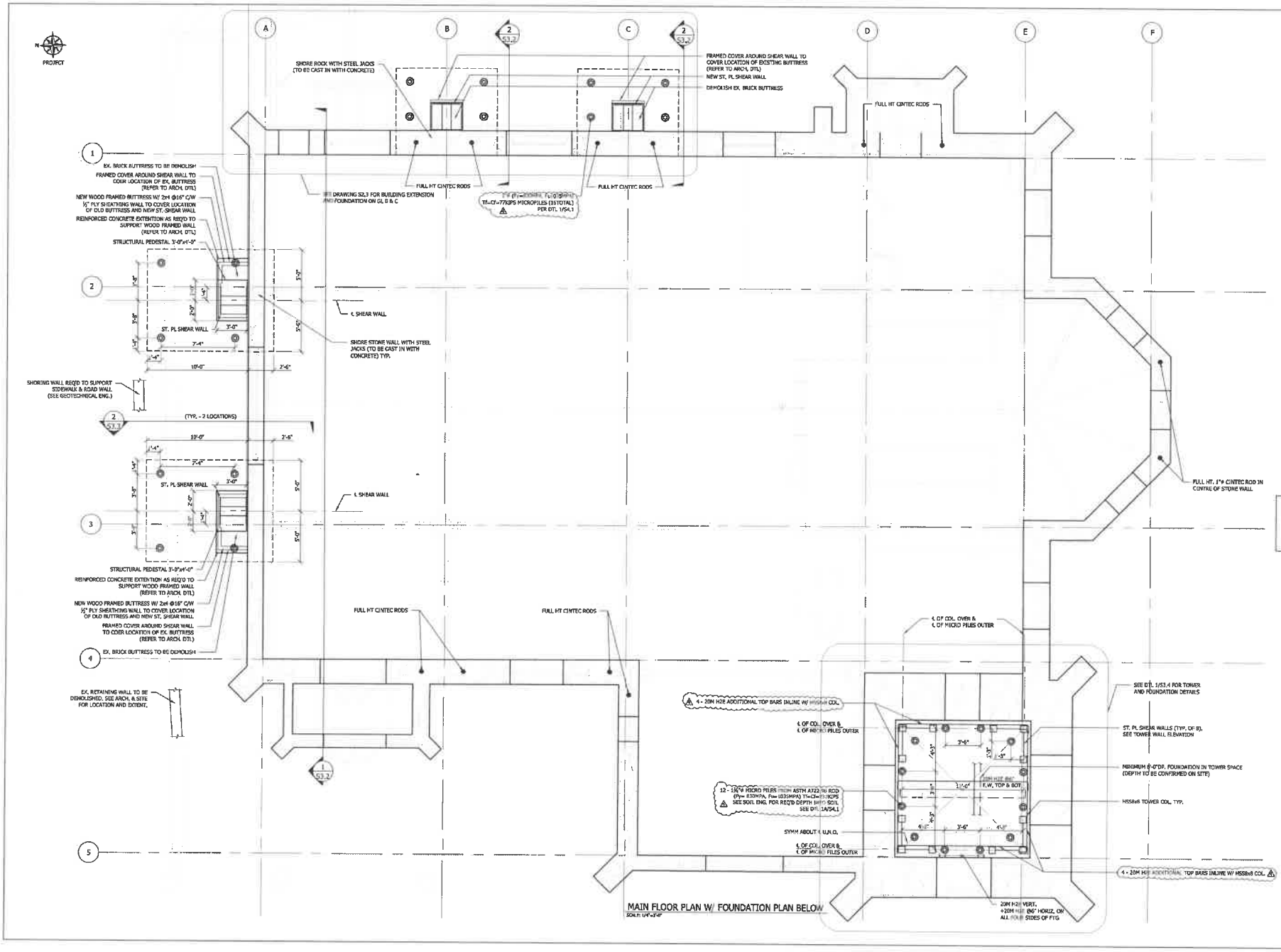
PROJECT NUMBER: K1214

CIVIL ADDRESS: 514 CARNARVON ST., NEW WESTMINSTER, BC.

PROJECT: HOLY TRINITY CATHEDRAL 60% SEISMIC UPGRADE

DRAWING TITLE: TYPICAL DETAILS

DRAWING: S1.2



No.	DESCRIPTION	DATE (MM-DD-YY)
01	ISSUED FOR COORDINATION	09.12.18
02	ISSUED FOR COORDINATION	11.02.18
03	ISSUED FOR COORDINATION AND PRICING	01.11.19
04	RE-ISSUED FOR COORDINATION AND PRICING	02.28.19
05	UPDATES	01.21.21

DO NOT CONSTRUCT WITH THE INFORMATION SHOWN ON THIS DRAWING UNTIL IT IS NOTED "ISSUED FOR CONSTRUCTION".

COPYRIGHT RESERVED
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND MAY BE REPRODUCED ONLY WITH THEIR AUTHORIZATION

STRUCTURAL SOLUTIONS engineering inc.
601 - 625 FIFTH AVE.
NEW WESTMINSTER, BC. V3M 1X4
604 544 1082
www.ssei.ca

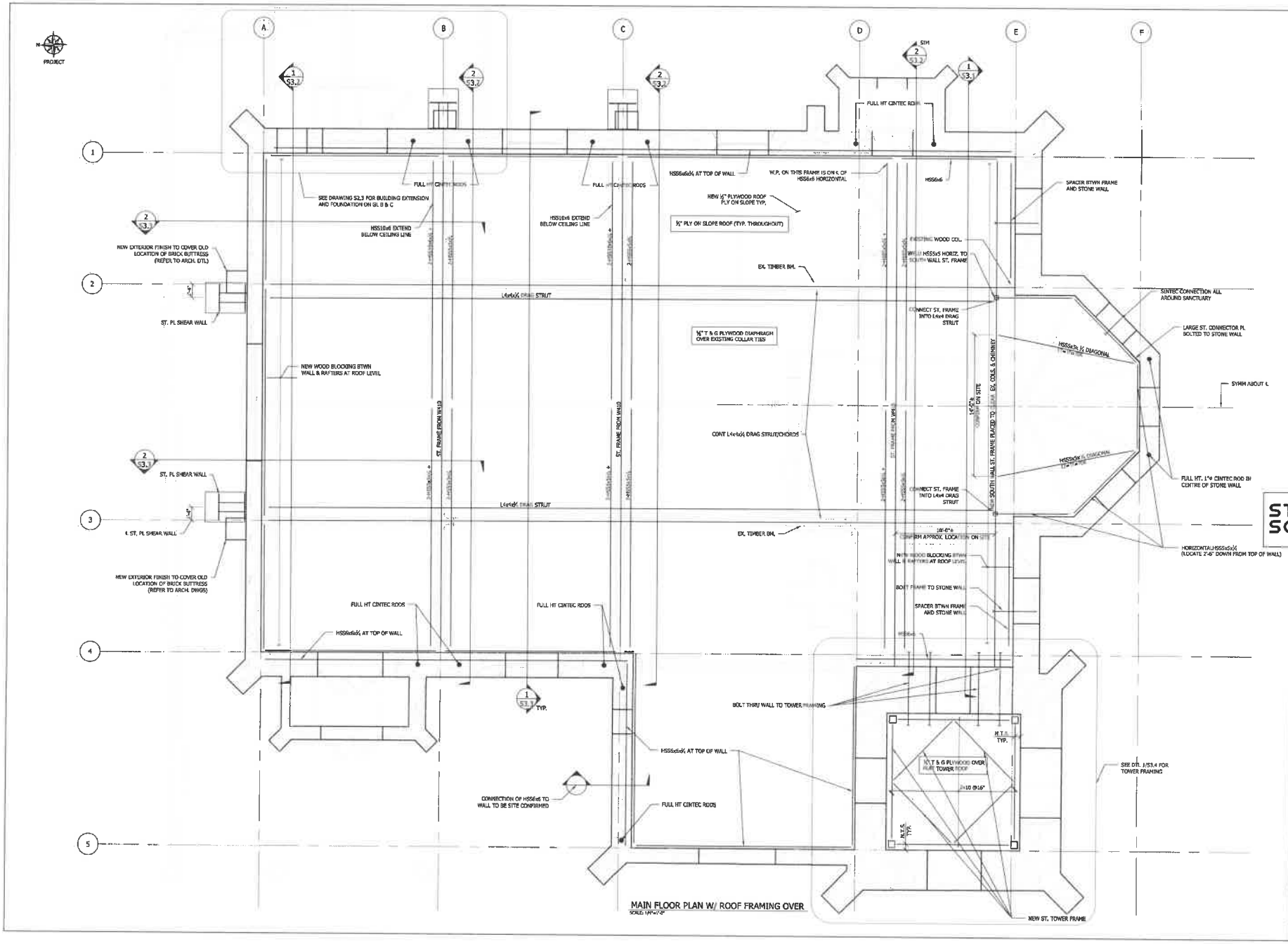
PROJECT NUMBER: K1214

CIVIL ADDRESS: 514 CARNARVON ST., NEW WESTMINSTER, BC.

PROJECT: HOLY TRINITY CATHEDRAL 60% SEISMIC UPGRADE

DRAWING TITLE: MAIN FLOOR PLAN W/ FOUNDATION PLAN BELOW

DRAWING: S2.1



MAIN FLOOR PLAN W/ ROOF FRAMING OVER
SCALE: 1/8"=1'-0"

No.	DESCRIPTION	DATE (YYYY-MM-DD)
01	ISSUED FOR COORDINATION	09.12.16
02	ISSUED FOR COORDINATION	13.02.18
03	ISSUED FOR COORDINATION AND PRICING	01.11.19
04	RE-ISSUED FOR COORDINATION AND PRICING	02.28.19
05	UPDATES	01.21.21

DO NOT CONSTRUCT WITH THE INFORMATION SHOWN ON THIS DRAWING UNTIL IT IS NOTED "ISSUED FOR CONSTRUCTION".
COPYRIGHT RESERVED
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND MAY BE REPRODUCED ONLY WITH THEIR AUTHORIZATION

STRUCTURAL SOLUTIONS engineering inc.
601 - 625 FIFTH AVE.
NEW WESTMINSTER, BC. V3M 1X4
604 594 1082
www.sseng.ca

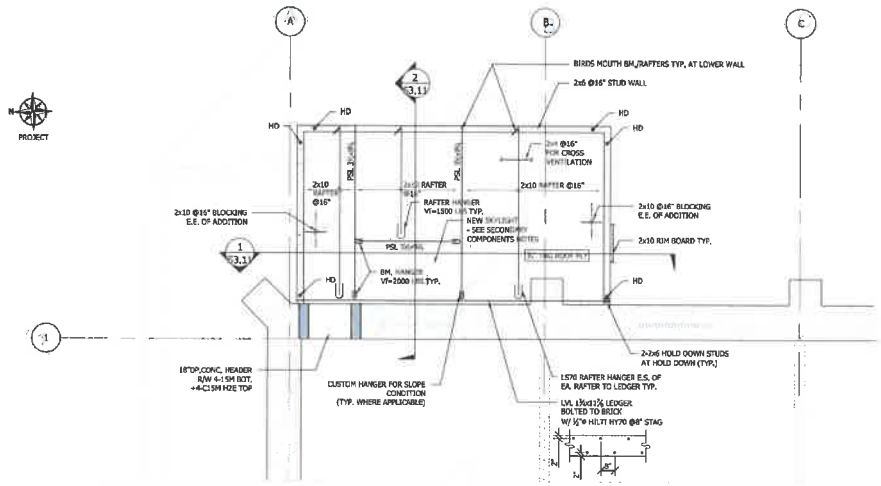
PROJECT NUMBER: X1234

CIVIL ADDRESS: 314 CARNARVON ST., NEW WESTMINSTER, BC.

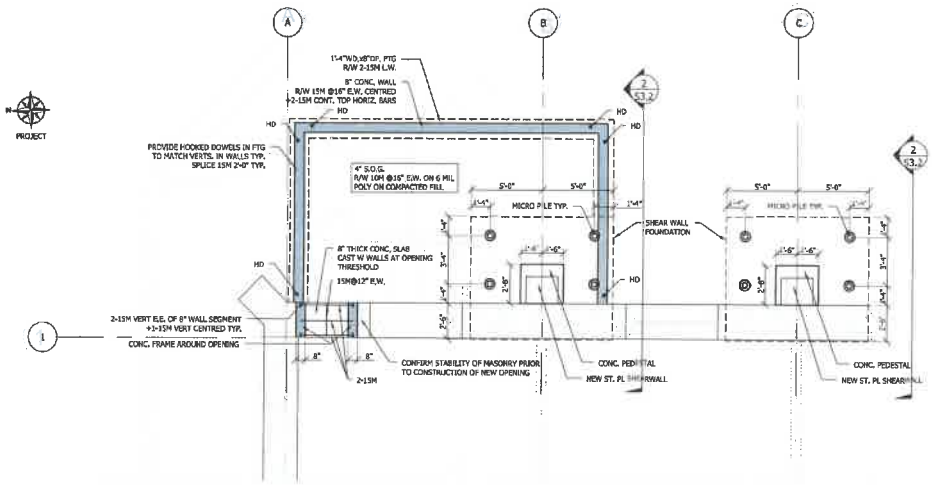
PROJECT: HOLY TRINITY CATHEDRAL 50% SEISMIC UPGRADE

DRAWING TITLE: MAIN FLOOR PLAN W/ ROOF FRAMING OVER

DRAWING: S2.2



WASHROOM MAIN FLOOR PLAN W/ ROOF FRAMING OVER
SCALE: 1/4"=1'-0"



WASHROOM FOUNDATION PLAN
SCALE: 1/4"=1'-0"

No.	DESCRIPTION	DATE (MM DD YY)
00	ISSUED FOR COORDINATION	09.02.19
02	ISSUED FOR COORDINATION	11.02.19
03	ISSUED FOR COORDINATION AND PRICING	01.11.20
04	RE-ISSUED FOR COORDINATION AND PRICING	02.28.20
05	UPDATES	01.21.21

DO NOT CONSTRUCT WITH THE INFORMATION SHOWN ON THIS DRAWING UNTIL IT IS NOTED "ISSUED FOR CONSTRUCTION".
COPYRIGHT RESERVED
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND MAY BE REPRODUCED ONLY WITH THEIR AUTHORIZATION

STRUCTURAL SOLUTIONS engineering inc.
601 - 625 FIFTH AVE,
NEW WESTMINSTER, BC. V3M 1X4
604 544 1082
www.ssei.ca

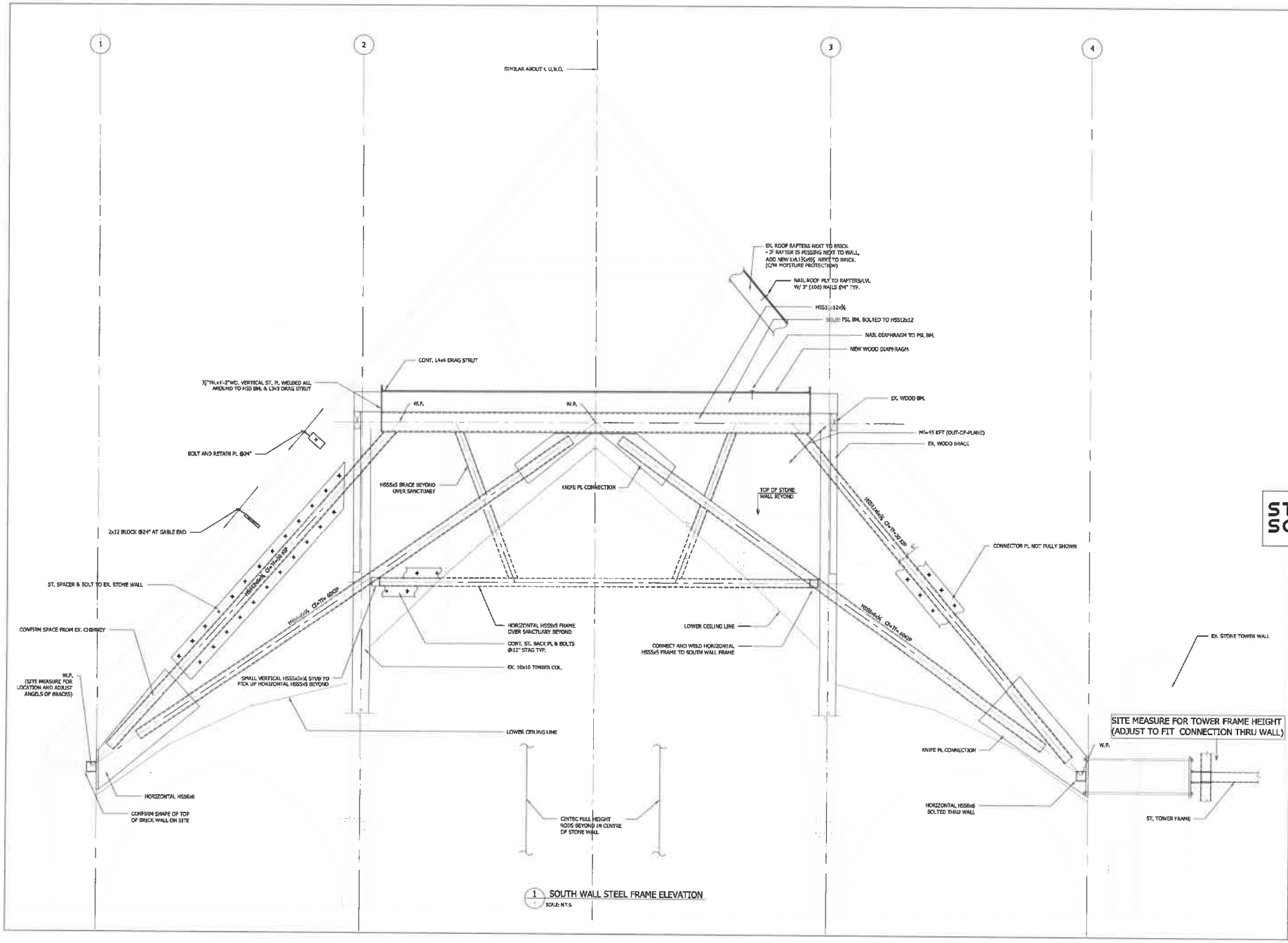
PROJECT NUMBER: K1214

CIVIL ADDRESS: 514 CARNARVON ST., NEW WESTMINSTER, BC.

PROJECT: HOLY TRINITY CATHEDRAL 60% SEISMIC UPGRADE

DRAWING TITLE: WASHROOM PLANS

DRAWING: S2.3



1 SOUTH WALL STEEL FRAME ELEVATION
SCALE: N.T.S.

No.	DESCRIPTION	DATE (YY.MO.YR)
01	ISSUED FOR COORDINATION	09.12.18
02	ISSUED FOR COORDINATION	11.02.18
03	ISSUED FOR COORDINATION AND PRICING	01.11.19
04	RE-ISSUED FOR COORDINATION AND PRICING	02.28.19
05	UPDATES	01.12

DO NOT CONSTRUCT WITH THE INFORMATION SHOWN ON THIS DRAWING UNTIL IT IS NOTED "ISSUED FOR CONSTRUCTION".

COPYRIGHT RESERVED
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND MAY BE REPRODUCED ONLY WITH THEIR AUTHORIZATION

STRUCTURAL SOLUTIONS engineering inc.
601 - 625 FIFTH AVE.
NEW WESTMINSTER, BC. V3M 1X4
604 544 1082
www.ssei.ca

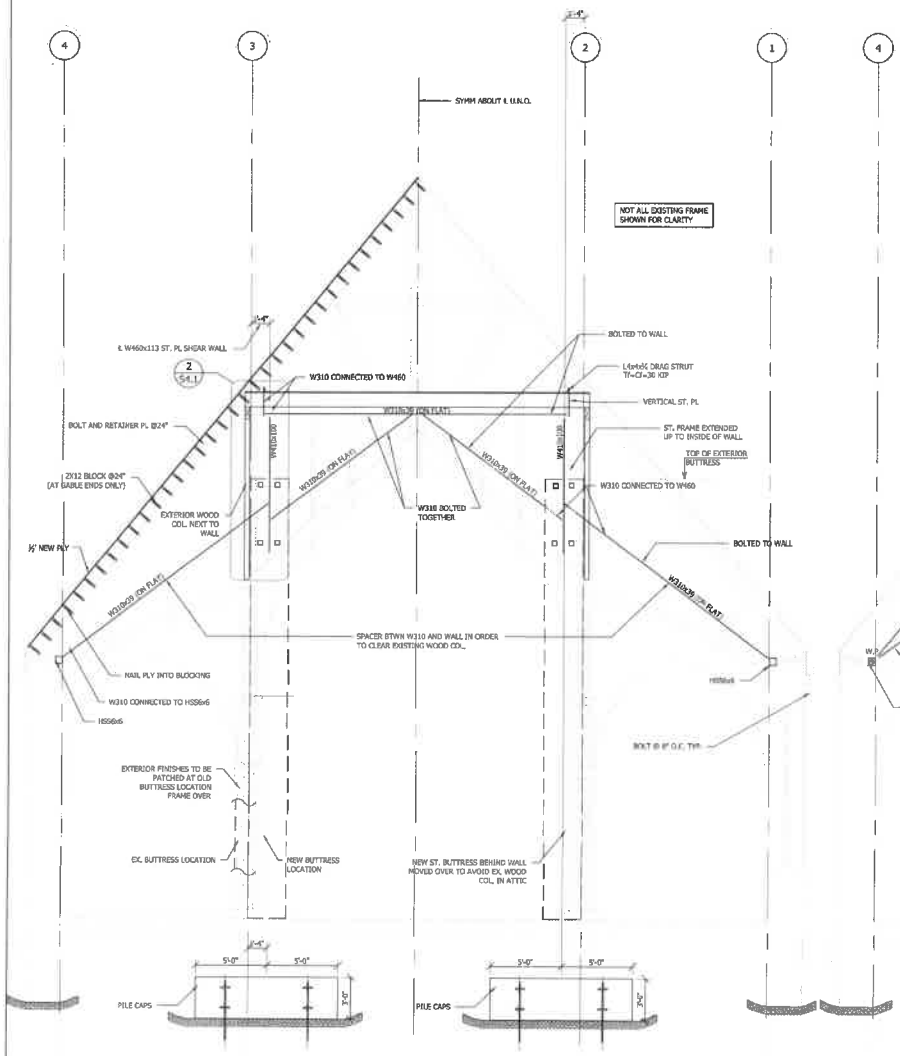
PROJECT NUMBER: K1214

CIVIL ADDRESS: 514 CARNARVON ST., NEW WESTMINSTER, BC.

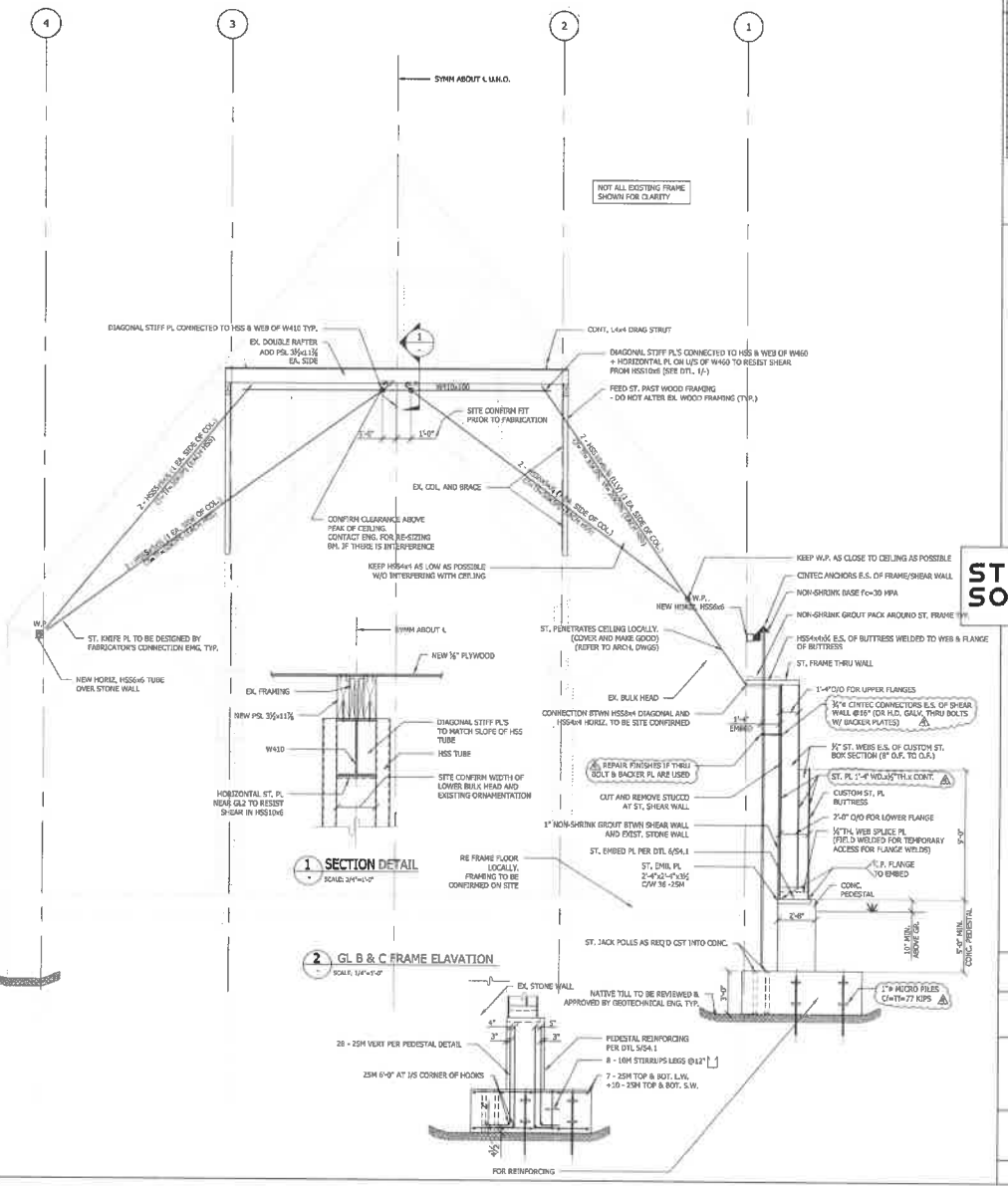
PROJECT: HOLY TRINITY CATHEDRAL 60% SEISMIC UPGRADE

DRAWING TITLE: SOUTH WALL STEEL FRAME ELEVATION

DRAWING: S3.1



1 NORTH GABLE END ELAVATION
SCALE: 1/4"=1'-0"



1 SECTION DETAIL
SCALE: 3/4"=1'-0"

2 GL B & C FRAME ELAVATION
SCALE: 1/4"=1'-0"

No.	DESCRIPTION	DATE (MM-DD-YY)
01	ISSUED FOR COORDINATION	09.12.18
02	ISSUED FOR COORDINATION	12.02.18
03	ISSUED FOR COORDINATION AND PRICING	03.11.19
04	RE-ISSUED FOR COORDINATION AND PRICING	02.28.19
05	UPDATES	01.21.20

DO NOT CONSTRUCT WITH THE INFORMATION SHOWN ON THIS DRAWING UNTIL IT IS NOTED "ISSUED FOR CONSTRUCTION".
COPYRIGHT RESERVED
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND MAY BE REPRODUCED ONLY WITH THEIR AUTHORIZATION

STRUCTURAL SOLUTIONS engineering inc.
603 - 625 FIFTH AVE.
NEW WESTMINSTER, BC, V3M 1X9
604 544 1082
www.ssel.ca

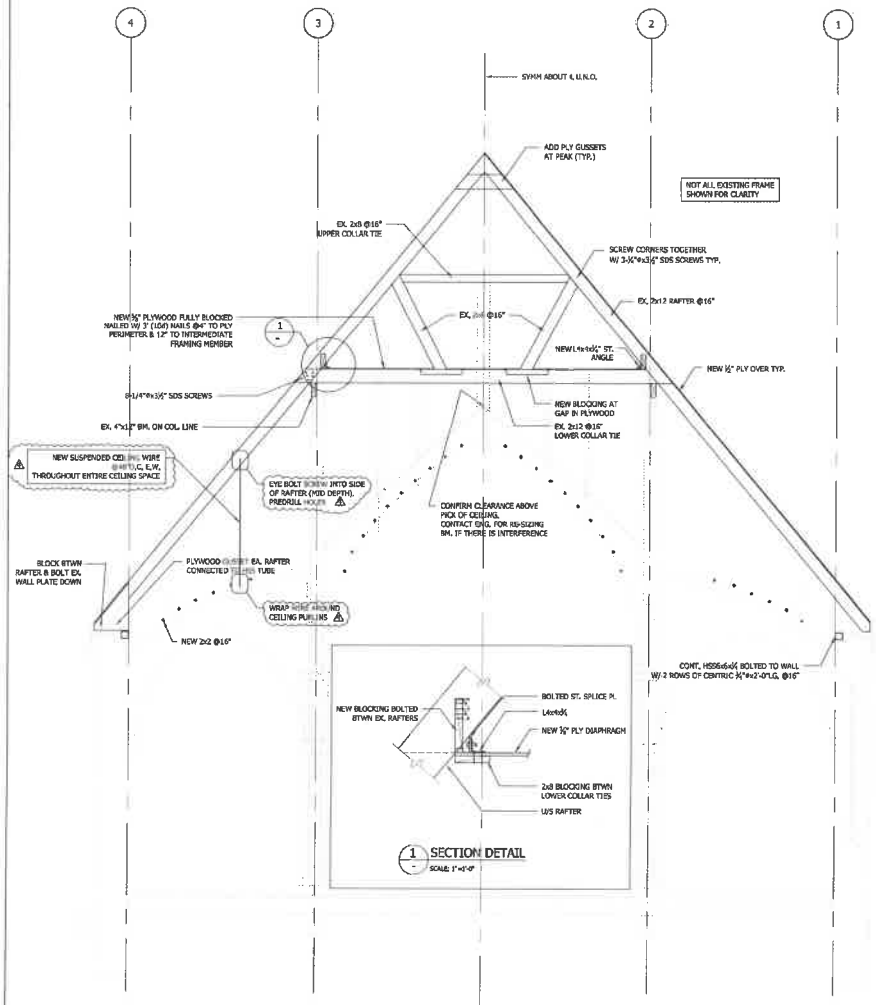
PROJECT NUMBER: K1214

CIVIL ADDRESS: 514 CARNARVON ST., NEW WESTMINSTER, BC.

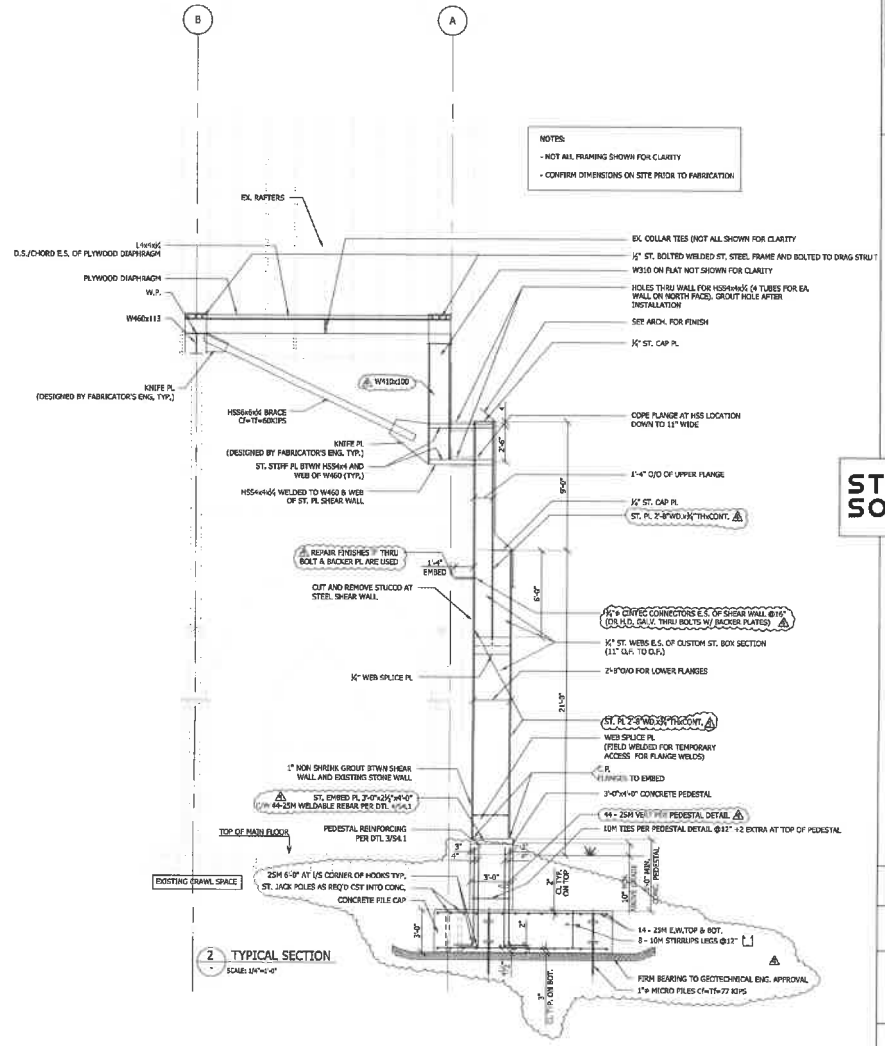
PROJECT: HOLY TRINITY CATHEDRAL 60% SEISMIC UPGRADE

DRAWING TITLE: ELEVATIONS

DRAWING: S3.2



1 TYPICAL SECTION
SCALE: 1/4"=1'-0"



2 TYPICAL SECTION
SCALE: 1/4"=1'-0"

No.	DESCRIPTION	DATE (MM.DD.YY)
01	ISSUED FOR COORDINATION	09.12.18
02	ISSUED FOR COORDINATION	11.02.18
03	ISSUED FOR COORDINATION AND PRICING	03.11.19
04	RE-ISSUED FOR COORDINATION AND PRICING	02.28.19
05	UPDATES	01.21.20

DO NOT CONSTRUCT WITH THE INFORMATION SHOWN ON THIS DRAWING UNTIL IT IS NOTED "ISSUED FOR CONSTRUCTION".
COPYRIGHT RESERVED
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND MAY BE REPRODUCED ONLY WITH THEIR AUTHORIZATION

STRUCTURAL SOLUTIONS engineering inc
601 - 625 FIFTH AVE.
NEW WESTMINSTER, BC, V3M 1X4
604 544 1082
www.sse.ca

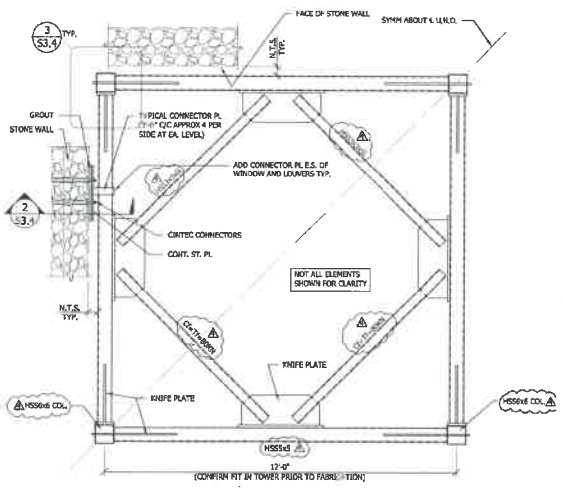
PROJECT NUMBER: K1214

CIVIL ADDRESS:
514 CARNARVON ST.,
NEW WESTMINSTER, BC.

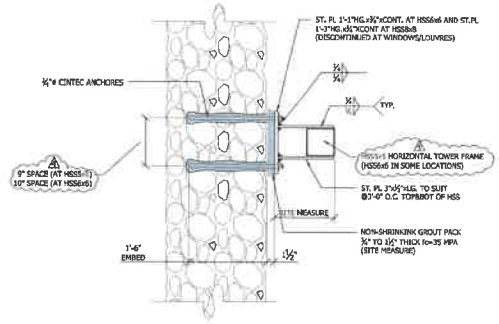
PROJECT:
HOLY TRINITY CATHEDRAL
60% SEISMIC UPGRADE

DRAWING TITLE:
ELEVATIONS

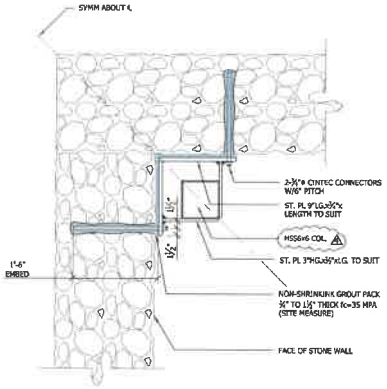
DRAWING: S3.3



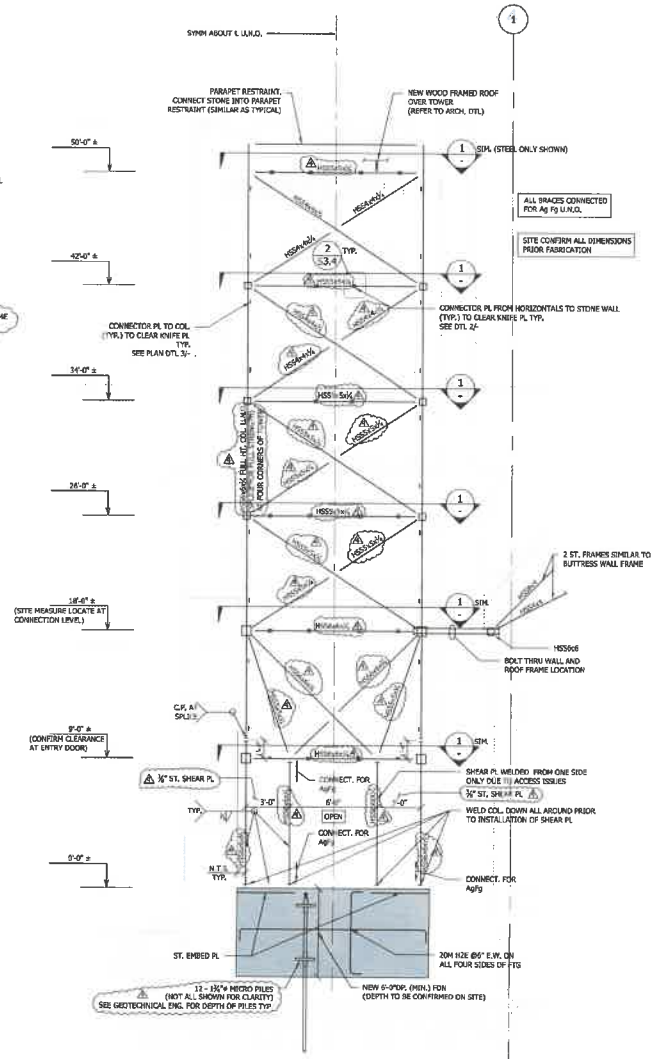
1 TOWER FRAME PLAN SECTION
SCALE: 1/2"=1'-0" SECTION SIZE NOT SHOWN TO SCALE



2 SECTION DETAIL - TYPICAL CONNECTION BTWN HORIZONTAL HSS AND STONE WALL DETAIL
SCALE: 1"=1'-0"



3 PLAN DETAIL - TYPICAL CONNECTION BTWN VERTICAL HSS AND STONE WALL (PER HORIZONTAL CONNECTOR U.N.O.)
SCALE: 1"=1'-0"



4 TOWER ELEVATION
SCALE: 1/4"=1'-0"

No.	DESCRIPTION	DATE (DD-MM-YY)
01	ISSUED FOR COORDINATION	09.17.20
02	ISSUED FOR COORDINATION	11.02.20
03	ISSUED FOR COORDINATION AND PRICING	01.11.21
04	RE-ISSUED FOR COORDINATION AND PRICING	02.28.21
05	UPDATES	01.21.22

DO NOT CONSTRUCT WITH THE INFORMATION SHOWN ON THIS DRAWING UNTIL IT IS NOTED "ISSUED FOR CONSTRUCTION".
COPYRIGHT RESERVED.
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND MAY BE REPRODUCED ONLY WITH THEIR AUTHORIZATION

STRUCTURAL SOLUTIONS engineering inc.
601 - 625 FIFTH AVE.
NEW WESTMINSTER, BC. V3M 1X4
604 544 1082
www.ssei.ca

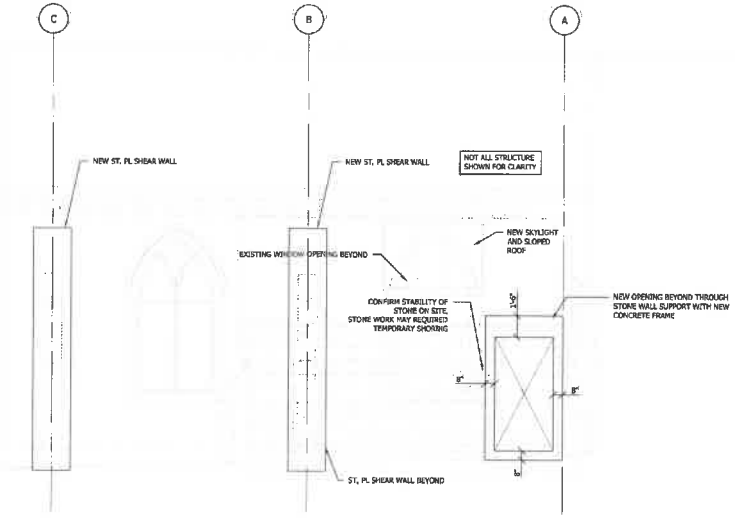
PROJECT NUMBER: K1214

CIVIL ADDRESS: 514 CARNARVON ST., NEW WESTMINSTER, BC.

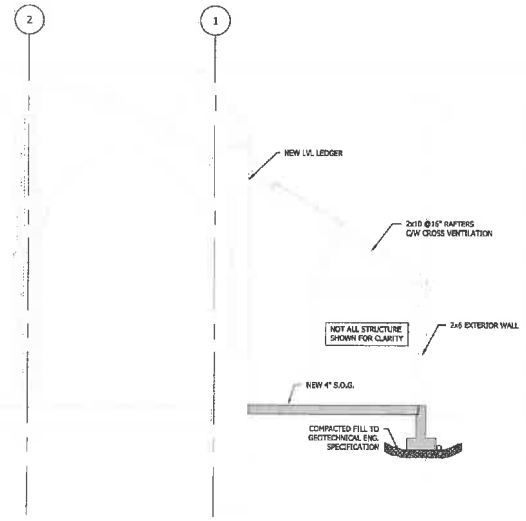
PROJECT: HOLY TRINITY CATHEDRAL 60% SEISMIC UPGRADE

DRAWING TITLE: TOWER

DRAWING: S3.4



1 ELEVATION WASHROOM
SCALE: 1/4"=1'-0"



2 ELEVATION WASHROOM
SCALE: 1/4"=1'-0"

No.	DESCRIPTION	DATE (YYYY-DD-MM)
01	ISSUED FOR COORDINATION	09.12.1[illegible]
02	ISSUED FOR COORDINATION	11.02.1[illegible]
03	ISSUED FOR COORDINATION AND PRICING	01.11.1[illegible]
04	RE-ISSUED FOR COORDINATION AND PRICING	02.28.1[illegible]
05	UPDATES	01.21.2[illegible]

DO NOT CONSTRUCT WITH THE INFORMATION SHOWN ON THIS DRAWING UNTIL IT IS NOTED "ISSUED FOR CONSTRUCTION".
COPYRIGHT RESERVED
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND MAY BE REPRODUCED ONLY WITH THEIR AUTHORIZATION

STRUCTURAL SOLUTIONS
engineering inc.
601 - 625 FIFTH AVE.
NEW WESTMINSTER, BC. V3M 1X4
604 544 1082
www.ssel.ca

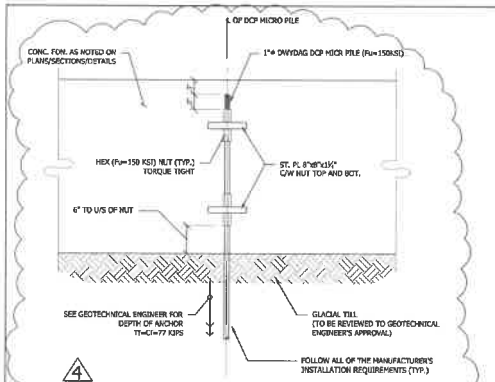
PROJECT NUMBER: K1234

CIVIL ADDRESS: 514 CARNARVON ST., NEW WESTMINSTER, BC.

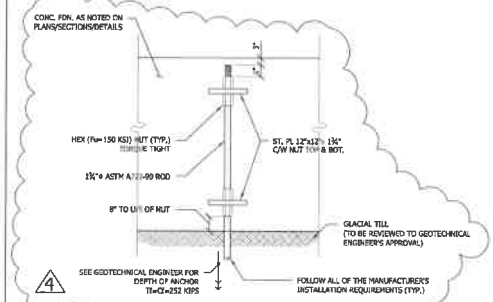
PROJECT: HOLY TRINITY CATHEDRAL 60% SEISMIC UPGRADE

DRAWING TITLE: ELEVATIONS WASHROOM

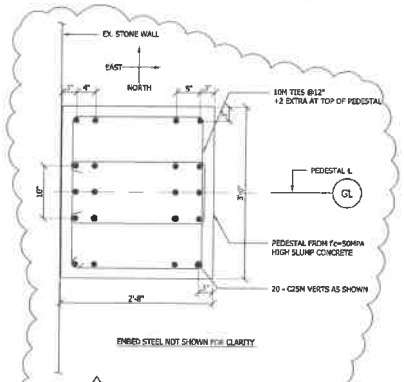
DRAWING: S3.11



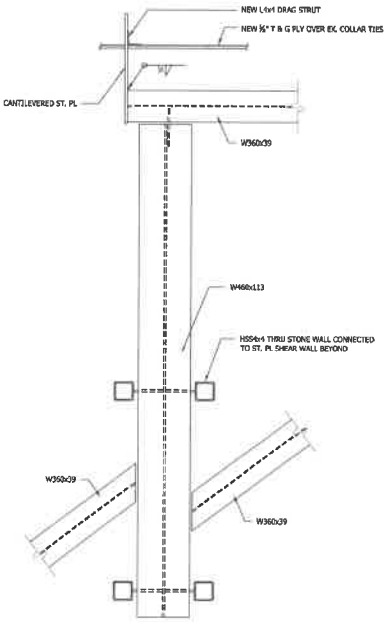
1 S4.1 TYPICAL INSTALLATION OF 1" DIA. DCP MICRO PILE (SECTION DETAIL) (TYPICAL OF 16 PILES)
SCALE: 1"=1'-0"



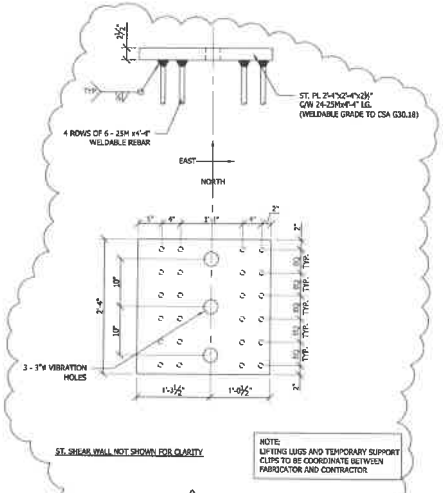
1a S4.1 TYPICAL INSTALLATION OF 1 3/4" DIA. DCP MICRO PILE (SECTION DETAIL) (TYP OF 12 PILES)
SCALE: 1/2"=1'-0"



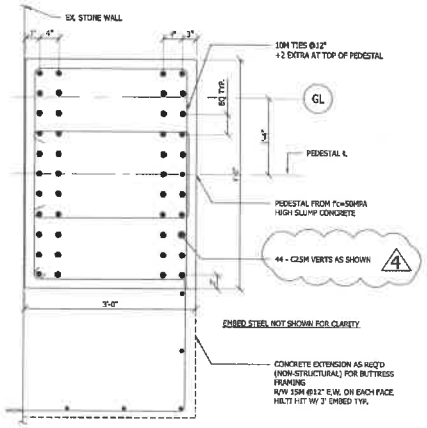
5 S4.1 PLAN DETAIL OF PEDESTAL STEEL - EAST WALL
SCALE: 1"=1'-0"



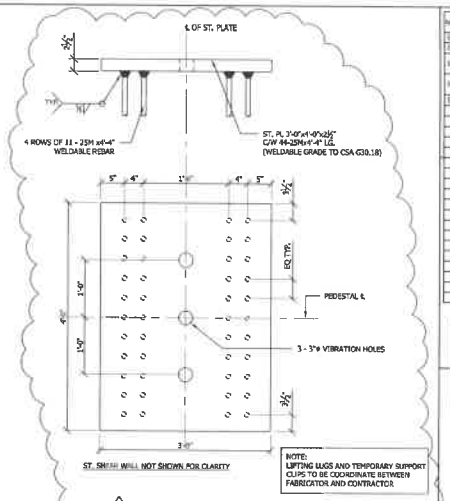
2 S3.2 SECTION DETAIL
SCALE: 1"=1'-0"



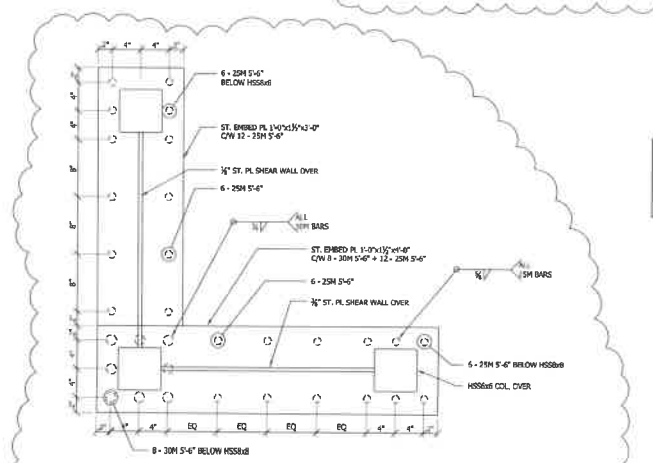
6 S4.1 PEDESTAL EMBED
SCALE: 1"=1'-0"



3 S4.1 PLAN DETAIL OF PEDESTAL STEEL - NORTH WALL
SCALE: 1"=1'-0"

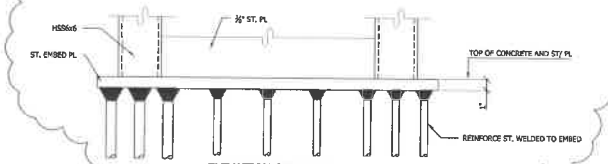


4 S4.1 PEDESTAL EMBED
SCALE: 1"=1'-0"



4 7 S4.1 TOWER EMBED PL PLAN DETAIL
SCALE: 1 1/2"=1'-0" (TYPICAL OF 4 LOCATIONS)

ALL REBAR WELDED TO EMBEDS TO BE CSA G30.18 WELDABLE GRADE TYP.



ELEVATION OF EMBED

No.	DESCRIPTION	DATE (YY.MO.YY)
01	ISSUED FOR COORDINATION	09.12.20
02	ISSUED FOR COORDINATION	11.02.20
03	ISSUED FOR COORDINATION AND PRICING	01.11.21
04	RE-ISSUED FOR COORDINATION AND PRICING	02.28.21
05	UPDATES	01.21.22

DO NOT CONSTRUCT WITH THE INFORMATION SHOWN ON THIS DRAWING UNTIL IT IS NOTED "ISSUED FOR CONSTRUCTION". COPYRIGHT RESERVED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND MAY BE REPRODUCED ONLY WITH THEIR AUTHORIZATION

STRUCTURAL SOLUTIONS engineering inc.
601 - 625 FIFTH AVE.
NEW WESTMINSTER, BC. V3M 1X4
604 544 1082
www.ssei.ca

PROJECT NUMBER: K1214

CIVIL ADDRESS: 514 CARNARVON ST., NEW WESTMINSTER, BC.

PROJECT: HOLY TRINITY CATHEDRAL 60% SEISMIC UPGRADE

DRAWING TITLE: DETAILS / SECTIONS

DRAWING: S4.1

APPENDIX 3

Conservation Plan

APPENDIX 4

CONFIRMATION OF COMMITMENT BY STRUCTURAL ENGINEER OR HERITAGE PROFESSIONAL

Date: _____

City of New Westminster
511 Royal Avenue
New Westminster, B.C. V3L 1H9

Attention: Director of Climate Action, Planning and Development

Re: Heritage Revitalization Agreement for Holy Trinity Cathedral, 514 Carnarvon Street

The undersigned hereby undertakes to be responsible for field reviews of the construction carried out at the captioned address for compliance with the requirements of [strike out inapplicable] Appendix 2 Seismic Upgrade/Appendix 3 Conservation Work of the Heritage Revitalization Agreement applicable to the property, which the undersigned acknowledges having received and reviewed, and undertakes to notify the City of New Westminster in writing within one business day if the undersigned's contract for field review is terminated at any time during construction. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

_____
Name

_____
Address

Signature and Seal

_____
Telephone No.

APPENDIX 5

CERTIFICATION OF COMPLIANCE FROM STRUCTURAL ENGINEER OR HERITAGE PROFESSIONAL

Date: _____

City of New Westminster
511 Royal Avenue
New Westminster, B.C. V3L 1H9

Attention: Director of Climate Action, Planning and Development

Re: Heritage Revitalization Agreement for Holy Trinity Cathedral, 514 Carnarvon Street

I hereby give assurance that I have fulfilled my obligations for field review as indicated in my letter to the City of New Westminster dated _____ in relation to the captioned property, and that the work complies in all material respects with the requirements of [strike out inapplicable] Appendix 2/Appendix 3 of the Heritage Revitalization Agreement referred to in that letter. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

_____
Name

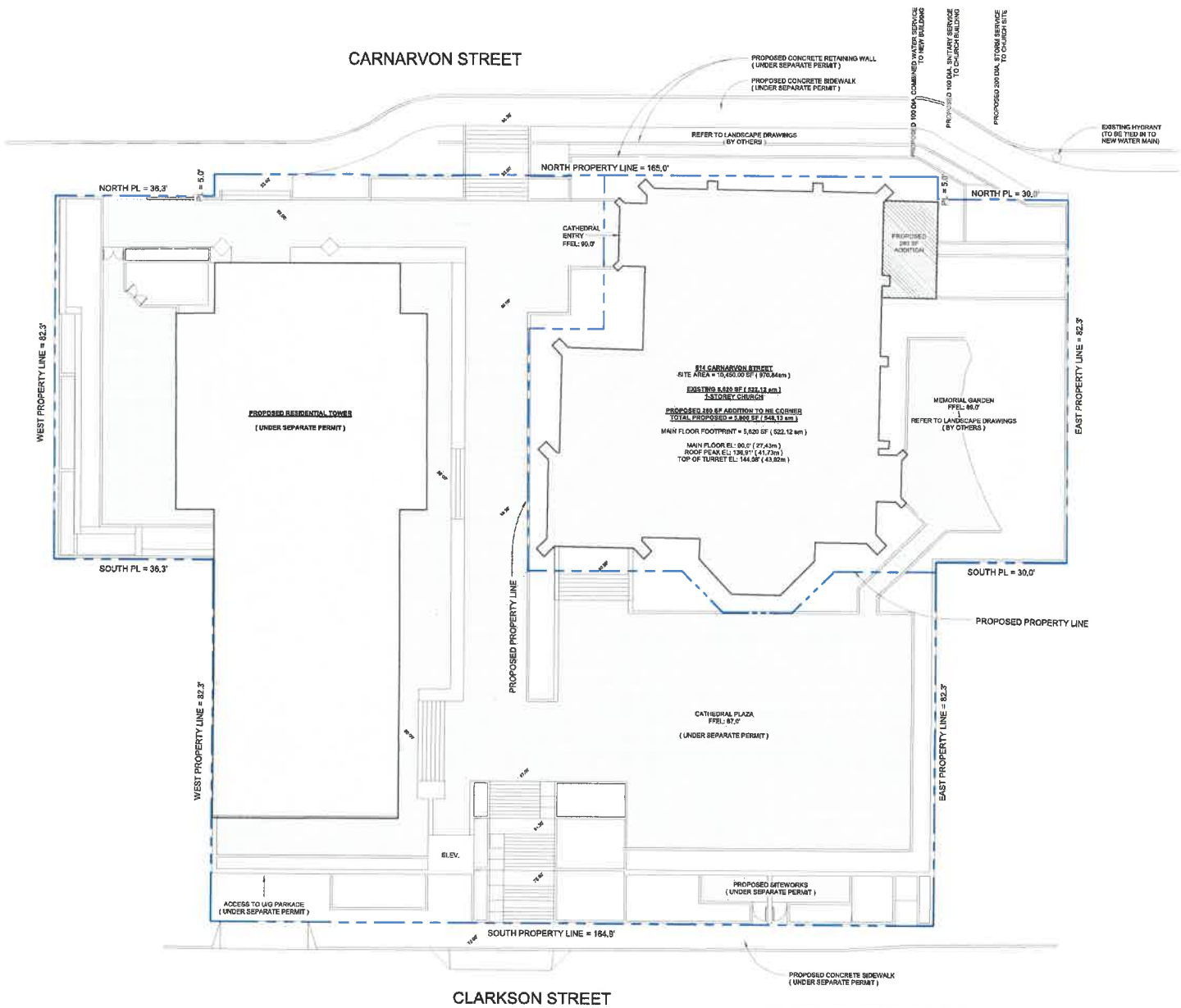
_____
Address

Signature and Seal

_____
Telephone No.

APPENDIX 6

CATHEDRAL DESIGN PLANS



1 **PROPOSED SITE PLAN**
SCALE: 3/32" = 1'-0"

Civic Address: 514 CARNARVON STREET
NEW WESTMINSTER, BC V3L 1C4

Legal Description: NWD, PLAN NWP74708, PARCEL ONE, GROUP 1, VICTORIA GARDENS

PID: 008-186-430
Folio: 01298000

ZONING: P-1

SITE AREA = 10,450.00 SF (970.84sm)

EXISTING BUILDING DESCRIBE:
SINGLE-STOREY HISTORIC HOLY TRINITY CATHEDRAL, HRA, OCP, SDP APPLICATIONS & ON THE HERITAGE REGISTRAR. ASSEMBLY CLASSIFICATION.

EXISTING COMBUSTIBLE CONSTRUCTION, WOOD INTERNAL STRUCTURE c/w EXTERIOR STONE WALLS.
PROPOSED INTERIOR RENOVATIONS, SEISMIC UPGRADE AND RESTORATION OF THE EXTERIOR OF THE CATHEDRAL.
PROTECT CATHEDRAL AND PROVIDE NEW PARISH SPACE INCLUDING PUBLICLY ACCESSIBLE PLAZA.

BUILDING IS FACING CARNARVON STREET.

PROPOSED HERITAGE DESIGNATION BYLAW PROVIDING LONG-TERM LEGAL PROTECTION OF THE CATHEDRAL.

PROJECT TEAM

GENERAL CONTRACTOR :
CONWEST (514 CARNARVON) LP
#250 - 1311 Kootenay Street
Vancouver, BC V5K 4Y3
d 604.294.5067
c 778.953.6838
CONTACT:
LUKE NEWMAN, project manager
luke.newman@conwest.com

ARCHITECT :
JONATHAN EHLING ARCHITECT INC.
200 - 829 West 15th Street
North Vancouver, BC V7P 1M6
t 604.770.1380
c 604.230.1780
CONTACT:
JONATHAN EHLING, Architect AIBC
jonathan.ehling.architect@gmail.com

STRUCTURAL ENGINEER :
STRUCTURAL SOLUTIONS ENGINEERING INC.
601 - 625 Fifth Avenue
New Westminster, BC V3J 1N3
o 604.544.1082
CONTACT:
ANDREW MCLELLAN
amclellan@ssei.ca

HERITAGE RESOURCE :
DONALD LUXTON AND ASSOCIATES INC.
1030 - 470 Granville Street
Vancouver, BC V6C 1V5
t 604.683.1216
CONTACT:
DONALD LUXTON, conservation consultant
donald@donaldluxton.com

ELECTRICAL CONSULTANT:
NEMETZ (S/A) & ASSOCIATES LTD.
2009 West 4th Avenue
Vancouver, BC V6J 1N3
t 604.736.6592
c 604.307.1772
CONTACT:
BIJAN VALAGOHAR project manager
bijan@nemetz.com

MECHANICAL CONSULTANT :
WILLIAMS ENGINEERING
Suite 740 – 1100 Melville Street
Vancouver, BC V6E 4A6
t 604.683.1915
c 778.788.4925
CONTACT:
PETER KUO
peter.kuo@williamsengineering.com

BUILDING CODE & FIRE PROTECTION :
CPT ENGINEERING
#500 – 1901 Rosser Avenue
Burnaby, BC V5C 6R4
t 604.584.2364
CONTACT:
SAMIR EIDNANI

ARCHITECTURAL DRAWING LIST:

A1.0 - PROPOSED SITE PLAN
A2.0 - EXISTING FLOOR PLAN
A2.1 - PROPOSED FLOOR PLAN
A2.2 - PROPOSED BUILDING ROOF PLAN (RENOVATED)
A2.3 - PROPOSED REFLECTED CEILING PLAN
A2.4 - PROPOSED DEMOLITION PLAN
A3.0 - PROPOSED BUILDING ELEVATIONS (EAST / NORTH)
A3.1 - PROPOSED BUILDING ELEVATIONS (WEST / SOUTH)
A4.0 - PROPOSED BUILDING SECTION AA
A4.1 - PROPOSED BUILDING SECTION BB
A4.2 - PROPOSED BUILDING SECTION CC
A4.3 - PROPOSED BUILDING SECTION DD
A5.0 - PROPOSED WASHROOM ADDITION
A5.1 - PROPOSED PIER DETAILS
A5.1 - PROPOSED WASHROOM ADDITION DETAILS

N

Jonathan Ehling Architect Inc.
200 - 829 W 15th Street
North Vancouver, BC V7P 1M6
604-770-1380
jearch@telus.net

HERITAGE RESTORATION:
HOLY TRINITY CATHEDRAL
514 CARNARVON STREET
NEW WESTMINSTER, BC

COPYRIGHT MATERIAL
THE DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF JONATHAN EHLING ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO JONATHAN EHLING ARCHITECT.

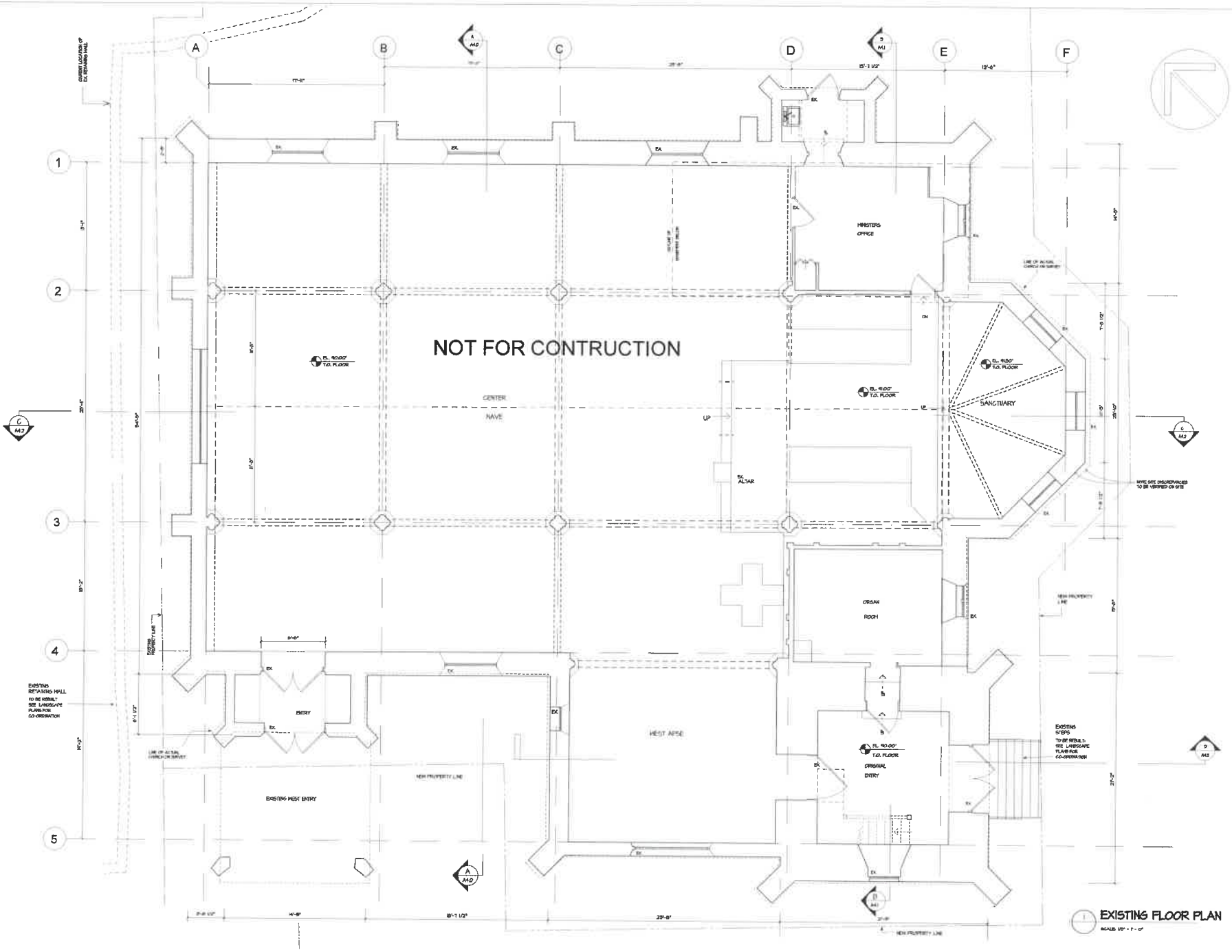
Rev. No.	Revision	Date
	CLIENT REVIEW	FEB. 21.2018
	CLIENT REVIEW	JAN. 21.2018
	CLIENT REVIEW	JAN. 15.2018
	CLIENT REVIEW	DEC. 1. 2016

PROPOSED SITE PLAN

Scale: 3/32" = 1'-0"

Job. No.
Date.
Drawn: JPE
Checked:

Sheet Number: **A 1.0**



1 EXISTING FLOOR PLAN

SCALE: 1/8" = 1' - 0"

Jonathan Ehling Architect Inc.

209 - 624 N 6TH ST.
NORTH VANCOUVER, B.C. V7M 1G
604 724-0563
jonehlin@shaw.ca

HERITAGE RESTORATION

HOLY TRINITY CATHEDRAL

514 CARNARVON STREET,
NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL.
THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF JONATHAN EHLING ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

ALL DIMENSION TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO JONATHAN EHLING ARCHITECT.

No.	Revisions	Date
	HERITAGE REVIEW	FEB 28, 2014
	BUDGET PRICING	JUL 31, 2014
	CLIENT REVIEW	OCT. 10, 2014

BUILDING FLOOR PLAN (EXISTING)

Scale: 1/4" = 1' - 0" U.N.O.

Job No.

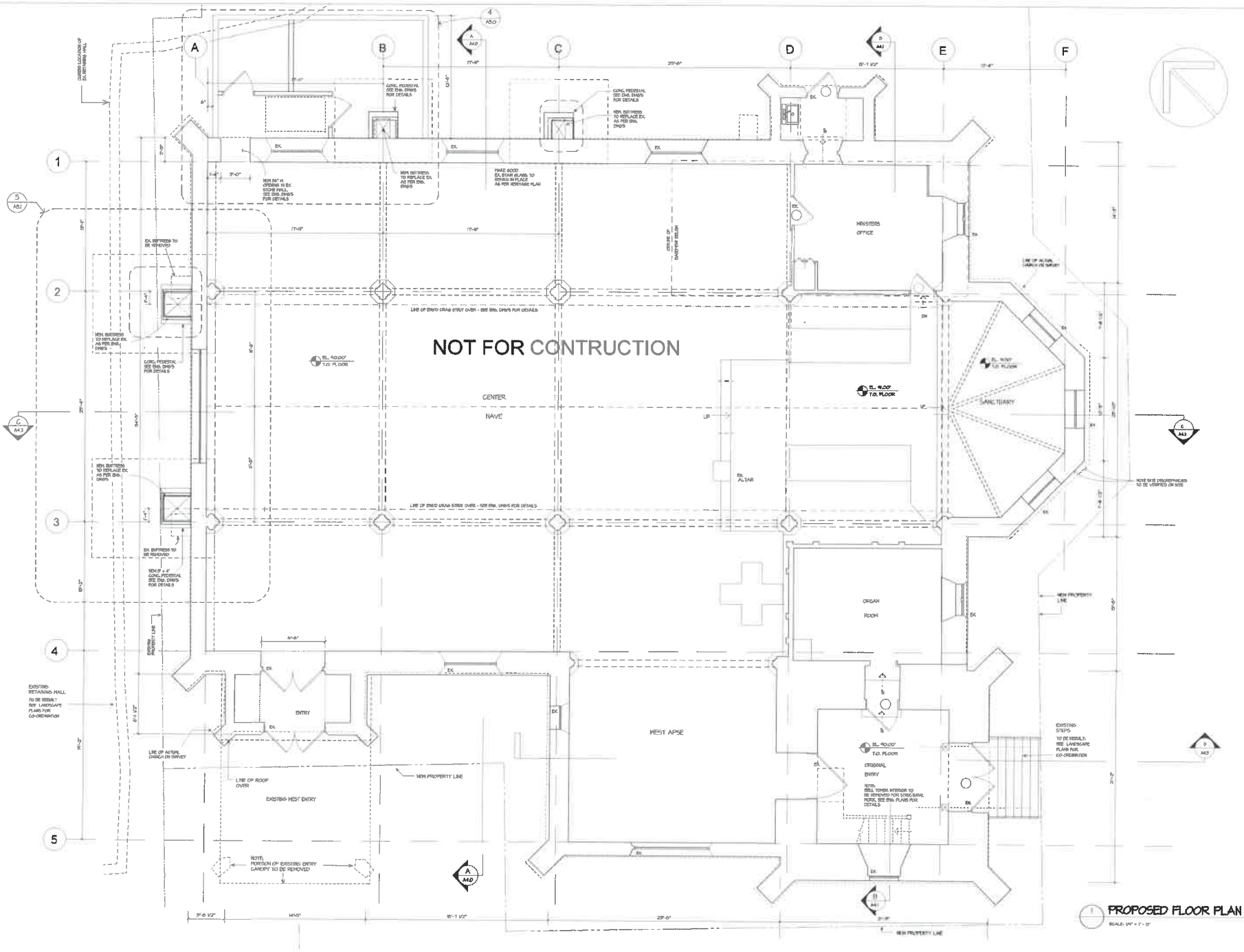
Date:

Drawn: JPE

Checked:

Sheet Number:

A 2.0



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

Jonathan Ehling Architect Inc.

200 - 604 H. 8TH ST.
NORTH VANCOUVER, B.C. V7P 2H3
604 984-0865
jeai@telus.net

HERITAGE RESTORATION

HOLY TRINITY CATHEDRAL

514 CARNARVON STREET, NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL
THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF JONATHAN EHLING ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO JONATHAN EHLING ARCHITECT.

No.	Revision	Date
	HERITAGE REVIEW	FEB. 26, 2014
	BUDGET PRICING	JUL. 7, 2014
	CLIENT REVIEW	OCT. 10, 2014

BUILDING FLOOR PLAN (PROPOSED)

Scale: 1/4" = 1'-0" U.N.O.

Job No.

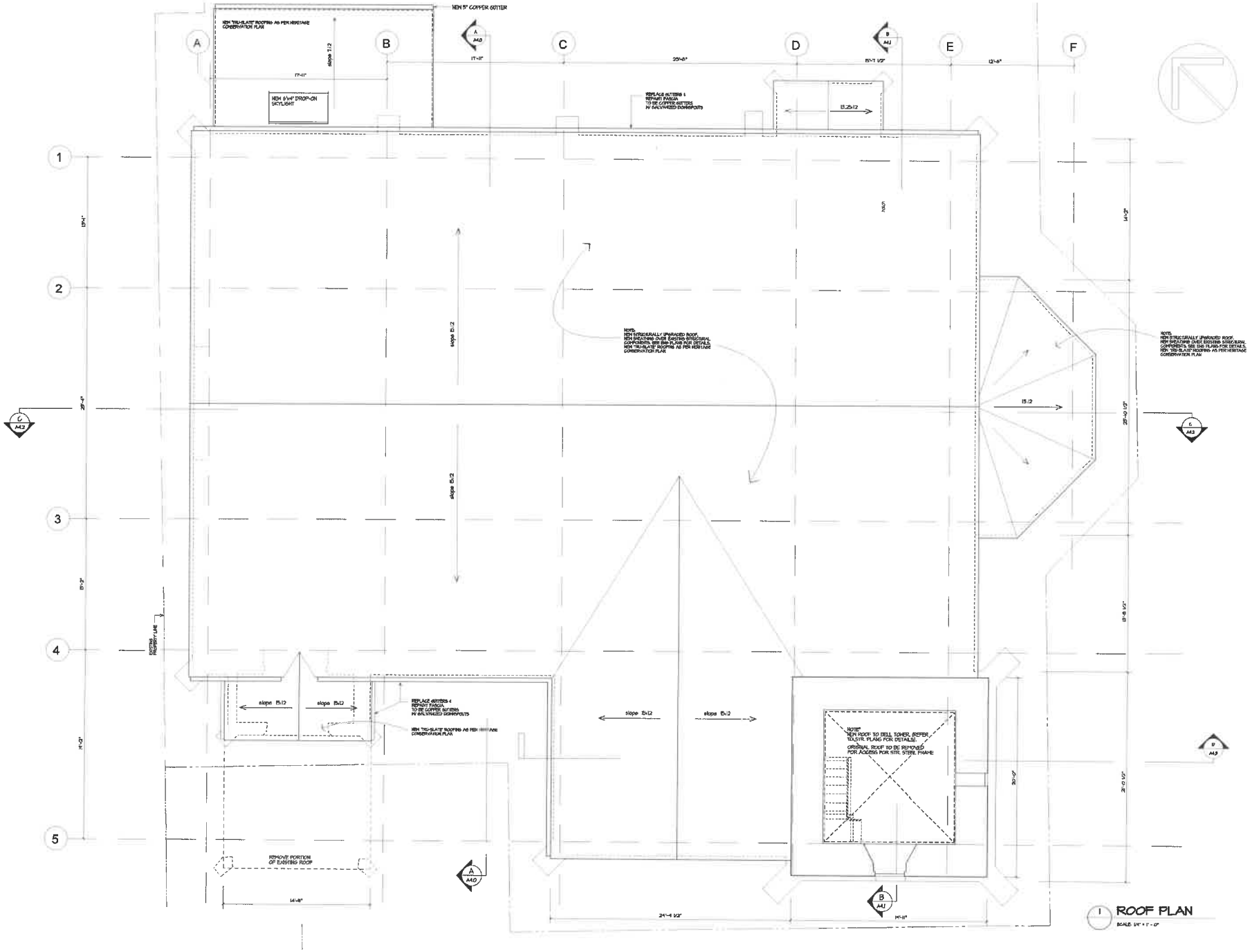
Date:

Drawn: JPE

Checked:

Sheet Number:

A 2.1



Jonathan Ehling Architect Inc.

200 - 204 W 6TH ST.
NORTH VANCOUVER, B.C. V7P 1H3
604 924-0100
jeahs@shaw.ca

HERITAGE RESTORATION:

HOLY TRINITY CATHEDRAL

514 CARNARVON STREET,
NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL
THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF JONATHAN EHLING ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO JONATHAN EHLING ARCHITECT.

No.	Revision	Date
	HERITAGE REVIEW	FEB. 26, 2014
	BUDGET PRICING	JUL. 31, 2014
	CLIENT REVIEW	OCT. 17, 2013

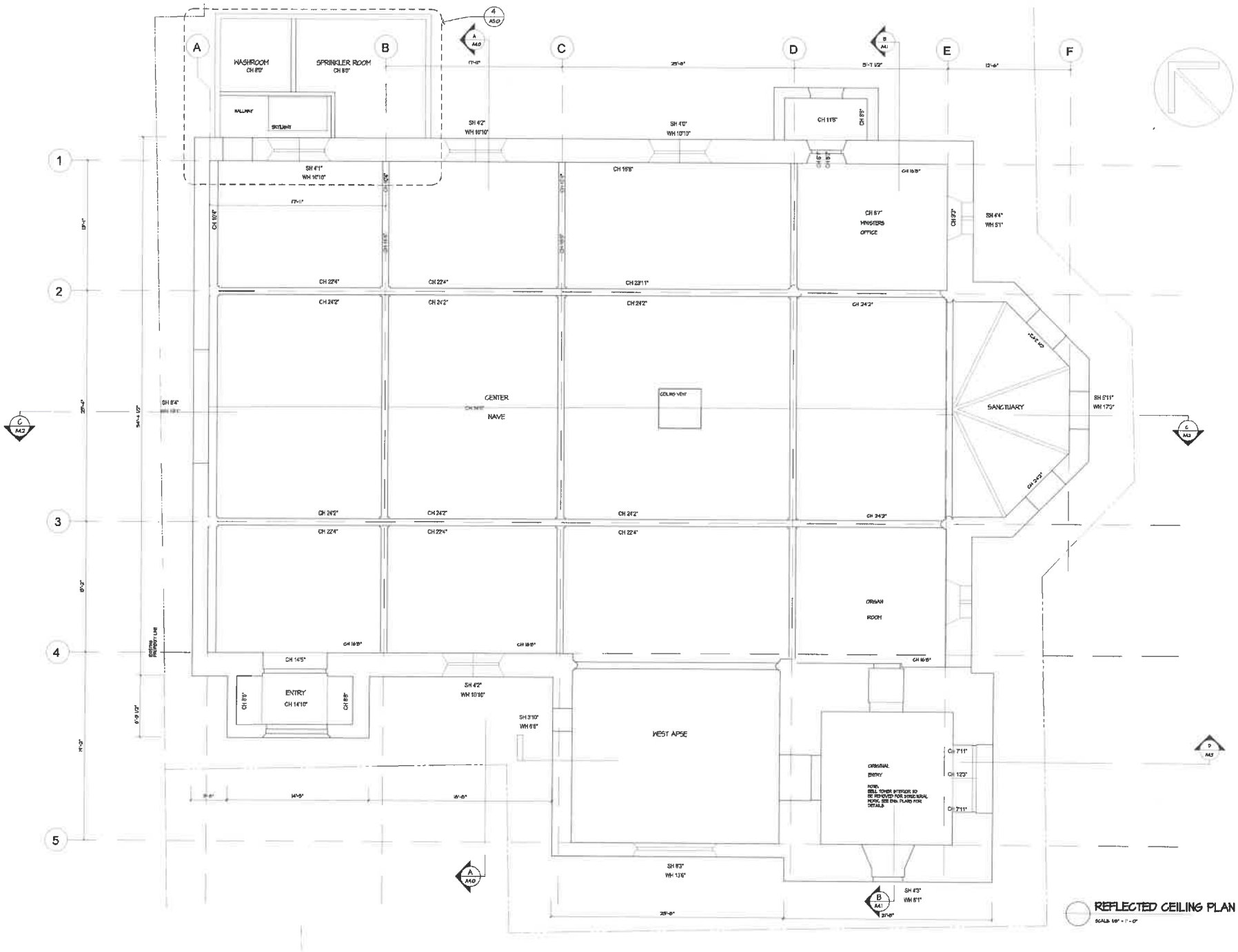
BUILDING ROOF PLAN (RENOVATED)

Scale: 1/4" = 1' - 0" U.N.O.

Job No.
Date:
Drawn: JPE
Checked:

Sheet Number

A 2.2



Jonathan Ehling Architect Inc.

200 - 829 W. 16TH ST.
NORTH VANCOUVER, B.C. V7P 3J3
604 770-0360
jeorchitect@shaw.ca

HERITAGE RESTORATION:

HOLY TRINITY CATHEDRAL

514 CARNARVON STREET,
NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL
THIS DRAWING AND THE DESIGN
SHOWN ARE THE EXCLUSIVE
PROPERTY OF JONATHAN EHLING
ARCHITECT INC. AND MAY NOT BE
REPRODUCED WITHOUT WRITTEN
CONSENT.

ALL DIMENSION TO BE VERIFIED
ON SITE PRIOR TO COMMENCEMENT
OF WORK. ANY DISCREPANCIES ARE
TO BE REPORTED IMMEDIATELY TO
JONATHAN EHLING ARCHITECT.

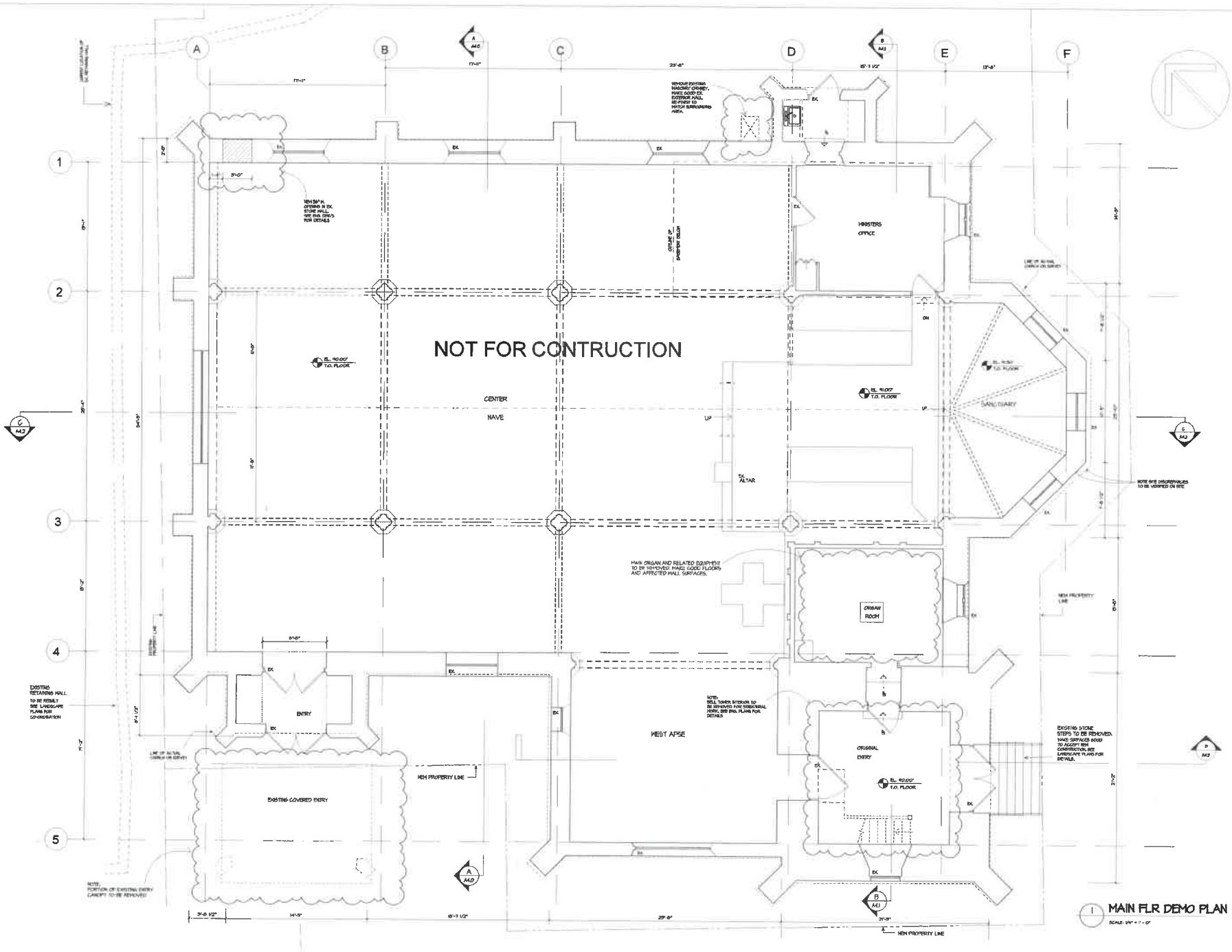
Job No.	Revision	Date
	HERITAGE REVIEW	FEB. 28, 2014
	BUDGET PRICING	JUL. 21, 2014
	CLIENT REVIEW	OCT. 13, 2014

REFLECTED CEILING PLAN (PROPOSED)

Scale: 1/4" = 1'-0" U.N.O.

Job No.
Date:
Drawn: JPE
Checked:

Sheet Number:
A 2.3



1 MAIN FLR DEMO PLAN

SCALE: 1/4" = 1' - 0"

Jonathan Ehling Architect Inc.

200 - 634 W. 6TH ST.
NORTH VANCOUVER, B.C. V7P 1H5
604 990-0550
jonathan@ehling.com

HERITAGE REHSTORATION

HOLY TRINITY CATHEDRAL

514 CARNARVON STREET,
NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL
THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF JONATHAN EHLING ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

ALL DIMENSION TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO JONATHAN EHLING ARCHITECT.

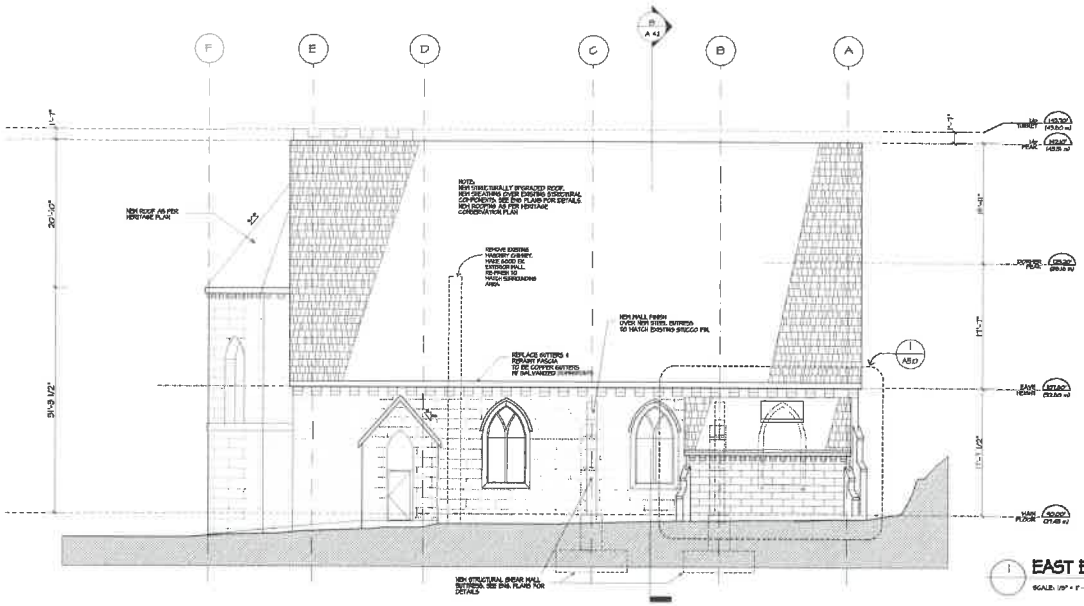
No.	Revisions	Date
	HERITAGE REVIEW	FEB 26, 2014
	BUDGET PRICING	JAN 21, 2014
	CLIENT REVIEW	OCT. 21, 2013

BUILDING DEMO PLAN (PROPOSED)

Scale: 1/4" = 1' - 0" U.N.O.

Job No.
Date:
Drawn: JPE
Checked:

Sheet Number:
A 2.4



EAST ELEVATION

SCALE: 1/8" = 1' - 0"

EXT. FINISH LEGEND

DENOTES NEW GAF TRU SLATE ROOFING OR APPROVED ALTERNATE

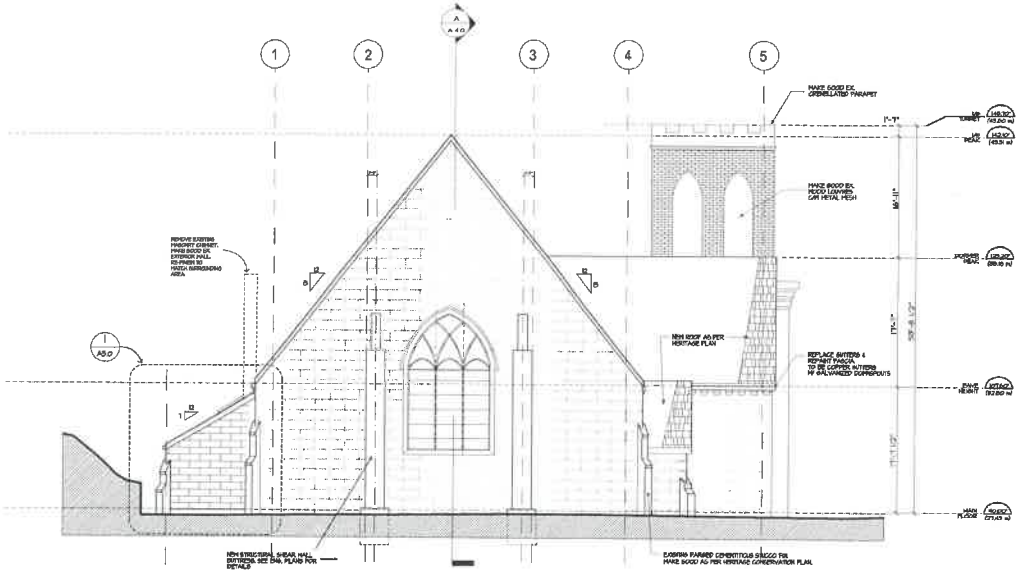
DENOTES EX. EXPOSED BRICKWORK. MAKE GOOD AS PER HERITAGE CONSERVATION PLAN

DENOTES NEW CEMENTITIOUS STUCCO FIN. TO MATCH EXISTING PARGED STUCCO FIN.

DENOTES EXISTING CEMENTITIOUS STUCCO FIN. MAKE GOOD AS PER HERITAGE CONSERVATION PLAN

DENOTES ORIGINAL STONEWORK. MAKE GOOD AS PER HERITAGE CONSERVATION PLAN

TYP. STAINGLASSED WINDOW



NORTH ELEVATION

SCALE: 1/8" = 1' - 0"

Jonathan Ehling Architect Inc.

200 - 629 N. 8TH ST.
NORTH VANCOUVER, B.C. V7P 2K5
604 770 8807
jeehlingarchitect.com

HERITAGE RESTORATION

HOLY TRINITY CATHEDRAL

14 CARNARVON STREET,
NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL
THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF JONATHAN EHLING ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

ALL DIMENSION TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO JONATHAN EHLING ARCHITECT.

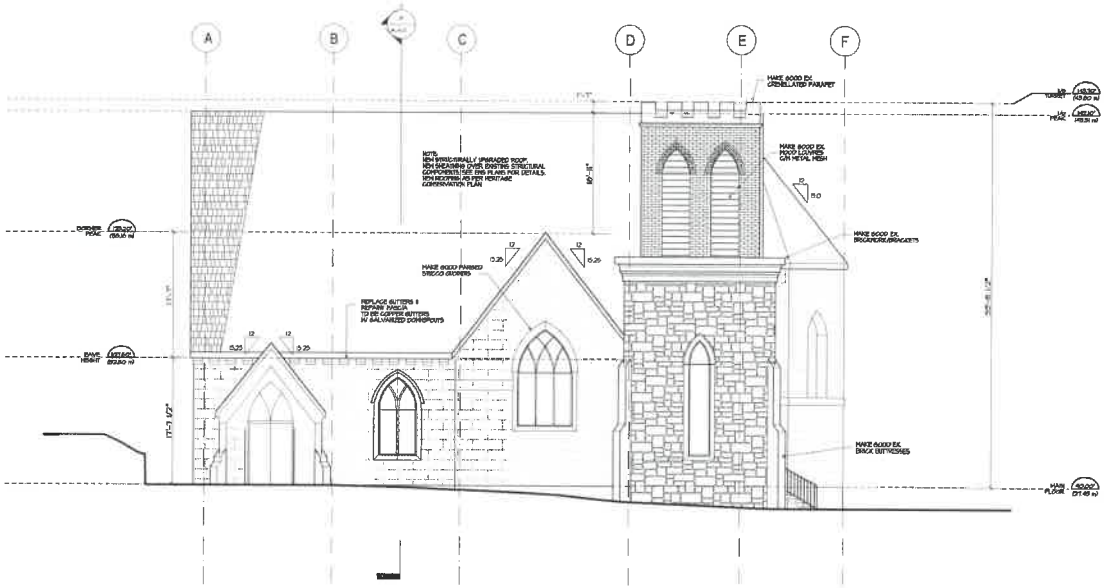
No.	Revision	Date
	HERITAGE REVIEW	FEB 26, 2014
	BUDGET PRICING	JAN 3, 2014
	CLIENT REVIEW	OCT. 17, 2013

RENOVATED BUILDING ELEVATIONS

Scale: 1/8" = 1' - 0"

Job No.
Date:
Drawn: JPE
Checked:

Sheet Number:
A 3.0



1 WEST ELEVATION

SCALE: 1/8" = 1' - 0"

EXT. FINISH LEGEND

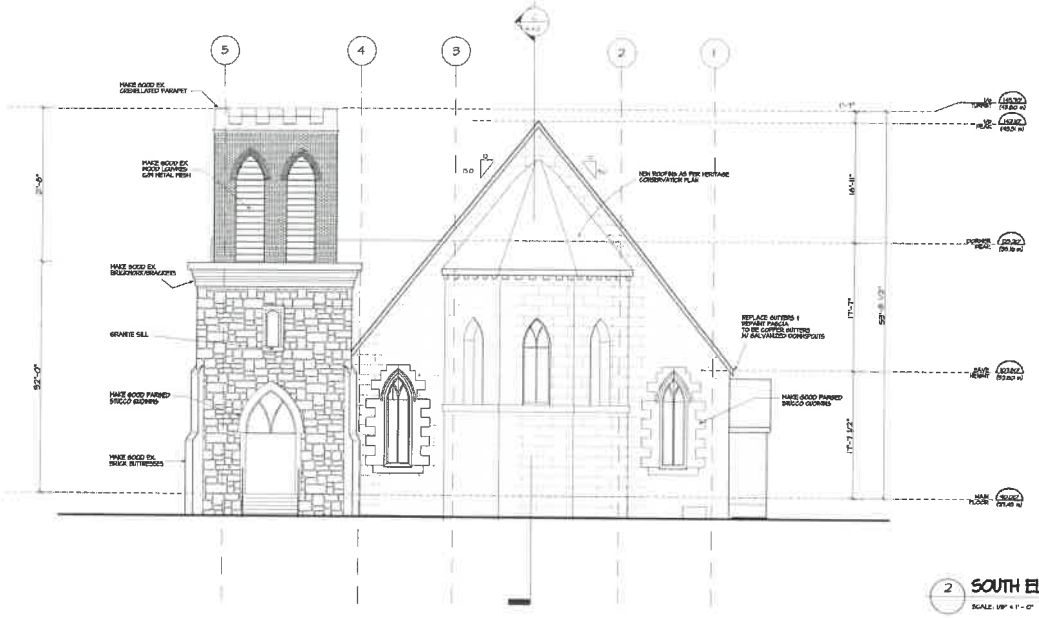
DENOTES NEW ASPHALT SHINGLE ROOFING OR APPROVED ALTERNATE

DENOTES EX. EXPOSED BRICKWORK. MAKE GOOD AS PER HERITAGE CONSERVATION PLAN

DENOTES NEW CEMENTITIOUS STUCCO FIN. TO MATCH EXISTING PAINTED STUCCO FIN.

DENOTES EXISTING CEMENTITIOUS STUCCO FIN. MAKE GOOD AS PER HERITAGE CONSERVATION PLAN

DENOTES ORIGINAL STONEWORK. MAKE GOOD AS PER HERITAGE CONSERVATION PLAN



2 SOUTH ELEVATION

SCALE: 1/8" = 1' - 0"

Jonathan Ehling Architect Inc.

300 - 624 N. 6TH ST.
NORTH VANCOUVER, B.C. V7P 2E5
604 790-2900
jonathanehlingarch@gmail.com

HERITAGE RESTORATION:

HOLY TRINITY CATHEDRAL

14 CARNARVON STREET,
NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL.
THE DRAWING AND THE DESIGNS SHOWN ARE THE EXCLUSIVE PROPERTY OF JONATHAN EHLING ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

ALL DIMENSION TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO JONATHAN EHLING ARCHITECT.

No.	Revisions	Date
	HERITAGE REVIEW	FEB 26, 2019
	BUDGET PRICING	JAN. 2, 2019
	CLIENT REVIEW	OCT. 12, 2018

BUILDING ELEVATIONS

Scale: 1/8" = 1' - 0"

Job No.

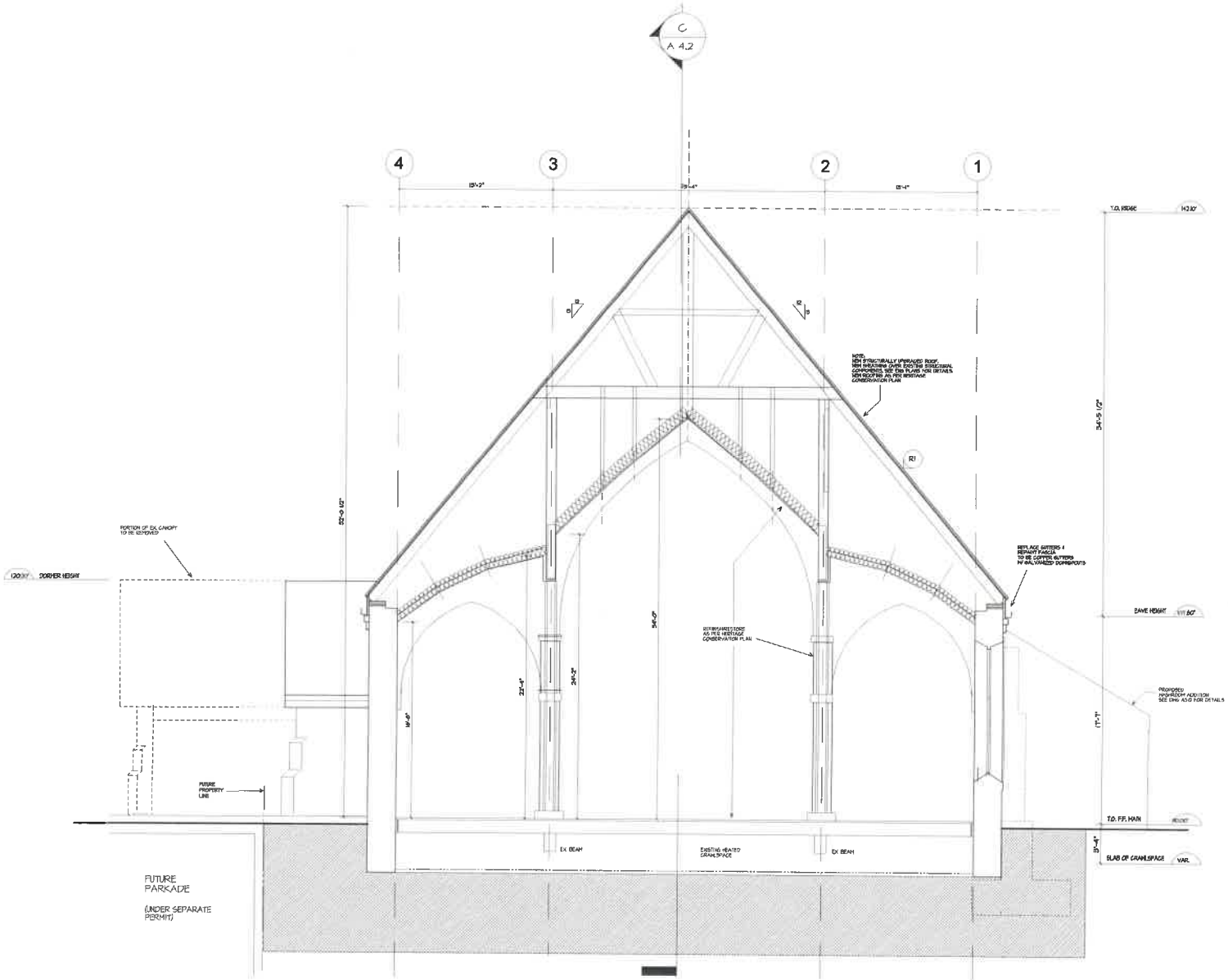
Date:

Drawn: JPE

Checked:

Sheet Number:

A 3.1



1 SECTION AA
SCALE: 1/4" = 1' - 0"

Jonathan Ehling Architect Inc.

300 - 524 W. 8TH ST.
NORTH VANCOUVER, B.C. V7P 1T5
604 730-0500
jeahr@shaw.ca

HERITAGE RESTORATION:

HOLY TRINITY CATHEDRAL

514 CARNARVON STREET,
NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL
THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF JONATHAN EHLING ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT PRIOR CONSENT.

ALL DIMENSION TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO JONATHAN EHLING ARCHITECT.

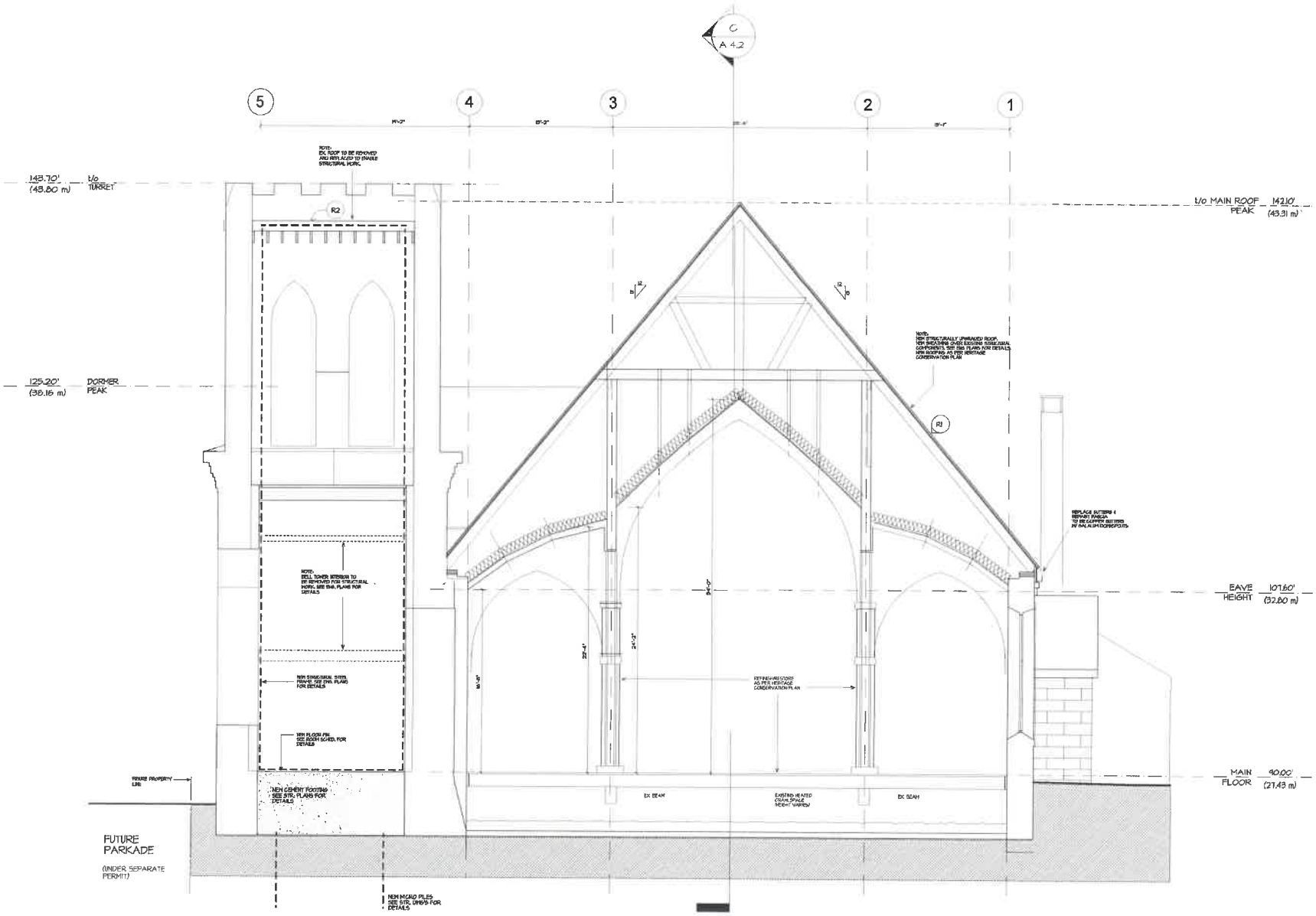
No.	Revision	Date
	HERITAGE REVIEW	FEB. 26, 2014
	BUDGET PRICING	JUL. 21, 2014
	CLIENT REVIEW	OCT. 01, 2014

BUILDING SECTION AA

Scale: 1/4" = 1' - 0" U.N.O.

Job No.
Date:
Drawn: JEA
Checked:

Sheet Number:
A 4.0



1 SECTION BB

SCALE: 1/8" = 1' - 0"

Jonathan Ehling Architect Inc.

300 - 638 H. 8TH ST.
NORTH VANCOUVER, B.C. V7P 2Y5
604 710-0592
jeahc@telus.net

HERITAGE RESTORATION:

HOLY TRINITY CATHEDRAL

514 CARNARVON STREET,
NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL.
THIS DRAWING AND THE DESIGN THEREIN ARE THE EXCLUSIVE PROPERTY OF JONATHAN EHLING ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

ALL DIMENSION TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO JONATHAN EHLING ARCHITECT.

No.	Revision	Date
	HERITAGE REVIEW	FEB. 28, 2014
	BUDGET PRICING	JUL 9, 2014
	CLIENT REVIEW	OCT. 2, 2013

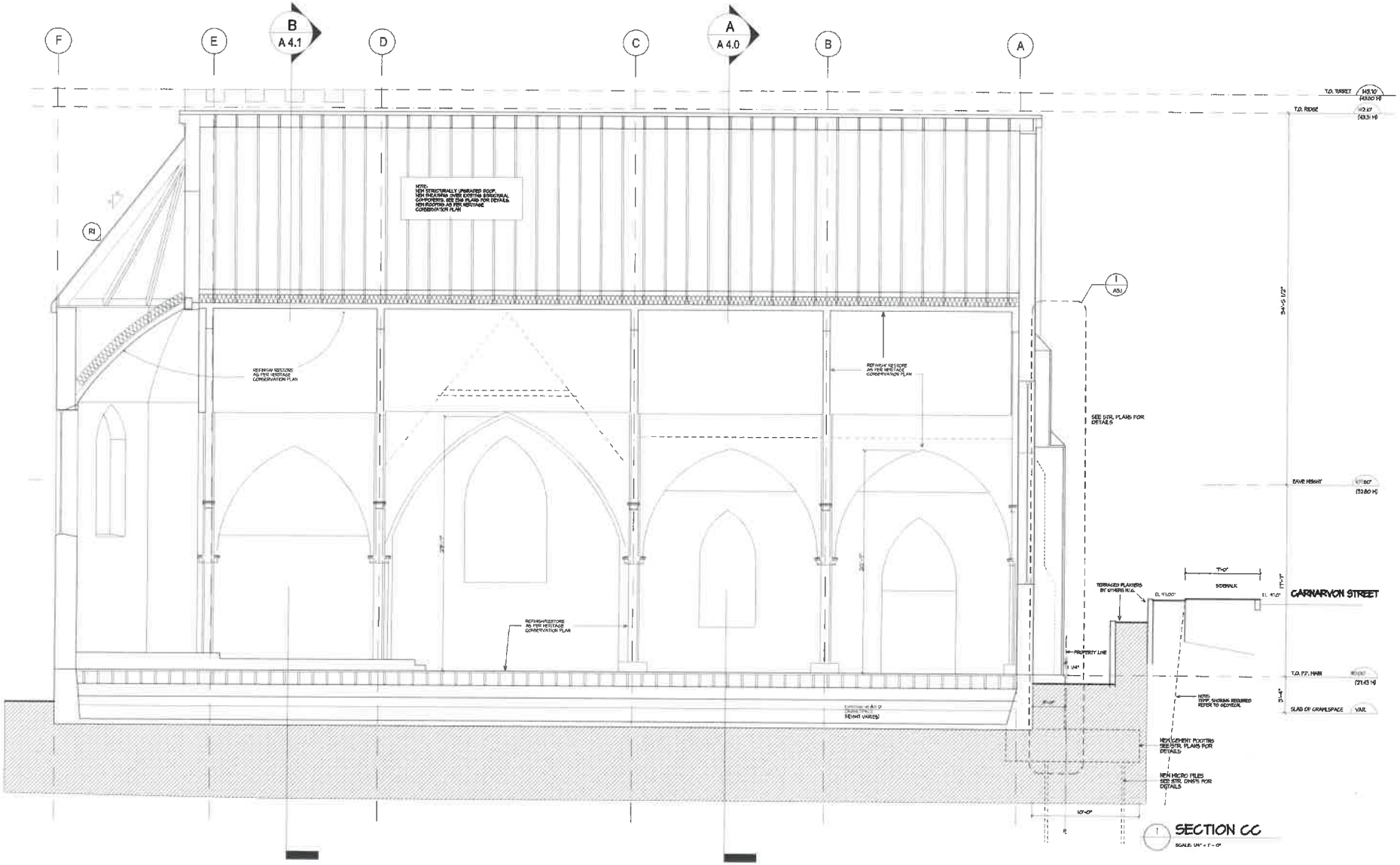
BUILDING SECTION BB

Scale: 1/4" = 1' - 0" U.N.O.

Job No.
Date:
Drawn: JPE
Checked:

Sheet Number:

A 4.1



Jonathan Ehling Architect Inc.

200 - 824 W. 8TH ST.
NORTH VANCOUVER, B.C. V7P 1H9
604 790-0800
jeahl@telus.net

HERITAGE RESTORATION

HOLY TRINITY CATHEDRAL

514 CARNARVON STREET,
NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL.
THIS DRAWING AND THE DESIGN
SHOWN ARE THE EXCLUSIVE
PROPERTY OF JONATHAN EHLING
ARCHITECT INC. AND MAY NOT BE
REPRODUCED WITHOUT WRITTEN
CONSENT.

ALL DIMENSIONS TO BE VERIFIED
ON SITE PRIOR TO COMMENCEMENT
OF WORK. ANY DISCREPANCIES ARE
TO BE REPORTED IMMEDIATELY TO
JONATHAN EHLING ARCHITECT.

No.	Revision	Date
	HERITAGE REVIEW	FEB. 26, 2014
	BUDGET PRICING	JAN. 21, 2014
	CLIENT REVIEW	OCT. 11, 2013

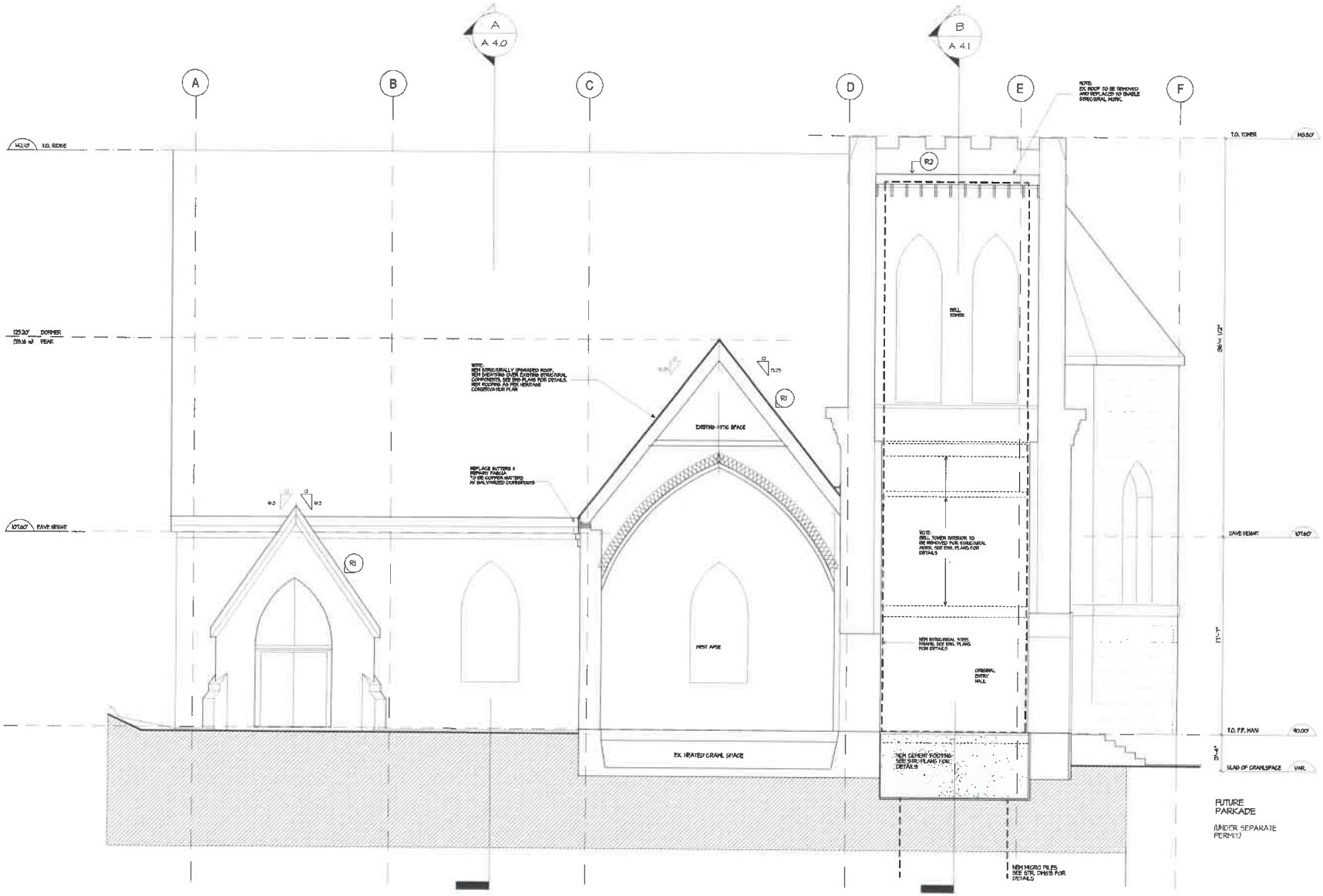
BUILDING SECTION CC

Scale: 1/4" = 1' - 0" U.N.O.

Job No.
Date:
Drawn: JPE
Checked:

Sheet Number:

A 4.2



1 SECTION DD
SCALE: 1/4" = 1' - 0"

Jonathan Ehling Architect Inc.
250 - 524 N. 6TH ST.
NORTH VANCOUVER, B.C. V7P 1H8
604 753-2803
jeorchitect@shaw.ca

HERITAGE RESTORATION

HOLY TRINITY CATHEDRAL

514 CARNARVON STREET,
NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL.
THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF JONATHAN EHLING ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION OF PORTIONS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO JONATHAN EHLING ARCHITECT.

No.	Revision	Date
	HERITAGE REVIEW	FEB. 26, 2014
	BUDGET PRICING	JAN. 31, 2014
	CLIENT REVIEW	OCT. 11, 2013

BUILDING SECTION DD

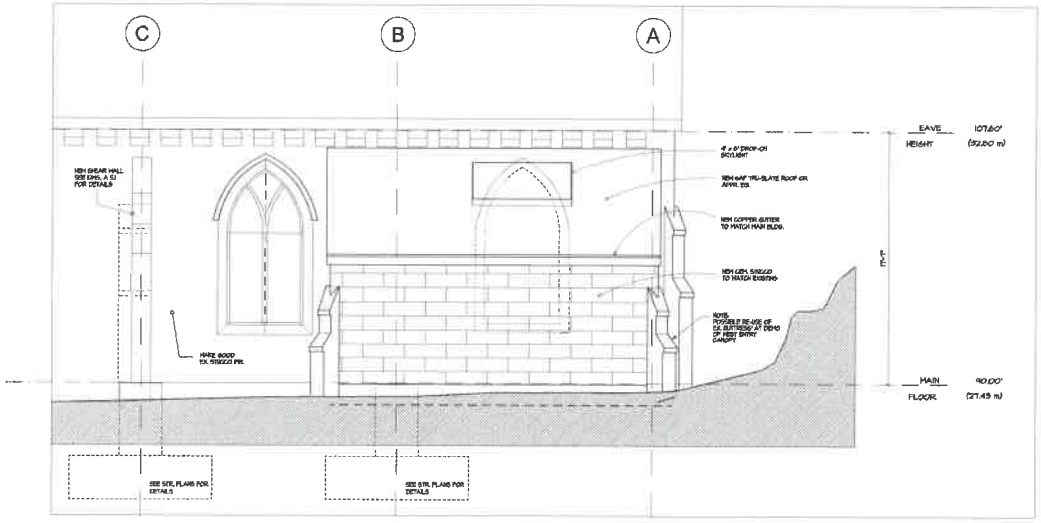
Scale: 1/4" = 1' - 0" SHEET

Job No.
Date
Drawn JPE
Checked

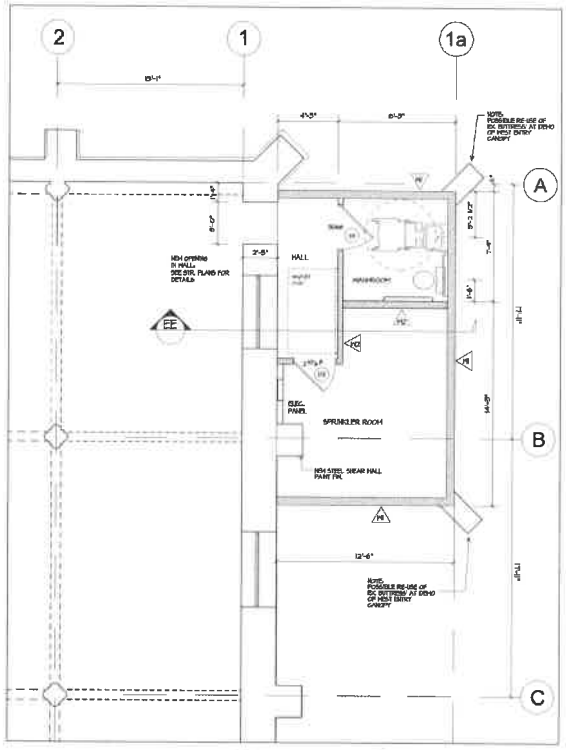
Sheet Number:
A 4.3

DOOR SCHEDULE (D) NUMBER

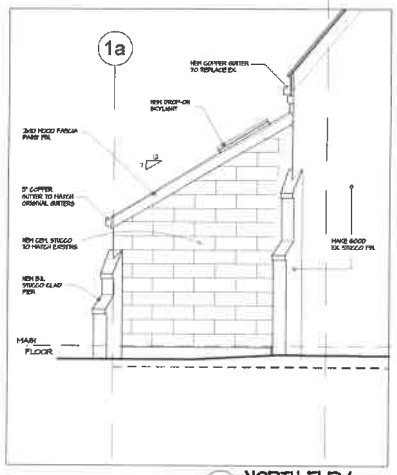
No.	LEVEL	LOCATION	WIDTH	H.T.	TH.	STEEL DOOR PLATE 30 MIN. RAT. LABEL	90 MIN. RAT. LABEL	PAINTED WOOD	PAINTED STEEL FRAME	PAINTED TRIMMED	3 BATT HINGES	SOLID SEAL	CONCEALED AUTO CLOSURE	LATCH SET	LOCK SET	CYLINDER LATCH SET	PUSH PLATE - PULL HANDLE	NOTES
D1	MAIN	NEW WASHROOM	3'-0"	6'-8"	1 3/4"		●	●	●	●	●	●	●		●		●	
D2	MAIN	SPRINKLER RM.	2'-10"	6'-8"	1 3/4"	●		●	●	●	●	●	●		●	●		



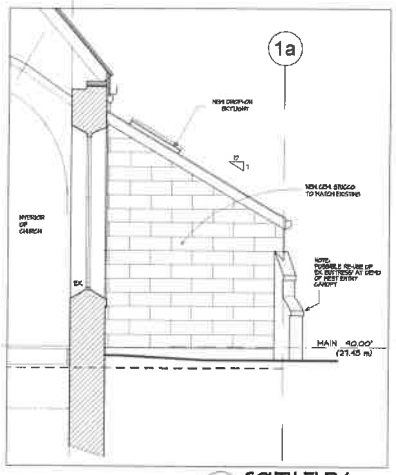
1 A3.0 EAST ELEVATION
SCALE: 1/4" = 1' - 0"



4 FLOOR PLAN
SCALE: 1/4" = 1' - 0"



2 NORTH ELEV
SCALE: 1/4" = 1' - 0"



3 SOUTH ELEV
SCALE: 1/4" = 1' - 0"

W1 TYPICAL EXTERIOR WALL RSI 2.78

	EXT. AIR FILM	0.03
EXT. FIN. AS PER ELEVATIONS		0.00
HERPS PROWALL PARGCREST 10MM		0.16
2 LAYERS - 30 MIN BLDG PAPER OR		
HOUSE WRAP - APPR. EQUAL		0.00
10" EXT. GRADE PLYWOOD SHEATHING		0.104
2X6 STUDS 406" O.C. C/V		
R-22 BATT INSULATION		3.39
6 MIL. POLY VAP. BARRIER		0.00
1/2" GYPB. PAINT FIN.		0.071
	INT. AIR FILM	0.12
		3.89

W2 TYPICAL INTERIOR WALL

1/2" GYPB. (SCH 1) SATIN PAINT FIN.
2X4 STUDS 406" O.C.

F1 TYPICAL CONC. SLAB RSI 2.52

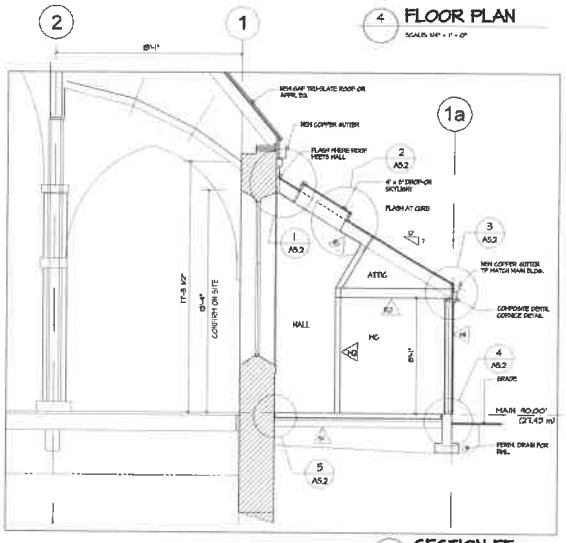
	AIR FILM (FLOOR)	0.16
FLOOR FINISHES AS PER ROOM SCHEDULE		0.12
UNDERLAYMENT AS PER SPEC.		N/A
4" THK CONCRETE SLAB C/W		
6 MIL V.B.		0.00
2 1/2" EXTRUDED POLYSTYRENE		2.14
6" COMPACTED CRUSH ROCK BASE		0.00
		2.47

R1 VAULTED CEILING RSI 4.61

60#F TRU-SLATE SINGLE ROOFING		
UNDERLAYMENT PER SPECIFICATIONS		
5/8" THK. GRADE PLY. T&G SHTG		
VENTED ROOF AIR SPACE		0.03
2x10 RAFTERS@406 C/W STRAPS @ 16" O.C.		
RSI 3.46 (R-20) BATT INSULATION		4.60
6 MIL. POLY VAP. BARRIER		
1/2" GYPB (SCH 1) PAINT FIN.		0.076
	INT. AIR FILM	0.12
		4.866

R2 ATTIC ROOF RSI 8.11

60#F TRU-SLATE SINGLE ROOFING		0.100
UNDERLAYMENT PER SPECIFICATIONS		0.100
10" THK. GRADE PLY. SHEATHING		0.104
VENTED ROOF AIR SPACE		0.03
2x10 RAFTERS@406 C/W STRAPS @ 16" O.C.		
R-30 BATT INSULATION		7.10
6 MIL. POLY VAP. BARRIER		0.00
1/2" GYPB (SCH 1) PAINT FIN.		0.076
	INT. AIR FILM	0.12
		7.63



5 SECTION EE
SCALE: 1/4" = 1' - 0"

Jonathan Ehling Architect Inc.
300 - 624 M. Bay st.
North Vancouver, B.C. V7P 3T3
604 710-8160
jonathan@shaw.ca

HERITAGE RESTORATION

HOLY TRINITY CATHEDRAL

514 CARNARVON STREET,
NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL
THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF JONATHAN EHLING ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO JONATHAN EHLING ARCHITECT.

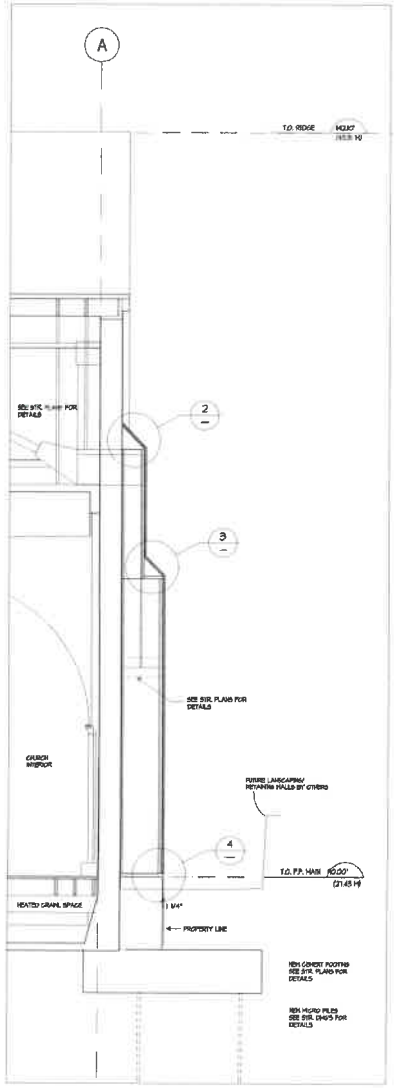
No.	Revision	Date
	HERITAGE REVIEW	FEB 26, 2014
	BUDGET PRICING	JAN. 21 2015
	CLIENT REVIEW	OCT. 21, 2015

WASHRM ADD'N SECTION EE

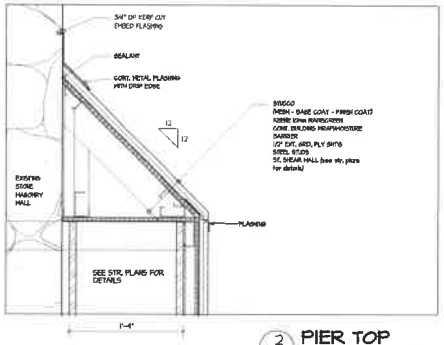
Scale: 1/4" = 1' - 0"

Job. No.
Date
Drawn: JPE
Checked:

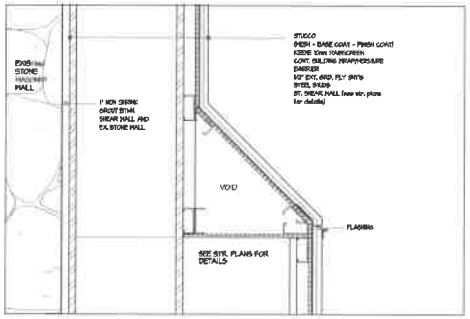
Sheet Number: A 5.0



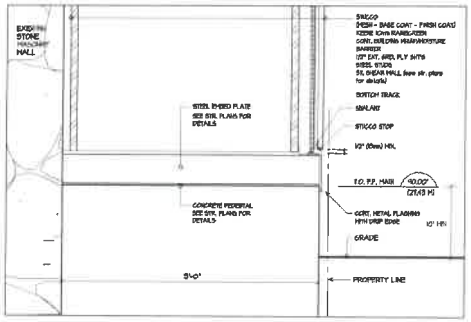
1 PIER SECTION
A1.2 SCALE: 1/4" = 1' - 0"



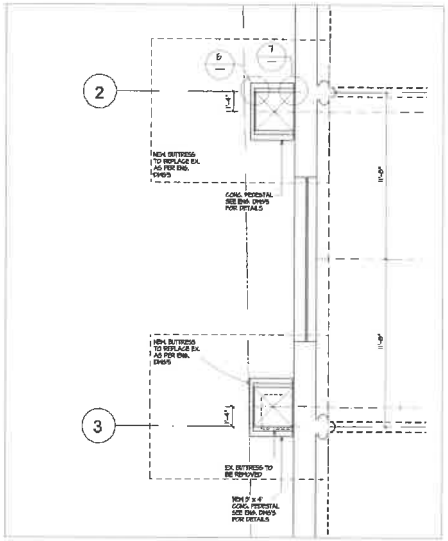
2 PIER TOP
SCALE: 1 1/2" = 1' - 0"



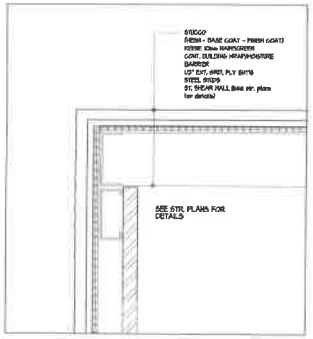
3 PIER DETAIL
SCALE: 1 1/2" = 1' - 0"



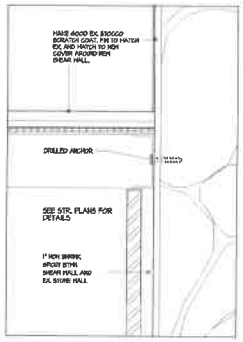
4 PIER BASE
SCALE: 1 1/2" = 1' - 0"



5 PARTIAL PLAN
A2.1 SCALE: 1/4" = 1' - 0"



6 PIER CORNER DETAIL
SCALE: 3" = 1' - 0"



7 PIER @ WALL DETAIL
SCALE: 3" = 1' - 0"

Jonathan Ehling Architect Inc.
200 - 321 W. 6TH ST.
NORTH VANCOUVER, B.C. V7P 1H9
604 730-9550
jonathanehling.ca

HERITAGE RESTORATION

HOLY TRINITY CATHEDRAL

614 CARNARVON STREET,
NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL
THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF JONATHAN EHLING ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO JONATHAN EHLING ARCHITECT.

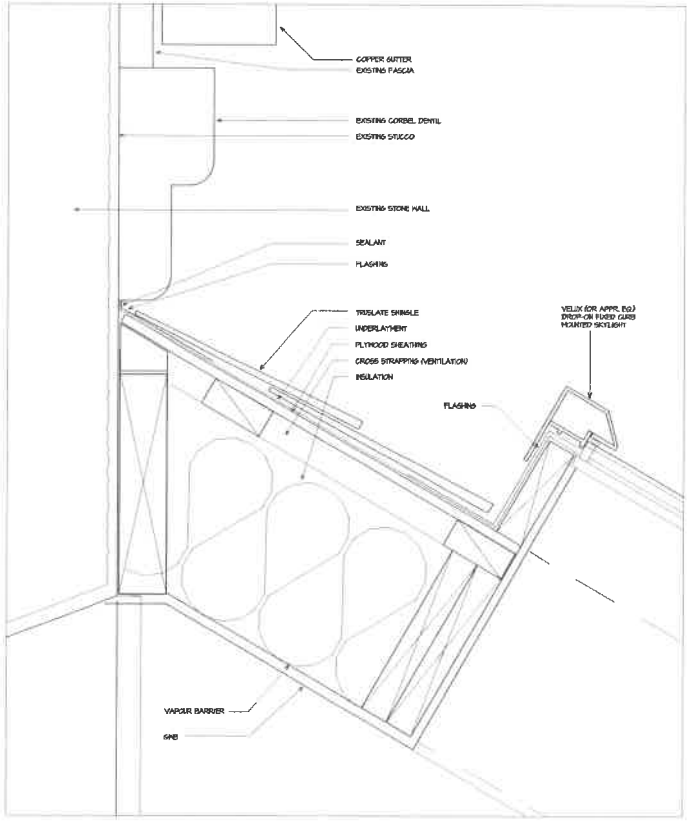
HERITAGE REVIEW	FEB 18, 2019
BUDGET PRICING	JAN 31, 2019
CLIENT REVIEW	OCT. 12, 2018
No. Revision	Date

BUTTRESS DETAILS

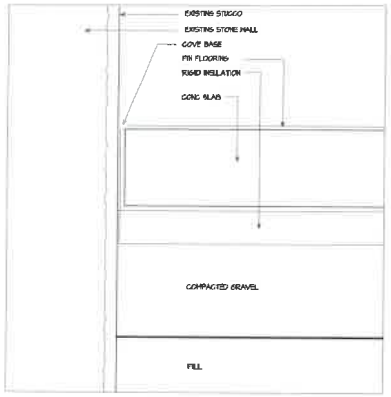
Scale: 1/4" = 1' - 0"

Job No.
Date:
Drawn: JFE
Checked:

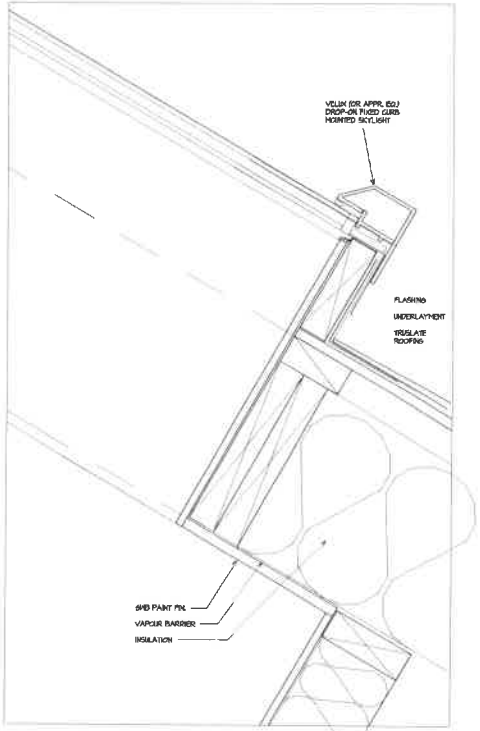
Sheet Number:
A 5.1



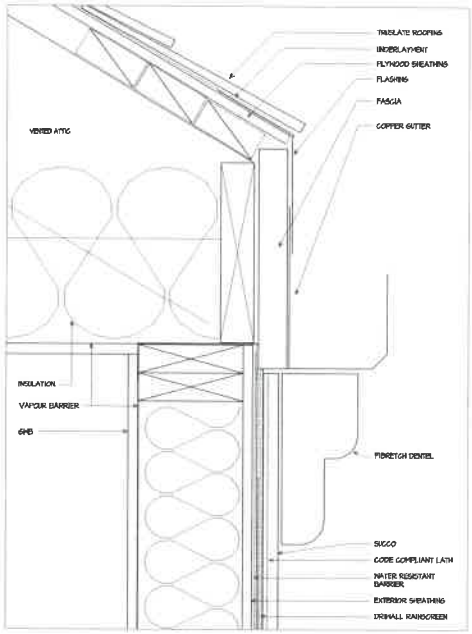
1 A5.0 ROOF TO WALL
SCALE: 3" = 1' - 0"



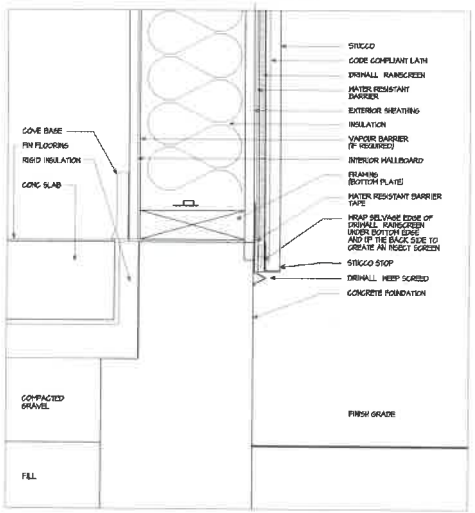
5 A5.0 SLAB TO WALL
SCALE: 3" = 1' - 0"



2 A5.0 SKYLIGHT TO ROOF
SCALE: 3" = 1' - 0"



3 A5.0 ROOF TO WALL
SCALE: 3" = 1' - 0"



4 A5.0 WALL TO FND'N
SCALE: 3" = 1' - 0"

Jonathan Ehling Architect Inc.

300 - 628 H. 8TH ST.
NORTH VANCOUVER, B.C. V7P 3H5
604 753-3550
jonathanehling@shaw.com

HERITAGE RESTORATION:

HOLY TRINITY CATHEDRAL

514 CARNARVON STREET,
NEW WESTMINSTER, B.C.

COPYRIGHT MATERIAL
THIS DRAWING AND THE DESIGN SHOWN ARE THE EXCLUSIVE PROPERTY OF JONATHAN EHLING ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO JONATHAN EHLING ARCHITECT.

	HERITAGE REVIEW	FEB 26, 2018
	BUDGET PRICING	JAN 2 2018
	CLIENT REVIEW	OCT. 12, 2018
Rev no	Revision	Date

WASHROOM ADDITION DETAILS

Scale: 1/8" = 1' - 0"
Job No.
Date:
Drawn: JPE
Checked:
Sheet Number: A 5.2

APPENDIX 7

LAND USE AND DEVELOPMENT REGULATIONS

Intent

HRA .1 The intent of these land use and development regulations is to permit an existing place of worship and allow the development of a new high rise development with ground-level parish hall and accessory church-related uses, residential (market rental and condominium), and public plaza space, elevator, and pedestrian corridor.

Land Use and Development Sub-Districts

HRA .2 The Land Use and Development Regulations include two sub-districts A and B as indicated on the map attached to Heritage Revitalization Agreement Bylaw No. 8089, 2022 as Appendix 1.

Definitions

HRA .3 All uses in these regulations will have the same meaning as per the City of New Westminster Zoning Bylaw, unless otherwise defined in this zone.

HRA .4 **DROP-IN CENTRE PROVIDING MEALS** means a building or portion of a building which provides drop-in space and meals to persons who are non-residents of the building on two or less days of the week.

HRA .5 **TEMPORARY SPECIAL EVENTS** means community gatherings within the parish hall or plaza space, which includes activities, such as but not limited to, flea markets, craft fairs, outdoor markets. Such events are only permitted on a temporary or special occasion basis.

Permitted Principal and Accessory Uses

HRA .6 The following principal and accessory uses are permitted as outlined for each of the sub-districts. For uses accompanied by a checkmark, there are additional Conditions of Use contained within these regulations.

Permitted Principal Uses (Sub-District A)	Use Specific Regulations
Businesses and professional offices limited to administration of non-profit and religious organizations;	
Child Care;	✓
Multiple unit residential use;	
Places of Worship;	
Public Assembly;	
Self-Improvement Schools;	
Temporary Special Events;	
Uses accessory to a Place of Worship use on Sub-District B;	
Drop-in Centre Providing Meals;	

Permitted Accessory Uses (Sub-District A)	Use Specific Regulations
Uses accessory to any permitted *principal uses*;	
Home based businesses;	✓

Permitted Principal Uses (Sub-District B)	Use Specific Regulations
Places of Worship;	
Public Assembly;	
Childcare;	✓

Permitted Accessory Uses (Sub-District B)	Use Specific Regulations
Uses accessory to any permitted *principal uses*;	

Conditions of Use

HRA .7 Child care in accordance with Section 170.13 of the City of New Westminster Zoning Bylaw, as amended.

HRA .8 Home Based Businesses in accordance with Section 190.28 of the City of New Westminster Zoning Bylaw, as amended.

Density

HRA .9 The maximum net floor area in Sub-District A shall not exceed 20,587 square metres (221,597 square feet).

HRA .10 The maximum gross floor area in Sub-District B shall not exceed 627 square metres (6,750 square feet).

Principal Building Envelope

HRA .11 All *principal buildings* and *structures* shall be sized and sited according to the following:

Regulation	Sub-District A	Sub-District B
Minimum *Setback North* (Carnarvon Street)	1.5 metres (5 feet)	No setback required.
Minimum Setback West	2.4 metres (8 feet)	0.3 metres (1 foot)
Minimum Setback East	0.7 metre (2.5 feet)	8.2 metres (27 feet)

Minimum Setback South	No setback required.	0.3 metres (1 foot)
Maximum ***Building Height***	97.6 metres (320 feet)	20 metres (65.61 feet)
Maximum Floorplate Size	760 square metres (8,181 square feet) above the fourth storey.	N/A
Maximum Site Coverage at grade	28%	65%

Off-Street Parking and Loading Requirements

HRA .12 Off-street automobile parking shall be provided in accordance with the Off-Street Parking Regulation section of the City of New Westminster Zoning Bylaw, except for the following:

a) 165 residential parking spaces shall be required;
b) 11 visitor parking spaces shall be required;
c) 12 parking spaces for the use of the cathedral and parish hall shall be provided; and
d) 8 parking spaces which shall be shared between visitor parking and the cathedral and parish hall shall be provided; and
e) 1 carshare space shall be provided;

HRA .13 Bicycle parking shall be provided in accordance with the Off-Street Bicycle Parking Regulation section of the City of New Westminster Zoning Bylaw.

HRA .14 Off-street loading shall be provided in accordance with the Off-Street Loading Regulation section of the City of New Westminster Zoning Bylaw, except for the following:

a) One off-street loading space shall be provided.

APPENDIX 8

Mixed Use Building Design Plans

HOLY TRINITY CATHEDRAL TOWER

514 CARNARVON STREET, NEW WESTMINSTER

ISSUED FOR HERITAGE REVITALIZATION AGREEMENT, MAY 2022

DRAWING LIST

ARCHITECTURAL

A 000	Cover
A 001	Data
A 002	Data
A 003	Data
A 004	Data
A 005	Subdivision Plan
A 100	Context Plan
A 101	Survey
A 102	Civil Key Plan
A 103	Shadow Studies
A 104	Rendering
A 105	Rendering
A 106	Rendering
A 107	Rendering
A 108	Aerial View
A 150	Site Plan
A 201	Floor Plan- P5
A 202	Floor Plan- P4
A 203	Floor Plan- P3
A 204	Floor Plan- P2
A 204.1	Floor Plan- P2- Parkade Entrance
A 205	Floor Plan- P1
A 206	Floor Plan- Level 1
A 207	Floor Plan- Level 2
A 208	Floor Plan- Level 3
A 209	Floor Plan- Level 4
A 210	Floor Plan- Level 5
A 211	Floor Plan- Level 6-7
A 212	Floor Plan- Level 8 -28
A 213	Floor Plan- Level 29
A 214	Floor Plan- Level 30
A 215	Floor Plan- Roof
A 300	East and North Elevations
A 301	West and South Elevations
A 302	Enlarged Plaza Elevation
A 400	Sections
A 401	Sections

LANDSCAPE

L 1.1	GROUND LEVEL LAYOUT AND MATERIALS PLAN
L 1.2	GROUND LEVEL NORTH GRADING AND DRAINAGE PLAN
L 1.3	GROUND LEVEL SOUTH GRADING AND DRAINAGE PLAN
L 1.4	GROUND LEVEL NORTH PLANTING PLAN
L 1.5	GROUND LEVEL SOUTH PLANTING PLAN
L 1.6	ROOFTOP LANDSCAPE PLAN
L 2.1	LANDSCAPE SECTIONS
L 2.2	LANDSCAPE SECTIONS
L 2.3	LANDSCAPE SECTIONS
L 2.4	LANDSCAPE SECTIONS
L 3.1	LANDSCAPE MATERIAL BOARDS
L 3.2	LANDSCAPE MATERIAL BOARDS
L 3.3	LANDSCAPE MATERIAL BOARDS
L 3.4	LANDSCAPE MATERIAL BOARDS

PROJECT TEAM

CLIENT

Holy Trinity Anglican Cathedral
514 Carnarvon St
New Westminster, BC
V3L 1C4

DEVELOPMENT PARTNER

Conwest Developments Ltd.
401-1930 Pandora St,
Vancouver BC
V5L 0C7

Contact:
Joe Palazzo
Joe.Palazzo@conwest.com
T:604-293-2652

Kim Maust
Kim.Maust@conwest.com
T:604-293-2652

ARCHITECT

Francl Architecture
970 Homer St,
Vancouver BC
V6B 2W7

Contact:
Megan Peters
mpeters@franclarchitecture.com
T: 604-688-3252

Stefan Aepli
saepli@franclarchitecture.com
T: 604-688-3252

HERITAGE CONSULTANT

Donald Luxton and Associates Inc.
1030-470 Granville Street
Vancouver, BC
V6C 1V5

Contact:
Donald Luxton
donald@donaldluxton.com
T: 778-899-7943

LANDSCAPE ARCHITECT

Durante Kreuk Landscape architects
102 - 1637 West 5th Avenue
Vancouver, BC
V6J 1N5

Contact:
Reyhaneh Sobhani
reyhaneh@dkl.bc.ca
T: 604-684-4611

STRUCTURAL

Glotman-Simpson
1661 West 5th Avenue,
Vancouver, BC
V6J 1N5

Contact:
Omar AlHarras
oalharras@glotmansimpson.com
T: 604-734-8822

ELECTRICAL

Nemetz Electrical
2009 West 4th Avenue
Vancouver, BC
V6J 1N3

Contact:
Biljan Valagchar
biljan@nemetz.com
T: 604-736-6562

MECHANICAL

MCW Group
Suite 1400, 1111 West Georgia Street
Vancouver, BC
V6E 4M3

Contact:
Rob Gregg
RGregg@mcw.com
T: 604-687-1821

CODE

CFT Engineering
#800 - 1901 Rosser Avenue
Burnaby, BC
V5C 6R6

Contact:
Samir Edinani
samir.edinani@jensenhughes.com
T: 604-684-2384

TRAFFIC

Bunt & Associates
Suite 1550
1050 West Pender St,
Vancouver, BC
V6W 1G2

Contact:
Christephen Cheng
ccheng@bunteng.com
T: 604-685-6427

CIVIL

Core Group
320- 8988 Fraserton Court,
Burnaby, BC
V5J 5H8

Contact:
Cormac Nolan
cnolan@coregroupconsultants.com
T: 604-299-0505

ENVELOPE

Morrison Hershfield
4321 Still Creek Dr #310,
Burnaby, BC
V5C 6S7

Contact:
Binny Foo
BFoo@morrisonhershfield.com
T: 604-454-2004

FRANCL ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3252
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

Rev.	Name	Description
[illegible]	[illegible]	ISSUED FOR REVITALIZATION AGREEMENT
[illegible]	[illegible]	DP SUBMISSION RESPONSE
[illegible]	[illegible]	DP SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Cover

This drawing is an instrument of service in the exclusive property of Francl Architecture Inc. and may not be reproduced without the firm's permission. All information shown on the drawing is for the use on this specific project only and shall not be used elsewhere without written permission from this office. Contractor shall verify and be responsible for all dimensions on site prior to the start of any work or shop drawings. Do not scale drawings. Report any discrepancies on this drawing to the architect.

Draw by: Author
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 5:12:04 PM

Project North:

Graphic Scale:

Scale: 1 : 1
Project No.: 22102

Drawing No.: A 000

PROJECT DATA SUMMARY

CIVIC ADDRESS	514 CARNARVON ST		
LEGAL ADDRESS	PARCEL 1, VICTORIA GARDENS REFERENCE PLAN 74708		
EXISTING ZONING	P1- PUBLIC AND INSTITUTIONAL DISTRICTS (LOW RISE)		
SITE AREA	**m2**		**SF**
SITE A (TOWER)	2,133.1		22,960
SITE B (CHURCH)	972.5		10,468
COMBINED	3,105.6		33,428
LOT COVERAGE:			
SITE A (TOWER)	25.27%		
SITE B (CHURCH)	62.72%		
COMBINED	17.36%		
GROSS AREA PROPOSED	**m2**		**SF**
TOWER	21,285.0		229117.3
CHURCH	610.0		6566.2
COMBINED	21,895.0		235683.5
NET AREA (FSR AREA)	**m2**		**SF**
TOWER	19,543.0		210365.4
CHURCH	528.5		5688.9
COMBINED	20,071.5		216054.9
FSR			
SITE A (TOWER)	9.16		
SITE B (CHURCH)	0.6		
COMBINED	6.5		
BUILDING HEIGHT (m)	**Proposed**		**Storeys**
TOWER	92.7m		30
CHURCH	19.1m		1
TOTAL UNITS	**285**		**100%**
Residential Units	171		60%
Adaptable Single Units	37	12.98%	40.00%
Adaptable Family Units	77	27.02%	

PARKING COUNT		**Proposed**	**Required**
Residential	Market Rental	155	314
	Secured Market Rental	10	10
	Visitor	11	30
	Residential total	176	354
Church	Church/Visitor shared	12	25
Car Share		8	
		1	
Total		197	379
% Parking Reduction		47%	
LOADING		**Proposed**	**Required**
	Type A	1	1
LONG TERM BICYCLE COUNT		**Proposed**	**Required**
		358	357
SHORT TERM BICYCLE COUNT AT GRADE		12	12

1.25*Unit
6/development
6/1500 sqm

Parking Schedule

Level P1 1/2		
Church	Standard	12
Residential	Small	2
Level P1 1/2: 14		
Level P1		
Church/Visitor	Accessible	2
Church/Visitor	Small	4
Church/Visitor	Standard	2
Visitor	Small	5
Visitor	Standard	1
Level P1: 14		
Level P2 1/2		
CarShare	Standard	1
Residential	Standard	7
Visitor	Standard	5
Level P2 1/2: 13		
Level P2		
Residential	Accessible	6
Residential	Small	10
Residential	Standard	2
Level P2: 18		

Parking Schedule

Level P3		
Residential	Small	15
Residential	Standard	29
Level P3: 44		
Level P4		
Residential	Small	15
Residential	Standard	31
Level P4: 46		
Level P5		
Residential	Small	12
Residential	Standard	36
Level P5: 48		
Grand total: 197		

Parking Stall Type Schedule

Parking Use	Type	Count
CarShare	Standard	1
Church	Standard	12
Church/Visitor	Accessible	2
Church/Visitor	Small	4
Church/Visitor	Standard	2
Residential	Accessible	6
Residential	Small	54
Residential	Standard	105
Visitor	Small	5
Visitor	Standard	6
Grand total: 197		197

Long Term Bicycle Spaces

Level P1 1/2	
Vertical	51
Locker	40
Horizontal	3
Level P1 1/2: 94	
Level P1	
Vertical	8
Horizontal	8
Level P1: 16	
Level P2 1/2	
Vertical	52
Locker	43
Horizontal	6
Level P2 1/2: 101	
Level P2	
Vertical	1
Vertical	3
Locker	13
Horizontal	12
Level P2: 29	
Level P3	
Vertical	35
Locker	25
Horizontal	19
Level P3: 79	
Level P4	
Vertical	9
Horizontal	26
	4
Level P4: 39	
Grand total: 358	

Long Term Bicycle Space Types

Count	Use	Assembly Code	Bylaw
159	<varies>	Vertical	
121	Tower	Locker	<varies>
74	Tower	Horizontal	<varies>
4	Tower		
Grand total: 358			

Short Term Bicycle Spaces

Level	Use	Count	Bylaw
Level 1	Church	6	6 spaces for each 1500 sqm
Level 1	Tower	6	6 spaces for dwelling units 20 or more

ENERGY CODE STEP 3: DESIGN ASSUMPTIONS

Building Envelope:	**Proposed**
Wall R-value - IP	R-6
Roof R-value --IP	R-30
Exposed Floor R-value	R-20
Parking Slab below heated space R-value --IP	R-20
Window U(total assembly) --IP(glass + frame) double glazing	U 0.25
Window SHGC (glass + frame) Double-glazing	0.35
Air leakage (Infiltration) fixed rate of 0.20 L/s/m2 at operating pressure	0.2
Lighting Power Density (Watt/m2)	**Proposed**
Residential suites	CoV EMG (v2.0)
Non-residential space	NECB 2015
Parking Garage	2 watts/m2
HVAC System	**Proposed**
Residential suites heating /cooling: Air source VER system	Sensible efficiency 75%
Residential suites ventilation: individual energy recovery unit per suite	Sensible efficiency 75%
Corridor Pressurization: MUA heating and cooling with heat pump & electric backup, and flow rate of 20 cfm / door	Sensible efficiency 75%
Non-residential (Parish Office / Hall) heating/cooling: Air source VER system	Sensible efficiency 75%
Ventilation: Central or individual energy recovery unit per space	Sensible efficiency 75%
Parking Garage: To be vented only with exhaust fans	
HVAC Plant	**Proposed**
Residential: Air-Source Heat Pump with electric backup	Sensible efficiency 75%
Non-residential: Electric heaters	Sensible efficiency 75%

ACOUSTIC REPORT (25 Jan, 2019): DESIGN ASSUMPTIONS

Building Envelope:	**Proposed**
OITC >/= 25 windows	Glazing: 3-13-3
OITC >/= 26 sliding doors	Glazing: 5-13-5
All windows and doors will be specified to meet A3 performance rating for Air Tightness found in CSA standard CAN/CSA-A440-08	

FRANCL ARCHITECTURE
970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.8353
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
[illegible]	[illegible]	DETAILED RENTAL/INFILL ADDENDUM
[illegible]	[illegible]	CT TRANSMISSION RESPONSE
[illegible]	[illegible]	CT SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Data

This drawing as an instrument of service is the property of Studio Francl Architecture Inc. and may not be reproduced without Francl's permission. All information shown on the drawing is for the use of the specific project only and shall not be used otherwise without written permission from Francl. Francl Architecture shall verify and be responsible for all dimensions. No ordering of materials or commencement of construction shall be permitted prior to issuance of a building permit. Do not scale drawings.

Draw by: Author
Reviewed by: Checker
Date: 09/27/21
Plot Date: 2022-06-01 5:46:47 PM

Project North:

Graphic Scale:

Scale: 1 : 1
Project No.: 22102

Drawing No.: A 001

RESIDENTIAL UNIT SUMMARY

UNIT MIX

UNIT TYPE		A1	A2	A3	A4	B1	B2	B3	B4	B5	B6	B7	B8	C1	C2	C3	C4	C5	C6	C7	D1	D2	D3	D4	D5	NO. UNITS	
USE	LEVEL	STUDIO	STUDIO	STUDIO ADP	STUDIO ADP	1 BD+DEN	1 BD ADP	1 BD	1 BD	1BD+DEN ADP	1BD ADP	1 BD+DEN	1BD ADP	2 BD	2 BD ADP	2 BD ADP	JR.2 BD	2 BD ADP	2 BD+ DEN ADP	JR.2 BD	3 BD+ DEN ADP	3 BD ADP	3 BD+DEN	3 BD+DEN	3 BD ADP		
MARKET CONDO	Mech. Roof																										
	Level 30																										
	Level 29															1			1	1	1		1	1	1	7	
	Level 28	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 27	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 26	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 25	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 24	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 23	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 22	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 21	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 20	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 19	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 18	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 17	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 16	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 15	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 14	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 13	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 12	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 11	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 10	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 9	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 8	1	1			1	1	1	1					1	1	1	1				1					11	
	Level 7	1	1			1	1	1	1	1				1	1		1					1				11	
	Level 6	1	1			1	1	1	1	1				1	1		1					1				11	
	Level 5	1	1			1	1	1	1	1				1	1		1					1				11	
SECURED MARKET RENTAL	Level 4			1	1						1	1	1					1				1				7	
	Level 3			1	1						1	1	1					1				1				7	
PARISH HALL AND OFFICES	Level 2																										
	Level 1																										
TOTAL		24	24	2	2	24	24	24	24	3	2	2	2	24	24	22	24	2	1	1	22	5	1	1	1	285	
		8.42%	8.42%			8.42%		8.42%	8.42%					8.42%			8.42%			0.35%			0.35%	0.35%		60%	171
	ADP			0.70%	0.70%		8.42%			1.05%	0.70%	0.70%	0.70%		8.42%	7.72%		0.70%	0.35%		7.72%	1.75%			0.35%	40%	114

FRANCL ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3252
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
1	2021-09-08	ISSUED FOR REVIEW
2	2021-10-01	ISSUED FOR REVIEW

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Data

This drawing as an instrument of service is the property of Francl Architecture Inc. and shall not be reproduced without the firm's permission. All information shown on the drawing is for the use in the specific project and shall not be used otherwise without written permission from the office. Contractors shall verify and be responsible for all dimensions. Do not scale drawing. Report any errors, omissions and ambiguities on the drawing. Do not scale drawing.

Draw by: MB
Reviewed by: Checker
Date: 10/04/21
Plot Date: 2022-06-11 12:12:41 PM

Project North:

Graphic Scale:

Scale: 1 : 1
Project No.: 22102

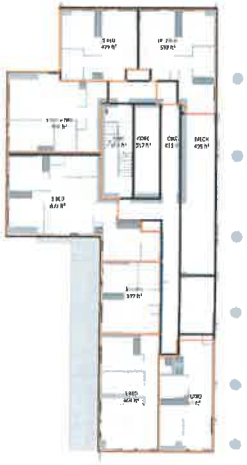
Drawing No.: A 002

2018 BC Building Code Adaptable Unit Design Guide

ADAPTABLE UNIT SUMMARY

		STUDIO	STUDIO ADAPTABLE	1 BD	1 BD ADAPTABLE	1 BR+ DEN	1 BD+ DEN ADAPTABLE	JR 2BD	JR 2BD ADAPTABLE	2 BD	2BD ADAPTABLE	2 BD + DEN	2 BD + DEN ADAPTABLE	3 BD	3 BD ADAPTABLE	TOTAL
MARKET CONDOS	UNIT TOTALS	48	0	48	24	24	3	25	0	24	46	0	1	2	26	271
	% Unit Type	18%	0%	18%	9%	9%	1%	9%	0%	9%	17%	0%	0%	1%	10%	37%
	% Totals	18%		37%				35%						10%		
								46%								
SECURED MARKET RENTAL	UNIT TOTALS	0	4	0	4	0	2	0	2	0	0	0	0	0	2	14
	% Unit Type	0%	29%	0%	29%	0%	14%	0%	14%	0%	0%	0%	0%	0%	14%	100%
	% Total Rental	29%		43%				14%						14%		
								29%								
TOTAL	UNIT TOTALS	48	4	48	28	24	5	25	2	24	46	0	1	2	28	285
	% Unit Type	17%	1%	17%	10%	8%	2%	9%	1%	8%	16%	0%	0%	1%	10%	40%
	% Totals	18%		37%				34%						11%		
								45%								

ADAPTABLE UNITS



1 Level 3 to 4 Adaptable Units
1 : 200 (secured market rental)

2 Level 5 to 7 Adaptable Units
1 : 200

3 Level 8-28 Adaptable Units
1 : 200

4 Level 29 Adaptable Units
1 : 200

FRANCL ARCHITECTURE
970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3353
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

Rev	Date	Description
		PRIMA ENTITLEMENTS AGREEMENT
		SUBMISSION REVISED
		SUBMISSION

Project Title:
The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:
Data

This drawing as an instrument of service is the property of Francl Architecture Inc. and shall not be reproduced without the firm's permission. All information shown on this drawing is for the use on this specific project and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on site prior to ordering of any materials or preparing shop drawings. Do not scale drawings.

Draw by: MB
Reviewed by: Checker
Date: 09/27/21
Plot Date: 2022-05-11 5:12:23 PM
Graphic Scale:
Project North:
Scale: As Indicated
Project No.: 22102
Drawing No.: A 003

SITE A: TOWER BUILDING AREAS (m2)

FSR= NET FSR AREA/SITE A 9.59

FLOOR	TOTAL GROSS FLOOR AREA	EXCLUSIONS: ADAPTABLE UNITS EXCLUSIONS 1BR UNITS	ADAPTABLE UNITS EXCLUSIONS FAMILY UNITS	RESIDENTIAL AMENITY EXCLUSION	TOTAL EXCLUSION AREA	CHURCH PARISH HALL	MECH & SERVICE	NET FSR AREA
Mech. Roof	88	0.0	0.0	0	0	0	88	88
Level 30	374	0.0	0.0	308	308	0	4	66
Level 29	753	0.0	11.2	0	11	0	4	742
Level 28	753	1.9	8.4	0	10	0	4	743
Level 27	753	1.9	8.4	0	10	0	4	743
Level 26	753	1.9	8.4	0	10	0	4	743
Level 25	753	1.9	8.4	0	10	0	4	743
Level 24	753	1.9	8.4	0	10	0	4	743
Level 23	753	1.9	8.4	0	10	0	4	743
Level 22	753	1.9	8.4	0	10	0	4	743
Level 21	753	1.9	8.4	0	10	0	4	743
Level 20	753	1.9	8.4	0	10	0	4	743
Level 19	753	1.9	8.4	0	10	0	4	743
Level 18	753	1.9	8.4	0	10	0	4	743
Level 17	753	1.9	8.4	0	10	0	4	743
Level 16	753	1.9	8.4	0	10	0	4	743
Level 15	753	1.9	8.4	0	10	0	4	743
Level 14	753	1.9	8.4	0	10	0	4	743
Level 13	753	1.9	8.4	0	10	0	4	743
Level 12	753	1.9	8.4	0	10	0	4	743
Level 11	753	1.9	8.4	0	10	0	4	743
Level 10	753	1.9	8.4	0	10	0	4	743
Level 9	753	1.9	8.4	0	10	0	4	743
Level 8	753	1.9	8.4	0	10	0	4	743
Level 7	714	3.7	5.6	0	9	0	4	705
Level 6	714	3.7	5.6	0	9	0	4	705
Level 5	714	3.7	5.6	0	9	0	4	705
Level 4	547	9.3	5.6	0	15	0	67	532
Level 3	547	9.3	5.6	0	15	0	67	532
Level 2	500	0.0	0.0	135	135	282	2	365
Level 1	539	0.0	0.0	121	121	328	0	418
P1	0	0.0	0.0	0	0	0	0	0
P2	0	0.0	0.0	0	0	0	0	0
P3	0	0.0	0.0	0	0	0	0	0
P4	0	0.0	0.0	0	0	0	0	0
P5	0	0.0	0.0	0	0	0	0	0
TOTAL (m2)	21,303	68.5	215.6	564	848	610	328	20,455
TOTAL (sf)	229,311	737.1	2,321	6071.0	9,129	6,566	3,531	220,182
TOTAL	TOTAL GROSS	ADAPTABLE UNITS EXCLUSIONS		RESIDENTIAL AMENITY EXCLUSION	TOTAL	CHURCH PARISH HALL	MECHANICAL	NET

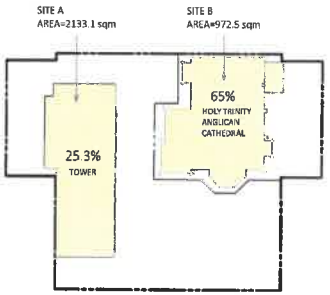
Adaptable Units Exclusion: 1.85 sm per 1 Bed Unit, 2.80 sm per family unit (2-3 bedroom)

SITE B: CHURCH BUILDING AREAS (m2)

FSR= NET FSR AREA/SITE B 0.54

FLOOR	GROSS FLOOR AREA	EXCLUSION AREA	NET FSR AREA
LEVEL 1	625	0	625

TOWER SETBACKS		CHURCH SETBACKS
NORTH (CARNARVON STREET)	2.0m	NO SETBACK
SOUTH (CLARKSON STREET)	2.9m	0.8m
WEST SIDE YARD	3.1m	0.6m
EAST SIDE YARD	3.2m	9.2m



2 Lot Coverage at Grade
1 : 500

FRANCL ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.8252
www.francelarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
		TENANT REVITALIZATION AGREEMENT
		CONFERENCE REVIEW
		SUBMISSION

Project Title:
The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:
Data

This drawing as an instrument of service is the property of Francl Architecture Inc. and must not be reproduced without the firm's permission. All information shown on this drawing is for the use in this specific project only and shall not be used otherwise without written permission from the office. Contractors shall verify and be responsible for all dimensions on the job and report any error or omission to the Architect prior to commencement of work. Do not scale drawings.

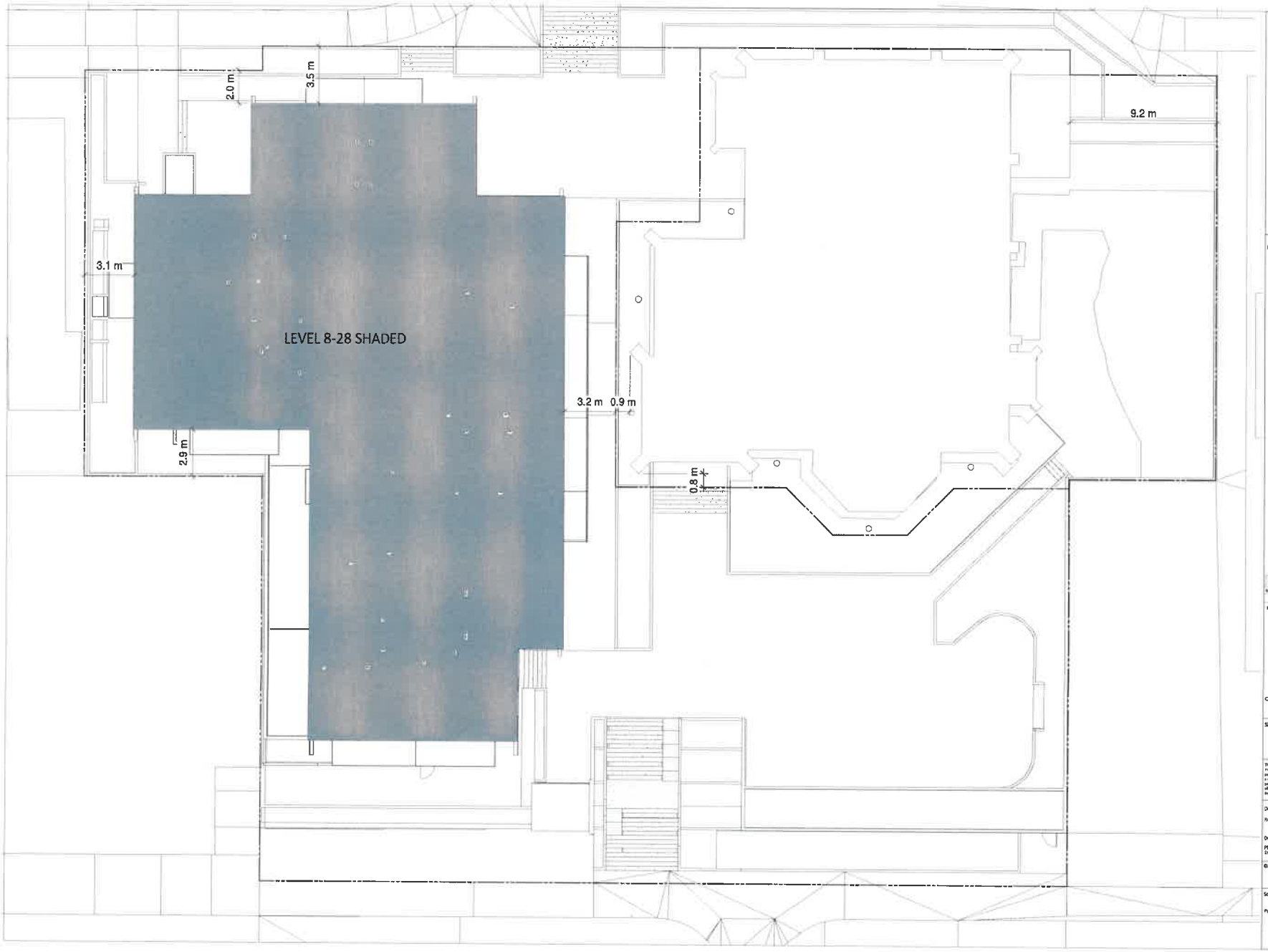
Draw by: MB
Reviewed by: Checker
Date: 03/03/22
Plot Date: 2022-05-31 5:12:26 PM

Project North:

Graphic Scale:

Scale: As Indicated
Project No.: 22102

Drawing No.: A 004



FRANCL
ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3252
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Subdivision Plan

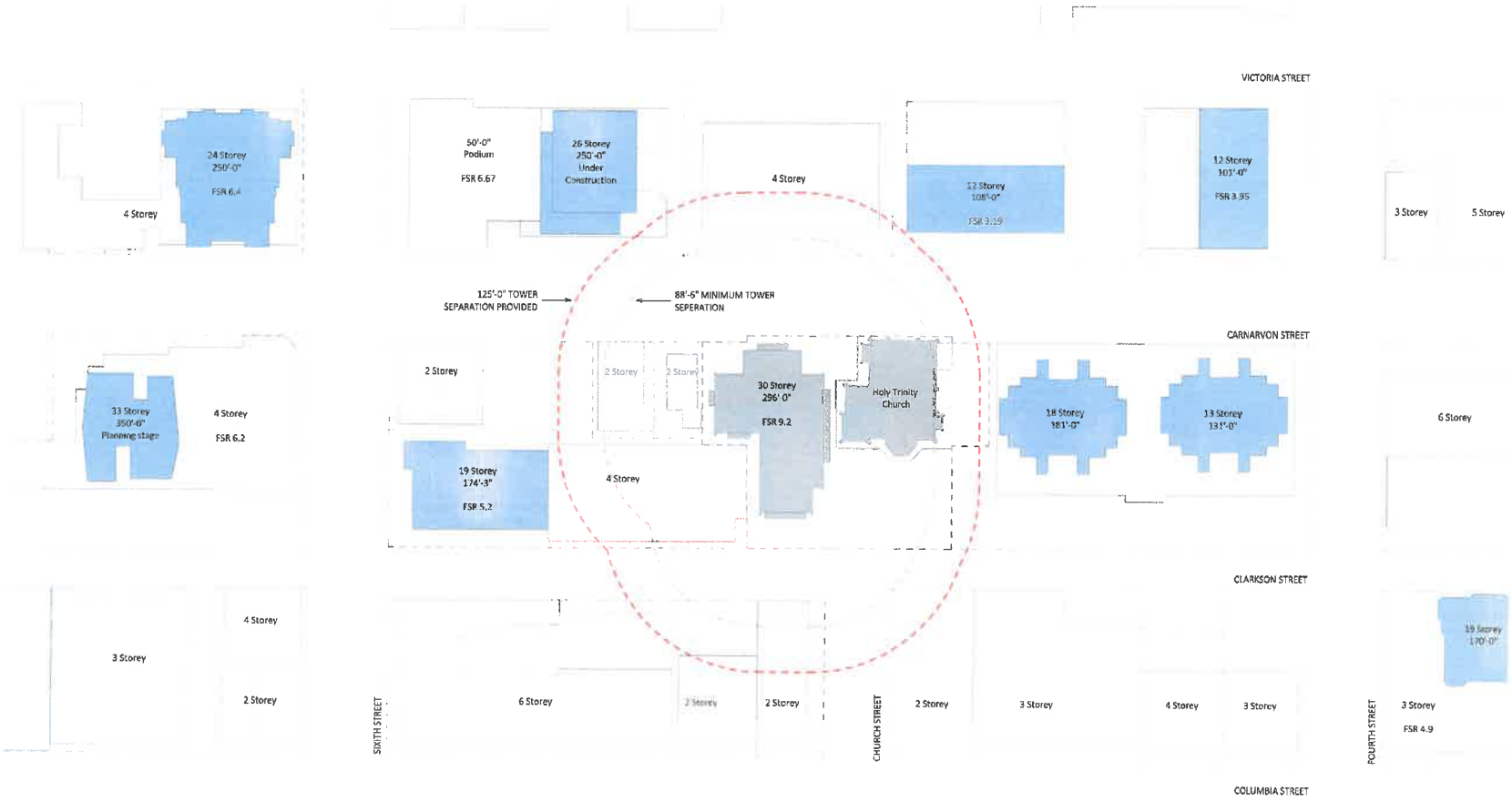
Draw by: MB
Reviewed by: Checker
Date: 03/17/22
Plot Date:

Project North:

Graphic Scale:

Scale: 1 : 100
Project No.: 22102

Drawing No.: A 005



FRANCL
ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.5252
www.francl-architecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
		REZONE REVITALIZATION AGREEMENT
		SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Context Plan

This drawing as an instrument of service is the property of Francl Architecture Inc. It is intended for reproduction and use by the firm's permission. All information shown on the drawing is for the use in this specific project only and shall not be used at home or elsewhere without permission from the author. Contractors shall verify and be responsible for all dimensions on site and report any discrepancies and errors shown on this drawing. Do not scale drawings.

Draw by: KC
Reviewed by: Checker
Date: 09/27/21
Plot Date: 2022-05-31 5:52:54 PM

Project North:

Graphic Scale:

Scale: 1 : 500
Project No.: 22102

Drawing No.: A 100

TOPOGRAPHIC SITE PLAN OF PARCEL "ONE"
VICTORIA GARDENS REFERENCE PLAN 74708

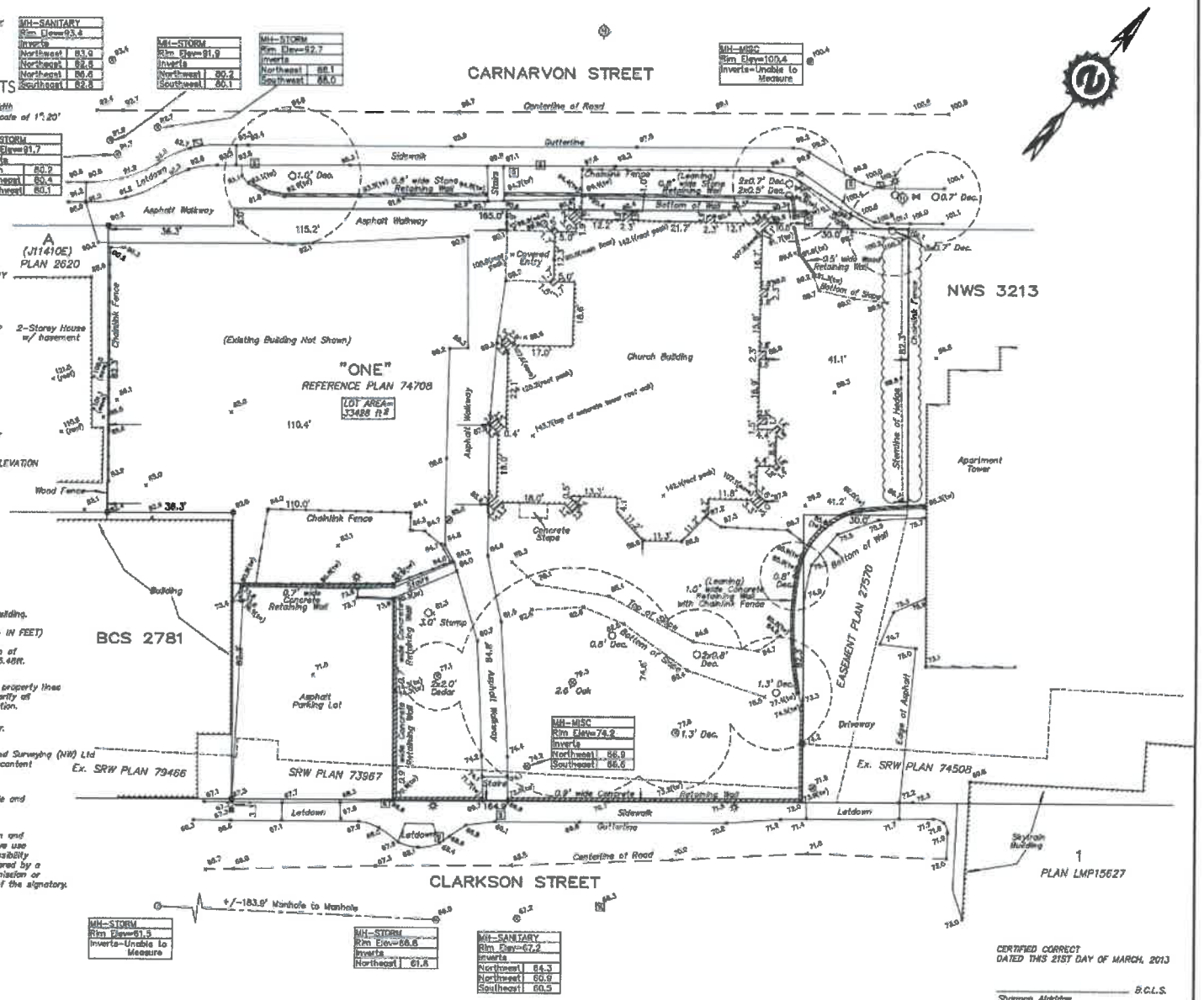
CIVIC ADDRESS:
514 Carnarvon Street, New Westminster
PID: 008-186-430

SCALE 1" : 20'

7.5 0 15 30
ALL DISTANCES ARE IN FEET

NOTE: NTS

The intended plot size of this plan is 22" in width and 17" in height (C size) when plotted at a scale of 1":20'



LEGEND

- DENOTES LEAD PLUG
- DENOTES STANDARD IRON POST
- ft² DENOTES SQUARE FEET
- DENOTES FIRE HYDRANT
- DENOTES CATCH BASIN – TOP ENTRY
- DENOTES CATCH BASIN – ROUND
- DENOTES POWER POLE
- DENOTES STREET LIGHT – DAVIT
- DENOTES STREET LIGHT – POST TOP
- DENOTES WATER VALVE
- DENOTES WATER METER
- DENOTES GAS VALVE
- DENOTES ELECTRIC BOX
- DENOTES SANITARY MANHOLE
- DENOTES STORM MANHOLE
- DENOTES MISCELLANEOUS MANHOLE
- DENOTES TREE AND CANOPY EXTENT
- x00.00 DENOTES GROUND ELEVATION
- (tw) DENOTES TOP OF RETAINING WALL ELEVATION
- Dec. DENOTES DECIDUOUS
- Con. DENOTES CONIFEROUS
- Rt. DENOTES RETAINING WALL
- DENOTES SIGN

NOTES:
Lot dimensions are derived from field survey.

Measurements shown are to the exterior of building.

Elevations are Geodetic (CVD28 GVRD-2005 -- IN FEET) Derived from Control Monument 5045 located at southwesterly corner of intersection of Royal Avenue with 6th Street. Elevation = 155.48ft.

Invert elevations and offsets of services from property lines are derived from field survey. Contractor to verify all service locations and inverts prior to construction.

Spot elevations along curb are taken in gutter.

If this plan is used in digital form, Target Land Surveying (NW) Ltd will only assume responsibility for information content shown on original unaltered drawing.

Tree diameters are taken at 4.5ft. above grade and are shown in feet.

This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.

TARGET LAND SURVEYING
NEW WESTMINSTER B.C.
604-524-6161
FILE: N2100-TOPO-PT-R1

© TARGET LAND SURVEYING (NW) LTD. 2013

CERTIFIED CORRECT
DATED THIS 21ST DAY OF MARCH, 2013

Shannon Aldridge B.C.L.S.

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED
BUILDING OFFSETS SHOWN ON THIS PLAN ARE NOT TO BE USED TO RE-ESTABLISH PROPERTY LINES OR CORNERS

FRANCL ARCHITECTURE
970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.5252
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
1	2013-03-08	ISSUED FOR INFORMATION AND APPROVAL
2	2013-03-15	ISSUED FOR REVIEW

Project Title:
The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:
Survey

This drawing as an instrument of service is the property of Francl Architecture Inc. It is not to be scaled or reproduced in any form or medium. All information shown on this drawing is for the use on this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on site and this office shall be informed of any discrepancies and omissions shown on this drawing. Do not scale drawings.

Draw by: Author
Reviewed by: Checker
Date: 06/27/21
Plot Date: 2022-05-31 3:12:35 PM

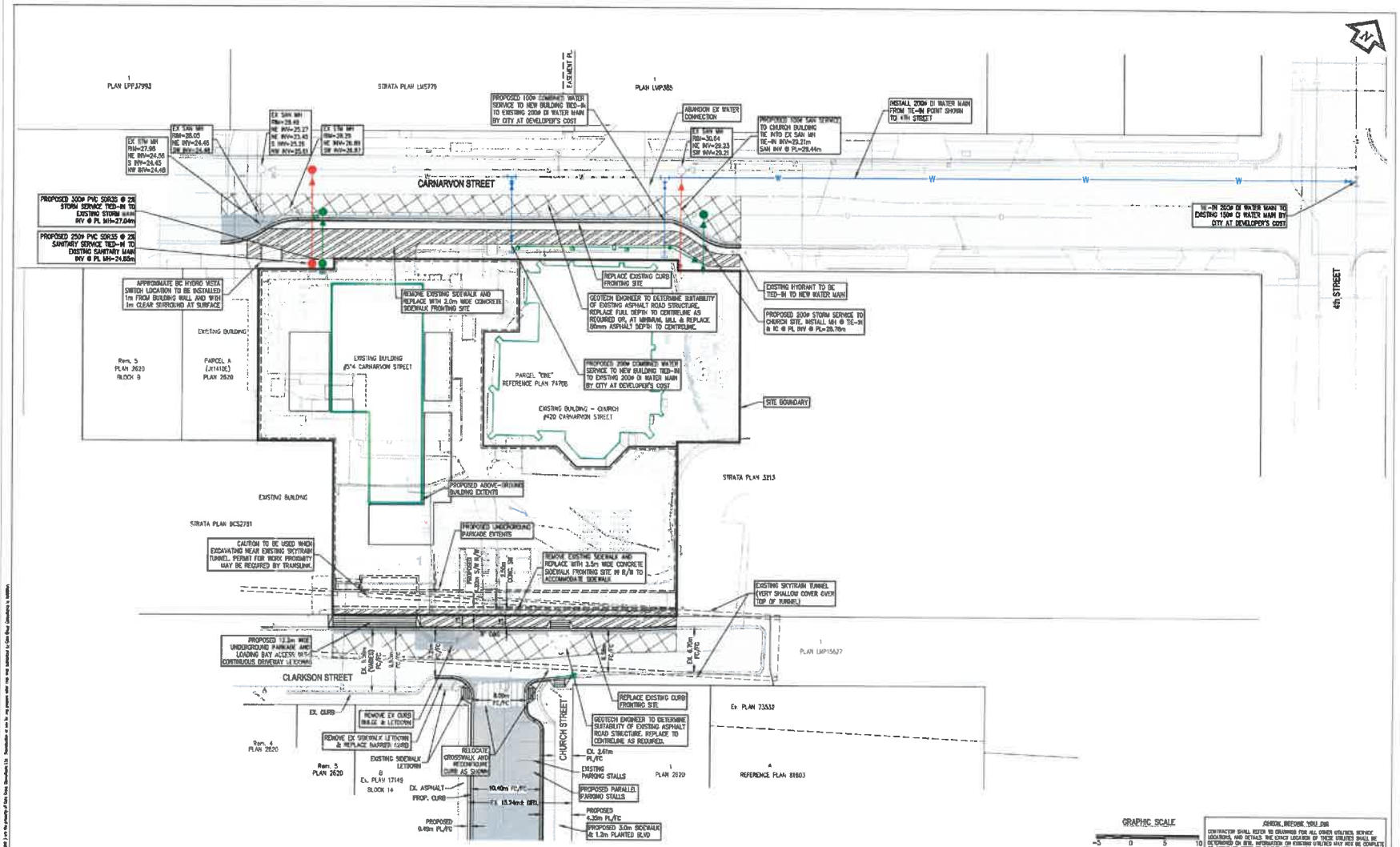
Project North:

Graphic Scale: NTS

Scale:

Project No.: 22102

Drawing No.: A 101



	WATERMAIN		
	WASTEWATER SEWER		
	LAND DRAINAGE SEWER		
	PROPERTY LINES		
	GAS		
	TELEPHONE		
	HYDRO		
existing	CENTER LINE OF DITCH plan - legend	proposed	

BENCHMARK

ELEVATIONS ARE DERIVED FROM GCM GSRS, LOCATED AT THE INTERSECTION OF COLUMBIA STREET AND CHURCH STREET, ELEVATION = 13.841 METRES, GEODETIC DATUM (CVD28GVRD)

No.	y/m/d	Issued/Reviewed/Revision	By	App.
4	2022/05/20	REVISED PER CITY COMMENTS	C.N.	
3	2022/03/08	PRELIMINARY	C.N.	
2	2021/11/03	PRELIMINARY	C.N.	
1	2021/10/07	PRELIMINARY	C.N.	
0	2019/02/12	PRELIMINARY	C.N.	

seal

CLIENT
CONWEST GROUP OF COMPANIES
#250 – 1311 KOOTENAY ST.
VANCOUVER, BC V5K 4Y3
tel. 604-294-5067

CoreGroup CONSULTANTS
LAND DEVELOPMENT SERVICES
320–9988 TRASPORTON COURT
BURNABY, BC V5J 5H8
tel. (604)298 0505 fax. (604)299 0829
Permit To Practice No. 1001017 (BC)

The Corporation of the City of New Westminster

		Date
Reviewed		
Checked		
Approved	CITY ENGINEER	

Project
514 CARNARVON STREET
KEY PLAN

Drawn	S.R.	Sheet	y/m/d
Checked	C.N.	OF	2022/05/20
Designed	S.R.	Scale	H = 1:250 V = N/A
Checked	C.N.	Drawing No.	Rev.
City Project No.	RRU-00	1 OF 1	4
Project No.	1966		

Re-publication of any kind is strictly prohibited. Reproduction or use for any purpose other than the intended is forbidden.

FRANCL ARCHITECTURE
970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.5353
www.francldarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
4	2022-05-20	HERITAGE REVITALIZATION AGREEMENT
3	2022-03-08	HPC SUBMISSION RESPONSE
2	2021-11-03	HPC SUBMISSION
1	2021-10-07	PRELIMINARY

Project Title:
The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:
Civil Key Plan

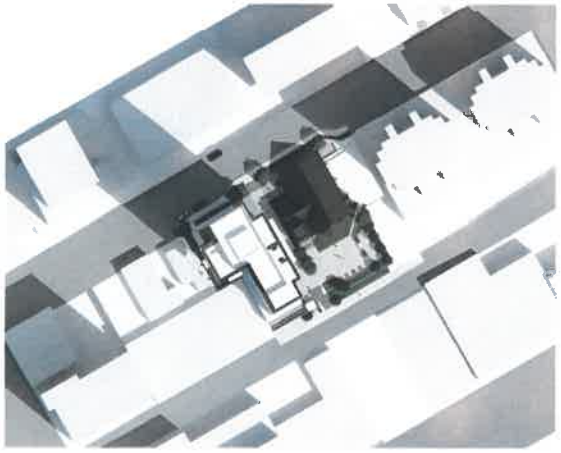
This drawing as an instrument of service is the property of Francl Architecture Inc. and must not be reproduced without the Arch's permission. All information shown on this drawing is for the use on this project only and shall not be used otherwise without written permission from the office. Contractors shall verify and be responsible for all dimensions on site prior to any work. Do not scale drawings.

Draw by: Author
Reviewed by: Checker
Date: 10/15/21
Plot Date: 2022-05-31 1:12:55 PM
Graphic Scale:

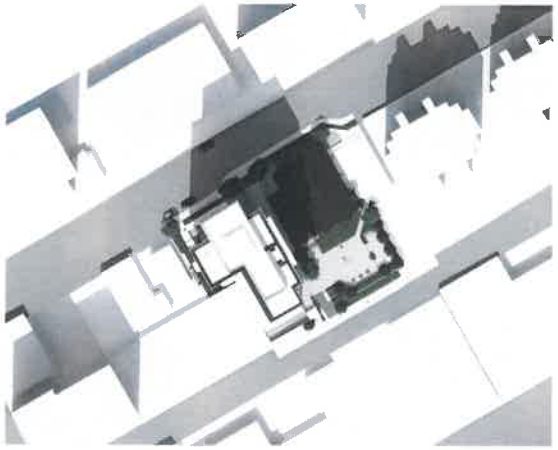
Project North:

Scale:
Project No.: 22102

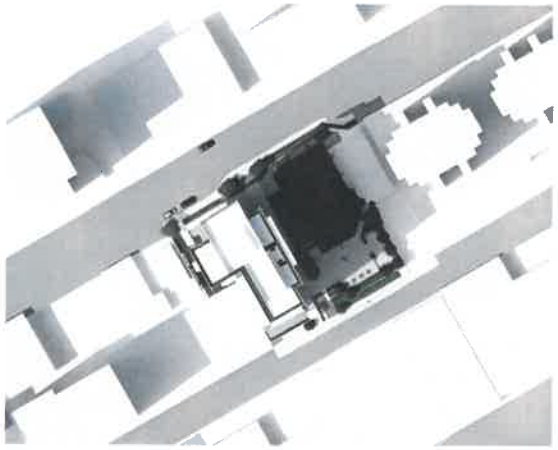
Drawing No.: A 102



June 21st 10.00 am

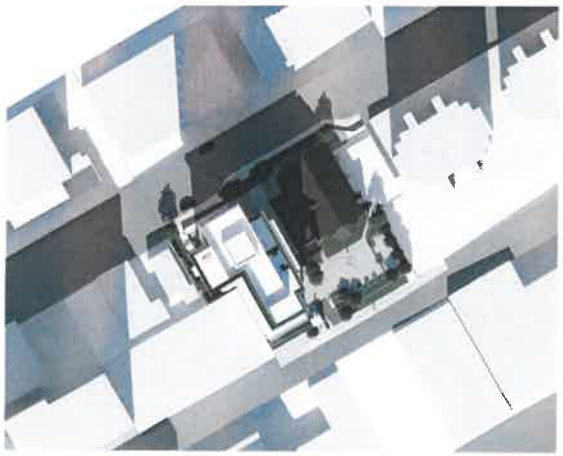


June 21st 12.00 pm



June 21st 2.00 pm

March/September 21st 10.00 am



March/September 21st 12.00 pm

March/September 21st 2.00 pm

FRANCL ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3152
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
1	2022-01-06	FOR REVIEW/ CONSTRUCTION AGREEMENT
2	2022-03-28	REISSUED FOR SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

1114 Carnarvon St

Client: Conwest

Sheet Title:

Shadow Studies

This drawing as an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without the firm's permission. All information shown on this drawing is for the use in this project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions prior to construction. Do not scale drawings. Use only issued and signed drawings. Do not scale drawings.

Draw by: Author
Reviewed by: Checker
Date: 09/27/21
Plot Date: 2022-03-31 11:12:43 PM

Project North:

Graphic Scale:

Scale:

Project No.: 22102

Drawing No.: A 103

Pedestrian Corridor from Carnarvon

FRANCL
ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3252
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
3	2021-06-04	HERITAGE REVITALIZATION AGREEMENT
2	2021-09-17	APC SUBMISSION REVIEW
1	2021-07-19	APC SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Rendering

This drawing as an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without the firm's permission. All information shown on this drawing is for the use on this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job and shall notify the architect of any discrepancies prior to starting work on this drawing. Do not scale drawings.

Drawn by: MB
Reviewed by: Checker
Date: 09/27/21
Plot Date: 2022-05-31 3:12:41 PM

Project North:

Graphic Scale:

Scale:

Project No.: 22102

Drawing No.: A 104

Clarkson View

FRANCL
ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.5353
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No	Date	Description
4	2021-09-09	ISSUE REVITALIZATION AGREEMENT
3	2021-05-27	DP SUBMISSION REVISION
2	2021-01-27	DP SUBMISSION
1	2020-07-14	DP SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

334 Carnarvon St

Client: Conwest

Sheet Title:

Rendering

This drawing as an instrument of service is the sole property of Francl Architecture Inc. and may not be reproduced without the firm's permission. All information shown on this drawing is for the use in this specific project only and shall not be used to issue revised or other permission from this office. Contractors shall verify and be responsible for all dimensions on the job and this office shall be informed of any discrepancies and variations shown on this drawing. Do not scale drawing.

Draw by: MB
Reviewed by: Checker
Date: 09/27/21
Plot Date: 2022-05-31 1:08:58 PM

Project North:

Graphic Scale:

Scale:

Project No.: 22102

Drawing No.: A 105

Parish Hall

FRANCL
ARCHITECTURE

970 Homer St
Vancouver BC V6B 1W7 CANADA
604.688.3352
www.francarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
2	2021-09-09	ISSUED FOR PRICING AGREEMENT
1	2021-06-11	ISSUED FOR REVIEW

Project Title:

The Holy Trinity Anglican Cathedral Renewal

314 Carnarvon St

Client: Conwest

Sheet Title:

Rendering

This drawing as an instrument of service is the property of, and the copyright in it is vested in, Francl Architecture and may not be reproduced without the firm's permission. All information shown on this drawing is for the use on this project only and may not be used otherwise without written permission from Francl Architecture. Francl Architecture is not responsible for any unauthorized reproduction of this drawing. Do not scale drawings.

Draw by: MB
Reviewed by: Checker
Date: 10/18/21
Plot Date: 2022-05-11 3:12:43 PM

Project North:

Graphic Scale:

Scale:

Project No.: 22102

Drawing No.: A 106

FRANCL
ARCHITECTURE

870 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.5352
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
	2021-10-26	CONCEPT REVISED/UPDATED AGREEMENT
	2021-10-18	CONCEPT SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Rendering

This drawing as an instrument of service is the property of Francl Architecture Inc. and shall not be reproduced without our firm's permission. All information shown on the drawing is for the use on this specific project only and shall not be used otherwise without our written permission from this office. Contractors shall verify and be responsible for all dimensions on the job before commencement of any work/shop drawings. Do not scale drawings.

Draw by: MB
Reviewed by: Checker
Date: 10/18/21
Plot Date: 2022-05-11 3:12:45 PM

Project North:

Graphic Scale:

Scale:

Project No.: 22102

Drawing No.: A 107

FRANCL
ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3352
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
		REVISED REVITALIZATION AGREEMENT
		SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Aerial View

This drawing as an instrument of service is the property of Francl Architecture Inc. and must not be reproduced without the firm's permission. All information shown on the drawing is for the use in this specific project only and shall not be used otherwise without written permission from the office. Contractors shall verify and be responsible for all dimensions on site and shall report any errors, omissions or inconsistencies on the drawing to the architect before proceeding with the work.

Draw By: MB
Reviewed by: Checker
Date: 09/27/21
Plot Date: 2022-05-31 3:12:48 PM

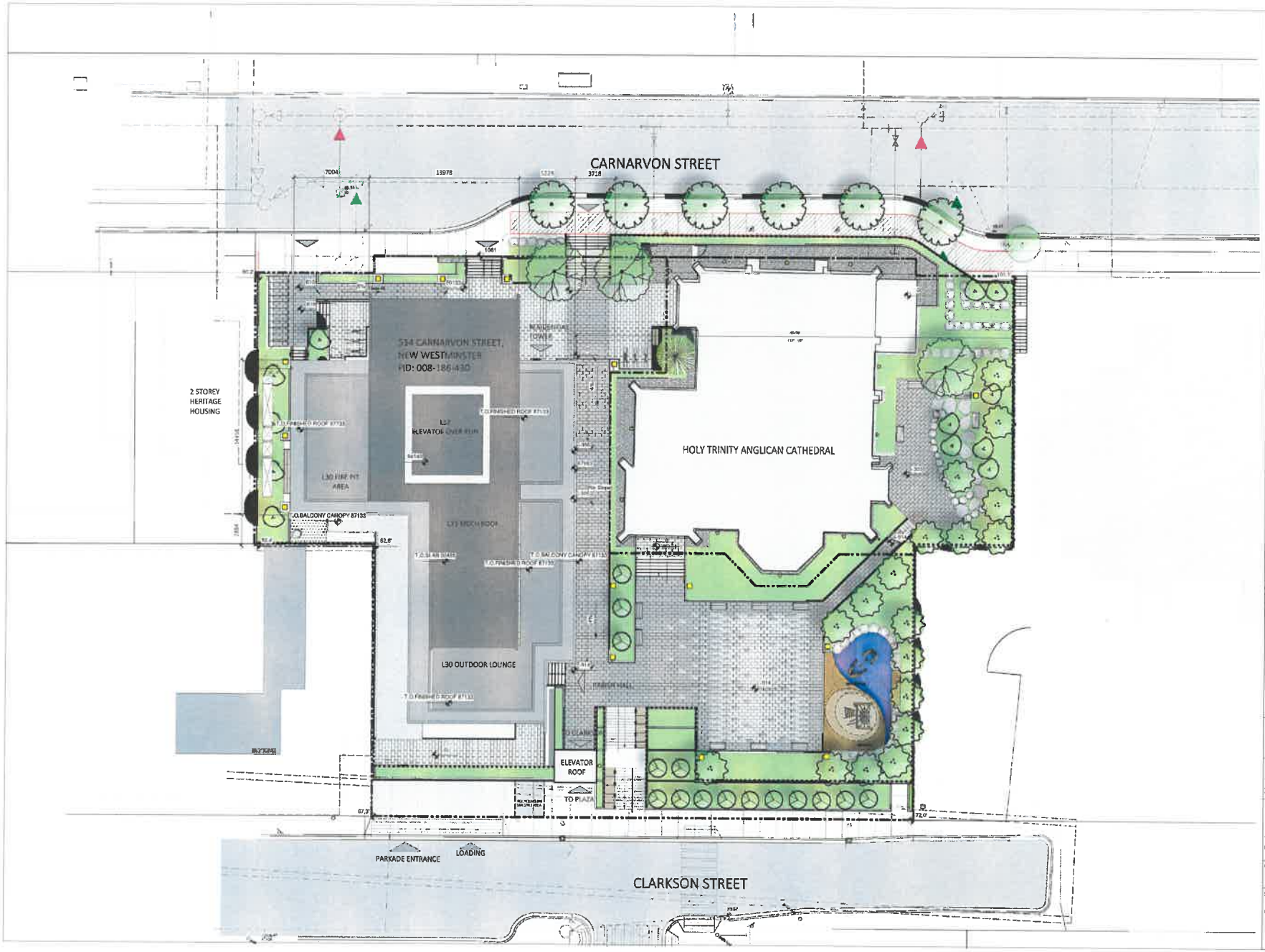
Project North:

Graphic Scale:

Scale:

Project No.: 22102

Drawing No.: A 108



FRANCL
ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.5313
www.francl-architecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
2021-06-04	01	ISSUED INFORMATION AGREEMENT
2021-06-17	02	SUBMISSION REVISION
2021-07-16	03	SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Site Plan

This drawing as an instrument of service is the property of Francl Architecture Inc. It cannot be reproduced without the firm's permission. All information shown on this drawing is for the use in this specific project only and shall not be used elsewhere without written permission from the firm. Contractors shall verify and be responsible for all dimensions on the site prior to any work and be responsible for any errors and omissions. Do not scale drawings.

Draw by: Author

Reviewed by: Checker

Date: 08/17/21

Plot Date: 2021-09-01 5:18:58 PM

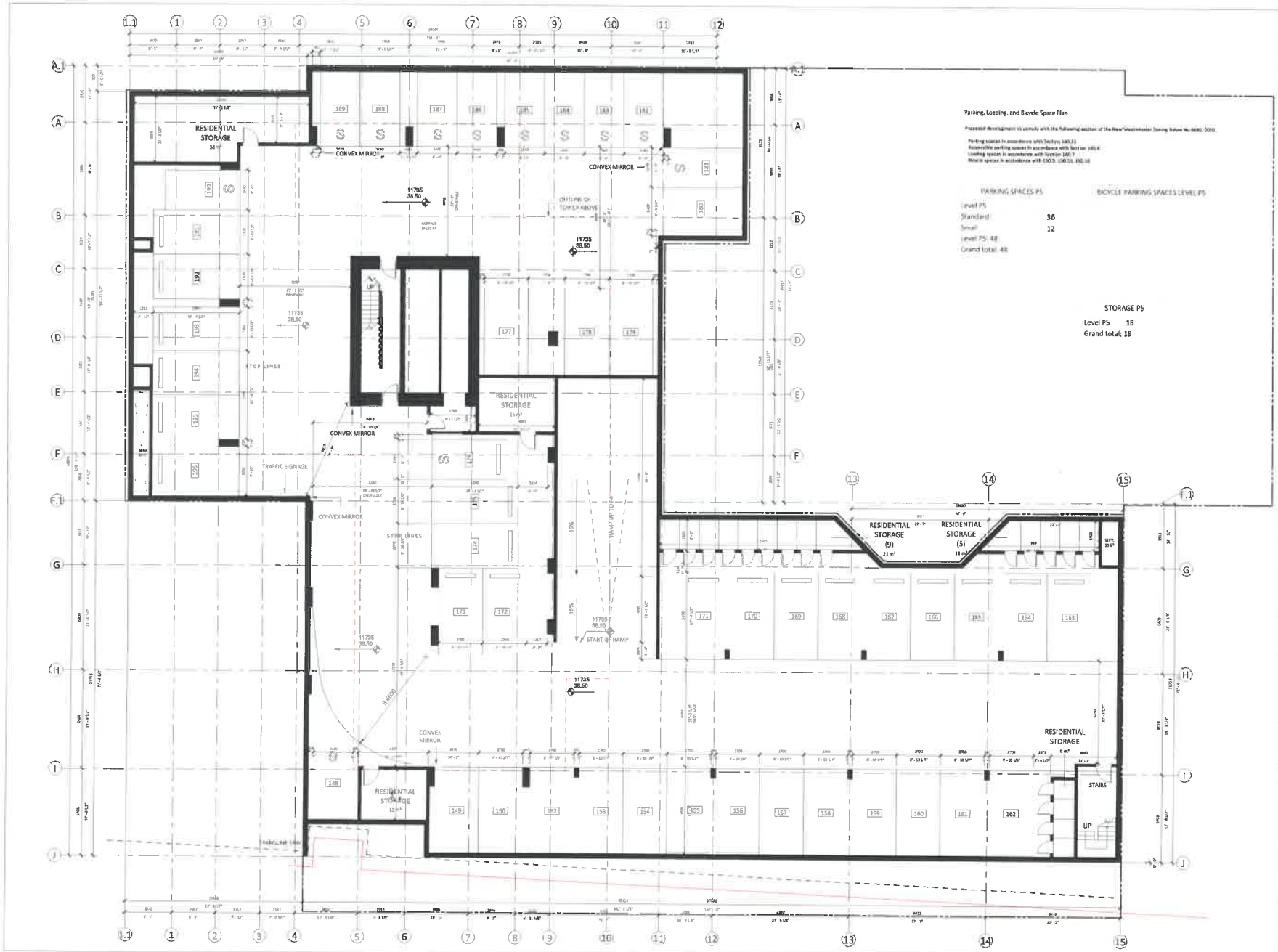
Project North:

Graphic Scale:

Scale: 1 : 150

Project No.: 22102

Drawing No.: A 150



FRANCL ARCHITECTURE

CONWEST

No.	Date	Description
3	2022-03-08	STORAGE COMPLIANCE AGREEMENT
2	2022-03-17	CITY REVIEW RESPONSE
1	2021-10-29	CITY SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Floor Plan- P5

Draw By: KC

Reviewed by: Checker

Date: 08/17/21

Plot Date: 2022-05-31 3:18:41 PM

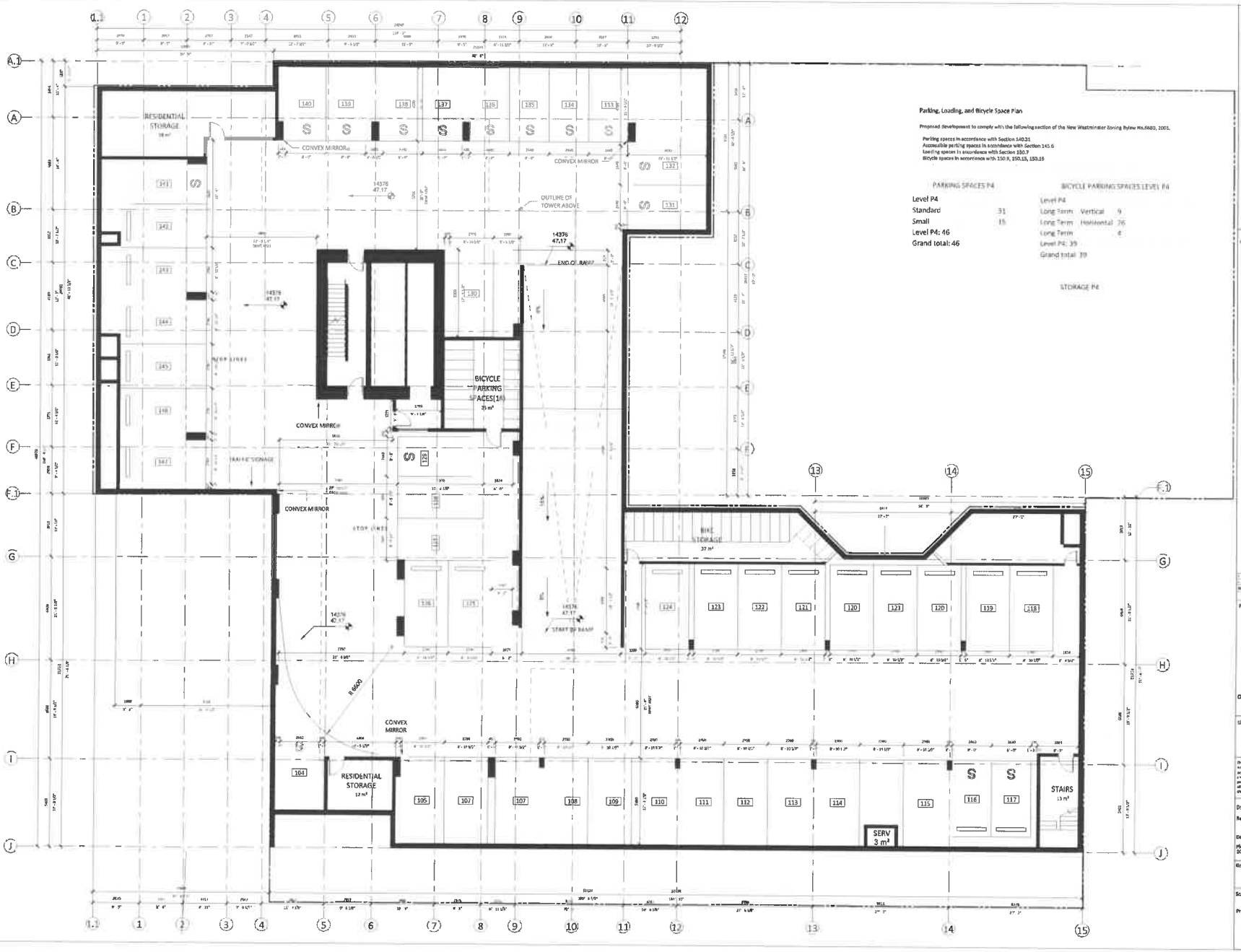
Project North:

Graphic Scale:

Scale: As indicated

Project No.: 22102

Drawing No.: A 201



FRANCL ARCHITECTURE

CONWEST

Rev	Date	Description

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Floor Plan- P4

Draw by: Author

Reviewed by: Checker

Date: 11/25/21

Plot Date: 2022-05-31 3:18:46 PM

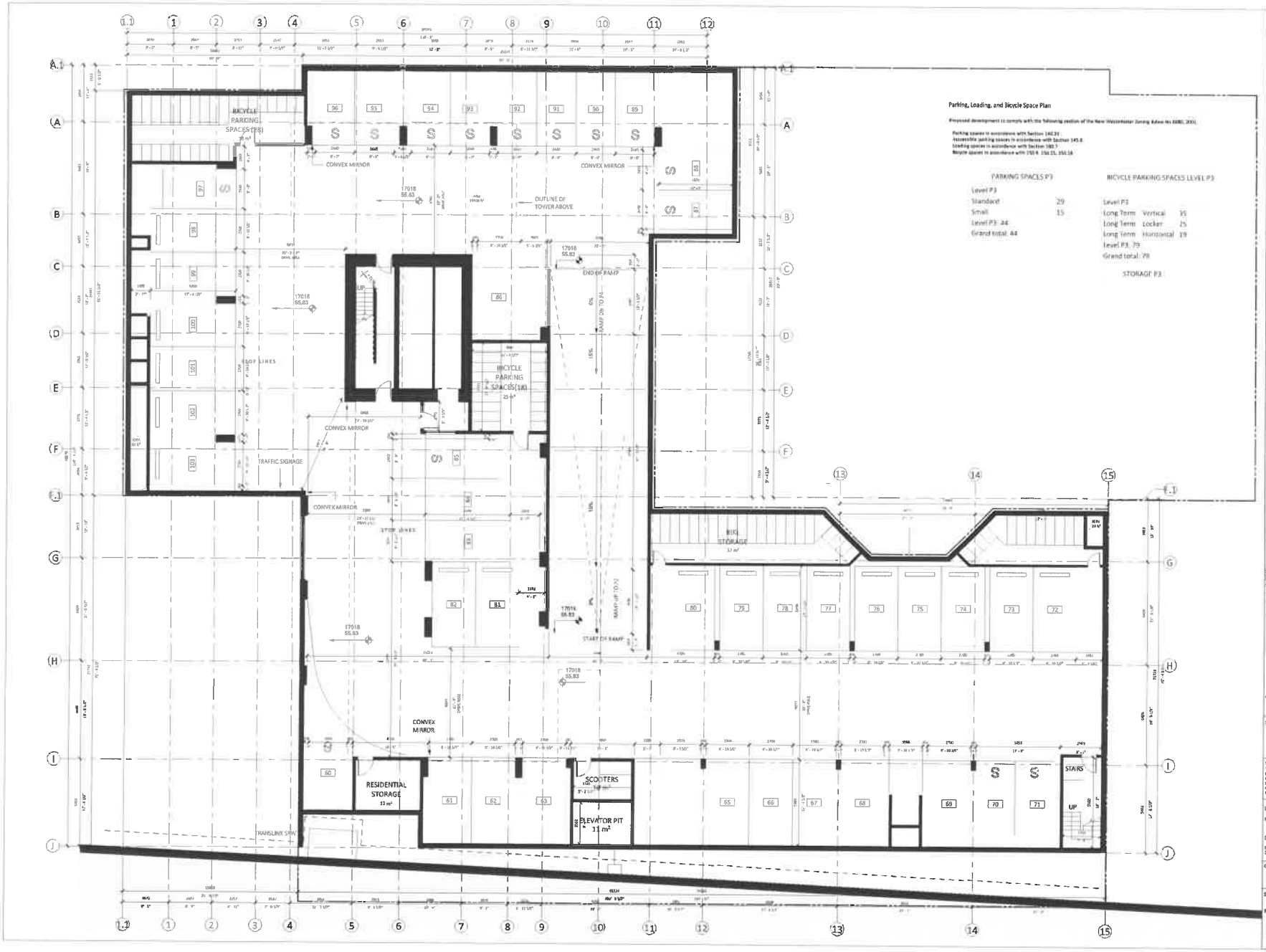
Project North:

Graphic Scale:

Scale: As indicated

Project No.: 22102

Drawing No.: A 202



Parking, Loading, and Bicycle Space Plan

Proposed development to comply with the following section of the New Westminster Zoning Bylaw No 6680, 2001.

Parking spaces in accordance with Section 140.31 :
Accessible parking spaces in accordance with Section 145.8
Loading spaces in accordance with Section 150.7 :
Bicycle spaces in accordance with 150.4, 150.15, 150.16

PARKING SPACES P3	
Level P3	
Standard	29
Small	15
Level P3: 44	
Grand total: 44	

BICYCLE PARKING SPACES LEVEL P3		
Level P3		
Long Term	Vertical	35
Long Term	Locker	25
Long Term	Horizontal	19
Level P3: 79		
Grand total: 79		

STORAGE P3

FRANCL ARCHITECTURE

370 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.5262
www.francelarchitecture.com

CONWEST
Group of Companies

Notes:

No.	Date	Description
3	2022-05-06	REVISED RECEIVED FOR DEVELOPMENT
2	2020-02-17	RFC SUBMISSION REPORTS
1	2019-12-19	RFC SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Floor Plan- P3

This drawing as an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without the firm's permission. All information shown on the drawing is for the use on this specific project only and shall not be used otherwise without written permission from the office. Contractors shall verify and be responsible for all dimensions on the job site prior to any work or fabrication of any components and contractors shall not scale drawings. Do not scale drawings.

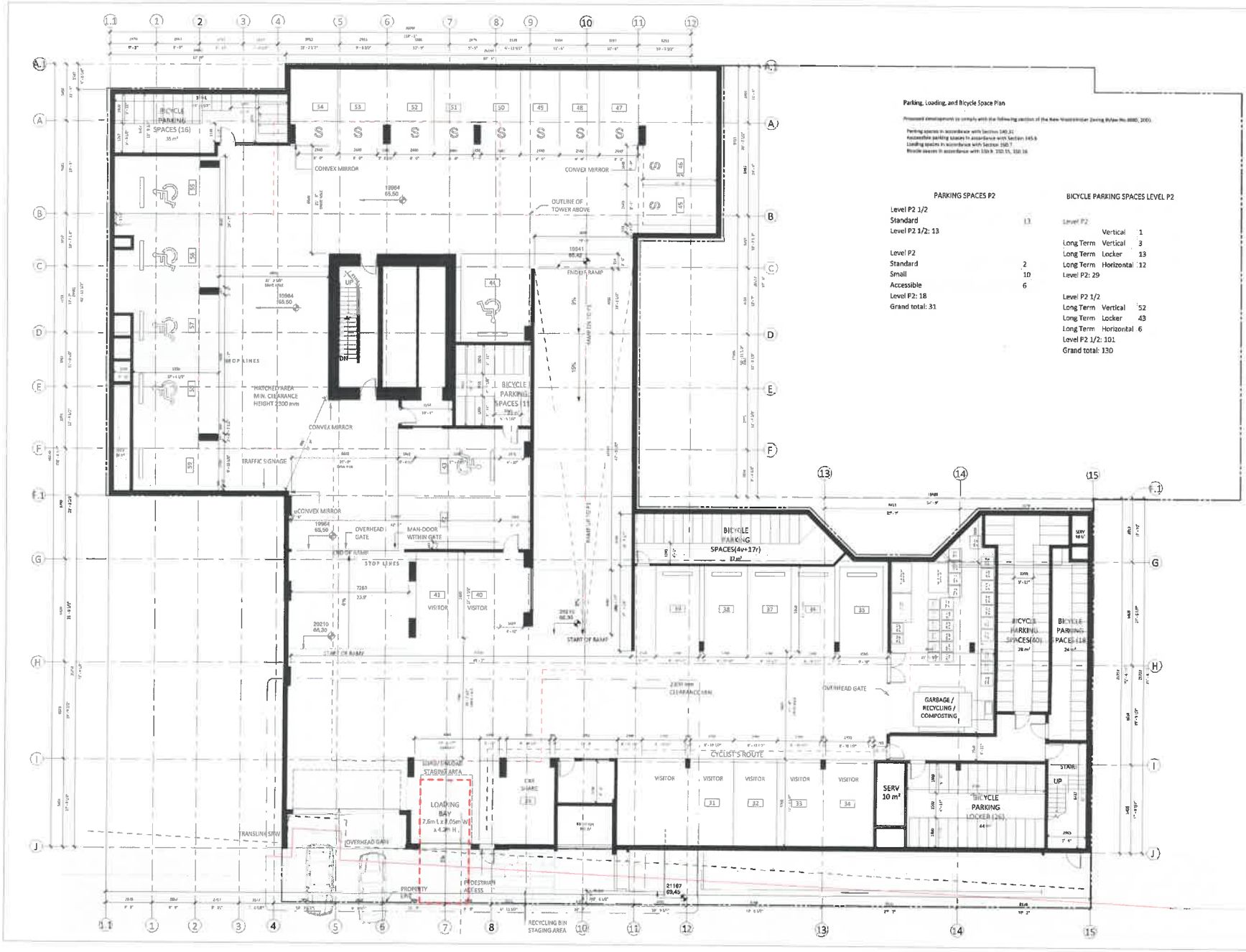
Drawn by: KC
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-11 3:18:50 PM

Project North:

Graphic Scale:

Scale: As indicated
Project No.: 22102

Drawing No.: A 203



Parking, Loading, and Bicycle Space Plan

Proposed development to comply with the following section of the New Westminster Zoning Bylaw No. 6680, 2001.

Parking spaces in accordance with Section 140.31
Inaccessible parking spaces in accordance with Section 145.6
Loading spaces in accordance with Section 150.7
Bicycle spaces in accordance with 150.9, 150.15, 150.16

PARKING SPACES P2

Level P2 1/2	
Standard	13
Level P2 1/2: 13	
Level P2	
Standard	2
Small	10
Accessible	6
Level P2: 18	
Grand total: 31	

BICYCLE PARKING SPACES LEVEL P2

Level P2		
	Vertical	1
Long Term	Vertical	3
Long Term	Locker	13
Long Term	Horizontal	12
Level P2: 29		
Level P2 1/2		
Long Term	Vertical	52
Long Term	Locker	43
Long Term	Horizontal	6
Level P2 1/2: 101		
Grand total: 130		

FRANCL ARCHITECTURE

CONWEST

Rev.	Date	Description
		RELEASE RESTRATA/HOA AGREEMENT
		PC SUBMISSION REVISIONS
		PC SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Floor Plan- P2

Draw by: KC

Reviewed by: Checker

Date: 08/17/21

Plot Date: 2022-06-31 3:19:55 PM

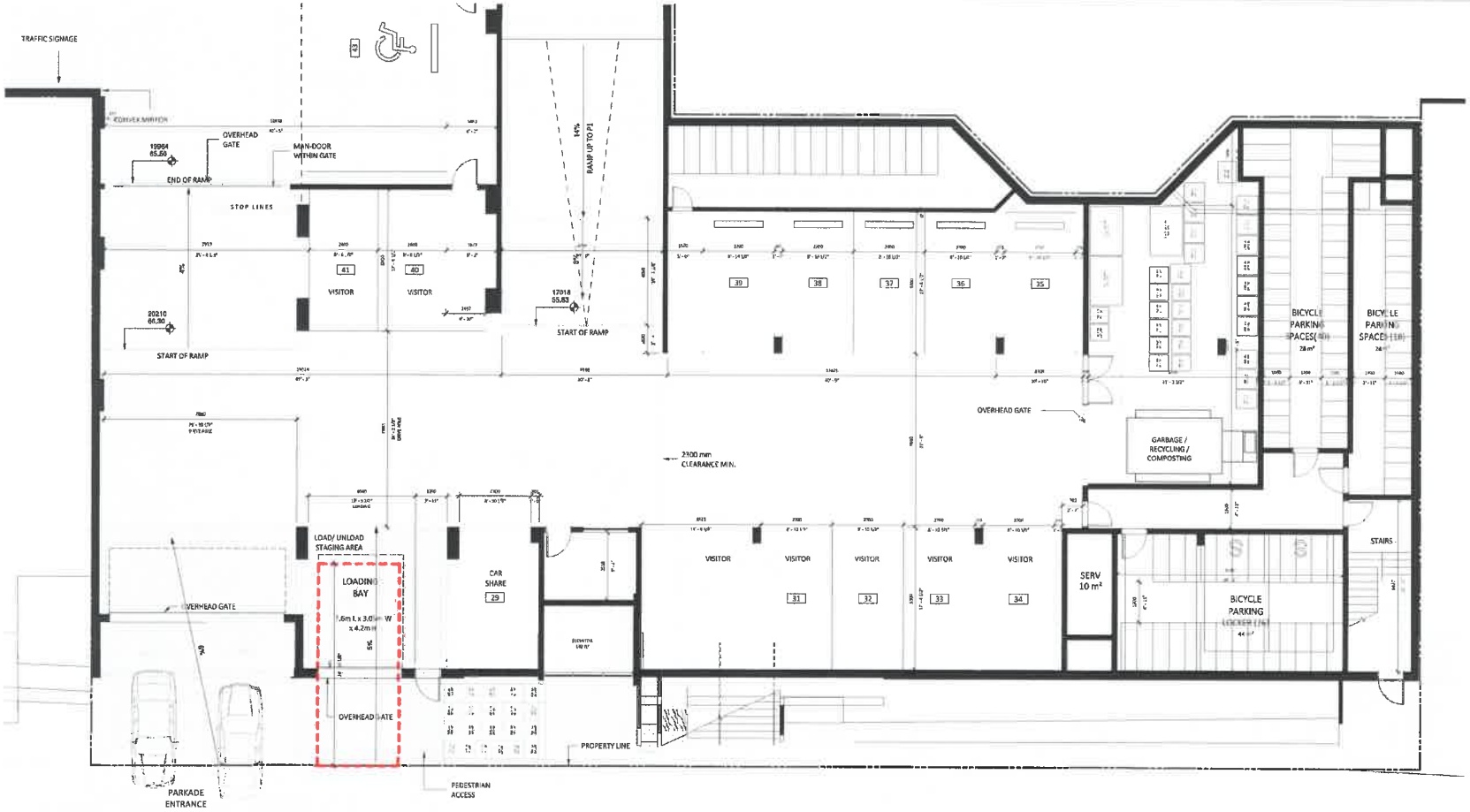
Project North:

Graphic Scale:

Scale: As indicated

Project No.: 22102

Drawing No.: A 204



CLARKSON ST

FRANCL ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3262
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
3	2022-05-06	HERITAGE REVITALIZATION AGREEMENT
2	2022-03-17	DPC SUBMISSION REPORTER

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:
Floor Plan- P2- Parkade Entrance

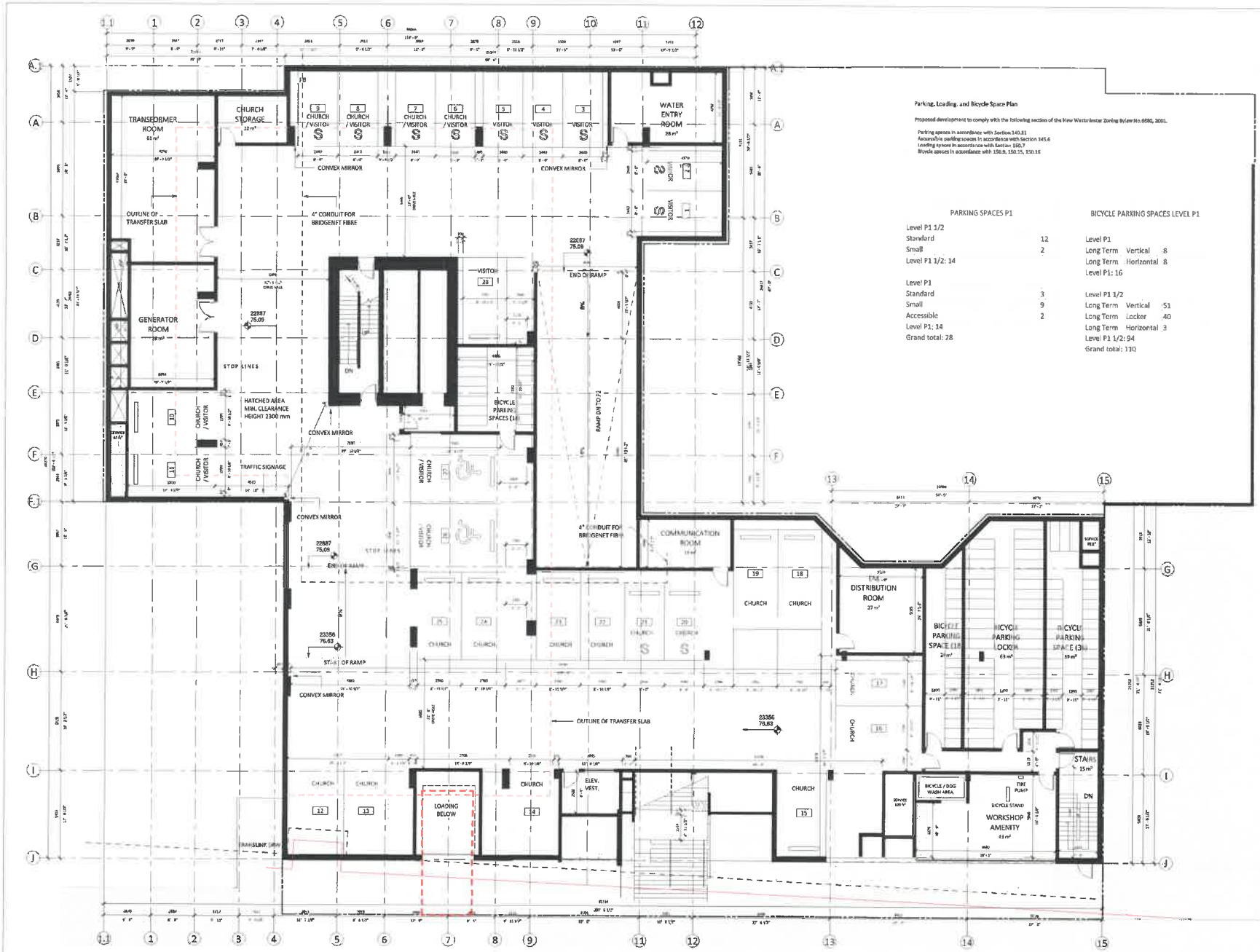
Draw by: Author
Reviewed by: Checker
Date: 11/08/21
Plot Date: 2022-05-31 3:18:57 PM

Project North:

Graphic Scale:

Scale: 1 : 75
Project No.: 22102

Drawing No.: A 204.1



Parking, Loading, and Bicycle Space Plan

Proposed development to comply with the following sections of the New Westminster Zoning Bylaw No.6680, 2001.

Parking spaces in accordance with Section 140.81
Accessible parking spaces in accordance with Section 145.6
Loading spaces in accordance with Section 150.7
Bicycle spaces in accordance with 150.9, 150.15, 150.16

PARKING SPACES P1

Level P1 1/2	
Standard	12
Small	2
Level P1 1/2: 14	
Level P1	
Standard	3
Small	9
Accessible	2
Level P1: 14	
Grand total: 28	

BICYCLE PARKING SPACES LEVEL P1

Level P1		
Long Term	Vertical	8
Long Term	Horizontal	8
Level P1: 16		
Level P1 1/2		
Long Term	Vertical	51
Long Term	Locker	40
Long Term	Horizontal	3
Level P1 1/2: 94		
Grand total: 110		

FRANCL ARCHITECTURE
970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3152
www.francladarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
1	[illegible]	DISTANCE DESIGNATION AGREEMENT
2	[illegible]	NHC SUBMISSION REVISIONS
3	[illegible]	NHC SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Floor Plan- P1

This drawing as an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without the firm's permission. All information shown on the drawing is for the use on this specific project only and shall not be used otherwise without written permission from the firm. The Contractor shall verify and be responsible for all dimensions on the job site. Do not scale drawing. Report any discrepancies and omissions immediately.

Draw by: KC
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-08-31 3:19:02 PM

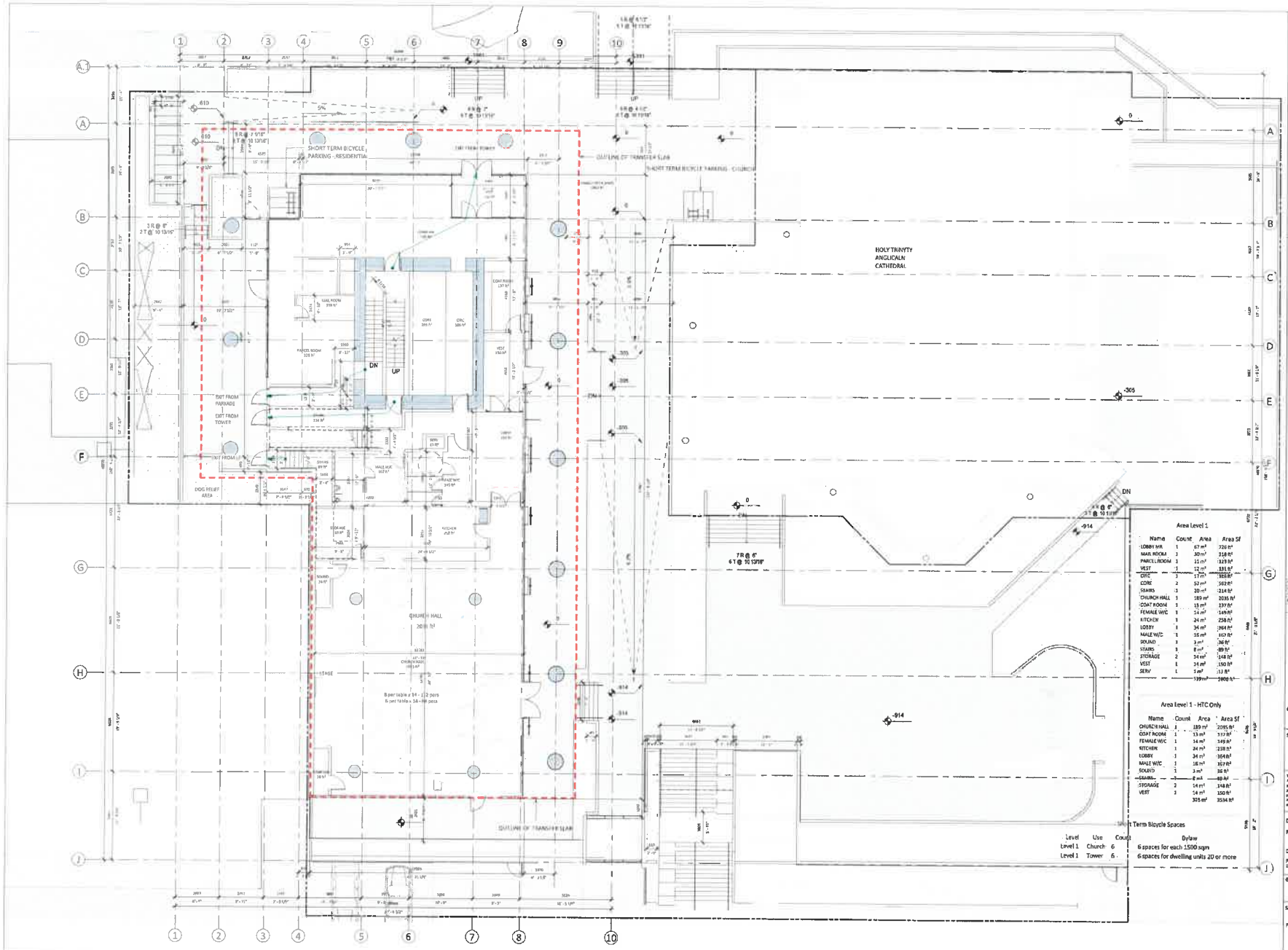
Project North:

Graphic Scale:

Scale: As Indicated

Project No.: 22102

Drawing No.: A 205



Area Level 1

Name	Count	Area	Area SF
LOBBY MR	1	67 m²	726 ft²
MAIL ROOM	1	30 m²	318 ft²
PARCEL ROOM	1	11 m²	123 ft²
VEST	1	12 m²	131 ft²
CIRC	2	17 m²	185 ft²
CORE	2	52 m²	562 ft²
STAIRS	3	20 m²	214 ft²
CHURCH HALL	1	189 m²	2035 ft²
COAT ROOM	1	13 m²	137 ft²
FEMALE W/C	1	14 m²	149 ft²
KITCHEN	1	24 m²	258 ft²
LOBBY	1	34 m²	364 ft²
MALE W/C	1	16 m²	167 ft²
SOUND	1	3 m²	36 ft²
STAIRS	1	8 m²	89 ft²
STORAGE	2	14 m²	148 ft²
VEST	1	14 m²	150 ft²
SERV	1	1 m²	13 ft²
		199 m²	2140 ft²

Area Level 1 - HTC Only

Name	Count	Area	Area SF
CHURCH HALL	1	189 m²	2035 ft²
COAT ROOM	1	13 m²	137 ft²
FEMALE W/C	1	14 m²	149 ft²
KITCHEN	1	24 m²	258 ft²
LOBBY	1	34 m²	364 ft²
MALE W/C	1	16 m²	167 ft²
SOUND	1	3 m²	36 ft²
STAIRS	1	8 m²	89 ft²
STORAGE	2	14 m²	148 ft²
VEST	1	14 m²	150 ft²
		325 m²	3534 ft²

Short Term Bicycle Spaces

Level	Use	Count
Level 1	Church	6
Level 1	Tower	6

Bylaw
6 spaces for each 1500 sqm
6 spaces for dwelling units 20 or more

FRANCL ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604 688.8262
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
1	2021-08-06	HERITAGE EQUIVALENCY AND REVISIT
2	2021-08-17	PCL SUBMISSION REPORT
3	2021-08-27	PCL SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Floor Plan- Level 1

This drawing as an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without the firm's permission. All information shown on the drawing is for the use on this project present date and shall not be used otherwise without written permission from the Architect. Contractors shall verify and be responsible for all dimensions on site and shall notify the architect of any discrepancies and submit shop drawings for approval before proceeding with the work shown on this drawing. Do not scale drawings.

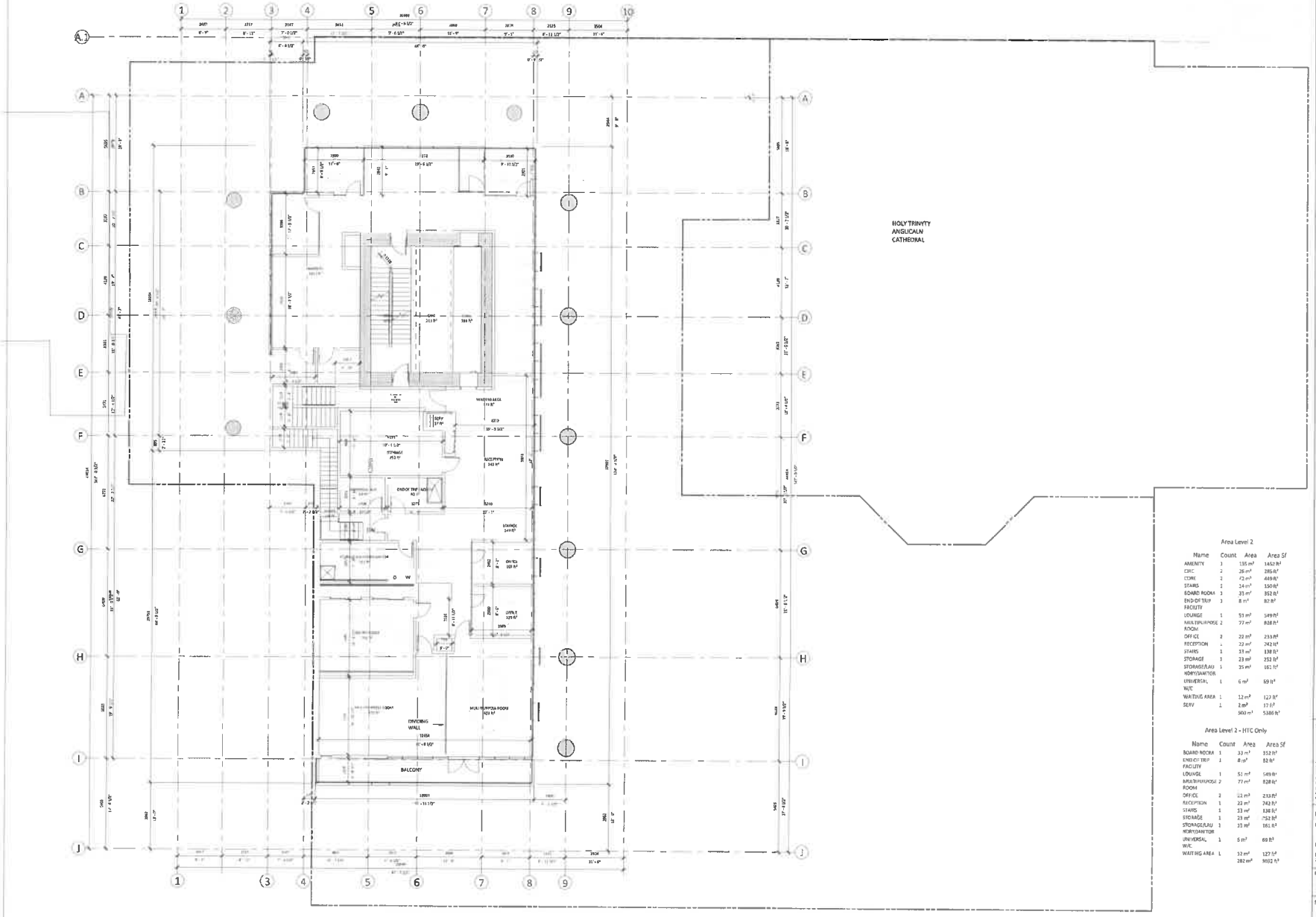
Draw by: KC
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2021-08-31 3:19:09 PM

Project North:

Graphic Scale:

Scale: 1 : 100
Project No.: 22102

Drawing No.: A 206



Area Level 2

Name	Count	Area	Area Sf
AMENITY	3	135 m²	1452 ft²
CIRC	2	26 m²	286 ft²
CORE	2	42 m²	449 ft²
STAIRS	1	14 m²	150 ft²
BOARD ROOM	3	33 m²	352 ft²
END OF TRIP FACILITY	3	8 m²	82 ft²
LOUNGE	1	51 m²	549 ft²
MULTIPURPOSE ROOM	2	77 m²	828 ft²
OFFICE	2	22 m²	233 ft²
RECEPTION	1	22 m²	242 ft²
STAIRS	1	13 m²	138 ft²
STORAGE	1	23 m²	252 ft²
STORAGE/JANITOR	1	15 m²	161 ft²
UNIVERSAL WC	1	6 m²	69 ft²
WAITING AREA	1	12 m²	123 ft²
SERV	1	2 m²	17 ft²
		503 m²	5386 ft²

Area Level 2 - HTC Only

Name	Count	Area	Area Sf
BOARD ROOM	1	33 m²	352 ft²
END OF TRIP FACILITY	1	8 m²	82 ft²
LOUNGE	1	51 m²	549 ft²
MULTIPURPOSE ROOM	2	77 m²	828 ft²
OFFICE	2	22 m²	233 ft²
RECEPTION	1	22 m²	242 ft²
STAIRS	1	13 m²	138 ft²
STORAGE	1	23 m²	252 ft²
STORAGE/JANITOR	1	15 m²	161 ft²
UNIVERSAL WC	1	6 m²	69 ft²
WAITING AREA	1	12 m²	127 ft²
		282 m²	3032 ft²

FRANCL ARCHITECTURE

910 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.8252
www.francelarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
	2022-07-08	FOR AGS MOTIVATION ACCEPTANCE
	2022-07-29	CTV SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Camarvon St

Client: Conwest

Sheet Title:

Floor Plan- Level 2

This drawing as an instrument of service is the property of Francl Architecture Inc. and is not to be reproduced without the firm's permission. All information shown on this drawing is for the use on this project only and shall not be used at any other location without written permission from Francl Architecture Inc. Contractors shall verify and be responsible for all dimensions on the job site. Drawings shall be not scaled. Drawings and specifications are the property of the office and shall be returned at completion of work and remain in place on completion.

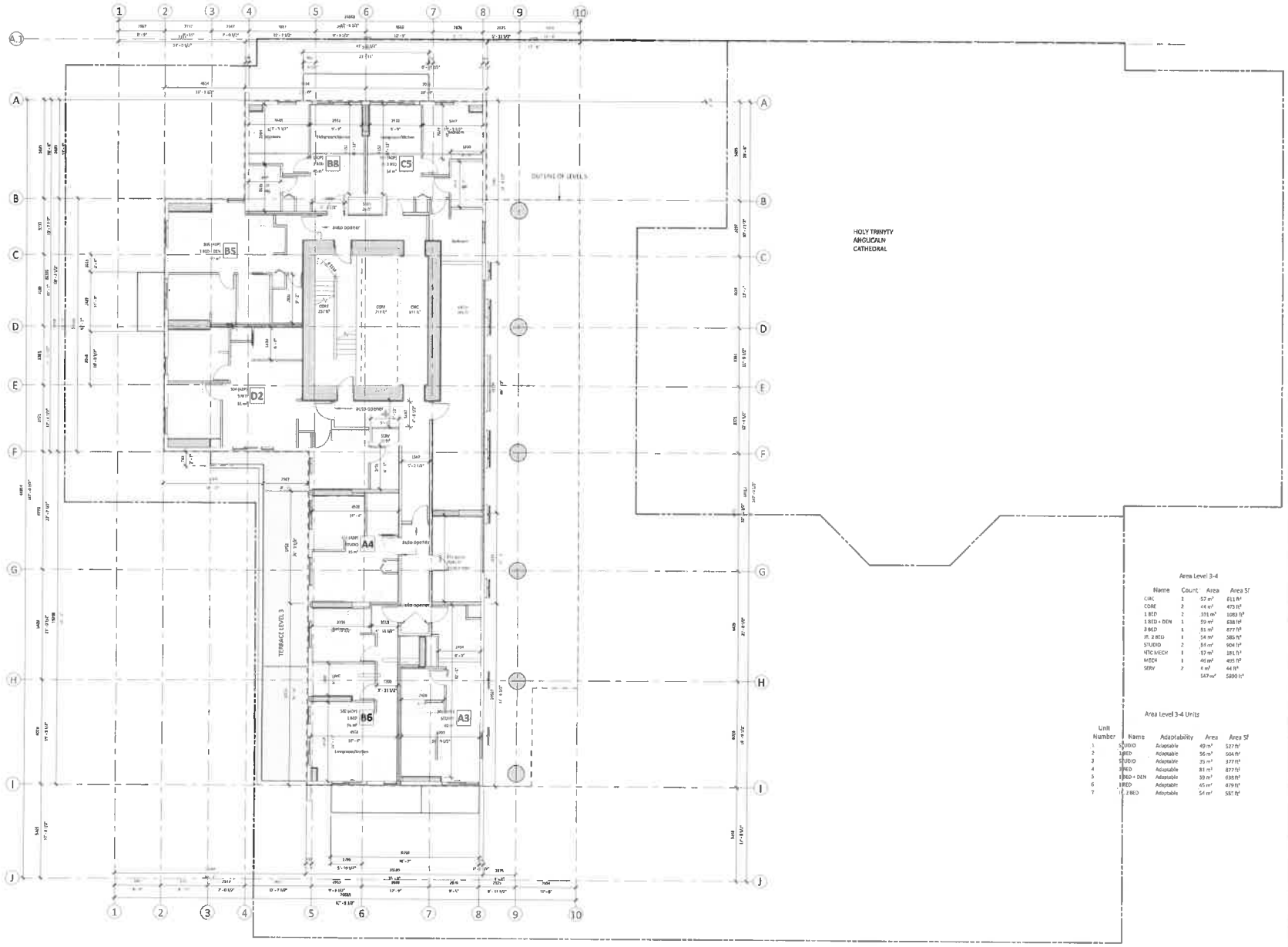
Draw by: KC
Reviewed by: Checker
Date: 08/18/23
Plot Date: 2022-08-31 7:19:14 PM

Project North:

Graphic Scale:

Scale: 1 : 100
Project No.: 22102

Drawing No.: A 207



Area Level 3-4

Name	Count	Area	Area SF
CIRC	1	57 m²	611 ft²
CORE	2	44 m²	473 ft²
1 BED	2	101 m²	1083 ft²
1 BED + DEN	1	59 m²	638 ft²
3 BED	1	81 m²	877 ft²
JR. 2 BED	1	54 m²	585 ft²
STUDIO	2	84 m²	904 ft²
MTC MECH	1	17 m²	181 ft²
MECH	1	46 m²	495 ft²
SERV	2	4 m²	44 ft²
		547 m²	5890 ft²

Area Level 3-4 Units

Unit Number	Name	Adaptability	Area	Area SF
1	STUDIO	Adaptable	49 m²	527 ft²
2	1 BED	Adaptable	56 m²	604 ft²
3	STUDIO	Adaptable	35 m²	377 ft²
4	3 BED	Adaptable	81 m²	877 ft²
5	1 BED + DEN	Adaptable	59 m²	638 ft²
6	1 BED	Adaptable	45 m²	479 ft²
7	JR. 2 BED	Adaptable	54 m²	587 ft²

FRANCL
ARCHITECTURE
570 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.5352
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
1	2021-10-19	IFC SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Floor Plan- Level 3

This drawing is an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without the firm's permission. All information shown on the drawing is for the use on this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on the job site. Do not scale drawing. The architect shall be informed of any discrepancies and variations shown on site prior to proceeding. Do not scale drawings.

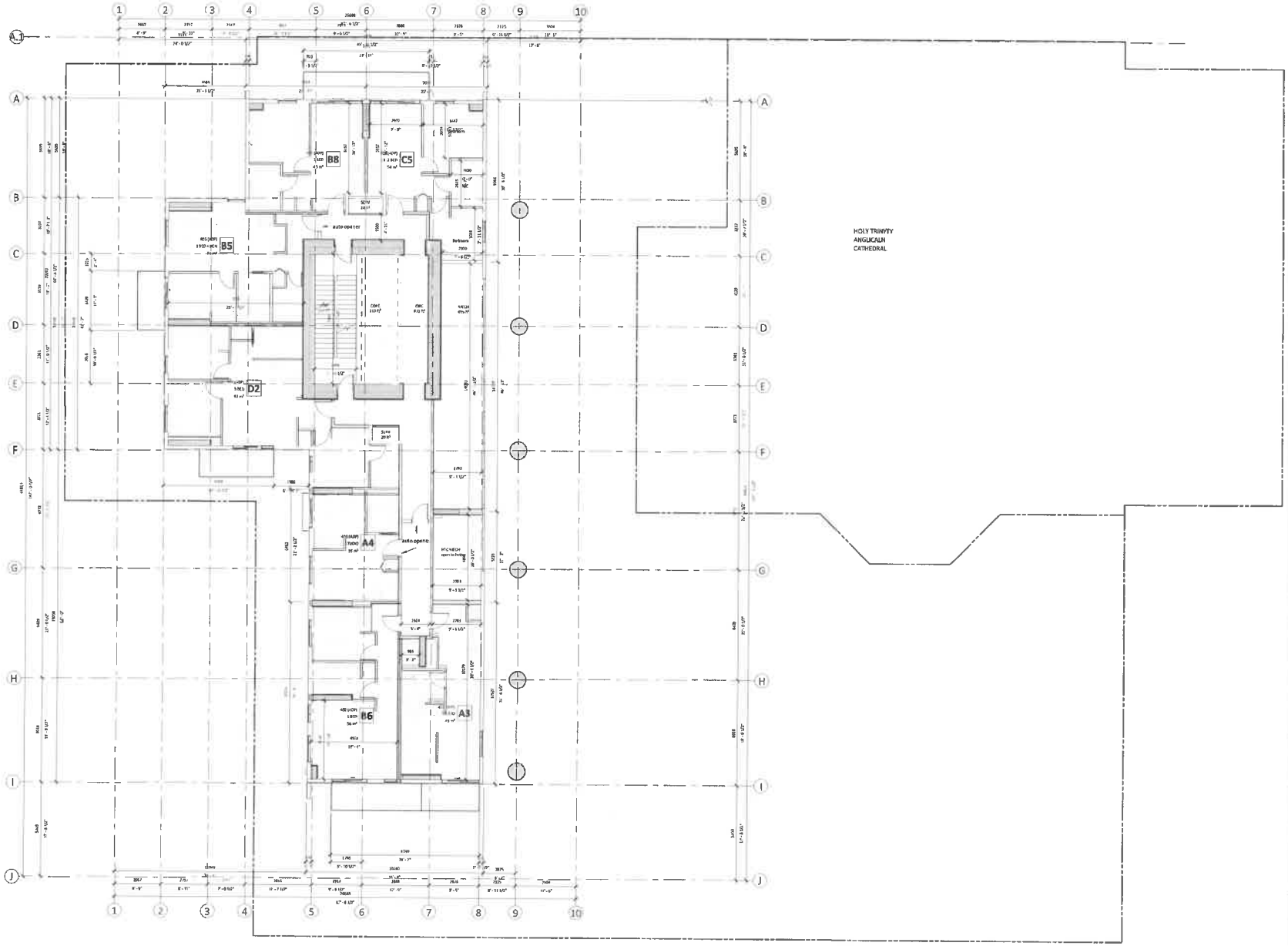
Draw by: XZ
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2021-05-31 3:19:59 PM

Project North:

Graphic Scale:

Scale: 1 : 100
Project No.: 22102

Drawing No.: A 208



FRANCL
ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W2 CANADA
604.688.5253
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
	2021-10-06	RFI NO 4 ID: FIRE CAPACITY ACHIEVEMENT
	2021-10-01	CTS SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Floor Plan- Level 4

This drawing as an instrument of service is the property of Francl Architecture Inc. and shall not be reproduced without the firm's permission. All information shown on the drawings is for the use on this specific project only and shall not be used otherwise without express permission from the author. Contractors shall verify and be responsible for all dimensions on site prior to fabrication of any shop drawings, and report any discrepancies and omissions on the drawing to the author.

Draw by: XZ

Reviewed by: Checker

Date: 10/12/21

Plot Date: 2021-05-31 3:19:03 PM

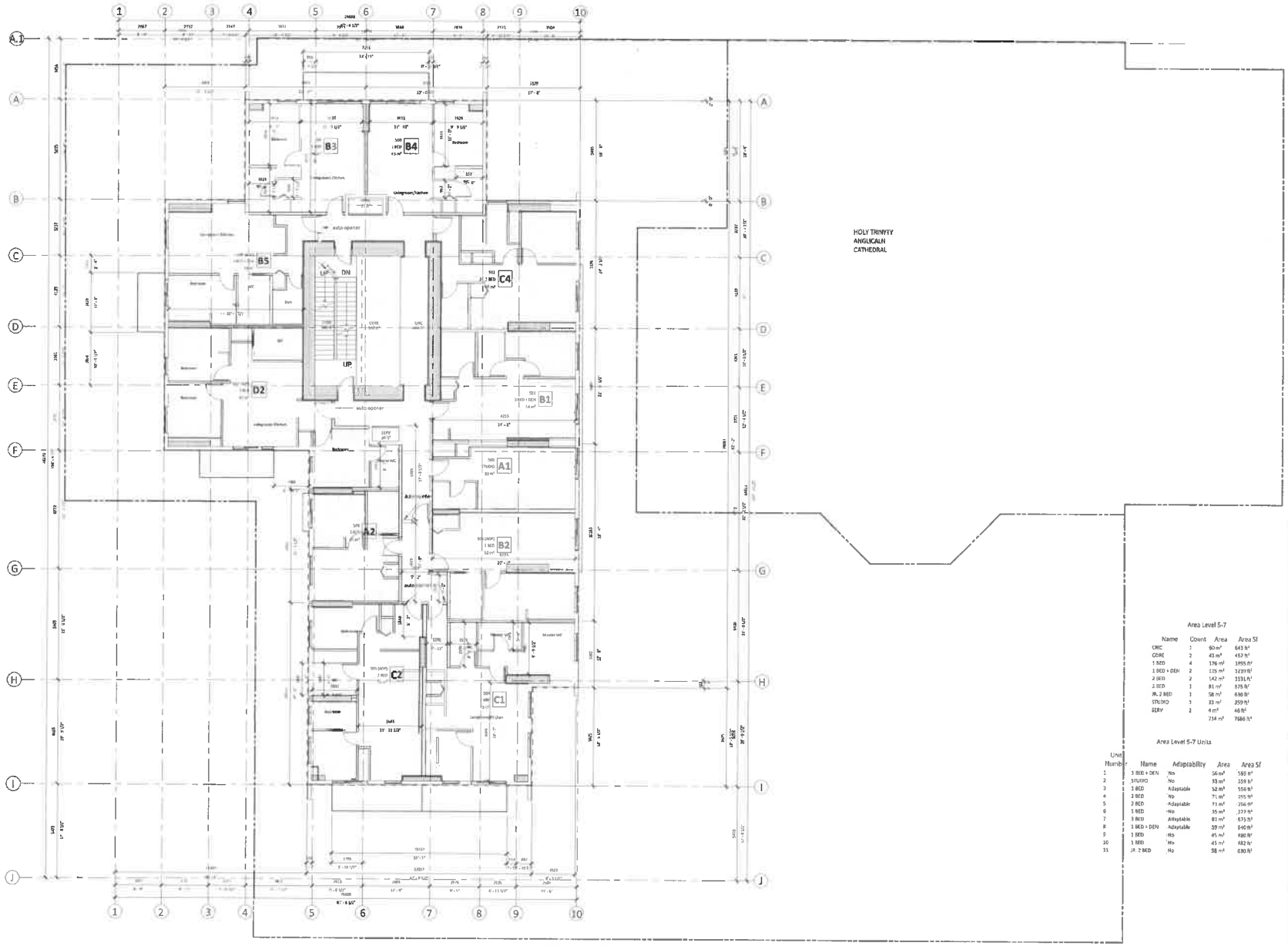
Project North:

Graphic Scale:

Scale: 1 : 100

Project No.: 22102

Drawing No.: A 209



Area Level 5-7

Name	Count	Area	Area SF
CIRC	1	60 m²	643 ft²
CORE	2	43 m²	457 ft²
1 BED	4	176 m²	1895 ft²
1 BED + DEN	2	135 m²	1439 ft²
2 BED	2	142 m²	1531 ft²
3 BED	1	81 m²	875 ft²
JR. 2 BED	1	58 m²	630 ft²
STUDIO	1	33 m²	359 ft²
SERV	2	4 m²	46 ft²
		734 m²	7986 ft²

Area Level 5-7 Units

Unit Number	Name	Adapiability	Area	Area SF
1	1 BED + DEN	No	56 m²	598 ft²
2	STUDIO	No	33 m²	359 ft²
3	1 BED	Adaptable	52 m²	556 ft²
4	2 BED	No	71 m²	765 ft²
5	2 BED	Adaptable	71 m²	766 ft²
6	1 BED	No	35 m²	377 ft²
7	3 BED	Adaptable	81 m²	875 ft²
8	1 BED + DEN	Adaptable	59 m²	640 ft²
9	1 BED	No	45 m²	480 ft²
10	1 BED	No	45 m²	482 ft²
11	JR. 2 BED	No	58 m²	630 ft²

FRANCL
ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3252
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

Rev.	Date	Description
		FOR BCE RENTALS/DEVELOPMENT
		21-5 SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Floor Plan- Level 5

This drawing as an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without the firm's permission. All dimensions shown on this drawing to be the sole rights specific project only and shall not be used at any other location without written permission from the Architect. Contractors shall verify and be responsible for all dimensions on site and report any discrepancies and omissions or any discrepancies, discrepancies shown on this drawing, do not scale drawings

Draw by: XZ

Reviewed by: Checker

Date: 08/17/21

Plot date: 2022-08-31 3:10:29 PM

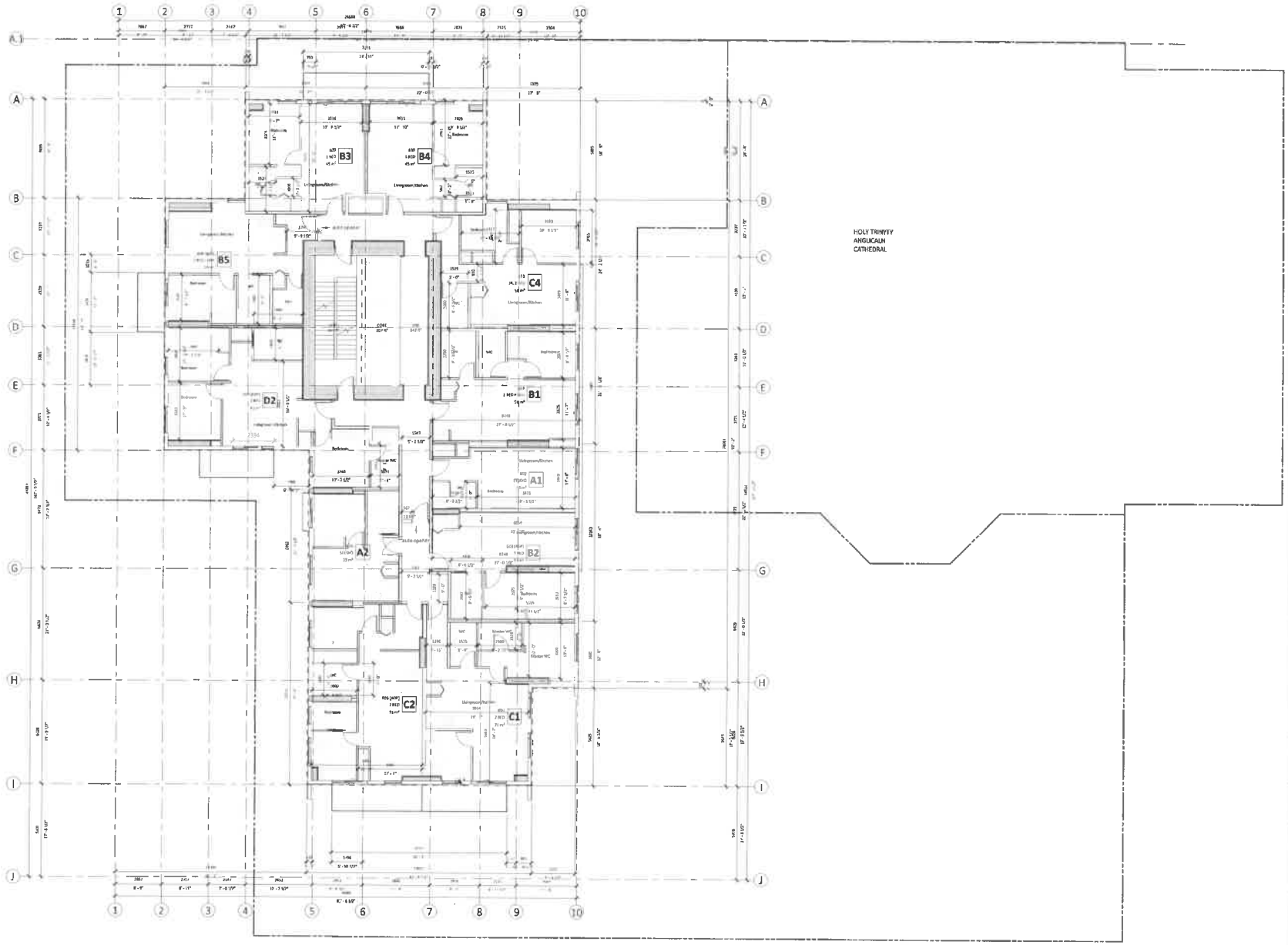
Project North:

Graphic Scale:

Scale: 1 : 100

Project No.: 22102

Drawing No.: A 210



FRANCL
ARCHITECTURE

920 Homer St
Vancouver BC V6B 2W2 CANADA
604.688.3252
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
1	2022-05-20	HERITAGE REVITALIZATION PROJECT APPLICATION
2	2022-07-29	DP SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Floor Plan- Level 6-7

This drawing as an instrument of service is the property of Walter Francl Architecture Inc. and may not be reproduced without the firm's permission. All information shown on the drawing is for the use in the specific project only and must not be used otherwise without written permission from the office. Contractor shall verify and be responsible for all dimensions on site prior to fabrication. Do not scale drawings.

Draw by: XZ

Reviewed by: Checker

Date: 10/12/21

Plot Date: 2022-05-31 5:10:32 PM

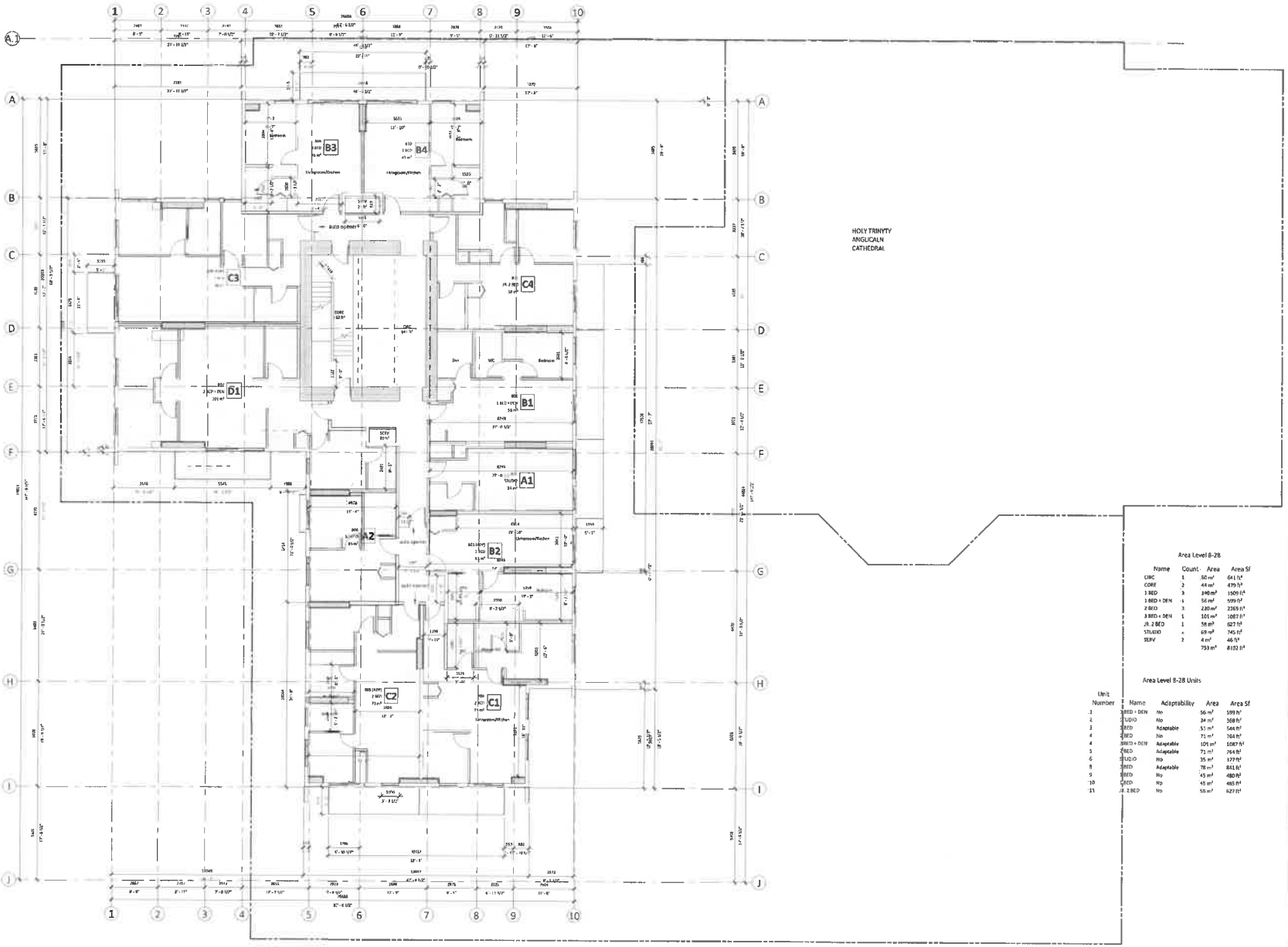
Project North:

Graphic Scale:

Scale: 1 : 100

Project No.: 22102

Drawing No.: A 211



Area Level 8-28

Name	Count	Area	Area Sf
CIRC	1	60 m²	641 ft²
CORE	2	44 m²	479 ft²
1 BED	3	140 m²	1509 ft²
1 BED + DEN	1	56 m²	599 ft²
2 BED	3	220 m²	2369 ft²
3 BED + DEN	1	101 m²	1087 ft²
JR. 2 BED	1	58 m²	627 ft²
STUDIO	1	69 m²	745 ft²
SERV	2	4 m²	46 ft²
		753 m²	8102 ft²

Area Level 8-28 Units

Unit Number	Name	Adaptability	Area	Area Sf
1	1 BED + DEN	No	56 m²	599 ft²
2	STUDIO	No	34 m²	368 ft²
3	1 BED	Adaptable	51 m²	546 ft²
4	1 BED	No	71 m²	764 ft²
4	3 BED + DEN	Adaptable	101 m²	1087 ft²
5	1 BED	Adaptable	71 m²	764 ft²
6	STUDIO	No	35 m²	377 ft²
8	1 BED	Adaptable	78 m²	841 ft²
9	1 BED	No	45 m²	480 ft²
10	1 BED	No	45 m²	485 ft²
11	JR. 2 BED	No	58 m²	627 ft²

FRANCL
ARCHITECTURE
910 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.5253
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
3	2022-05-06	HERITAGE REVITALIZATION AGREEMENT
2	2021-10-21	RFC DEVELOPMENT
1	2021-10-21	Issued for review

Project Title:

The Holy Trinity Anglican Cathedral Renewal

114 Carrarvon St

Client: Conwest

Sheet Title:

Floor Plan- Level 8 -28

Title, drawings and instruments of service, including the property of Francl Architecture Inc. and may not be reproduced without the firm's permission. All information shown on the drawing is for the use on this specific project and shall not be used otherwise without written permission from the firm. Contractors shall verify and be responsible for all dimensions on site and this office shall be informed of any discrepancies and variations prior to construction. Drawing, by its nature, is diagrammatic.

Draw by: KZ
Reviewed by: Checker
Date: 08/27/23
Plot Date: 2022-05-31 1:19:56 PM

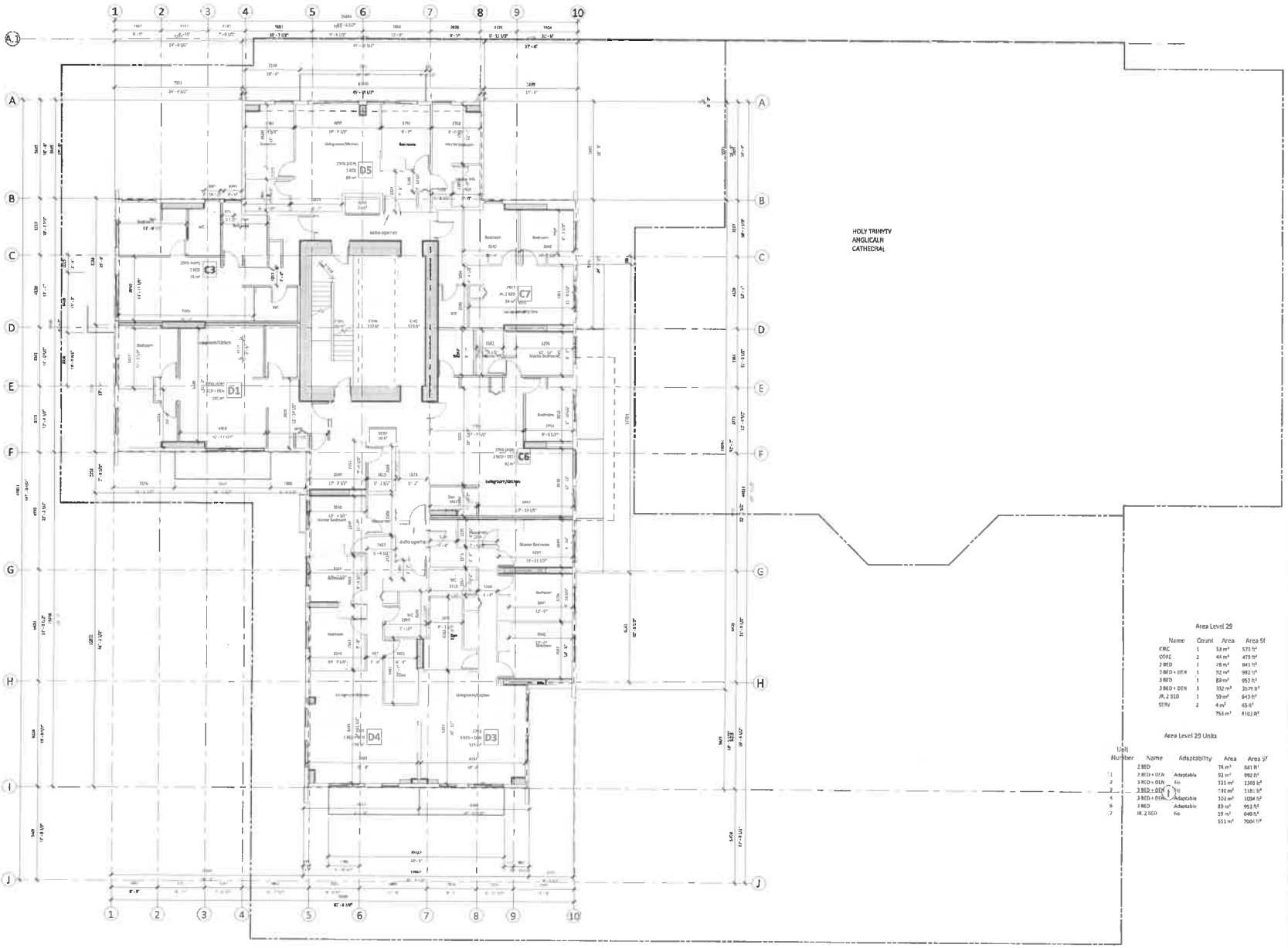
Project North:

Graphic Scale:

Scale: 1 : 100

Project No.: 22102

Drawing No.: A 212



Area Level 29

Name	Count	Area	Area Sf
CWC	1	53 m²	573 ft²
CORE	2	44 m²	479 ft²
2 BED	1	78 m²	841 ft²
2 BED + DEN	1	92 m²	992 ft²
3 BED	1	89 m²	953 ft²
3 BED + DEN	3	332 m²	3579 ft²
JR.2 BED	1	59 m²	640 ft²
SERV	2	4 m²	46 ft²
		753 m²	8102 ft²

Area Level 29 Units

Unit Number	Name	Adaptability	Area	Area Sf
	2 BED		78 m²	841 ft²
1	2 BED + DEN	Adaptable	92 m²	992 ft²
2	3 BED + DEN	No	121 m²	1303 ft²
3	3 BED + DEN	No	110 m²	1181 ft²
4	3 BED + DEN	Adaptable	102 m²	1094 ft²
6	3 BED	Adaptable	89 m²	953 ft²
7	JR.2 BED	No	59 m²	640 ft²
			551 m²	7004 ft²

FRANCL
ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3261
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

Rev.	Date	Description
		INITIAL RENTAL DEVELOPMENT
		PC SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Floor Plan- Level 29

This drawing as an instrument of service is the property of Francl Architecture Inc. and must not be reproduced without the firm's permission. All information shown on the drawing is for the use in this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on site and shall report any errors or omissions of any kind to Francl Architecture Inc. Do not scale drawings.

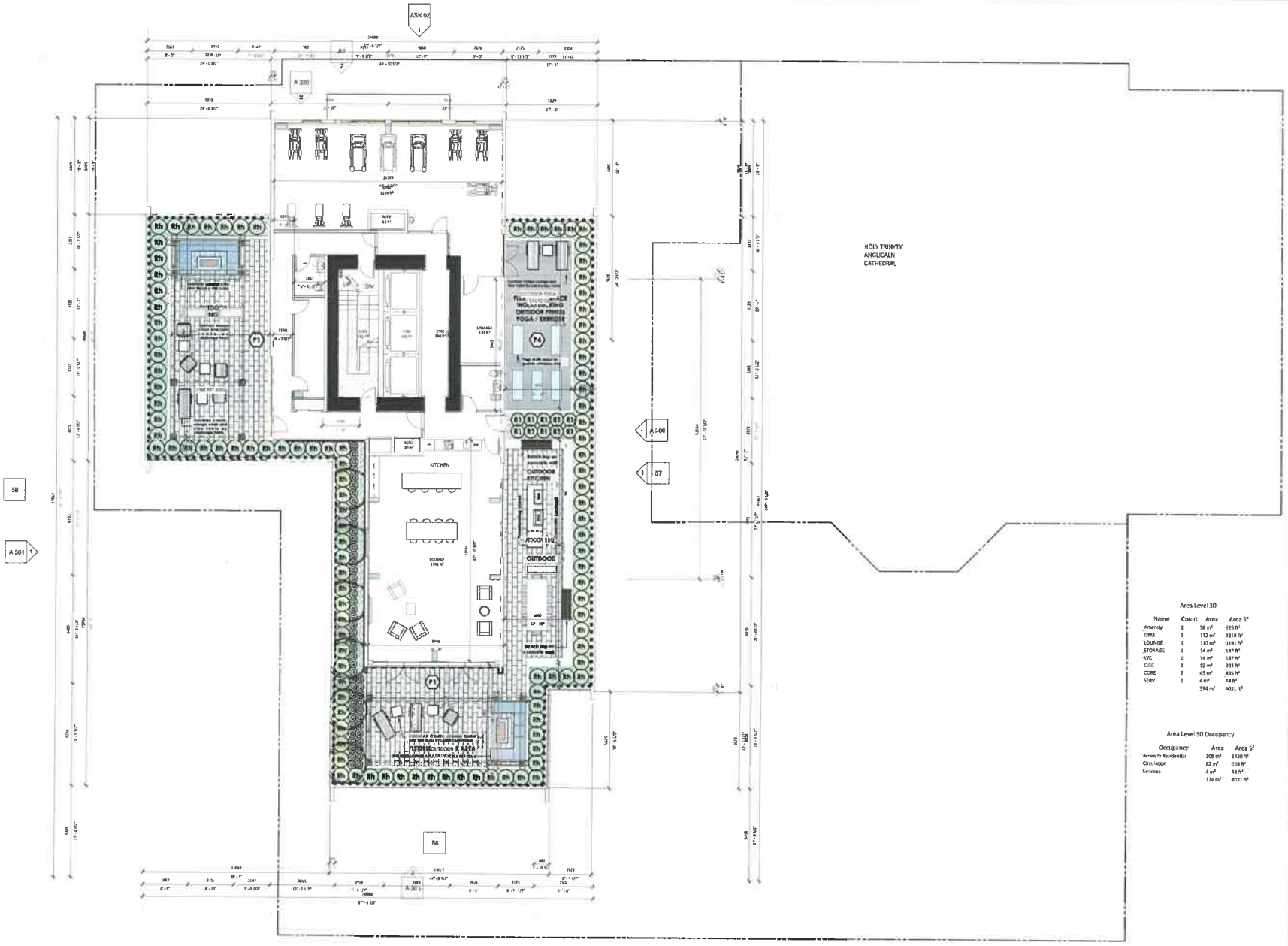
Drawn by: KZ
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 3:19:41 PM

Project North

Graphic Scale:

Scale: 1 : 100
Project No.: 22102

Drawing No.: A 213



Area Level 30

Name	Count	Area	Area SF
Amenity	2	58 m²	625 ft²
GYM	1	112 m²	1218 ft²
LOUNGE	1	110 m²	1181 ft²
STORAGE	1	14 m²	147 ft²
WC	2	14 m²	147 ft²
CIRC	1	19 m²	203 ft²
CORE	2	45 m²	485 ft²
SERV	2	4 m²	44 ft²
		374 m²	4031 ft²

Area Level 30 Occupancy

Occupancy	Area	Area SF
Amenity Residential	308 m²	3320 ft²
Circulation	62 m²	668 ft²
Services	4 m²	44 ft²
	374 m²	4031 ft²

FRANCL
ARCHITECTURE

910 Hamilton St
Vancouver BC V6B 2W7 CANADA
604 688 5351
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

Rev.	Date	Description
		HERITAGE REVITALIZATION AGREEMENT
		RE-SUBMISSION REPORTS
		CTC SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Floor Plan- Level 30

This drawing is an instrument of service is the property of FRANCL Architecture Inc. and may not be reproduced without the firm's permission. All information shown on this drawing is for the use on this project only and shall not be used otherwise without written permission from FRANCL Architecture. Contractors shall verify and be responsible for all dimensions prior to the commencement of any shop drawings, fabrication or work. Do not scale drawings.

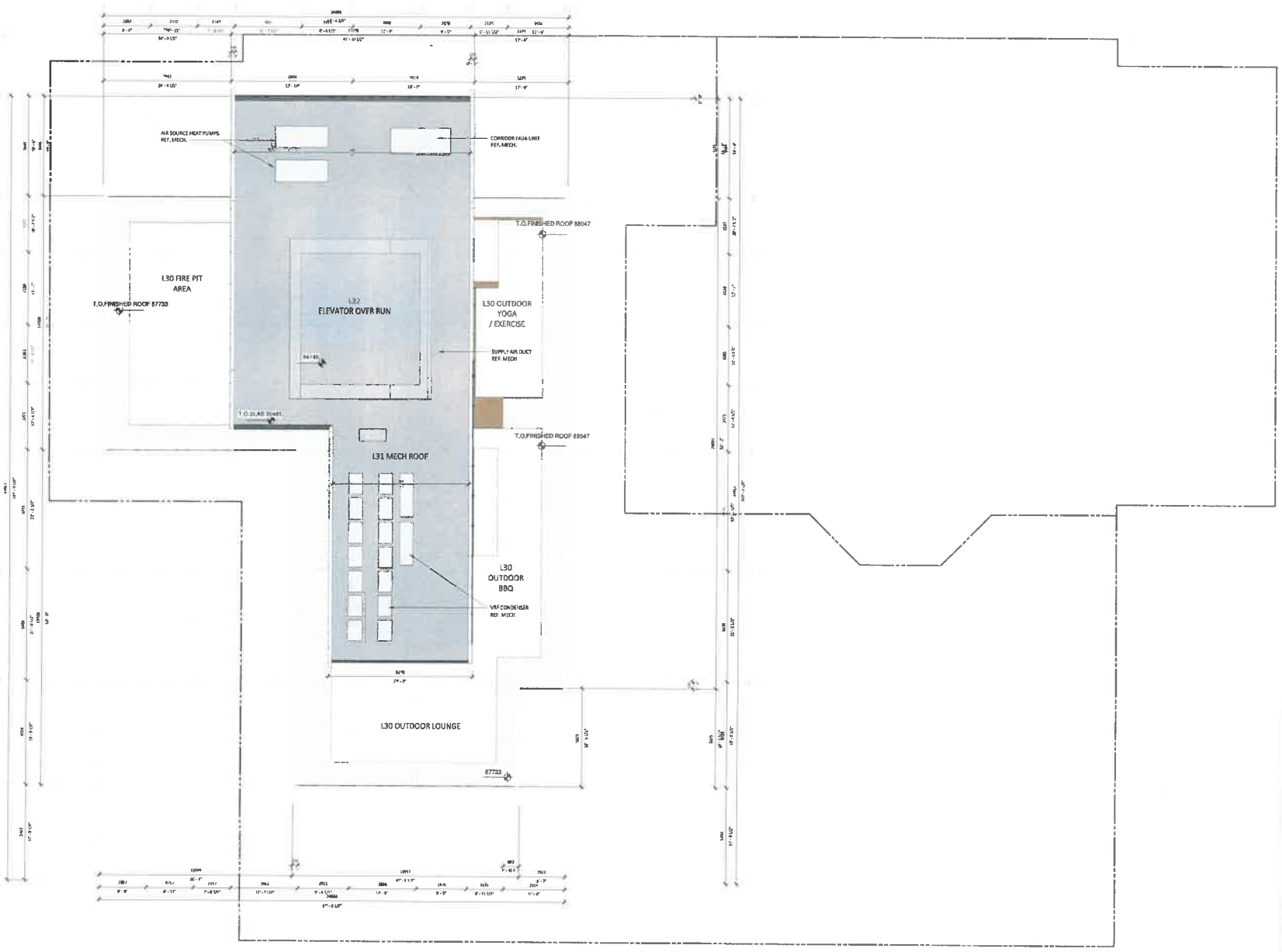
Draw by: CG
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 3:19:45 PM

Project North:

Graphic Scale:

Scale: 1 : 100
Project No.: 22102

Drawing No.: A 214



FRANCL ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3252
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
		HERITAGE REVITALIZATION AGREEMENT
		IFC MODIFICATION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Floor Plan- Roof

This drawing as an instrument of service is the property of Francl Architecture Inc. and cannot be reproduced without the firm's permission. All information shown on the drawing is for the use on this specific project only and shall not be used otherwise without written permission from this office. Contractors shall verify and be responsible for all dimensions on site prior to the office and be informed of any errors, omissions and conflicts shown on this drawing. Do not scale drawings.

Draw by: CG
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 3:09:09 PM

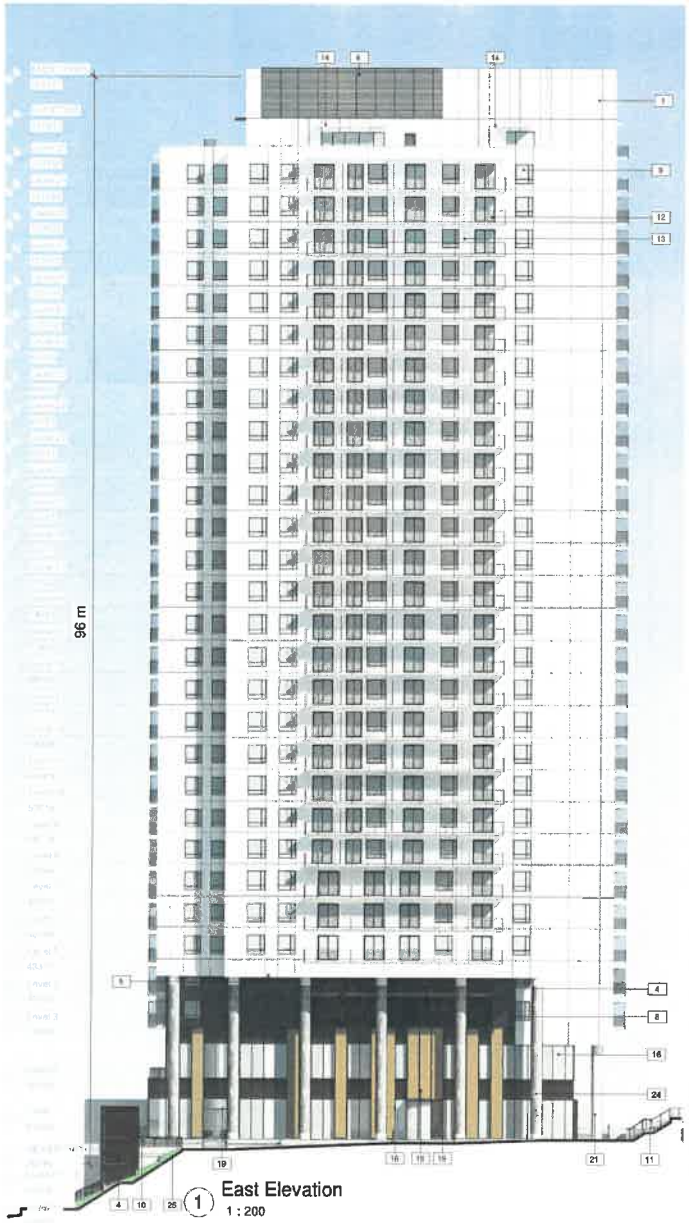
Project North:

Graphic Scale:

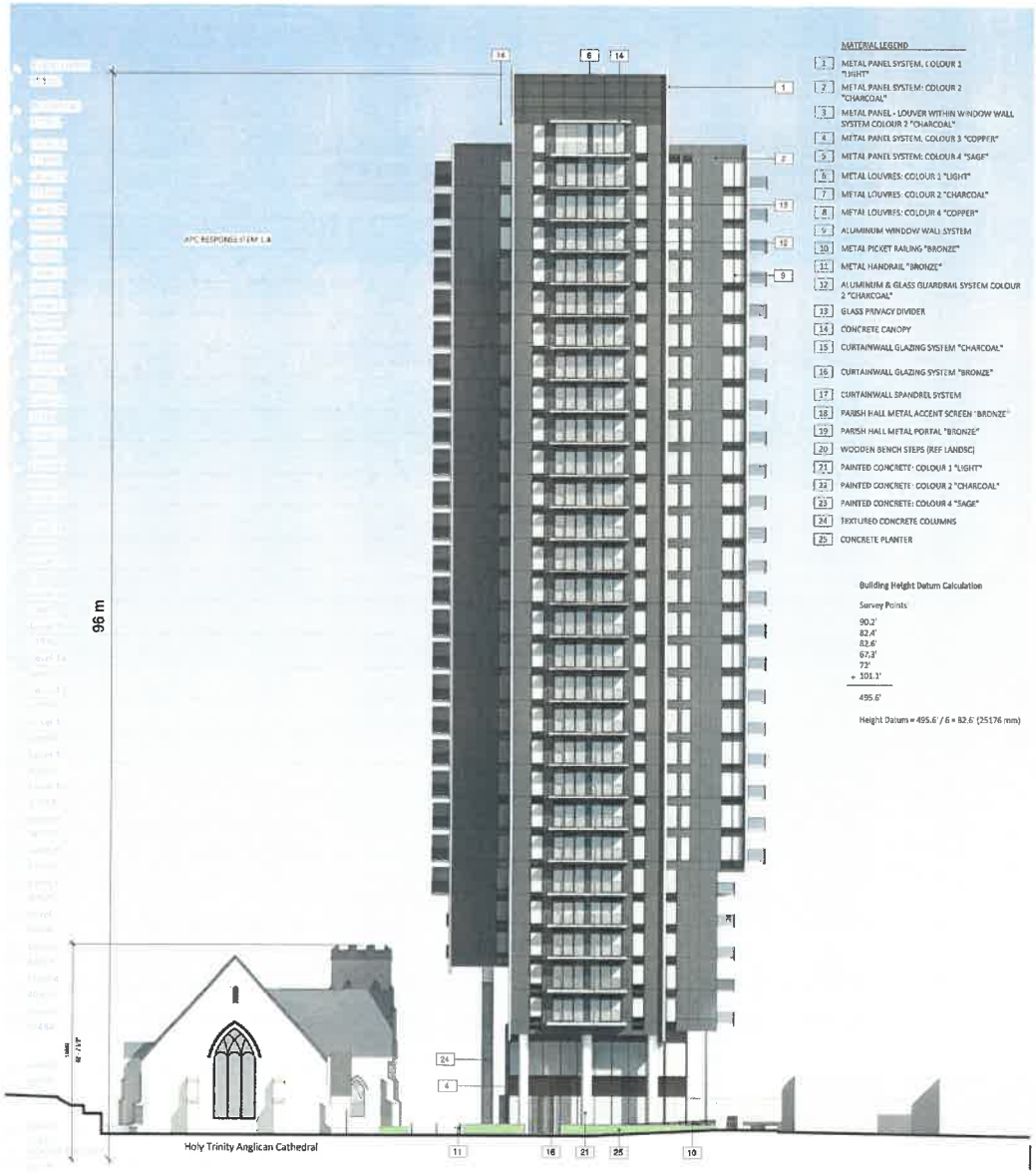
Scale: 1 : 100
Project No.: 22102

Drawing No.: A 215

NOTE: MATERIAL LEGEND HAS BEEN UPDATED FOR THIS SUBMISSION



1 East Elevation
1 : 200



2 North Elevation
1 : 200

MATERIAL LEGEND

1	METAL PANEL SYSTEM, COLOUR 1 "LIGHT"
2	METAL PANEL SYSTEM: COLOUR 2 "CHARCOAL"
3	METAL PANEL - LOUVER WITHIN WINDOW WALL SYSTEM COLOUR 2 "CHARCOAL"
4	METAL PANEL SYSTEM: COLOUR 3 "COPPER"
5	METAL PANEL SYSTEM: COLOUR 4 "SAGE"
6	METAL LOUVRES: COLOUR 1 "LIGHT"
7	METAL LOUVRES: COLOUR 2 "CHARCOAL"
8	METAL LOUVRES: COLOUR 4 "COPPER"
9	ALUMINUM WINDOW WALL SYSTEM
10	METAL PICKET RAILING "BRONZE"
11	METAL HANDRAIL "BRONZE"
12	ALUMINUM & GLASS GUARDRAIL SYSTEM COLOUR 2 "CHARCOAL"
13	GLASS PRIVACY DIVIDER
14	CONCRETE CANOPY
15	CURTAINWALL GLAZING SYSTEM "CHARCOAL"
16	CURTAINWALL GLAZING SYSTEM "BRONZE"
17	CURTAINWALL SPANDREL SYSTEM
18	PARISH HALL METAL ACCENT SCREEN "BRONZE"
19	PARISH HALL METAL PORTAL "BRONZE"
20	WOODEN BENCH STEPS (REF LANDSC)
21	PAINTED CONCRETE: COLOUR 1 "LIGHT"
22	PAINTED CONCRETE: COLOUR 2 "CHARCOAL"
23	PAINTED CONCRETE: COLOUR 4 "SAGE"
24	TEXTURED CONCRETE COLUMNS
25	CONCRETE PLANTER

Building Height Datum Calculation

Survey Points:

90.2'
82.4'
82.6'
67.3'
72'
+ 101.1'

495.6'

Height Datum = 495.6' / 6 = 82.6' (25176 mm)

FRANCL ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.9252
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
1	[illegible]	HERITAGE REVITALIZATION AGREEMENT
2	[illegible]	DPC SUBMISSION RESPONSE
3	[illegible]	DPC SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:
East and North Elevations

This drawing as an instrument of service is the property of Francl Architecture Inc. and must not be reproduced or used for firm's possession. All information shown on the drawing is for the use on this project only and shall not be used otherwise without written permission from the firm. Dimensions shall verify and be responsible for all dimensions on the job site. Do not scale drawings. Do not open drawings. Errors and omissions shall be reported immediately.

Draw by: CG
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 3:21:04 PM

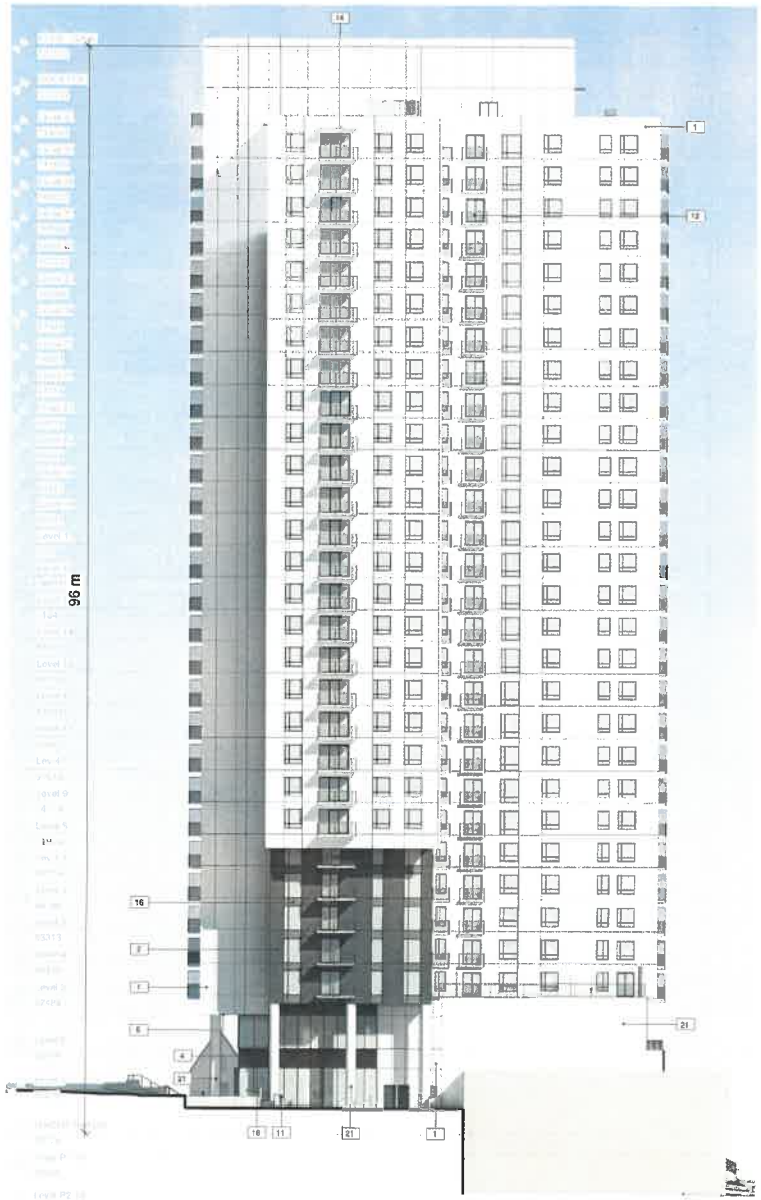
Project North:

Graphic Scale:

Scale: As indicated

Project No.: 22102

Drawing No.: A 300



1 West Elevation
1 : 200

2 South Elevation
1 : 200

NOTE: MATERIAL LEGEND HAS BEEN UPDATED FOR THIS SUBMISSION

MATERIAL LEGEND

1	METAL PANEL SYSTEM: COLOUR 1 "LIGHT"
2	METAL PANEL SYSTEM: COLOUR 2 "CHARCOAL"
3	METAL PANEL - LOUVER WITHIN WINDOW WALL SYSTEM COLOUR 2 "CHARCOAL"
4	METAL PANEL SYSTEM: COLOUR 3 "COPPER"
5	METAL PANEL SYSTEM: COLOUR 4 "SAGE"
6	METAL LOUVRES: COLOUR 1 "LIGHT"
7	METAL LOUVRES: COLOUR 2 "CHARCOAL"
8	METAL LOUVRES: COLOUR 4 "COPPER"
9	ALUMINUM WINDOW WALL SYSTEM
10	METAL PICKET RAILING "BRONZE"
11	METAL HANDRAIL "BRONZE"
12	ALUMINUM & GLASS GUARDRAIL SYSTEM COLOUR 2 "CHARCOAL"
13	GLASS PRIVACY DIVIDER
14	CONCRETE CANOPY
15	CURTAINWALL GLAZING SYSTEM "CHARCOAL"
16	CURTAINWALL GLAZING SYSTEM "BRONZE"
17	CURTAINWALL SPANDREL SYSTEM
18	PARISH HALL METAL ACCENT SCREEN "BRONZE"
19	PARISH HALL METAL PORTAL "BRONZE"
20	WOODEN BENCH STEPS (REF LANDSC)
21	PAINTED CONCRETE: COLOUR 1 "LIGHT"
22	PAINTED CONCRETE: COLOUR 2 "CHARCOAL"
23	PAINTED CONCRETE: COLOUR 4 "SAGE"
24	TEXTURED CONCRETE COLUMNS
25	CONCRETE PLANTER

Building Height Datum Calculation

Survey Points.

90.2'
82.4
82.6'
67.3'
72'
+ 101.1

495.6'

Height Datum = 495.6' / 5 = 82.6' (25176 mm)

FRANCL ARCHITECTURE
970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.3053
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
		TOWN HALL RENTAL/SUBTITLE AGREEMENT
		DPC SUBMISSION REVISED
		DPC SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

West and South Elevations

This drawing as an instrument of service is the property of Francl Architecture Inc. and shall not be reproduced without the Firm's permission. All information shown on the drawing is for the use in this area for project only and shall not be used otherwise without written permission from Francl Architecture Inc. Contractor shall verify and be responsible for all dimensions in the field and shall report any discrepancies and omissions before proceeding with the work. Do not scale drawings.

Draw by: CG
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-31 1:02:19 PM

Project North:

Graphic Scale:

Scale: As indicated
Project No.: 22102

Drawing No.: A 301

1 METAL PANEL SYSTEM: COLOUR 1 "LIGHT"

2 METAL PANEL SYSTEM: COLOUR 2 "CHARCOAL"

10 METAL PICKET RAILING "BRONZE"

11 METAL HANDRAIL "BRONZE"

18 PARISH HALL METAL ACCENT SCREEN "BRONZE"

19 PARISH HALL METAL PORTAL "BRONZE"

4 METAL PANEL SYSTEM: COLOUR 3 "COPPER"

8 METAL LOUVRES: COLOUR 3 "COPPER"

18 PARISH HALL METAL ACCENT SCREEN "BRONZE"

16 CURTAIN WALL GLAZING SYSTEM "BRONZE"

19 PARISH HALL METAL PORTAL "BRONZE"

22 PAINTED CONCRETE: COLOUR 2 "CHARCOAL" BENJAMIN MOORE 2132-30 BLACK HORIZON

21 PAINTED CONCRETE: COLOUR 1 "LIGHT" BENJAMIN MOORE 2122-60 PALEST PISTACHIO

24 FORMLINED TEXTURED CONCRETE COLUMNS

26 WOOD DOOR

FRANCL ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.5353
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

MATERIAL LEGEND

1	METAL PANEL SYSTEM: COLOUR 1 "LIGHT"
2	METAL PANEL SYSTEM: COLOUR 2 "CHARCOAL"
4	METAL PANEL SYSTEM: COLOUR 3 "COPPER"
8	METAL LOUVRES: COLOUR 4 "COPPER"
10	METAL PICKET RAILING "BRONZE"
11	METAL HANDRAIL "BRONZE"
16	CURTAINWALL GLAZING SYSTEM "BRONZE"
17	CURTAINWALL SPANDREL SYSTEM
18	PARISH HALL METAL ACCENT SCREEN "BRONZE"
19	PARISH HALL METAL PORTAL "BRONZE"
21	PAINTED CONCRETE: COLOUR 1 "LIGHT"
24	TEXTURED CONCRETE COLUMNS
26	WOOD DOOR

No.	Date	Description
3	2022-05-06	HERITAGE REVITALIZATION AGREEMENT
2	2022-03-11	RPC SUBMISSION RESPONSE

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:
Enlarged Plaza Elevation

This drawing as an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without the firm's permission. All information shown on the drawing is for the use in this project only and shall not be used at any other venue without permission from this firm. Prior Contractors shall verify and be responsible for all dimensions on site. If this office should be informed of any discrepancies and conditions shown on the drawing, be no longer governed.

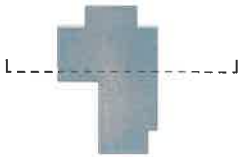
Draw by: Author
Reviewed by: Checker
Date: 03/17/22
Plot Date: 2022-05-31 3:02:22 PM

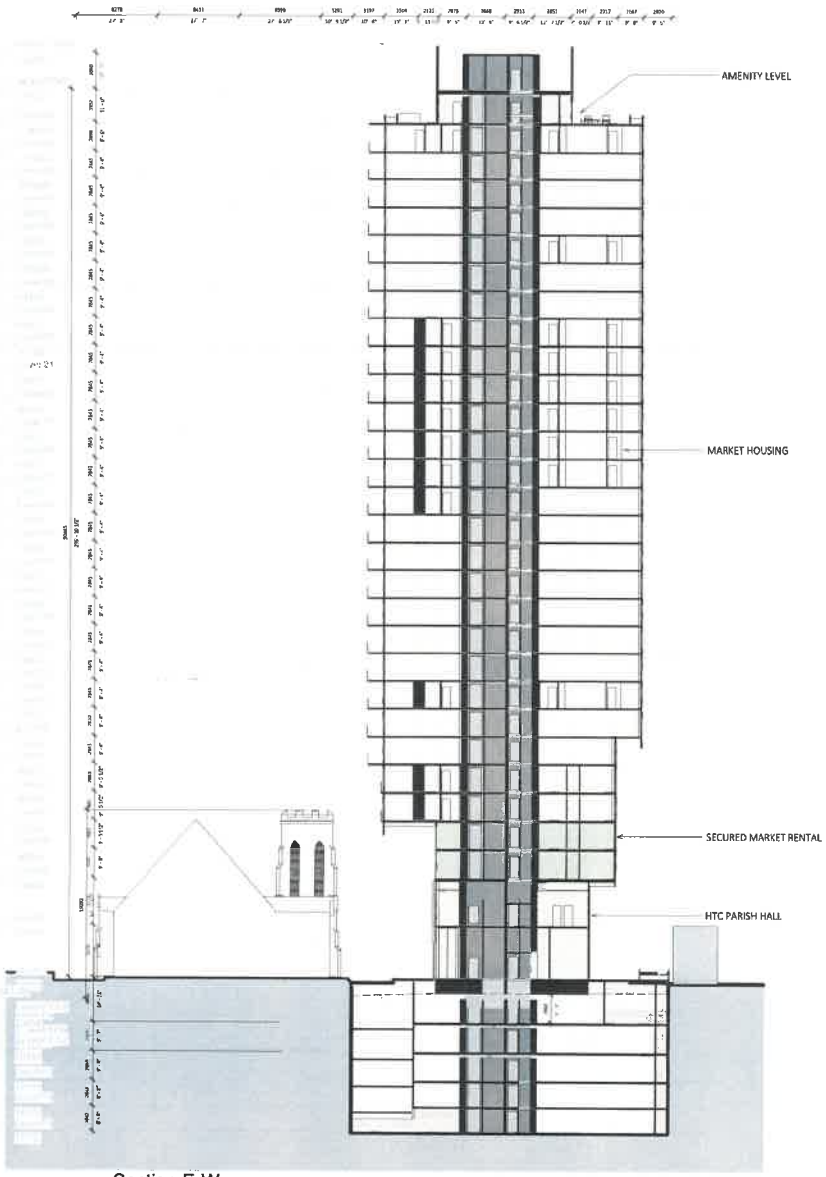
Project North:

Graphic Scale:

Scale: 1 : 1
Project No.: 22102

Drawing No.: A 302





1 Section E-W
1 : 230

FRANCL
ARCHITECTURE

970 Homer St
Vancouver BC V6B 2W7 CANADA
604.688.8353
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

No.	Date	Description
		HERITAGE REHABILITATION AGREEMENT
		HTC SUBMISSION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Sections

This drawing as an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without the Firm's permission. All items/dimensions on the drawing is for the use in this specific project only and shall not be used otherwise without written permission from the Firm. Contractors shall verify and be responsible for all dimensions on the job site prior to the commencement of any work/purchases and/or operations shown on this drawing. Do not scale drawing.

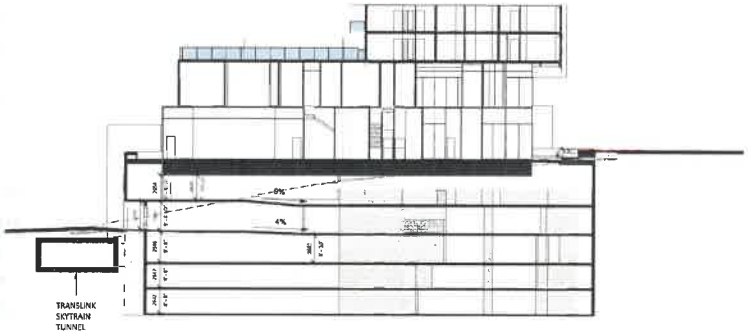
Draw by: CG
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-05-11 1:22:26 PM

Project North:

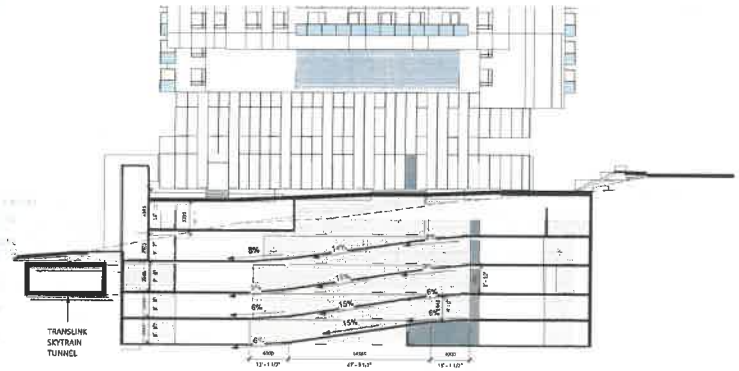
Graphic Scale:

Scale: As indicated
Project No.: 22102

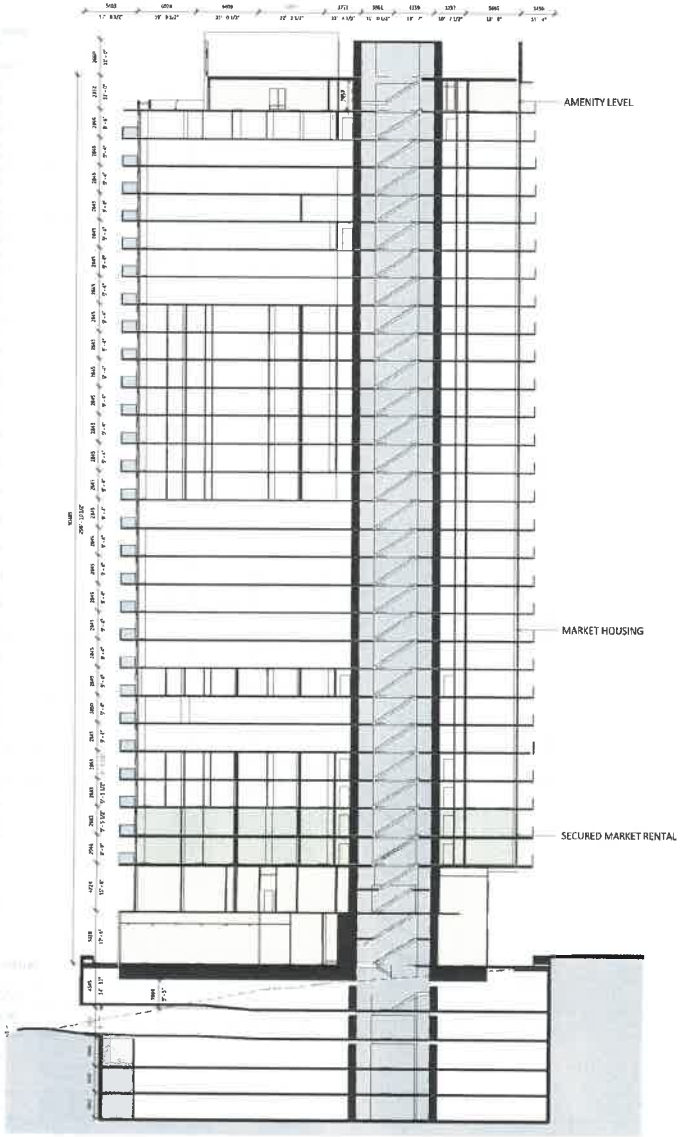
Drawing No.: A 400



3 Section Loading
1 : 230



2 Section Ramp
1 : 230



1 Section N-S
1 : 230

FRANCL
ARCHITECTURE

970 Hornby St
Vancouver BC V6B 1W7 CANADA
604.688.5353
www.franclarchitecture.com

CONWEST
Group of Companies

Notes

Rev	Date	Description
		HERITAGE REVITALIZATION AGREEMENT
		MPC TO DIVISION REVIEW
		MPC TO DIVISION

Project Title:

The Holy Trinity Anglican Cathedral Renewal

514 Carnarvon St

Client: Conwest

Sheet Title:

Sections

This drawing as an instrument of service is the property of Walter Francl Architecture Inc. and may not be reproduced without the firm's permission. All information shown on the drawing is for the use on this specific project only and shall not be used otherwise without our permission from the office. Contractors shall verify and be responsible for all dimensions on site prior to any other trades be informed of any discrepancies and variations shown on this drawing. Do not scale drawings.

Draw by: CG
Reviewed by: Checker
Date: 08/17/21
Plot Date: 2022-03-31 1:02:32 PM

Project North:

Graphic Scale:

Scale: As indicated
Project No.: 22102

Drawing No.: A 401

DRAWING LIST

L-1.1	Ground Level, Layout and Materials Plan	1/16"= 1' 0"	L-2.2	Landscape sections	1/4"=1' 0"
L-1.2	Ground Level, North, Grading and Drainage Plan	1/8"= 1' 0"	L-2.3	Landscape sections	1/4"=1' 0"
L-1.3	Ground Level, South, Grading and Drainage Plan	1/8"= 1' 0"	L-2.4	Landscape sections	1/4"=1' 0"
L-1.4	Ground Level, North, Planting Plan	1/8"= 1' 0"	L-3.1	Landscape details	As shown
L-1.5	Ground Level, South, Planting Plan	1/8"= 1' 0"	L-3.2	Landscape details	As shown
L-1.6	Rooftop Landscape Plan	1/8"= 1' 0"	L-3.3	Landscape details	As shown
L-2.1	Landscape sections	1/4"=1' 0"	L-3.4	Landscape details	As shown

NOTES

GENERAL NOTES

1. Refer to architectural drawings for all walk and stair layout and elevations, unless otherwise noted.
2. Refer to architectural and mechanical drawings for all drain locations and rim elevations

PLANTING NOTES

1. All plants / planting to be per BCNLA and BCSLA standards.
2. Plant selection subject to availability at the time of planting.
3. Contractor shall source specified plant material and only after area of search has been exhausted will substitutions be considered.
4. All trees to be staked in accordance with BCNLA Standards
5. All plants to be sourced from nurseries certified free of P. ramorum.
6. Plant sizes and related container classes are specified according to the B.C. Landscape Standard current edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the standard; for all other plants, both plant size and container rails shall be as shown in the plant list. Specifically, when the plant list calls for #5 class containers, these shall be as defined in the BCNLA (ANSI) Standard.
7. All trees to have minimum 10 cubic meters of growing medium unless otherwise specified.
8. Prior to install of planting the contractor is to submit a list of available perennials to the Landscape Architect for selection of temporary perennials in the garden beds & flower pots.

SOIL PREPARATION AND PLACEMENT NOTES

1. All growing medium placed on project to meet or exceed BCNLA and B.C Landscape Standards latest edition.
2. Submit sieve analysis by an approved independent soil testing laboratory for each type of growing medium being used on the project PRIOR to placement for review and approval. Clearly identify source and type for each. Resubmit as required until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project. - minimum 1 litre physical sample.
3. Submittals shall be made at least seven (7) days prior placement.
4. Contractor shall not move or work growing medium or additives when they are excessively wet, extremely dry, or frozen or in any manner which will adversely affect growing medium structure. Growing medium whose structure has been destroyed by handling under these conditions will be rejected. Growing medium shall not be handled in wet or frozen conditions.
5. Sub drainage shall be 19mm (3/4") diameter drain gravel free from any silt and clay.
6. Place growing medium, except structural to required finish grades and minimum depths.

IRRIGATION NOTES

1. All Soft Landscape Areas are to be irrigated with a high efficiency irrigation system. A high efficiency irrigation system specified in all common areas, including townhouse front yards, tree planting and upper terrace areas.
2. The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines.

PLANT LIST

TREES

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENTS
	12	Acer Ginnalum	vine maple	4cm cal, Multi-stem
	3	Fraxinus Americana	American ash	7cm cal, B&B
	18	Magnolia Galaxy	magnolia galaxy	5cm cal, Multi-stem
	6	Magnolia kobus	magnolia kobus	5cm cal
	1	Picea omorika	Serbian spruce	3m ht, B&B
	15	Sorbus aria 'Lutescens'	whitebeam	5cm cal
	4	Street Trees, (species to be coordinated w/ City of New Westminster) , to avoid conflicts with and utilize servicing building (6.75m o.c. typ.)		7cm cal, B&B

SHRUBS, FERNS, PERENNIALS, GROUND COVERS & GRASSES

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENTS
A1	448	Azalea 'Gumpo White'	Gumpo White azalea	#2 Pot, 24" o.c.
A2	112	Azalea 'Fujian Pink'	Fujian Pink azalea	#2 Pot, 24" o.c.
C	184	Carrithrotis shallon	Salal	#1 pot, 12" o.c.
Hs	61	Hydrangea aspelifolia 'Gatsby Star'	Gatsby Star Oakleaf Hydrangea	#3 pot, 36" o.c.
R1	102	Rhododendron 'Blue Diamond'	Blue Diamond rhododendron	#2 Pot, 24" o.c.
Rh	163	Rhododendron 'Alexa'	Alexa Rhododendron	#3 pot, 36" o.c.
Rc	65	Rosa 'Flower Carpet White	Flower Carpet White Rose	#3 pot, 36" o.c.
ca	114	Achlys arnatta White	Achlys	#1 pot, 24" o.c.
cf	33	Dicentra formosa	Pacific bleeding heart	#1 pot, 12" o.c.
s	10	Brica cerneo	Springwood White Winter	#1 pot, 12" o.c.
La	173	Lavandulae angustifolia	English Lavender	#1 pot, 14" o.c.
Li	143	Liriope muscari	Lily Turf	#1 pot, 12" o.c.
p	65	Polystichum munitum	Japanese sponge	#1 pot, 12" o.c.
Pm	276	Polystichum munitum	Sword Fern	#1 pot, 24" o.c.

REMOVED AND REPLACEMENT TREES

Number of trees removed on site:	10
Number of trees removed off site:	2
Number of replacement trees recommended on site by consulting Arborist (Arborist): (1:2 ratio)	20
Number of replacement trees recommended off site by consulting Arborist (Arborist): (1:2 ratio)	4
Number of trees provided onsite:	55
Number of trees provided off-site:	4

DRAWING KEY

P1	Broadway Pavers, Colour: Natural Size: 23.62" x 11.81" x 2.36"	N	Sod Lawn
P2	Broadway Pavers, Colour: Charcoal Size: 23.62" x 11.81" x 2.36"		Shrub Planting
P3	CIP Concrete (white). Refer to Civil. Saw cut as per plan.		Landscape Fence and Guardrail
P4	Wood decking		Property Line
P5	Poured in Place Rubber. Safety Surface.		Existing Subway Line Below Surface
P6	Rubber tiles. Safety Surface.		Survey and Existing Grades
P7	Gravel		Survey and Existing Grades

FURNITURE KEY

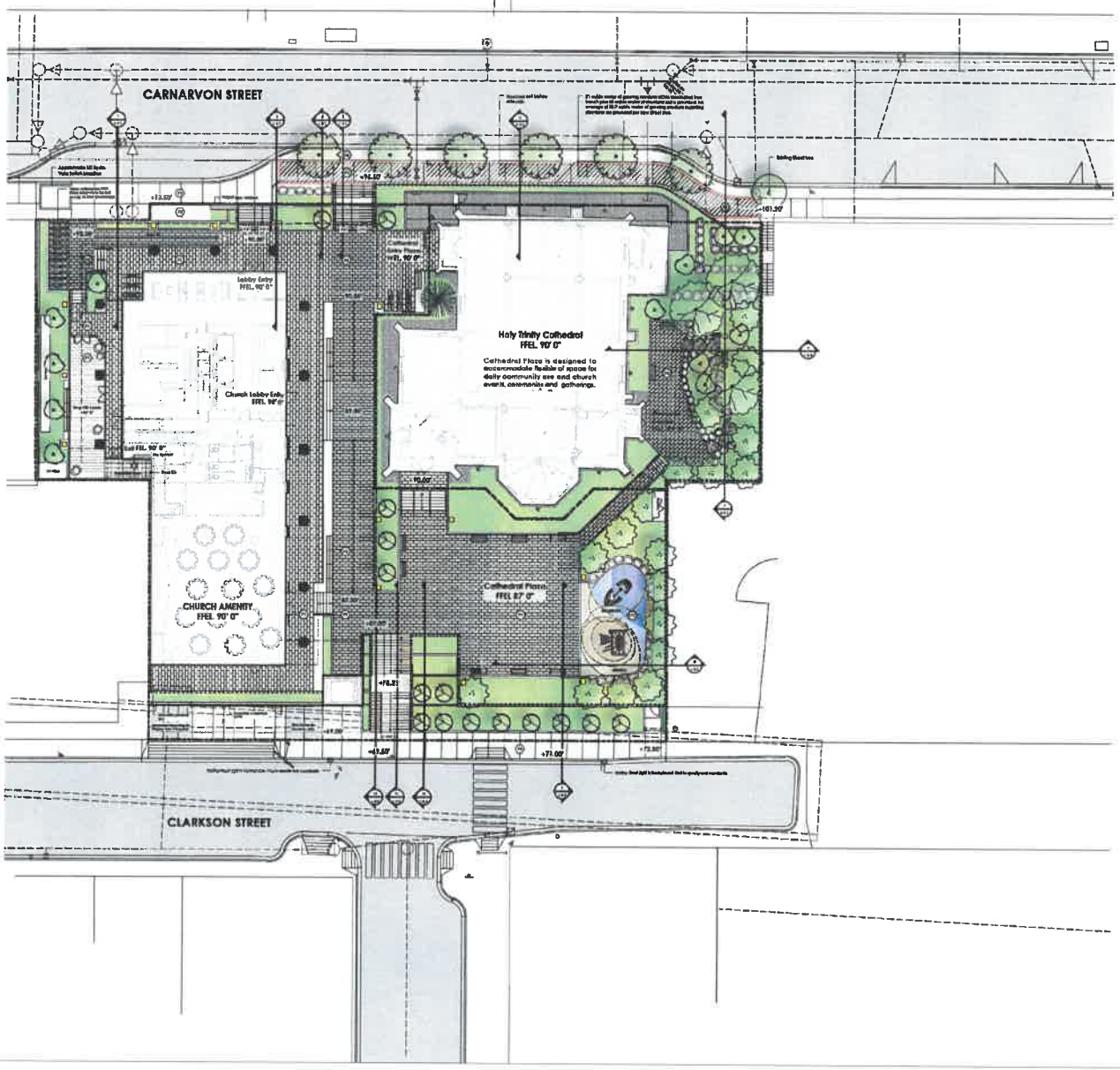
	Wood bench
	Outdoor lounge furniture
	Play Logs
	Bike Stalls Advantage Hi-Lo

LIGHTING LEGEND

	Edge-lit pole-top luminaire with base by Sega Lighting. Finish: Anodized Bronze. Refer to L3.3.
	Wall luminaire. Narrow beam downward by Sega Lighting. Finish: Anodized Bronze. Refer to L3.3
	Inground floodlight. Façade washer by Sega Lighting. Finish: Anodized Bronze. Refer to L3.3.
	Recessed wall luminaire by Sega Lighting. Finish: Bronze. Refer to L3.1.
	LED Lighting
	Existing Street Light to be replaced. Civil to specify and coordinate.
	Existing Street Light.

STAIRCASE TYPE

Type A	R @ 6"	T @ 13"
Type B	R @ 7"	T @ 11"



FRANCL ARCHITECTURE

Consultants:

Dynamic Karate Ltd
102 - 1037 West 8th Avenue
Vancouver BC V6J 1K5
t. 604 684 4611
f. 604 684 8577
www.dkl.bc.ca

No.	Date	Description
10	21.06.2022	[illegible]
9	17.02.2021	[illegible]
7	[illegible]	[illegible]
6	[illegible]	[illegible]
5	11.02.2020	[illegible]
4	07.08.2019	[illegible]
3	11.05.2018	[illegible]
2	[illegible]	[illegible]
1	19.09.2017	[illegible]

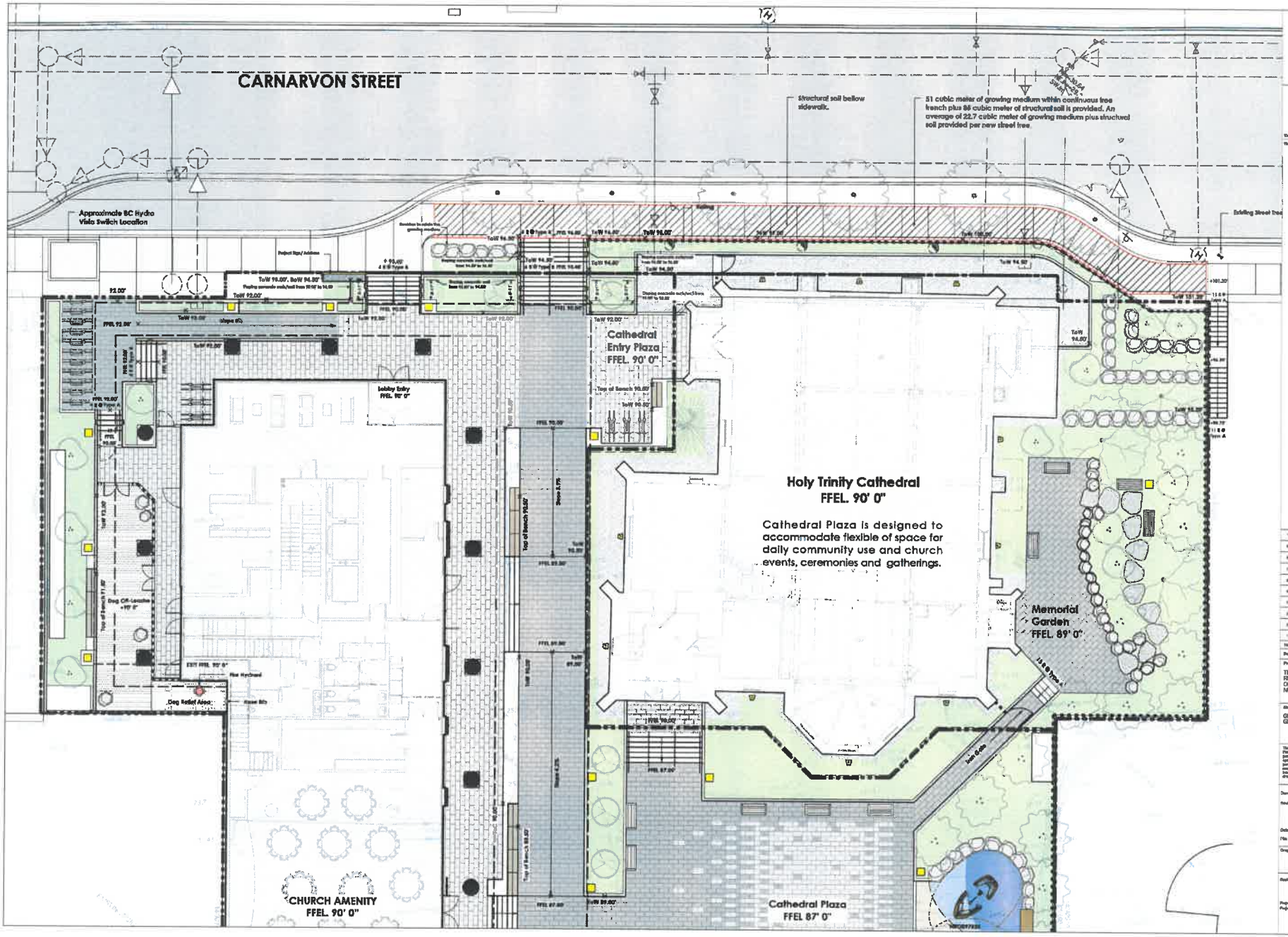
Revisions / Issues:

Project Title:
THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 514 CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 74708
NEW WESTMINSTER

Sheet Title:
GROUND LEVEL
LAYOUT AND MATERIALS PLAN

This drawing is an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without the firm's permission. All information shown on this drawing is for the use in this specific project only and shall not be used otherwise without written consent of Francl Architecture Inc. Do not scale drawings. The contractor is responsible for all dimensions on the job and shall report any deficiencies or any discrepancies and omissions found on the drawing to the architect immediately.

Drawn By: [illegible]
Reviewed By: [illegible]
Date: [illegible]
Plot Date: [illegible]
Project North
Graphic Scale
Scale: [illegible]
Drawing No. L - 1.1
Project No.:
Project File No.: [illegible]



FRANCL ARCHITECTURE

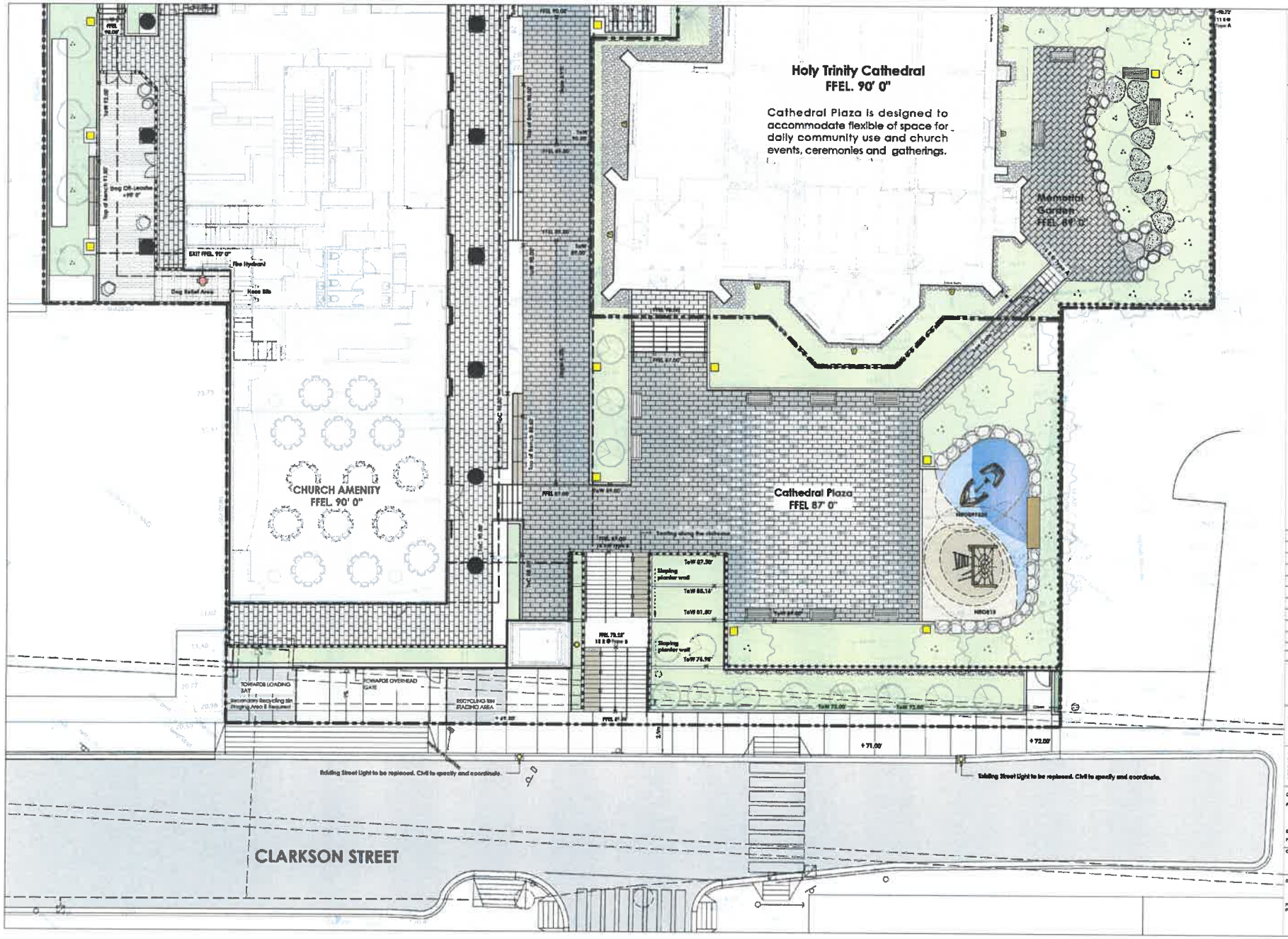
Durante Kreck Ltd.
102 - 1187 West 6th Avenue
Vancouver BC V6J 1H5
T: 604 684 4611
F: 604 684 0577
www.dkl.bc.ca

No	Date	Description

Project Title
THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 6M CARNARVON STREET LDT
ONE OF VICTORIA GARDENS 74/26
NEW WESTMINSTER

Sheet Title:
GROUND LEVEL, NORTH, GRADING AND DRAINAGE

Drawn By: RJSL
Reviewed by: RM
Date: 06/06/17
File Date: 06/06/17
Graphic Scale
Scale: 1/8"=1'-0"
Project North
Drawing No: L-1.2
Project No.:
Project No. alt:



FRANCL ARCHITECTURE

Owner/Client

Dialogue Design Ltd.
102 - 1607 West 5th Avenue
Vancouver BC V6J 1N5
T 604 894-9011
F 604 894-0577
www.dld.bc.ca

No	Date	Description
10	24.09.2022	ISSUED FOR CITY COUNCIL REVIEW/ISSUE
9	06.06.2022	ISSUED FOR DEVELOPMENT PERMIT
8	17.05.2022	ISSUED FOR DP REVISIONS
7	12.11.2021	ISSUED FOR REVIEW & COORDINATION
6	15.10.2021	ISSUED FOR REVIEW & COORDINATION
5	11.03.2019	ISSUED FOR REVIEW & COORDINATION
4	01.02.2019	ISSUED FOR REVIEW
3	14.04.2018	ISSUED FOR REVIEW
2	03.04.2018	ISSUED FOR REVIEW
1	19.02.2018	ISSUED FOR REVIEW & COORDINATION

Project Title

THE HOLY TRINITY ANGLICAN CATHEDRAL RENEWAL 514 CLARKSON STREET LOT ONE OF VICTORIA GARDENS 74706 NEW WESTMINSTER

Sheet Title

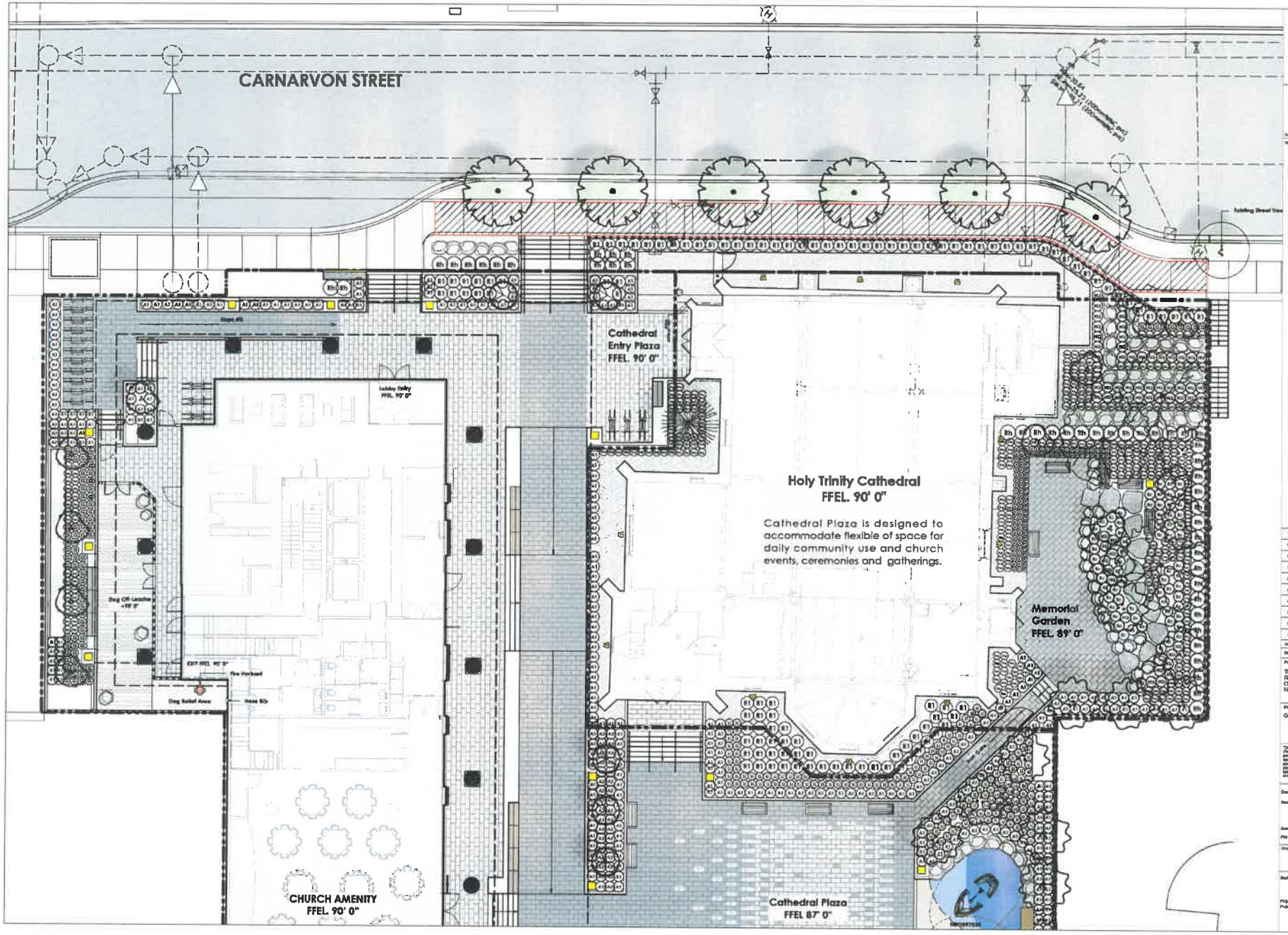
GROUND LEVEL - SOUTH
GRADING AND DRAINAGE PLAN

Drawn By: RSB
Reviewed by: DK
Date: MAR/19
Plot Date: MAR/19

Project North

Drawing No.

L - 1.3



FRANCL ARCHITECTURE

Dialogue Design Ltd.
102 - 1657 West 5th Avenue
Vancouver BC V6J 1N5
T 604 684 4511
F 604 684 0377
www.dldc.ca

No.	Date	Description

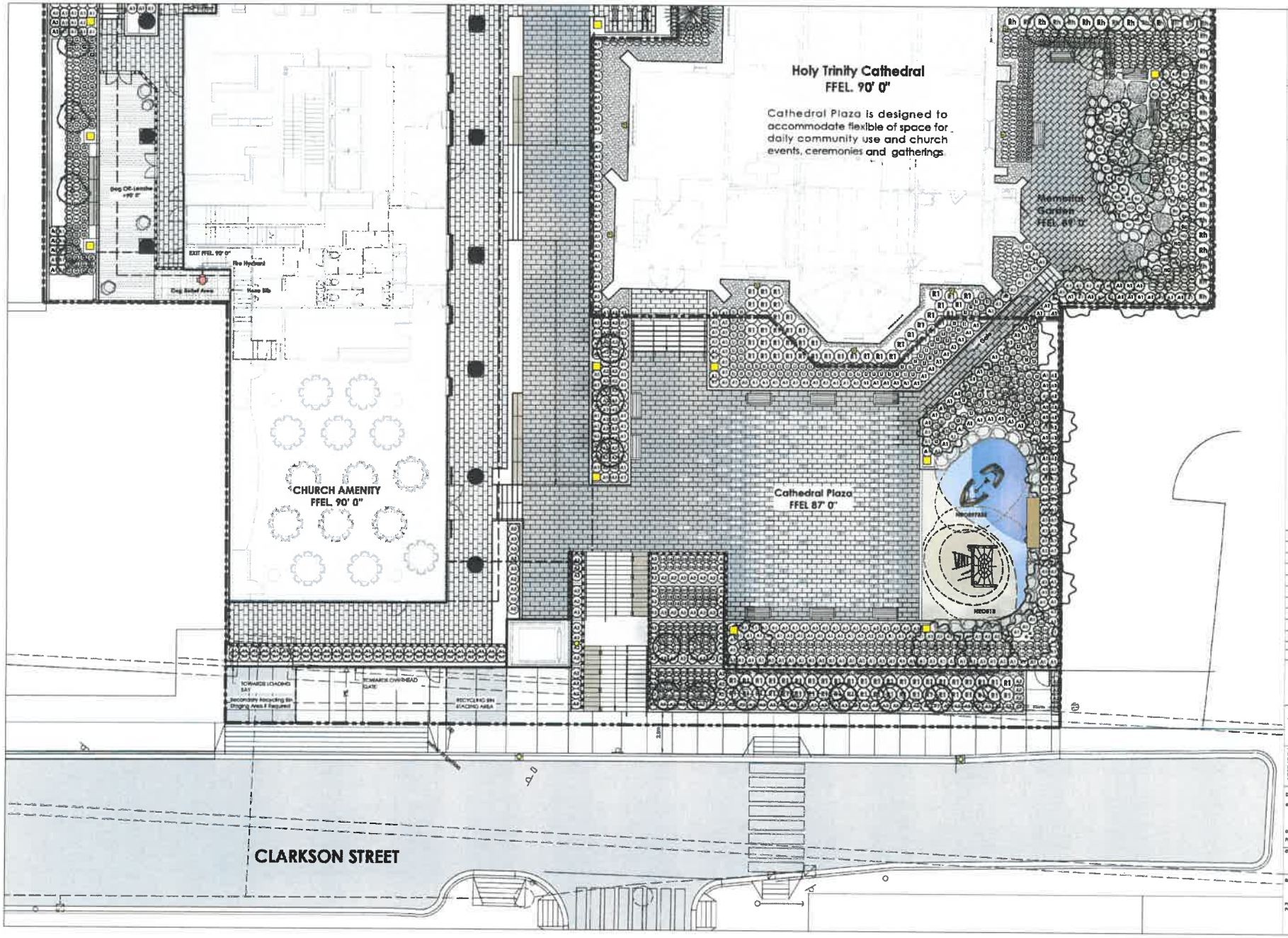
Project Title
THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 614 CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 74708
NEW WESTMINSTER

Sheet Title
GROUND LEVEL, NORTH, PLANTING PLAN

Drawn By:
Reviewed by:
Date:
File Date:

Project North

Scale:
Drawing No.
L - 1.4
Project No.:
Project file: dlc



FRANCL ARCHITECTURE

Consultants
Author

Durante Kreuk Ltd.
102 - 1637 West 5th Avenue
Vancouver BC V6J 1N5
T: 604 684 4811
F: 604 684 0577
www.dkl.bc.ca

No	Date	Description
10	21.06.2017	ISSUED FOR DEVELOPMENT PERMIT
9	05.05.2017	ISSUED FOR DEVELOPMENT PERMIT
8	17.04.2017	ISSUED FOR REVIEW
7	13.11.2017	ISSUED FOR CLARKSON PLANNING COMMENTS
6	10.10.2017	ISSUED FOR CLARKSON PLANNING COMMENTS
5	11.03.2016	ISSUED FOR DEVELOPMENT PERMIT REVISIONS
4	01.06.2016	ISSUED FOR DEVELOPMENT PERMIT
3	11.05.2016	ISSUED FOR REVIEW
2	02.04.2016	ISSUED FOR DP
1	11.06.2015	ISSUED FOR REVIEW WITH CITY OF NEW WESTMINSTER LAND USE PLANNING PLANNERS

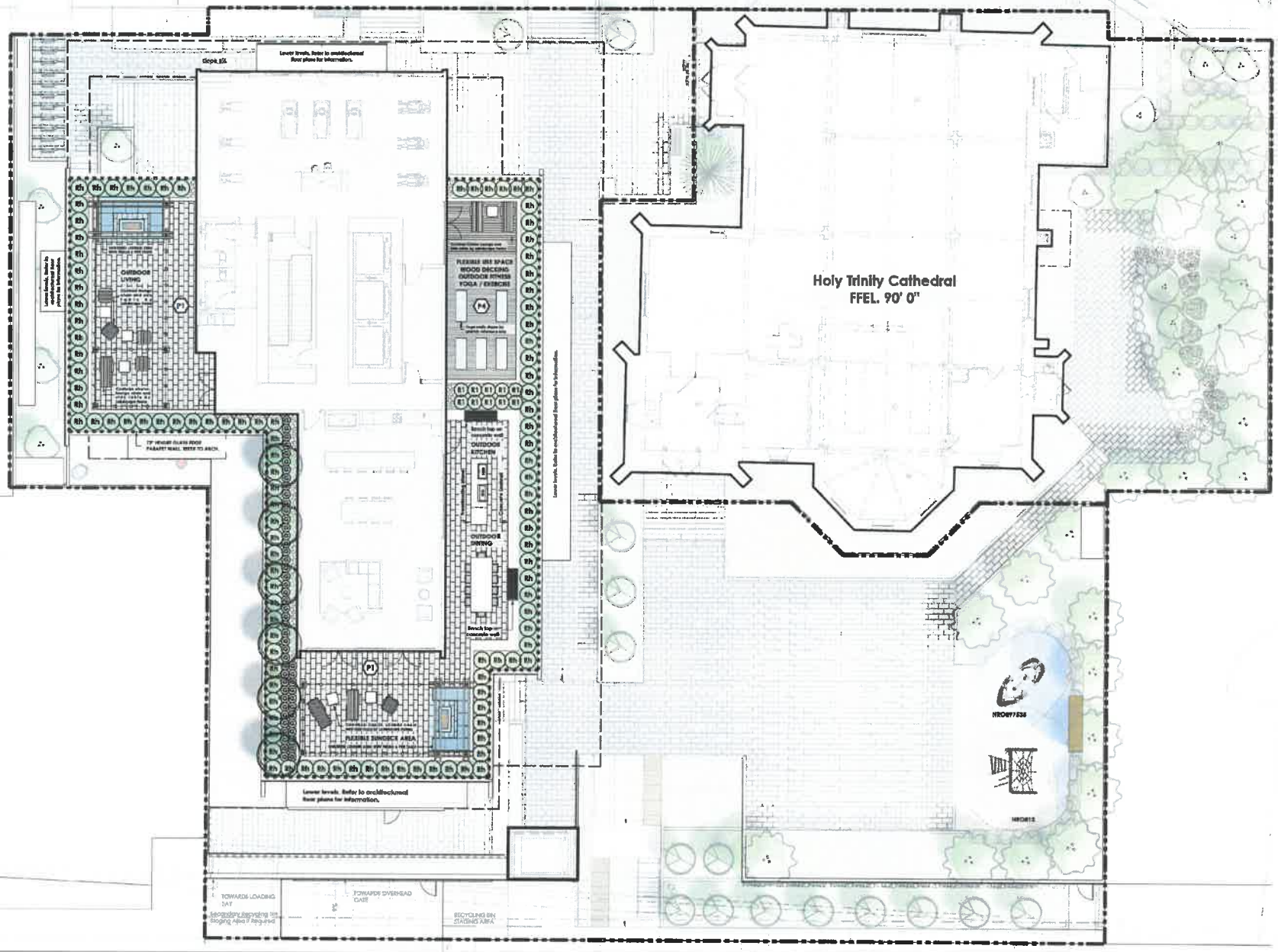
Revisions / Issues

Project Title
THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 514 CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 24708
NEW WESTMINSTER

Sheet Title
GROUND LEVEL - SOUTH PLANTING PLAN

This drawing as an instrument of service is the property of Francl Architecture and may not be reproduced without written permission. All information shown on this drawing is for this one building project only and shall not be used otherwise without written permission from this office. Contractor shall verify and be responsible for all dimensions on the job and the office shall be informed of any discrepancies and omissions shown on this drawing. Do not scale drawings.

Drawn By: RGB
Reviewed by: PC
Date: 10/06/2017
Plot Date: 10/06/2017
Project North
Engineer Seals
Scale: 1:50 / 1:100
Drawing No.: L - 1.5
Project No.: 20705
Project No. alt: 2705



FRANCL ARCHITECTURE

Consultants

Dreamscape Rentals Ltd
103 - 1637 West 5th Avenue
Vancouver BC V6J 1N5
T: 604 684 4911
F: 604 684 0527
www.dk52.ca

No	Date	Description
10	[illegible]	[illegible]
9	[illegible]	[illegible]
8	[illegible]	[illegible]
7	[illegible]	[illegible]
6	[illegible]	[illegible]
5	[illegible]	[illegible]
4	[illegible]	[illegible]
3	11.05.2018	ISSUED FOR DP
2	[illegible]	ISSUED FOR DP
1	11.30.2017	[illegible]

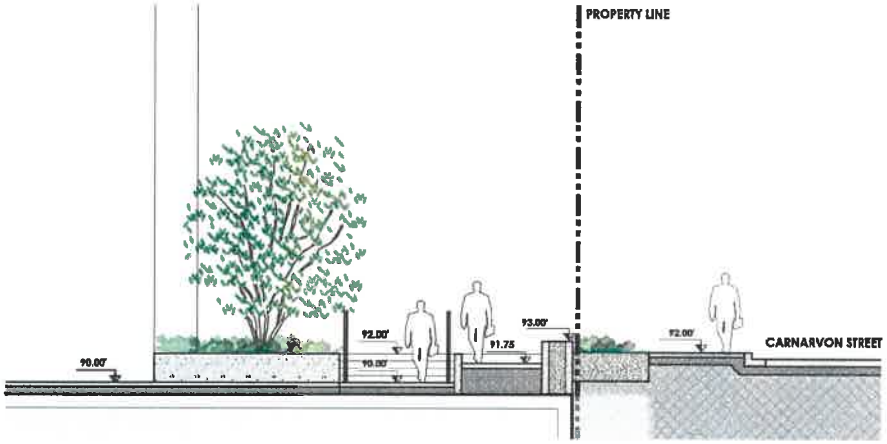
Revisions / Issues

Project Title
THE HOLY TRINITY ANGLICAN CATHEDRAL
REMEDIAL S.M CARNARVON STREET LOT
ONE OF VICTORIA GARDENS 74738
NEW WESTMINSTER

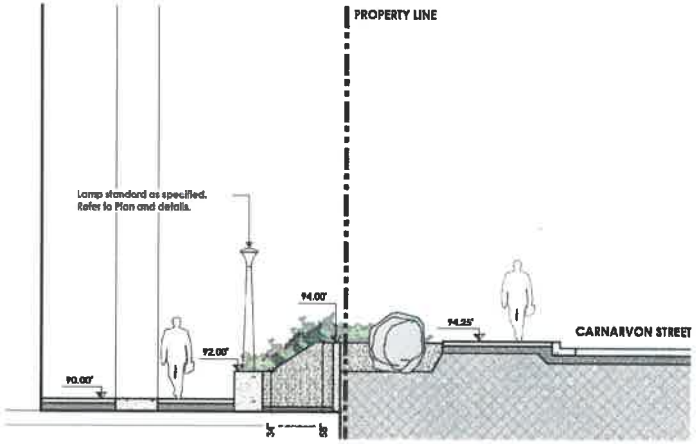
Sheet Title
ROOFTOP LANDSCAPE PLAN

This drawing as an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without the written permission. All information shown on this drawing is for the use in this specific project only and shall not be used otherwise without written permission from the office. Contractors shall verify and be responsible for all dimensions on the job and the office shall be informed of any discrepancies and omissions shown on this drawing. Do not scale drawings.

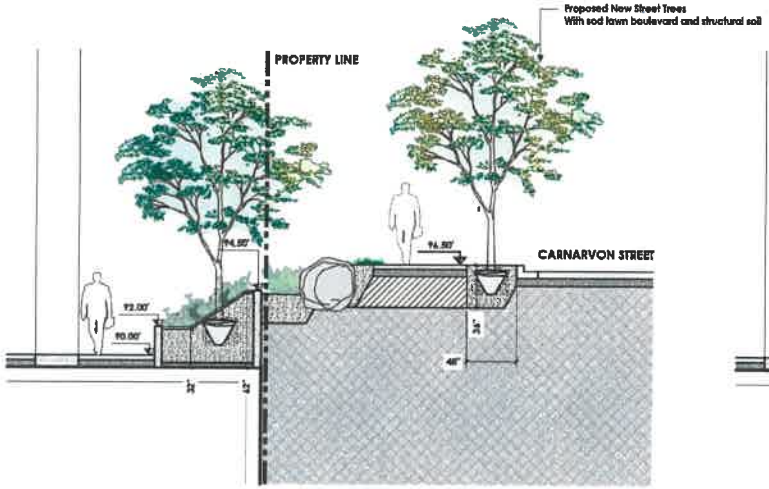
Drawn By: [illegible]
Reviewed by: [illegible]
Date: [illegible]
Plot Date: [illegible]
Graphic Scale
Project North
Scale: [illegible]
Drawing No. L - 1.6
Project No.: [illegible]
Project No. old: [illegible]



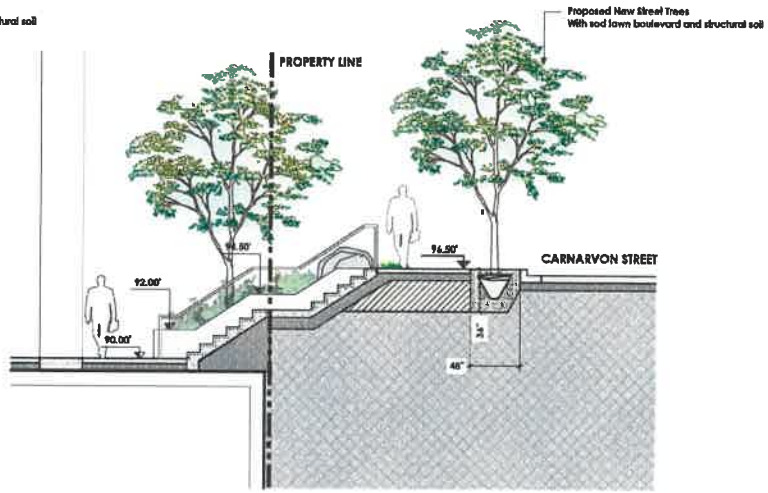
1 L1.1 SECTION THROUGH LANDSCAPE AT RESIDENTIAL TOWER ENTRY AND CARNARVON STREET
SCALE 1/4"=1'0"



2 L1.1 SECTION THROUGH LANDSCAPE AT RESIDENTIAL TOWER ENTRY AND CARNARVON STREET
SCALE 1/4"=1'0"



3 L1.1 SECTION THROUGH LANDSCAPE AT RESIDENTIAL TOWER ENTRY AND CARNARVON STREET
SCALE 1/4"=1'0"



4 L1.1 SECTION THROUGH LANDSCAPE AT RESIDENTIAL TOWER ENTRY AND CARNARVON STREET
SCALE 1/4"=1'0"

FRANCL
ARCHITECTURE

Consultants

Dreamers Kitsch Ltd.
102 - 1637 West 5th Avenue
Vancouver BC V6J 1N5
T: 604 684 4891
F: 604 684 0577
www.dk.bc.ca

No.	Date	Description
1	08.05.2022	ISSUED FOR DEVELOPMENT PERMIT
2	07.06.2022	ISSUED FOR CITY REVIEWS
3	19.12.2021	ISSUED FOR COUNCIL PLANNING REVIEW
4	11.06.2018	ISSUED FOR DEVELOPMENT PLANNING REVIEW
5	11.06.2018	ISSUED FOR DP
6	05.04.2018	ISSUED FOR DP
7	11.09.2017	REVISED TO FULFILL DP REQUIREMENTS AND REVISED FOR PLANNING REVIEW

Stakeholders / Issues

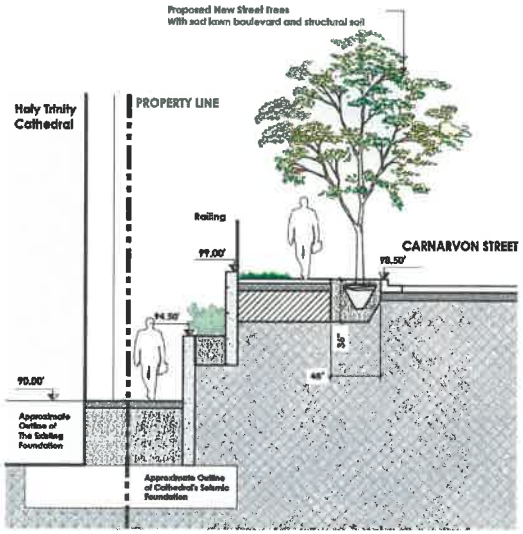
Project Title
THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 614 CARNARVON STREET LOT ONE
OF VICTORIA GARDENS 74708
NEW WESTMINSTER

Sheet Title
LANDSCAPE SECTIONS

Title drawing as an instrument of service is the property of Francl Architect Inc. and may not be reproduced without the form permission. All information shown on the drawing is for the use in this specific project for which it is intended. Do not scale the drawing. Verify all dimensions prior to construction. Immediate report of any errors or omissions should be made to the architect. Job office is responsible for all dimensions on the job and the office must be informed of any discrepancies and variations shown on the drawing. Do not scale drawings.

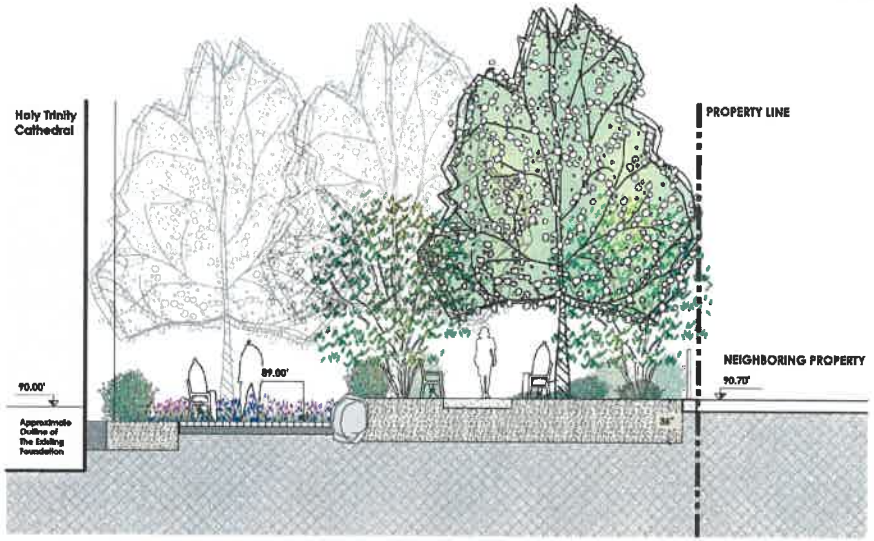
Drawn By: PS/S
Reviewed by: PK
Date: [illegible]
Plot Date: [illegible]
Project North
Graphic Scale

Scale: [illegible]
Drawing No. L - 2.1
Project No: [illegible]
Project No. old: [illegible]



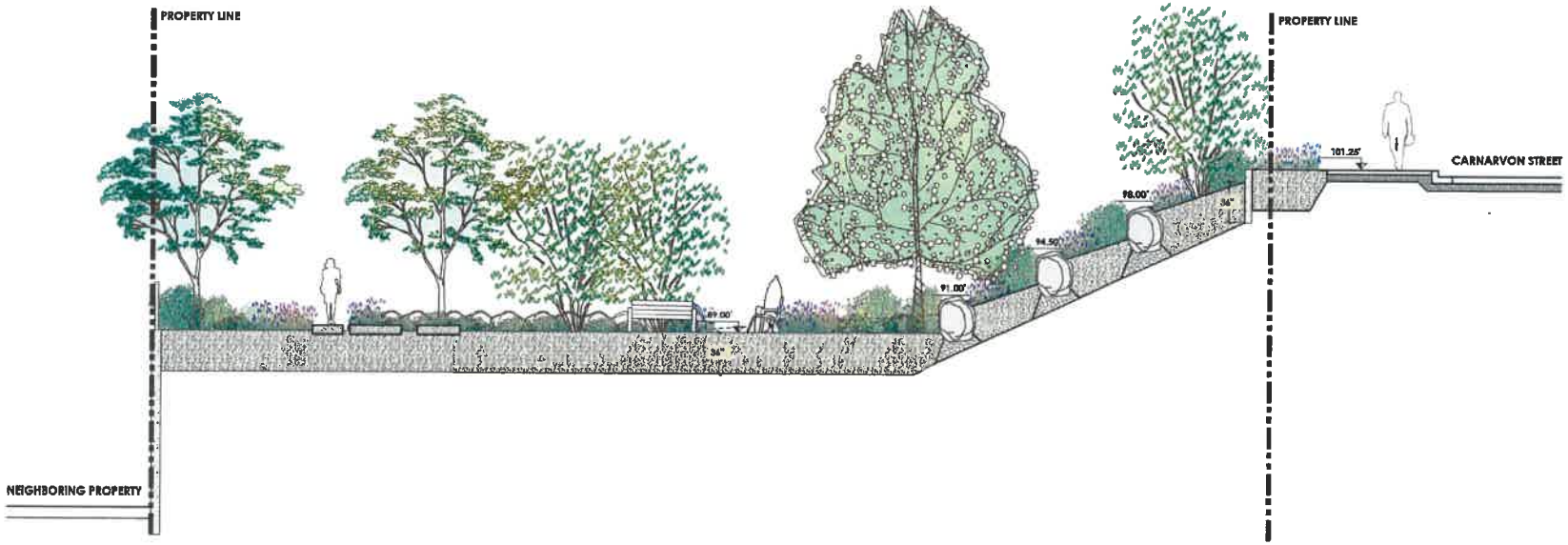
5 L.1.1 SECTION THROUGH LANDSCAPE AT HOLY TRINITY CATHEDRAL AND CARNARVON STREET

SCALE 1/4"=1'0"



6 L.1.1 SECTION THROUGH MEMORIAL GARDEN

SCALE 1/4"=1'0"



7 L.1.1 SECTION THROUGH MEMORIAL GARDEN

SCALE 1/4"=1'0"

FRANCL ARCHITECTURE

Consultants

Notes

Dansala Kwok Ltd.
102 – 1537 West 5th Avenue
Vancouver BC V6J 1N5
t: 604 684 4511
f: 604 684 0577
www.dkl.bc.ca

No.	Date	Description
7	05.05.2022	[illegible]
6	17.06.2021	[illegible]
5	16.10.2020	[illegible]
4	11.05.2018	[illegible]
3	11.05.2018	[illegible]
2	05.04.2018	[illegible]
1	11.05.2017	[illegible]

Architect / Director

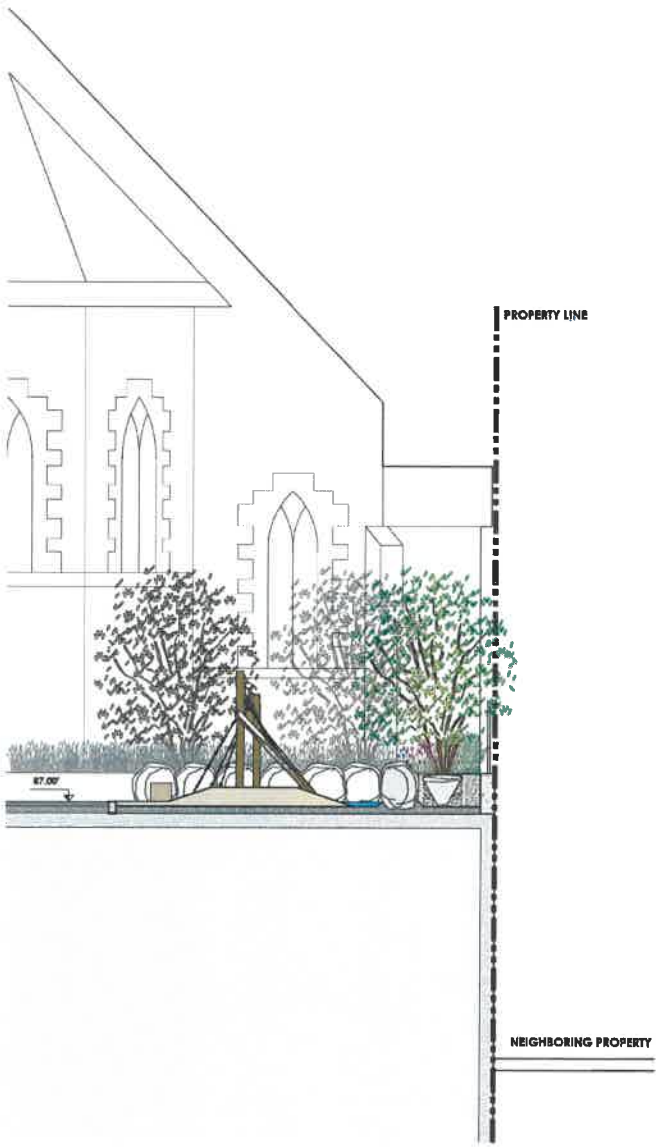
Project Title
THE HOLY TRINITY ANGLICAN CATHEDRAL RENEWAL 514 CARNARVON STREET LOT ONE OF VICTORIA GARDENS 74708 NEW WESTMINSTER

Sheet Title:
LANDSCAPE SECTIONS

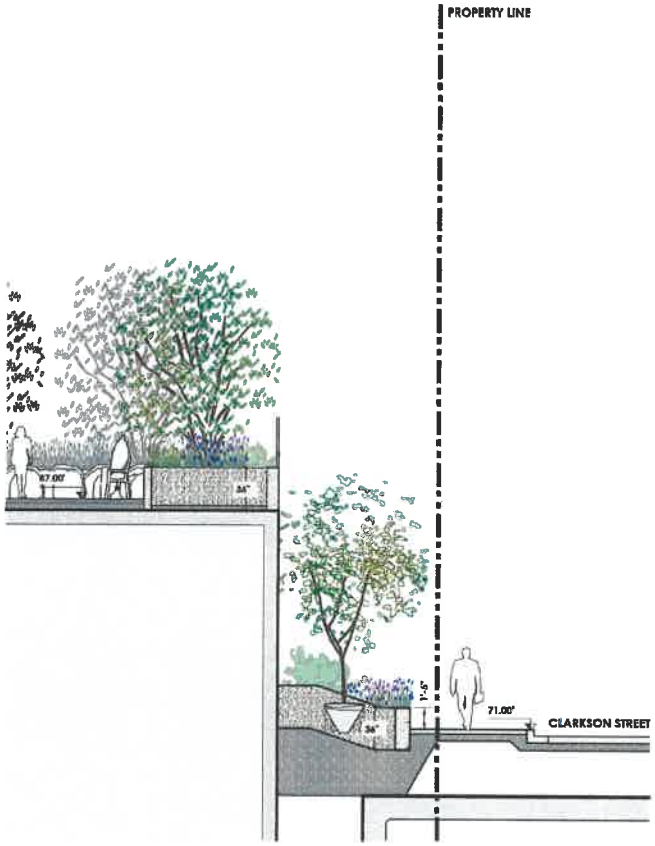
This drawing as an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without the firm's consent. All dimensions shown on this drawing at the time as-built conditions are known. Any discrepancies between drawings and contract documents must be reported to the architect. Contractor shall verify and be responsible for all dimensions on the job site. Any errors shall be reported of any discrepancies and conditions shown on this drawing. Do not scale drawings.

Drawn By: [illegible]
Reviewed by: [illegible]
Date: [illegible]
Plot Date: [illegible]
Project Manager
Graphic Scale

Scale: [illegible]
Drawing No.: L - 2.2
Project No.: [illegible]
Project No. ctr: [illegible]



8 L1.1 SECTION THROUGH LANDSCAPE AT CATHEDRAL PLAZA
SCALE 1/4"=1'0"



9 L1.1 SECTION THROUGH LANDSCAPE AT HOLY TRINITY CATHEDRAL AND CLARKSON STREET
SCALE 1/4"=1'0"

FRANCL ARCHITECTURE

Consultants

Prime Consultant: Daniela Kiesik Ltd.
103 - 1037 West 6th Avenue
Vancouver BC V6J 1H5
t: 604 684 4011
f: 604 684 0577
www.dkLtd.ca

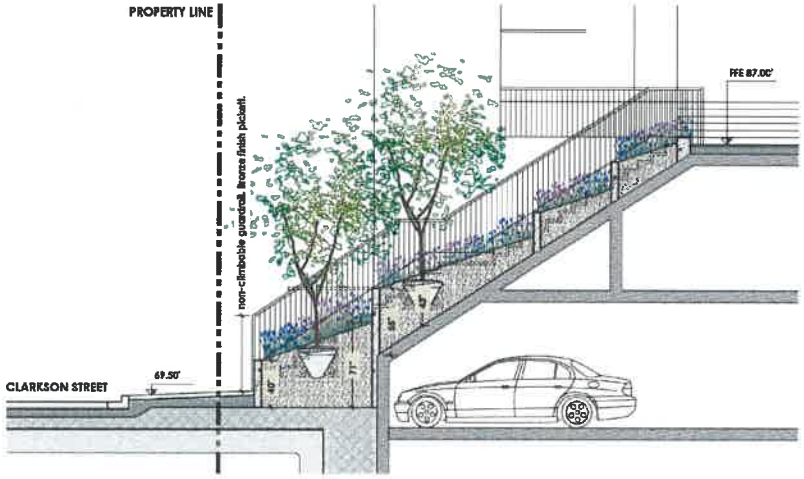
No.	Date	Description
7	23.05.2022	[illegible]
6	17.09.2020	[illegible]
5	16.10.2021	[illegible]
4	11.28.2018	[illegible]
3	11.06.2018	[illegible]
2	08.04.2018	[illegible]
1	11.04.2017	[illegible]

Project Title
THE HOLY TRINITY ANGLICAN CATHEDRAL RENEWAL 514 CARNARVON STREET LOT ONE OF VICTORIA GASDENS 74700
NEW WESTMINSTER

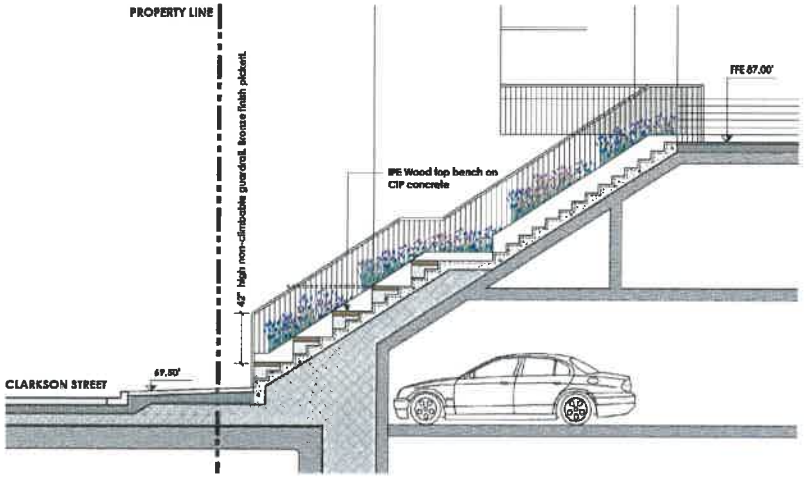
Sheet Title
LANDSCAPE SECTIONS

The drawing as an instrument of service is the property of Francl Architect Inc. and may not be reproduced without the Such permission. All information shown on the drawing is for the use in this specific project only and shall not be used otherwise without written permission from the artist. Contractors shall verify and be responsible for all dimensions on the job and the artist shall be notified of any discrepancies and omissions shown on the drawing on site work stoppage.

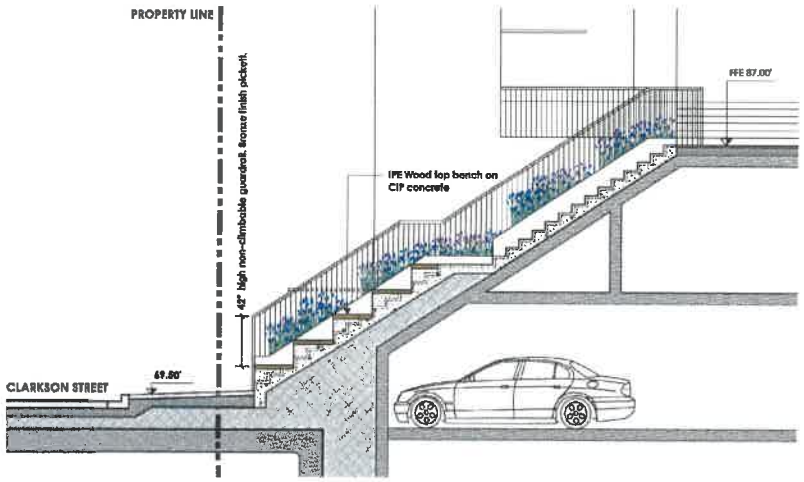
Drawn By: [illegible]
Reviewed by: [illegible]
Date: [illegible]
Plot Date: [illegible]
Project name:
Graphic Scale
Scale: [illegible]
Drawing No.: L - 2.3
Project No.: [illegible]
Project No. dk: [illegible]



10 L1.1 SECTION THROUGH RISING PLANTER AT CLARKSON STREET
SCALE 1/4"=1'0"



11 L1.1 SECTION THROUGH RISING PLANTER AND STAIRCASE AT CLARKSON STREET
SCALE 1/4"=1'0"



12 L1.1 SECTION THROUGH SEATWALLS/BENCHES AND STAIRCASE AT CLARKSON STREET
SCALE 1/4"=1'0"

FRANCL ARCHITECTURE

Consultants:

Mulvac:

Dwande Kirsch Ltd.
102 - 1837 West 6th Avenue
Vancouver BC V6J 1N6
T: 604 684 4811
F: 604 684 0577
www.dkl.bc.ca

No.	Date	Description
7		ISSUED FOR REVISED DEVELOPMENT PERMIT
6		ISSUED FOR REVISED DEVELOPMENT PERMIT
5		ISSUED FOR REVISED DEVELOPMENT PERMIT
4		ISSUED FOR REVISED DEVELOPMENT PERMIT
3		ISSUED FOR DP
2		ISSUED FOR DP
1		ISSUED FOR DEVELOPMENT PERMIT REVIEW

Revisions / Issues:

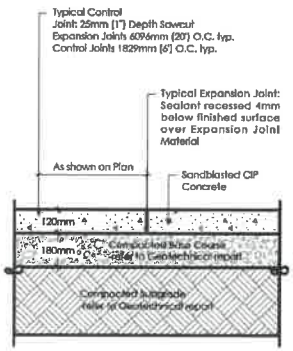
Project Title
THE HOLY TRINITY ANGLICAN CATHEDRAL
RENEWAL 614 CARNARVON STREET LOT ONE
OF VICTORIA GARDENS 74708
NEW WESTMINSTER

Sheet Title
LANDSCAPE SECTIONS

Drawn by:
Reviewed by:
Date:
Plot Date:
Graphic Scale
Project North

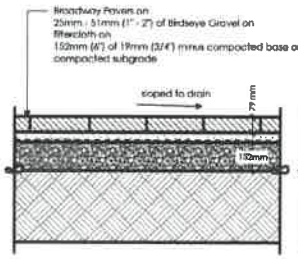
Scale:
Drawing No.
L - 2.4
Project No.
Project No. abc

Note: No Trowel Marks. All areas are saw cut.



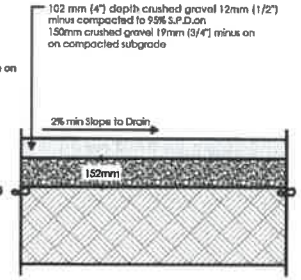
1 L-1.1 CIP Concrete on Grade
Scale 1:12 (1"= 1'-0")

Note I: Cut all Paving Slabs as required to maintain pattern/layout as shown on Layout Plans. All pavers to be cut with Concrete Stone Saw, no guillotine cuts will be allowed. Pavers laid directly on rigid insulation will be rejected. Vibrate/tamp pavers in place, sweep polymer jointing sand in joints.
Note II: Pavers used at loading area must be tolerant of vehicular movement.
Note III: Use metal edger anywhere pavers are adjacent to soft landscape, unless the pavers are contained with concrete walls or curbs.



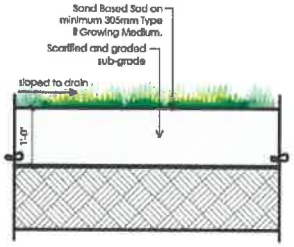
2 L-1.1 Pavers on Grade
Scale 1:12 (1"= 1'-0")

NOTE: Refer to specifications for additional information.

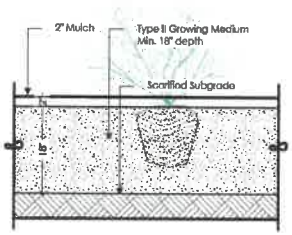


3 L-1.1 Gravel Path On Grade
Scale 1:12 (1"= 1'-0")

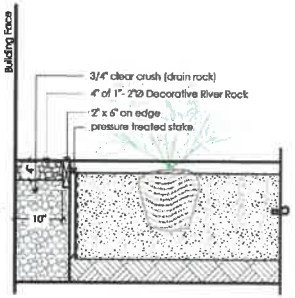
NOTE: Sod other than that with a sand base and/or with mesh will be rejected, and the Specified sod re-installed at contractor's expense.



4 L-1.1 Sod On Grade
Scale 1:12 (1"= 1'-0")



5 L-1.1 Shrub Planting on Grade
Scale 1:12 (1"= 1'-0")



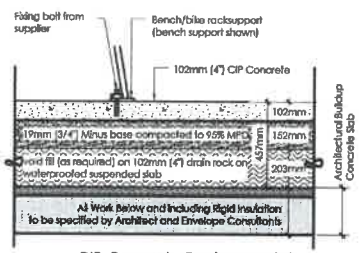
6 L-1.1 Drain Strip at Building Face
Scale 1:12 (1"= 1'-0")

Note I: Cut all Paving Slabs as required to maintain pattern/layout as shown on Layout Plans. All pavers to be cut with Concrete Stone Saw, no guillotine cuts will be allowed. Pavers laid directly on rigid insulation will be rejected. Vibrate/tamp pavers in place, sweep polymer jointing sand in joints.
Note II: Pavers used at loading area must be tolerant of vehicular movement.
Note III: Use metal edger anywhere pavers are adjacent to soft landscape, unless the pavers are contained with concrete walls or curbs.

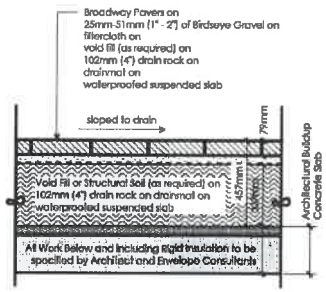
NOTE: Refer to specifications for additional information.

NOTE I: All Work Below Drainmat/Protection Board to be as specified by Architect and/or Envelop Consultants.
NOTE II: For slab drain location and detail refer to mechanical drawings.

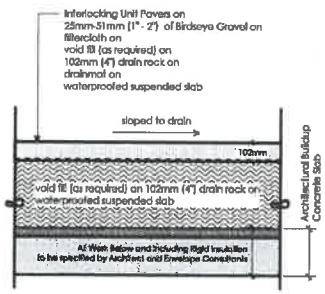
NOTE I: All Work Below Drainmat/Protection Board to be as specified by Architect and/or Envelop Consultants.
NOTE II: For slab drain location and detail refer to mechanical drawings.



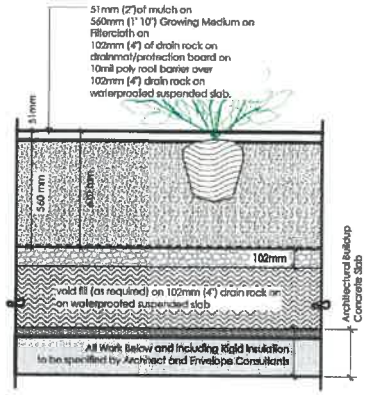
7 L-1.1 CIP Concrete Paving on Slab Site Furnishing Mounting Detail
Scale 1:12 (1"= 1'-0")



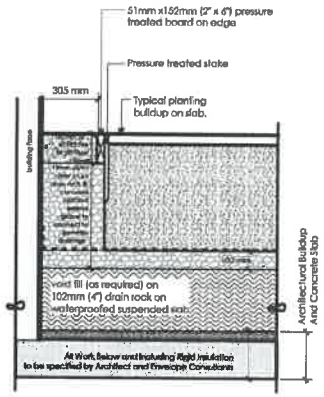
8 L-1.1 Pavers on Slab
Scale 1:12 (1"= 1'-0")



9 L-1.1 Gravel On Slab
Scale 1:12 (1"= 1'-0")



10 L-1.1 Shrub Planting on Slab
Scale 1:12 (1"= 1'-0")



11 L-1.1 Drip Strip at Building Face On Slab
Scale 1:12 (1"= 1'-0")

FRANCL ARCHITECTURE

Consultants

Mechanical:
Distinctive Kirsch Ltd.
102 - 1627 West 5th Avenue
Vancouver BC V6J 1N5
t: 604 684 4811
f: 604 684 0577
www.dkl.bc.ca

No.	Date	Description
2	[illegible]	[illegible]
1	[illegible]	[illegible]

Project Title
THE HOLY TRINITY ANGLICAN CATHEDRAL RENEWAL 614 CARNARVON STREET LOT ONE OF VICTORIA GARDENS 74706 NEW WESTMINSTER

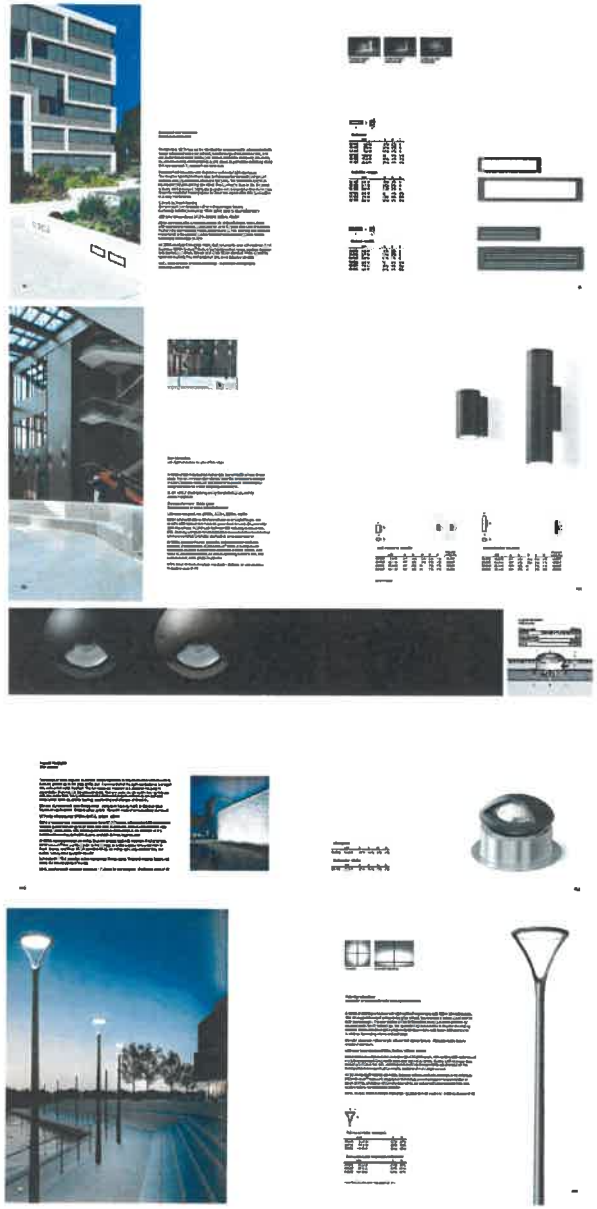
Drawn Title:
LANDSCAPE MATERIALS BOARD

This drawing as an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without our firm's permission. All information shown on this drawing is for the use in this specified project only and shall not be used otherwise without written authorization by us. All errors and omissions shall be reported to us immediately for all discussion and resolution. We shall not be responsible for all discussion and resolution shown on the drawing. Cancel made drawings.

Drawn By: [illegible]
Reviewed by: [illegible]
Date: [illegible]
Plot Date: [illegible]
Project North

Checklist Scale:

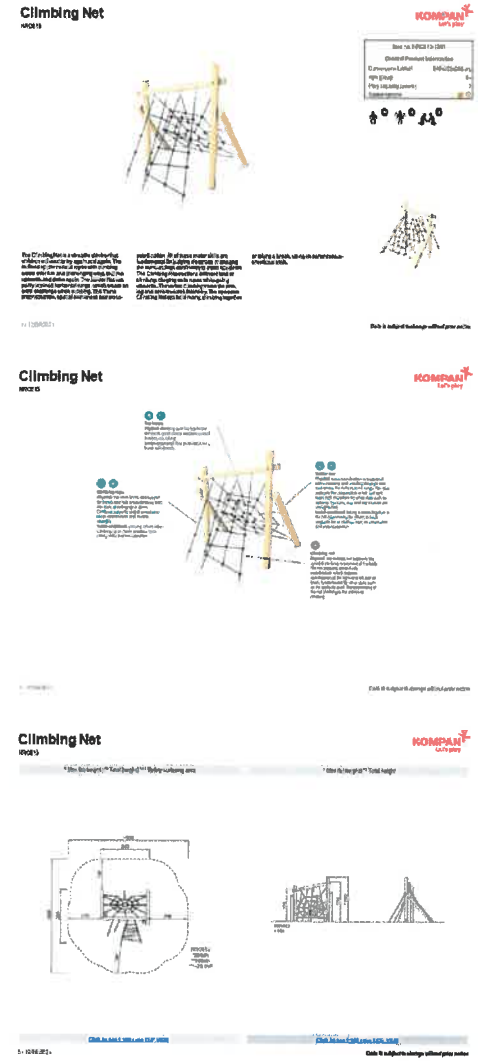
Scale: [illegible]
Drawing No.: L - 3.1
Project No.: [illegible]
Project File: [illegible]



1 L-3.1

Landscape Lights. Finishe: Anodized Bronze.

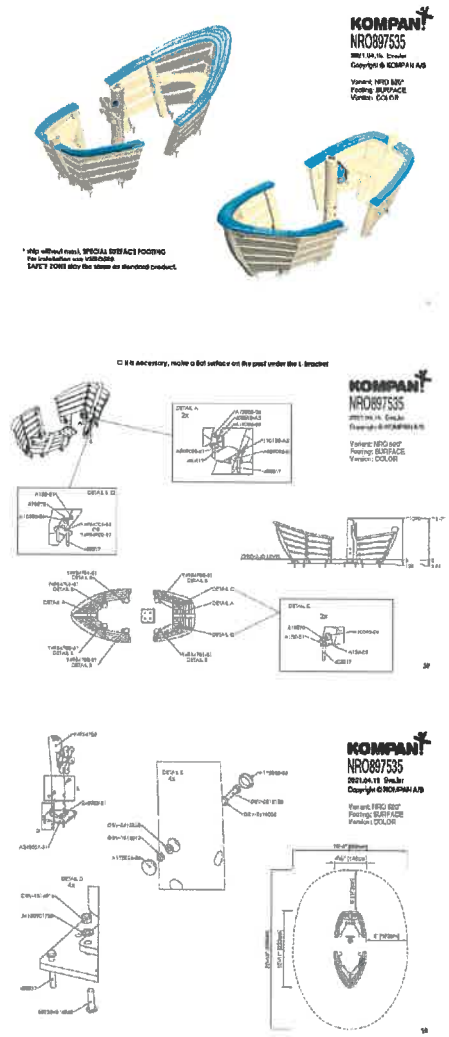
Scale 1:12 (1"= 1'-0")



2 L01

Climbing Net by Kompan

SCALE NTS



3 L01

Forest Lake Boat by Kompan

SCALE NTS

FRANCL ARCHITECTURE

Consultant

Dynamic Kinetic Ltd.
108 - 1637 West 5th Avenue
Vancouver BC V6J 1N5
T: 604 684 4511
E: 604 684 0577
www.dkl.bc.ca

No.	Date	Description
2	[illegible]	[illegible]
1	17.05.2016	[illegible]

Revisions / Issues

Project Title

THE HOLY TRINITY ANGLICAN CATHEDRAL RENEWAL, 514 CARNARVON STREET LOT ONE OF VICTORIA GARDENS 74766 NEW WESTMINSTER

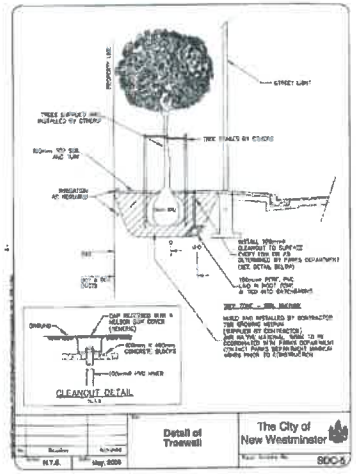
Sheet Title

LANDSCAPE MATERIALS BOARD

This drawing as an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without our due permission. All information shown on this drawing or for the use on this specific project only and shall not be used elsewhere without express permission of the Architect. Contractors shall verify and be responsible for all dimensions. Do not scale drawing. Any errors or omissions shall be reported to the Architect.

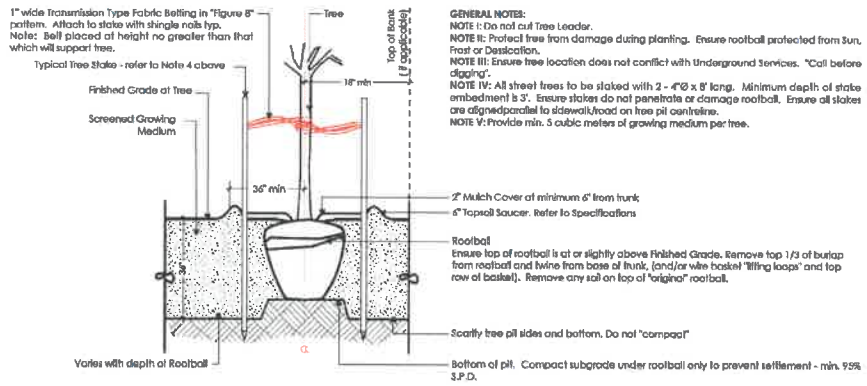
Drawn By: [illegible]
Reviewed by: [illegible]
Date: [illegible]
Plot Date: [illegible]
Drawing Scale
Project North

Status: [illegible]
Drawing No.: L - 3.2
Project No.: [illegible]
Project File, dwg: [illegible]



1 L-1.1 City of New West Minster Standard Tree Planting

Scale NTS

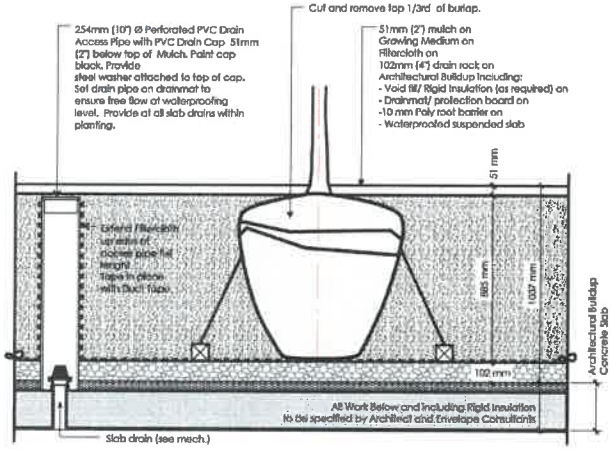


GENERAL NOTES:
NOTE I: Do not cut Tree Leader.
NOTE II: Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Dessication.
NOTE III: Ensure tree location does not conflict with Underground Services. "Call before digging".
NOTE IV: All street trees to be staked with 2 - 4"Ø x 8' long. Minimum depth of stake embedment is 3'. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are alignedparallel to sidewalk/road on tree pit centreline.
NOTE V: Provide min. 5 cubic meters of growing medium per tree.

2 L-1.1 Tree Planting on Grade

NTS

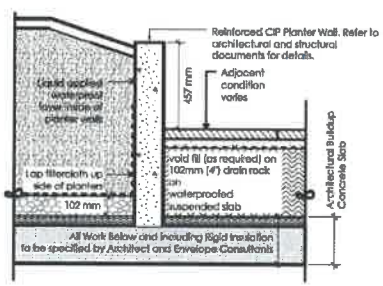
NOTE I: Do not cut Tree Leader.
NOTE II: Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Dessication.
NOTE III: Ensure tree location does not conflict with Underground Services. "Call before digging".
NOTE IV: Ensure top of rootball is at or slightly above Finished Grade. Remove top 1/3 of burlap from rootball and twine from base of trunk, (and/or wire basket "lifting loops" and top row of basket). Remove any soil on top of "original" rootball.



3 L-1.1 Typical Tree Planting on Slab

Scale 1:12 (1"= 1'-0")

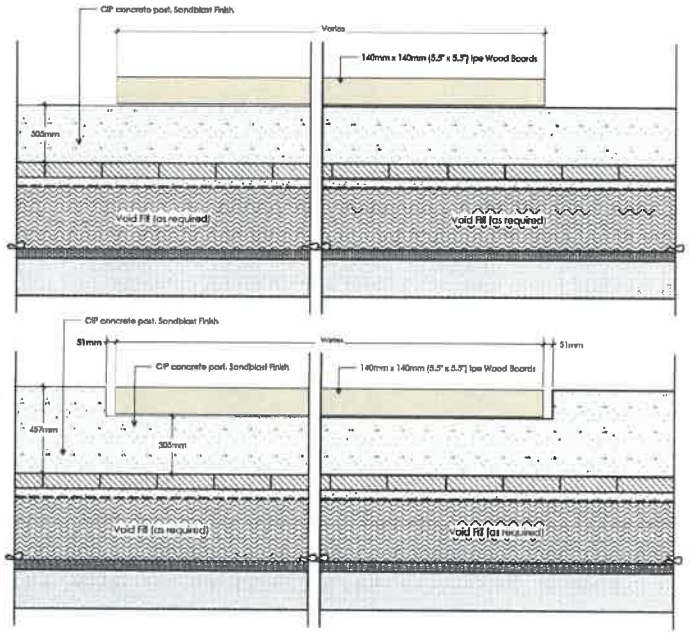
NOTE I: All Work Below Drainmat/Protection Board to be as specified by Architect and/or Envelop Consultants.
NOTE II: For slab drain location and detail refer to mechanical drawings.



4 L-1.1 Typ. CIP Planter Wall on Slab

Scale 1:12 (1"= 1'-0")

NOTE I: Submit Sealed/Engineered shop drawings for review and approval for all metalwork prior to fabrication and in accordance with specification section 05 50 00.
NOTE II: Refer to Structural documents for CIP Concrete walls/posts. Rebars shown for reference only. Refer to Structural documents for specifications rebar size and footing detail.
NOTE III: All bench bracket metal to be hot-dipped galvanized steel.
NOTE IV: All bolt holes to be pre-drilled before hot-dip galvanization.
NOTE V: Galv. steel bracket to be all-weld construction.



5 L-1.1 Typical Custom Wooden Bench and CIP Seatwall

Scale 1:12 (1"= 1'-0")

FRANCL ARCHITECTURE

Consultants
Dunsite Kreek Ltd.
102 - 1637 West 5th Avenue
Vancouver BC V6J 1N5
T: 604 684 4611
T: 604 684 0577
www.dkl.bc.ca

No.	Date	Description
2	[illegible]	[illegible]
1	12.05.2022	[illegible]

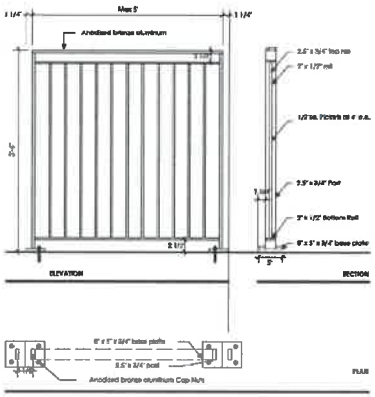
Revisions / Issues

Project Title
THE HOLY TRINITY ANGLICAN CATHEDRAL RENEWAL 614 CARNARVON STREET LOT ONE OF VICTORIA GARDENS 74708
NEW WESTMINSTER

Sheet Title:
LANDSCAPE MATERIALS BOARD

This drawing as an instrument of service is the property of Francl Architecture Inc. and may not be reproduced without the firm's consent. All dimensions shown on the drawing are for the use on this specific project only. Do not scale drawings. Verify all dimensions, levels and conditions on site. Immediately report any discrepancies and omissions found on the drawing. Correct data drawings.

Drawn by: [illegible]
Reviewed by: [illegible]
Date: [illegible]
Plot Date: [illegible]
Project North
Drawing No: L - 3.3



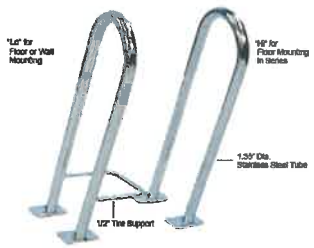
TYPICAL FABRICATION NOTES:
NOTE 1: Submit 3-sided/Engineered shop drawings for review and approval for all railings; prior to fabrication and in accordance with specification section 05 50 00.
NOTE 2: Confirm all dimensions on site. Modify as required to maintain design intent.
NOTE 3: Consultant to approve all metalwork at fabrication prior to paint application.
NOTE 4: Metalwork to be anodized bronze aluminum. Assembly to be all-welds construction. Ensure all weld faces are ground smooth.

1 L-1.1

Typ. Pickett Fence/ Guardrail

Scale 1:12 (1"= 1'-0")

Hi-Lo Universal Bike Rack System



The Hi-Lo Universal Bike Rack System is suitable for indoor or outdoor use, floor or wall mounting.

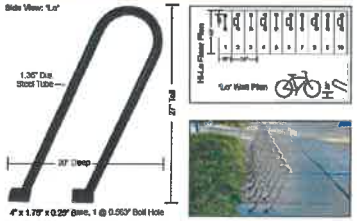
Useful in tight spaces, the per on the 'Hi' Model supports the front wheel, lifting the handlebars of one bike above those of the adjacent bike. This feature allows Hi-Lo's to be spaced as little as 12" apart.

Quality made from tubular and plate steel, Hi-Lo's support the bike above the centre of gravity, and allow the frame and at least 1 wheel to be attached with a U-Lock, Cable Lock or chain

Sold individually or in sets. Stainless Steel or Black Powder coat. Made in Vancouver by Advantage.

ADVANTAGE BIKE RACKS & LOCKERS
120-6363 Manitoba St.
Vancouver, British Columbia, Canada. V5X 3A9
604-734-2575 AdvantageBikeRacks.com

Hi-Lo Universal Bike Rack System



Installation Instructions:

1 - Drill a 3/8" hole, 1.25" deep.
2 - Vacuum any drill dust from the hole.
3 - Align the rack's base plate with the hole.
4 - Hammer an anchor bolt into the base & hole.
5 - Hand-tighten the nut.
6 - Drill a second hole 5" away from the first.
7 - Hammer an anchor bolt into the base & hole.
8 - Firmly tighten both nuts to expand the anchors.

ADVANTAGE BIKE RACKS & LOCKERS
120-6363 Manitoba St.
Vancouver, British Columbia, Canada. V5X 3A9
604-734-2575 AdvantageBikeRacks.com

2 L-1.1

Hi-Lo Universal Bike Rack by Advantage

Scale 1:12 (1"= 1'-0")

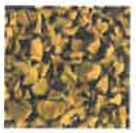
Broadway Pavers by Barkman Charcoal.

Broadway Pavers by Barkman Natural.

Anodized Bronze to Match Architectural Metalwork

Poured in Place Rubber Safety Surface by Marathon Surfaces

Brown



Earth Yellow

Yellow

Berlin Blue

Teal

Turquoise

Blue Grey

3 L-1.1

Materials open to public realm

Scale NTS

FRANCL ARCHITECTURE

Dynamic Knowledge Ltd.
102 - 1037 West 8th Avenue
Vancouver BC V6J 1N5
t: 604-684-4611
f: 604-684-0577
www.dkl.bc.ca

No.	Date	Description
2	09.05.2022	[illegible]
1	17.03.2022	[illegible]

Revisions / Issues:

Project Title
THE HOLY TRINITY ANGLICAN CATHEDRAL RENEWAL 514 CARNARVON STREET LOT ONE OF VICTORIA GARDENS 74768 NEW WESTMINSTER

Sheet Title
LANDSCAPE MATERIALS BOARD

This drawing as an instrument of service is the property of Francl Architecture. All information shown is to be used only for this project and is not to be used for any other purpose or on any other project without the written permission from this office. Contractor shall verify and be responsible for all dimensions on the job and this office shall be informed of any discrepancies and inaccurate dates on job drawing. Do not scale drawings.

Drawn By: [illegible]
Reviewed by: [illegible]
Date: [illegible]
Plot Date: [illegible]
Project North
Graphic Scale

Scale: [illegible]
Drawing No. L - 3.4
Project No.: [illegible]
Project Sub.: [illegible]