

**THE CORPORATION OF THE CITY OF NEW WESTMINSTER
HERITAGE REVITALIZATION AGREEMENT (108-118 Royal Avenue and 74-82 First Street)
BYLAW NO. 8339, 2022**

**A Bylaw to enter into a Heritage Revitalization Agreement under
Section 610 of the *Local Government Act***

WHEREAS the City of New Westminster and the owner of the properties located at 74 First Street, 82 First Street, 108 Royal Avenue, 112 Royal Avenue, 114 Royal Avenue and 118 Royal Avenue in New Westminster wish to enter into a Heritage Revitalization Agreement in respect of the properties;

NOW THEREFORE, the Council of the City of New Westminster enacts as follows:

Citation

1. This Bylaw may be cited as “Heritage Revitalization Agreement (108-118 Royal Avenue and 74-82 First Street) Bylaw No. 8339, 2022”.

Heritage Revitalization Agreement

2. The City of New Westminster enters into a Heritage Revitalization Agreement with the registered owners of the properties located at:

74 First Street, New Westminster, and legally described as:

PID: 003-959-252

NORTHERLY 60 FEET LOT 18 BLOCK 32 PLAN 2620 HAVING A FRONTAGE OF 60 FEET ON FIRST STREET BY A UNIFORM DEPTH OF 132 FEET AND ADJOINING LOTS 16 AND 17

and

PID: 012-912-441

LOT 18 EXCEPT: NORTHERLY 60 FEET HAVING A FRONTAGE OF 60 FEET ON FIRST STREET WITH A UNIFORM WIDTH THE FULL DEPTH OF LOT AND ADJOINING LOTS 16 AND 17, BLOCK 32 PLAN 2620

82 First Street, New Westminster, and legally described as:

PID: 007-604-084

LOT "C" BLOCK 32 PLAN 12722

108 Royal Avenue, New Westminster, and legally described as:

PID: 009-735-542

LOT "B" BLOCK 32 PLAN 12722

112 Royal Avenue, New Westminster, and legally described as:
PID: 012-912-433
LOT 15 BLOCK 32 PLAN 2620

114 Royal Avenue, New Westminster, and legally described as:
PID: 001-316-842
LOT 14 BLOCK 32 PLAN 2620

118 Royal Avenue, New Westminster, and legally described as:
PID: 003-901-467
LOT 13 BLOCK 32 PLAN 2620

and

No PID NMBR
THAT PART OF BLOCK 32 SHOWN AS ROAD TO BE CLOSED ON PLAN EPP121184.

(together, the "Lands")

- 3. If the City and the registered owners of the Lands enter into a road closure and land exchange agreement and the registered owners of the Lands acquire, and consolidate with the Lands, a part of the Windsor Street (the "Closed Road") as shown in Appendix 7, the Heritage Revitalization Agreement will apply to the Closed Road.
- 4. The Mayor and City Clerk are authorized on behalf of the City of New Westminster Council to sign and seal the Heritage Revitalization Agreement attached to this Bylaw as Schedule "A".

READ A FIRST TIME this 13th day of June, 2022.

READ A SECOND TIME this 13th day of June, 2022.

PUBLIC HEARING held this _____ day of _____, 2022.

READ A THIRD TIME this _____ day of _____, 2022.

ADOPTED this _____ day of _____, 2022.

MAYOR JONATHAN X. COTE

JACQUE KILLAWEE, CITY CLERK

SCHEDULE "A"

HERITAGE REVITALIZATION AGREEMENT (108-118 Royal Avenue and 74-82 First Street)

THIS AGREEMENT dated for reference the 27th day of May, 2022 is

BETWEEN:

TPL DEVELOPMENTS ROYAL INC., Inc. No. BC1103289, 200-1111 West Hastings Street, Vancouver, BC V6E 2J3

(the "Owner")

AND:

THE CORPORATION OF THE CITY OF NEW WESTMINSTER, City Hall, 511 Royal Avenue, New Westminister, BC V3L 1H9

(the "City")

WHEREAS:

A. The Owner is the registered owner in fee simple of the land and all improvements located at:

74 First Street, New Westminister, and legally described as:

PID: 003-959-252

NORTHERLY 60 FEET LOT 18 BLOCK 32 PLAN 2620 HAVING A FRONTAGE OF 60 FEET ON FIRST STREET BY A UNIFORM DEPTH OF 132 FEET AND ADJOINING LOTS 16 AND 17

and

PID: 012-912-441

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118 Royal Avenue, New Westminster, and legally described as:

PID: 003-901-467

LOT 13 BLOCK 32 PLAN 2620.

and

No PID NMBR

THAT PART OF BLOCK 32 SHOWN AS ROAD TO BE CLOSED ON PLAN EPP121184.

(together, the "Lands");

- B. If the Owner and the City enter into a road closure and land exchange agreement and the Owner acquire, and consolidate with the Lands, a part of the Windsor Street (the "Closed Road") shown in Appendix 7, the Heritage Revitalization Agreement will apply to the Closed Road.
- C. There is one building situated on 82 First Street, known as the E.M.N Woods House (the "Heritage Building"), which is shown on the site plan attached as Appendix 1 (the "Site Plan");
- D. The City and the Owner agree that the Heritage Building has heritage value and should be conserved;
- E. The Owner wishes to relocate, make certain alterations to, restore, and rehabilitate the Heritage Building (the "Work");
- F. The Owner intends to apply to the City's Approving Officer for approval to file a subdivision plan (the "Subdivision Plan") in the Land Title Office in order to consolidate the Lands into a single parcel, generally as shown on the Site Plan;
- G. If the proposed consolidation of the Lands is approved by the City's Approving Officer, the Owner wishes to relocate the Heritage Building from 82 First Street to that portion of the Lands labeled on the Site Plan as "RELOCATED HERITAGE HOUSE", convert the Heritage Building into two (2) market strata units and to construct a new six to eight storey residential building containing 187 market strata (the "New Building") on that portion of the Lands labeled on the Site Plan as "NEW BUILDING – MULTIPLE UNIT RESIDENTIAL";
- H. Section 610 of the *Local Government Act*, RSBC 2015, Chapter 1 authorizes a local government to enter into a Heritage Revitalization Agreement with the owner of heritage property, and to allow variations of, and supplements to, the provisions of a bylaw or a permit issued under Part 14 or Part 15 of the *Local Government Act*;

- I. The Owner and the City have agreed to enter into this Heritage Revitalization Agreement (the "Agreement") setting out the terms and conditions by which the heritage value of the Heritage Building is to be preserved and protected, in return for specified supplements and variances to City bylaws;
- J. If the proposed consolidation of the Lands is approved by the City's Approving Officer, the Owner also wishes to relocate a building situated on 112 Royal Avenue (the "House") off-site.

THIS AGREEMENT is evidence that in consideration of the sum of ten dollars (\$10.00) now paid by each party to the other and for other good and valuable consideration (the receipt of which each party hereby acknowledges) the Owner and the City each covenant with the other pursuant to Section 610 of the *Local Government Act* as follows:

Conservation of Heritage Building

1. Upon execution of this Agreement, the Owner shall promptly commence the Work to the Heritage Building in accordance with the Heritage Conservation Plan prepared by Elana Zysblat CAHP, of Ance Building Services dated June 2021, a copy of which is attached hereto as Appendix 2 (the "Conservation Plan"), and the design plans and specifications prepared by CityState Consulting Services, dated June 15, 2021, in respect of the Heritage Building, and Iredale Architecture, dated March 16, 2022 and Landscape Plans prepared by ETA Landscape Architecture dated March 14, 2022, a copy of each of which are attached hereto as Appendix 5 (the "Approved Plans"), full-size copies of which plans and specifications are on file at the New Westminster City Hall.
2. Prior to commencement of the Work, the Owner shall obtain from the City all necessary permits and licenses, including a heritage alteration permit, building permit, and tree permit.
3. The Owner shall obtain written approval from the City's Director of Climate Action, Planning and Development for any changes to the Work or the Approved Plans, and obtain any amended permits that may be required for such changes, as required by the City.
4. The Owner agrees that the City may, notwithstanding that such permits may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a heritage alteration permit or building permit applied for in respect of the Heritage Building if the work that the Owner wishes to undertake is not in accordance with the Conservation Plan or the Approved Plans.
5. The Work shall be done at the Owner's sole expense in accordance with generally accepted engineering, architectural, and heritage conservation practices. If any conflict or ambiguity arises in the interpretation of Appendix 2, the parties agree that the conflict or ambiguity shall be resolved in accordance with the "Standards and Guidelines for the Conservation of Historic Places in Canada", 2nd edition, published by Parks Canada in 2010.
6. The Owner shall, at the Owner's sole expense, erect on the Lands and keep erected throughout the course of the Work, a sign of sufficient size and visibility to effectively notify

contractors and tradespersons entering onto the Lands that the Work involves protected heritage property and is being carried out for heritage conservation purposes.

7. The Owner shall, at the Owner's sole expense, engage a member of the Architectural Institute of British Columbia or the Association of Professional Engineers and Geoscientists of British Columbia or the British Columbian Association of Heritage Professionals with specialization in Building or Planning (the "Registered Professional") to oversee the Work and to perform the duties set out in section 8 of this Agreement, below.

Role of Registered Professional

8. The Registered Professional shall:
- (a) prior to commencement of the Work, and at any time during the course of the Work that a Registered Professional has been engaged in substitution for a Registered Professional previously engaged by the Owner, provide to the City an executed and sealed Confirmation of Commitment in the form attached as Appendix 3 and, if the Registered Professional is a member of the Canadian Association of Heritage Professionals, the Registered Professional shall provide evidence of their membership and specialization when submitting such executed Confirmation of Commitment;
 - (b) conduct field reviews of the Work with the aim of ensuring compliance of the Work with the Conservation Plan in Appendix 2;
 - (c) provide regular reports to the City's Climate Action, Planning and Development Department, on the progress of the Work;
 - (d) upon substantial completion of the Work, provide to the City an executed and sealed Certification of Compliance in the form attached as Appendix 4; and
 - (e) notify the City within one business day if the Registered Professional's engagement by the Owner is terminated for any reason.

Heritage Designation

9. The Owner irrevocably agrees to the designation of the Heritage Building as protected heritage property, in accordance with Section 611 of the *Local Government Act*, and releases the City from any obligation to compensate the Owner in any form for any reduction in the market value of the Lands, the New Building or the Heritage Building that may result from the designation.
10. Following completion of the Work, the Owner shall maintain the Heritage Building in good repair in accordance with the Conservation Plan in Appendix 2 and the maintenance standards set out in City of New Westminster Heritage Properties Minimum Maintenance Standards Bylaw No. 7971, 2018, as amended or replaced from time to time, and, in the

event that Bylaw No. 7971 is repealed and not replaced, the Owner shall continue to maintain the building to the standards that applied under Bylaw No. 7971 immediately prior to its repeal.

11. Following completion of the Work in accordance with this Agreement, the Owner shall not alter the heritage character or the exterior appearance of the Heritage Building, except as permitted by a heritage alteration permit issued by the City.

Damage to or Destruction of Heritage Building

12. If the Heritage Building is damaged, the Owner shall obtain a heritage alteration permit and any other necessary permits and licenses and, in a timely manner, shall restore and repair the Heritage Building to the same condition and appearance that existed before the damage occurred.
13. If, in the opinion of the City, the Heritage Building is completely destroyed, the Owner shall construct a replica, using contemporary material if necessary, of the Heritage Building that complies in all respects with the Conservation Plan in Appendix 2, the Approved Plans in Appendix 5, and with City of New Westminster Zoning Bylaw No. 6680, 2001 as amended (the "Zoning Bylaw"), as varied by this Agreement, after having obtained a heritage alteration permit and any other necessary permits and licenses.
14. The Owner shall use best efforts to commence and complete any repairs to the Heritage Building, or the construction of any replica building, with reasonable dispatch.

Relocation of the House

15. Upon execution of this Agreement, the Owner shall make reasonable efforts to advertise and offer the House for sale and relocation to a location other than the Lands for a purchase price of \$0 and a minimum \$30,000.00 contribution by the Owner towards costs of relocating the House.
16. If, prior to commencement of the excavation of the Lands, the House has not been sold, the Owner may demolish the House and pay to the City a contribution in the amount of \$30,000.00 for general serving amenities.
17. Prior to commencement of the relocation or demolition of the House, the Owner shall obtain, or if the House has been sold the purchaser, the purchaser of the House shall obtain all necessary permits, licenses, approvals and authorizations for the demolition or relocation, as applicable, from all municipal and provincial governmental authorities having jurisdiction.

Construction of the New Building

18. The Owner shall construct the New Building in strict accordance with the Site Plan and the Approved Plans.

19. Prior to commencement of construction of the New Building, the Owner shall obtain from the City all necessary approvals, permits, and licenses, including a heritage alteration permit, building permit, and tree permit and approval of the City's Approving Officer to file the Subdivision Plan in the Land Title Office.
20. The Owner shall obtain written approval from the City's Director of Climate Action, Planning and Development for any changes to the New Building, and obtain any amended permits that may be required for such changes to the New Building, as required by the City.
21. The Owner agrees that the City may, notwithstanding that such permits may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a heritage alteration permit or building permit applied for in respect of the New Building if the work that the Owner wishes to undertake is not in accordance with the Approved Plans.
22. The construction of the New Building shall be done at the Owner's sole expense and in accordance with generally accepted engineering and architectural practices.

Timing and Phasing

23. The Owner acknowledges and agrees that no building permits above grade (permits for work on levels 01, 02 03, 04, 05 or 06 of the Approved Plans) applied for in respect of the New Building shall be issued until the Owner has commenced and completed all actions required for the completion of the Work set out in Appendix 8 under the heading "HH Phase 1 – structural conservation".
24. The Owner acknowledges and agrees that no insulation inspection by the City in respect of the New Building shall be issued until the Owner has commenced and completed all actions required for the completion of the Work set out in Appendix 8 under the heading "HH Phase 2 – exterior/finishing conservation".
25. The Owner acknowledges and agrees that no occupancy permit for the New Building will be issued until the Owner has completed the Work in respect of the Heritage Building to the satisfaction of the City's Director of Climate Action, Planning and Development, has provided the Certification of Compliance described in section 8(d) above, and has approval of the City's Approving Officer to file the Subdivision Plan in the Land Title Office.
26. The Owner shall complete all actions required for the completion of the Work and the New Building, as set out in Approved Plans in Appendix 5, within five years following the date on which the Owner deposits the Subdivision Plan in the Land Title Office.

Consolidation

27. Nothing in this Agreement commits the Approving Officer to approve the proposed consolidation of the Lands.

Inspection

28. Upon request by the City, the Owner shall advise or cause the Registered Professional to advise, the City's Climate Action, Planning and Development Department, of the status of the Work.
29. For the duration of the Work and the construction of the New Building as authorized by this Agreement, without limiting the City's power of inspection conferred by statute and in addition to such powers, the City shall be entitled at all reasonable times and from time to time to enter onto the Lands for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner.
30. The Owner agrees that the City may, notwithstanding that a final inspection may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a final inspection or occupancy certificate applied for in respect of the Heritage Building or the New Building if the Owner has not completed the Work with respect to the Heritage Building or construction of the New Building to the satisfaction of the City's Director of Climate Action, Planning and Development.
31. The Land shall not be subdivided by any means other than in accordance with the Subdivision Plan, including by deposit of a strata plan of any kind under the *Strata Property Act* (British Columbia) in respect of the Heritage Building or the New Building if the Owner has not completed the Work with respect to the Heritage Building or construction of the New Building to the satisfaction of the City's Director of Climate Action, Planning and Development.

Conformity with City Bylaws

32. The City of New Westminster Zoning Bylaw No. 6680, 2001, is varied and supplemented in its application to the Lands in the manner and to the extent provided and attached as Appendix 6.
33. The Owner acknowledges and agrees that, except as expressly varied by this Agreement, any development or use of the Lands, including any construction, alteration, rehabilitation, relocation, restoration and repairs of the Heritage Building or New Building, must comply with all applicable bylaws of the City.

No Application to Building Interiors

34. Unless otherwise stated in this Agreement or set out in the Conservation Plan, the terms and conditions of this Agreement respecting the Heritage Building and New Building apply only to the structure and exterior of the buildings, including without limitation the foundation, walls, roof, and all exterior doors, stairs, windows and architectural ornamentation.

Enforcement of Agreement

35. The Owner acknowledges that it is an offence under Section 621(1)(c) of the *Local Government Act* to alter the Lands, the Heritage Building or the New Building in contravention of this Agreement, punishable by a fine of up to \$50,000.00 or imprisonment for a term of up to 2 years, or both.
36. The Owner acknowledges that it is an offence under Section 621(1)(b) of the *Local Government Act* to fail to comply with the requirements and conditions of any heritage alteration permit issued to the Owner pursuant to this Agreement and Section 617 of the *Local Government Act*, punishable in the manner described in the preceding section.
37. The Owner acknowledges that, if the Owner alters the Lands, the Heritage Building or the New Building in contravention of this Agreement, the City may apply to the British Columbia Supreme Court for:
 - (a) an order that the Owner restore the Lands or the Heritage Building or the New Building, or all, to their condition before the contravention;
 - (b) an order that the Owner undertake compensatory conservation work on the Lands, the Heritage Building, or the New Building;
 - (c) an order requiring the Owner to take other measures specified by the Court to ameliorate the effects of the contravention; and
 - (d) an order authorizing the City to perform any and all such work at the expense of the Owner.
38. The Owner acknowledges that, if the City undertakes work to satisfy the terms, requirements or conditions of any heritage alteration permit issued to the Owner pursuant to this Agreement upon the Owner's failure to do so, the City may add the cost of the work and any incidental expenses to the taxes payable with respect to the Lands, or may recover the cost from any security that the Owner has provided to the City to guarantee the performance of the terms, requirements or conditions of the permit, or both.
39. The Owner acknowledges that the City may file a notice on title to the Lands in the Land Title Office if the terms and conditions of this Agreement have been contravened.
40. The City may notify the Owner in writing of any alleged breach of this Agreement and the Owner shall have the time specified in the notice to remedy the breach. In the event that the Owner fails to remedy the breach within the time specified, the City may enforce this Agreement by:
 - (a) seeking an order for specific performance of the Agreement;
 - (b) any other means specified in this Agreement; or

(c) any means specified in the *Community Charter* or the *Local Government Act*,

and the City's resort to any remedy for a breach of this Agreement does not limit its right to resort to any other remedy available at law or in equity.

Statutory Authority Retained

41. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City, all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled.

Indemnity

42. The Owner hereby releases, indemnifies and saves the City, its officers, employees, elected officials, agents and assigns harmless from and against any and all actions, causes of action, losses, damages, costs, claims, debts and demands whatsoever by any person, arising out of or in any way due to the existence or effect of any of the restrictions or requirements in this Agreement, or the breach or non-performance by the Owner of any term or provision of this Agreement, or by reason of any work or action of the Owner in performance of its obligations under this Agreement or by reason of any wrongful act or omission, default, or negligence of the Owner.

43. In no case shall the City be liable or responsible in any way for:

- (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that be suffered or sustained by the Owner or by any other person who may be on the Land; or
- (b) any loss or damage of any nature whatsoever, howsoever caused to the Lands, or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements in this Agreement, wrongful or negligent failure or omission to comply with the restrictions and requirements in this Agreement or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements in this Agreement or with any other term, condition, or provision of this Agreement.

No Waiver

44. No restrictions, requirements, or other provisions of this Agreement shall be deemed to have been waived by the City unless a written waiver signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default, nor any previous written waiver, shall be taken to operate as a waiver by the City of any subsequent default or in any way defeat or affect the rights and remedies of the City.

Interpretation

45. In this Agreement, "Owner" shall mean all registered owners of the Lands or subsequent registered owners of the Lands, as the context requires or permits.

Headings

46. The headings in this Agreement are inserted for convenience only and shall not affect the interpretation of this Agreement or any of its provisions.

Appendices

47. All appendices to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

48. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Joint and Several

49. If at any time more than one person (as defined in the *Interpretation Act* (British Columbia)) owns the Lands, each of those persons will be jointly and severally liable for all of the obligations of the Owner under this Agreement.

Successors Bound

50. All restrictions, rights and liabilities herein imposed upon or given to the respective parties shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date written above.

TPL DEVELOPMENTS ROYAL INC. by its authorized signatories:

Name:

Name:

THE CORPORATION OF THE CITY OF NEW WESTMINSTER
by its authorized signatories:

Mayor Jonathan X. Cote

Jacqueline Killawee, City Clerk

APPENDIX 1

SITE PLAN

03	Jan 28 2022	Revised for DP & Rezoning
04	Feb 03 2022	Revised for DP & Rezoning
05	Apr 19 2021	Revised for DP & Rezoning
06	Feb 02 2021	Revised for DP & Rezoning
07	May 21 2020	Revised for DP & Rezoning
08	Oct 22 2019	Revised for DP & Rezoning
09	Jan 22 2019	Initial Site Planning

Revisions:
 1. All dimensions are in feet and inches.
 2. All dimensions are rounded to the nearest 1/8 inch.
 3. All dimensions are rounded to the nearest 1/4 inch.



IREDALE ARCHITECTURE
 220 - 15 Maple Street
 Vancouver, BC V6B 1A5
 604-736-3551
 Vancouver, Victoria, Calgary
 iredale.ca

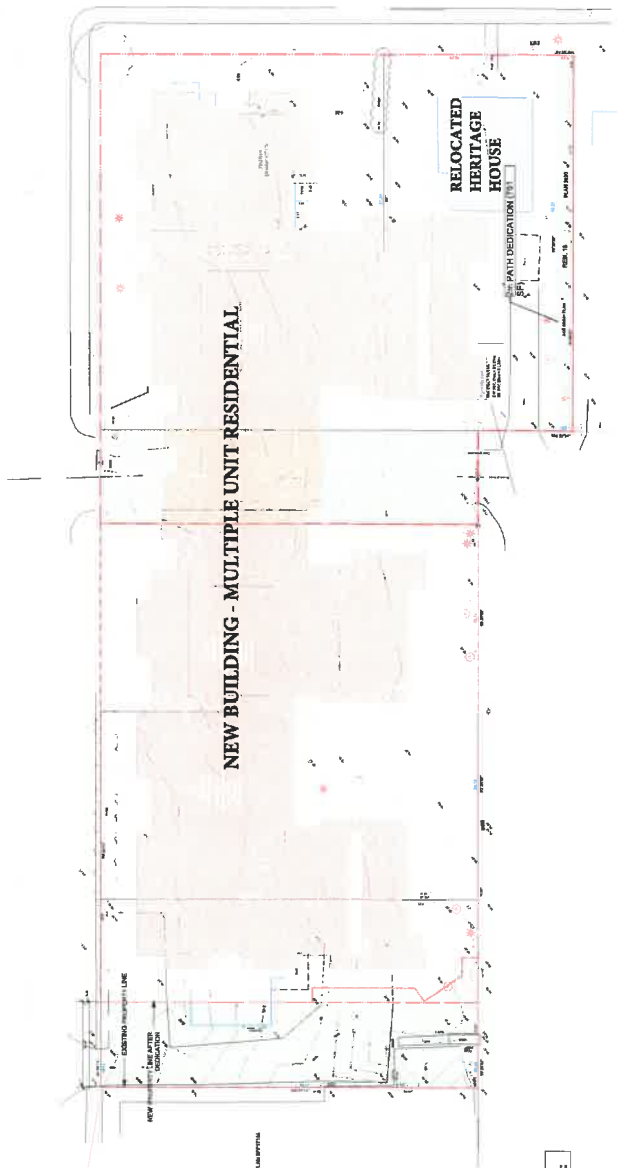
Comments

TITLE
First+Royal
ADDRESS
 74 - 83 FIRST STREET &
 108 - 115 ROYAL AVENUE
 WINNSBORO, VANCOUVER
 DOWNTOWN VAN, V6L 1Y2

SURVEY

Drawn	PJH	Checked	PJH	Project No.	18077
Date	15 MARCH 2022	Sheet No.	4	Project No.	18077

SCALE: 1:1250
 ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE



Winnsboro Inc. 2022
 108 - 115 ROYAL AVENUE
 VANCOUVER, BC V6L 1Y2

APPENDIX 2

CONSERVATION PLAN

Heritage Conservation Plan

82 First Street, New Westminster, BC

E. M. N. Woods House ~ 1890



Elana Zysblat, CAHP :: Ance Building Services :: October 2019

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Statement of Significance



Description of the Historic Place

The E.M.N. Woods House is a 1 and 1/2 storey, Victorian Arts & Crafts style house located between Queen's Park and Albert Crescent at the southeast corner of Royal Avenue and 1st Street in downtown New Westminster.

Heritage Value of the Historic Place

Built in 1890, the E. M. N. Woods House is associated with the late 1880s development boom in New Westminster, sparked in response to the announcement of the arrival of the Canadian Pacific Railway to the area. Located on a short stretch of First Street connecting Queen's Park and Albert Crescent, the E. M. N. Woods House was constructed in what was considered the most exclusive area of early New Westminster. The lots on Park Lane (the original name of First Street) were advertised in local papers as some of the 'finest' in the city and the subject building's corner location adds to this prestige.

The building's association with its developers and first residents - pioneers, notable and affluent citizens of the city - expresses the prestigious status of this location in the Victorian era. When Edward Montague Nelson Woods - the son of the local Archdeacon Charles T. Woods - commissioned the construction of this residence, he had been recently married and inducted as a barrister. His new wife Emily Sophia Dickinson was the daughter of New Westminster Mayor Robert Dickinson whom the nearby Dickinson Street is named for.

The E. M. N. Woods House is important as an example of one of approximately two dozen buildings generated by the brief partnership between two prolific architects in 1890 and 1891 - Samuel Maclure

and Charles Clow. New Westminster-born architect Samuel Maclure, who is considered the leading residential architect in British Columbia in the early twentieth century, had just begun his distinguished career when the E. M. N. Woods House was designed in 1890. Shortly after the subject house construction, Maclure moved on to work in Victoria and then Vancouver where he left an invaluable built heritage legacy. Charles Clow began his practice in New Westminster in 1887 and remained active in the area for close to 30 years, especially while New Westminster was rebuilt after the fire of 1898.

The building's elaborate display of the Victorian Arts & Crafts style expresses an elite architectural trend of the late 1880s and early 1890s.

The flat-roofed apartment addition attached to the side of the house was constructed in 1958 during a time when the neighbourhood shifted towards rental units and the house was adapted as a multi-family rental property for working-class families - its continuous use for the last six decades. The survival of the 1890 residence, alongside only a handful of other early single-family homes, in a neighbourhood that has transformed through zoning changes to dominantly apartment buildings, is even more important as the oldest surviving building on this block of 1st Street.

Character-Defining Elements

- continuous residential use since 1890
- continuous multi-family residential rental use since 1958
- location on First Street at the corner of Royal Avenue, with views towards the Fraser River
- residential form and scale as expressed in its cross plan, and one and one-half storeys plus basement height
- wood-frame construction
- complex, intersecting gabled roof design with hip dormers on two sides
- projecting front porch with columns and brackets
- evidence of porch extending across the front and around the north side of the house, now enclosed
- half-timbered, stuccoed gables with decorative bargeboards
- gable ornaments
- original 6-panelled wood front door and decorative leaded sidelights with wood trim
- decorative leaded casement window with transom on the north side of the house, main floor
- divided-light wood windows in upper storey
- corbeled brick chimney shaft with decorative Victorian brickwork

Historic Brief

Although parks and public plazas were allocated in New Westminster's first plan drawn by the Royal Engineers in the early 1860s, there was almost no development beyond the Royal City's original northern boundary of Royal Avenue until the 1880s.

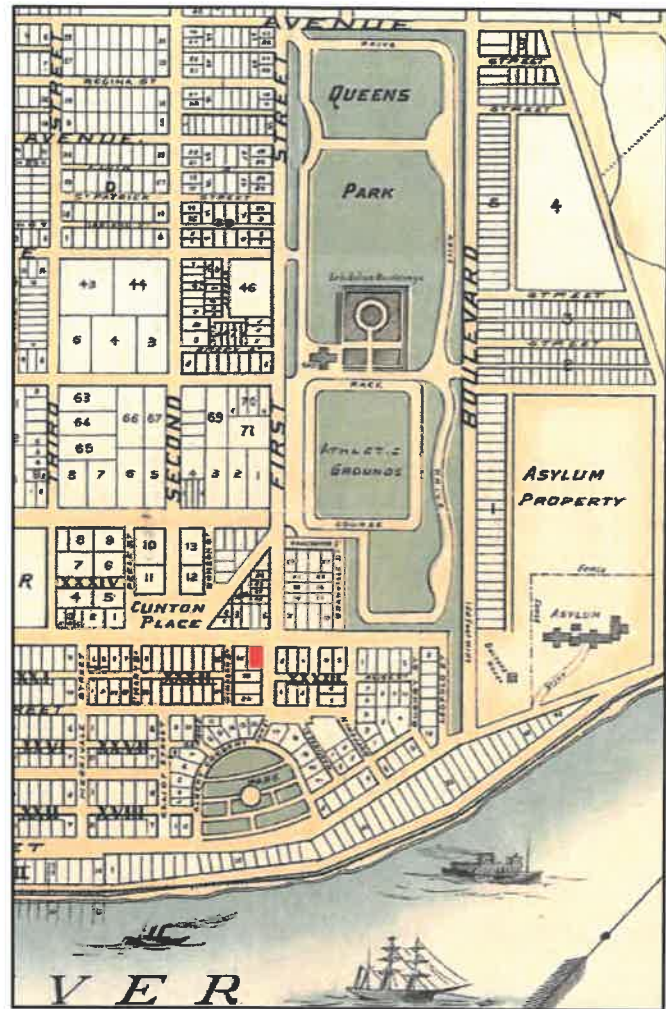
The announcement of the arrival of the CPR to Vancouver, with a branch line to New Westminster caused a huge building boom between 1887-1898, transforming the small town into a real city.

At the time this map (right) was drawn in 1892, New Westminster had not only a train station but a streetcar system, electric street lights, and expanded boundaries well beyond Royal Avenue to include suburbs such as Queen's Park, Sapperton and Queensborough. Queen's Park was refined and designed with public gardens, walkways and sports fields.

It was during this Victorian-era growth and investments in infrastructure that residential development really began in the streets around Queen's Park which would become a neighbourhood named after the park. Numerous late 1880s and early 1890s grand homes were built in the Queen's Park neighbourhood, establishing its reputation as a prestigious area located at a commanding distance from the industrial riverfront and busy downtown core. The subject house is directly linked to this development period.

The blocks in the vicinity of the subject house (marked in red) were already subdivided at this time as they were located on to the streetcar line which came from downtown along Columbia, Leopold, Royal, Park Row, up 1st Street, 3rd Avenue, Pine Street, 4th Avenue and then out along 6th Street. Another high-end residence surviving on this block of First Street is that of Mayor Keary (72 First Street - 1902).

The developers of the subject property were newlyweds Edward M. N. Woods and Emily S. Dickinson. Woods was a lawyer, the son of Archdeacon Charles T. Woods, who came to British Columbia in 1860 to take charge of the collegiate schools of Victoria where Edward was born in 1862. As archdeacon of



City of New Westminster map, by R.J. Williams, Ottawa. 1892.
source: City of Vancouver Archives Map 617

BC, Woods was sent to New Westminster in 1868 where he served at St. Mary's Sapperton Parish until his death in 1895. Edward Woods passed the Bar in 1889 and set up practice as a barrister on McKenzie Street in 1890, the same year of his marriage and the construction of the subject house. His legal cases were regularly mentioned in the newspapers. The Woods were highly involved in the local community - Edward was politically involved in the Liberal party, played on the New Westminster Cricket Club and Emily served as a judge on various competitions at Queen's Park Royal City Fair and was an organist at Holy Trinity Cathedral. They were among the main donors for the construction of St. Mary's Hall in 1892. Together they were members of the Royal City Regatta Club where they won several sailing competitions. After 10 years at the subject house the Woods family relocated to Atlin, where Edward had invested in some mining claims and later settled in Vancouver where he reopened his legal practice in the Birks Building.

After the devastating fire of 1898, which burned down much of downtown New Westminster between Tenth and Fourth Streets, another 12-year growth spurt commenced in the city. Specific improvements to Queen's Park were sparked by the 1905 Canadian National Exhibition held in the park, for which new exhibition buildings were constructed. Paving and concrete sidewalks introduced to the neighbourhood in 1906 and by 1913 the number of homes in Queen's Park had doubled.

The population of the city grew over the decades putting pressure on single-family dwellings in the downtown area. After World War II, a city-wide housing shortage brought expansion to new neighbourhoods, but also sparked the replacement of most downtown houses with low-rise apartment buildings in the 1950s. In the case of the subject property, mid-century development was introduced as an addition to the house in 1958 and a layer of stucco was applied to both buildings to join them aesthetically. Low-rise mid-century apartment buildings dominate the streetscape character of this eastern part of the downtown neighbourhood today, leaving early single-family dwellings as rare, often isolated scenario. The few surviving single-family homes on Royal Avenue have needed to adapt to the high-traffic, noisy context of what is now a major inter-city arterial and have responded by planting tall, dense hedges and using rear entrances. The subject block is unique in that it has several single-family homes surviving on it.

NATIVE SON PASSES AWAY

**Edward M. N. Woods, Well-Known
Vancouver Barrister, Dies**

Edward M. N. Woods, well-known barrister, died in Victoria at the Jubilee hospital there on Sunday morning at 3:20 o'clock. The late Mr. Woods had been in failing health since the middle of last October when he first went to Kamloops and then afterwards to Victoria. He was born in Victoria 58 years ago of Irish parentage, his father being the late Archdeacon C. E. Woods of New Westminster.

For about twelve years Mr. Woods practiced law in Vancouver. He was educated in Ireland. One sister, Mrs. Amy Bentley, resides at Agassiz, while another sister, Sarah, is in the sisterhood in England. A brother, Rev. Father Henry Woods, is living at Los Gatas, California. His wife, who survives him, is at present in Victoria where the funeral will take place. Mr. Woods made his home in this city at the Gilford Court.

E.M.N. Woods death announcement in the Vancouver Sun newspaper, Nov 24, 1919. source: newspapers.com

Research Findings

Civic address: 82 First Street, New Westminster BC (Originally St. Anne's Street/Park Lane)

Legal description: LOT C, BLOCK 32, PLAN NWP12722 GROUP 1

Date of construction: 1890 (New Westminster CityViews permit database)

Builder: W. D. Purdy (New Westminster Heritage Inventory for Albert Crescent)

Architects: Maclure & Clow (Daily Columbian newspaper, Dec 31 1890, pg 4)

Original owners and residents: Edward Montague Nelson Woods & Emily Sophia Dickinson

Residents at 82 First Street

1891 - 1899 - Edward Montague Nelson Woods (Barrister) & Emily Sophia Dickinson

1900 - 1906 - Robert Huntley Gordon (insurance Agent)

1908 - 1950 - Cliff J. W. (postmaster) & Jessie Duncan Lord

1951 - 1990 - George A. (Welder at Marathon Machinery) & Sylvia Levers*

*The Levers built the 1958 rental addition.

Archival Photographs



Barrister E.M.N. Woods House ca. 1970.

source: NWPL 723



82 First Street ca. 1982

source: NWMA IHP
IHP14337

Current Photographs



southeast corner view



front (east) view

northwest corner view



rear (west) view





northeast corner view



side (north) view

Conservation Objectives

Restoration is the overall conservation objective for the historic house.

Rehabilitation is the conservation objective for the property.

As the immediate context of the property has dramatically changed from a quiet, prestigious residential corner to a noisy, high-traffic arterial, the the subject house will be relocated to a more pedestrian-focused, quiet section of the block- to benefit the quality of life in the house and allow its restoration efforts to be intimately seen and appreciated. The historic house will be relocated from its corner location on First Street and Royal Avenue, and repositioned approximately 65 feet south on the same street, linking the old house with a grouping of early homes at the southern half of the block. This will also allow for a new L-shaped apartment complex to be constructed at the corner, creating an interior pedestrian-friendly plaza shielded from Royal Avenue. The subject building will retain its residential use, but be restored to a single-family massing and appearance with the removal of the 1958 addition. The proposed development does not negatively impact the exterior design of the historic house, nor significantly affect the property's Character Defining Elements and Heritage Values.

Preservation: *The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.*

Restoration: *The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*

Rehabilitation: *The action or process of making possible a continuing or compatible contemporary use of an historic place or of an individual component, through repair, alterations, and/or additions, while protecting its heritage value¹.*



Rendering of the proposed development showing the historic house in its new, adjusted location (circled) and the new apartment complex.

source: Iredale Architecture

¹ definitions from the Standards & Guidelines for the Conservation of Historic Places in Canada (2nd edition)

Condition Assessment

Overall the building is in **good** condition.

a. Structure

The exterior building lines are true to the eye, there is no visual evidence of structural distortion or obvious failures.

b. General Wood Elements

Exterior wood elements - window and door trim boards, tongue & groove soffits and gable finials are all in good condition. Facia boards, half timbering in gables and front porch railing cap are in fair condition as they appear to have lacked paint maintenance. There is no evidence of wood rot, damage or missing parts in any of the above mentioned elements.

The condition of the original wood cladding and other wood elements such as brackets or additional trim boards underneath the stucco, is unknown at this time.

1 window trim

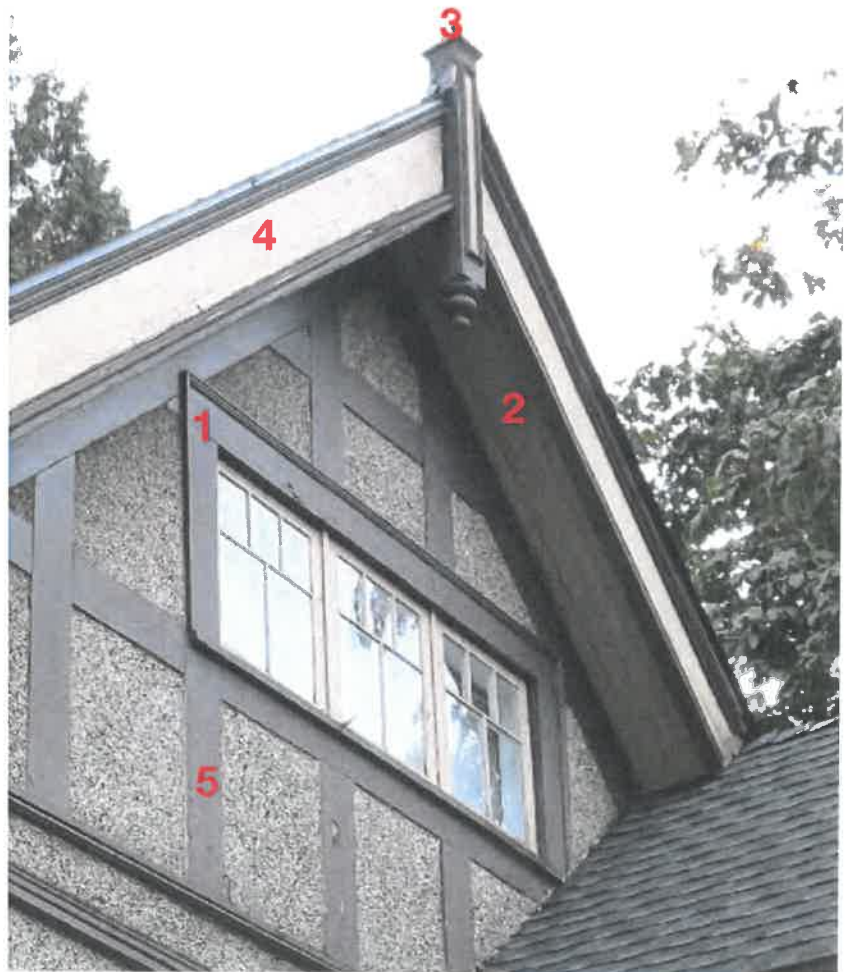
2 soffit

3 gable finial

4 facia board

5 half timbering

6 railing cap



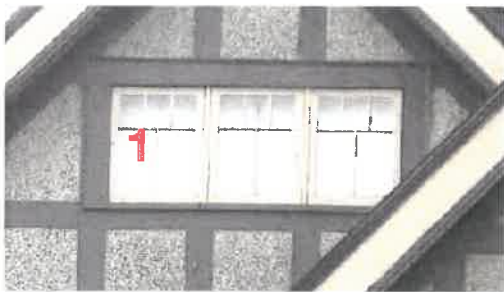
c. Roofing and waterworks

The asphalt shingle roof and aluminum gutters are in excellent condition and appear to have been installed within the last 5-10 years.

d. Windows and Doors

The 1890 portion of the building retains many original window and door openings as well as some original window sashes. The condition of the surviving windows and doors is good. See details below:

facade (east elevation)



1 gable triple-assembly window



2 & 3 front door leaded side lights



4 panelled front door

side (north elevation)

5 staircase leaded triple assembly with art glass transom

6 gable window opening, missing original sash

7 original side door opening, missing original door



rear (west elevation)



8 dormer double assembly windows

side (south elevation)



9 dormer double assembly windows. One sash is missing where an air conditioning unit was installed.

All original window sashes and doors require further assessment but in general are in good, repairable condition.

e. Finishes

The painted finish on the wood elements is in fair condition.

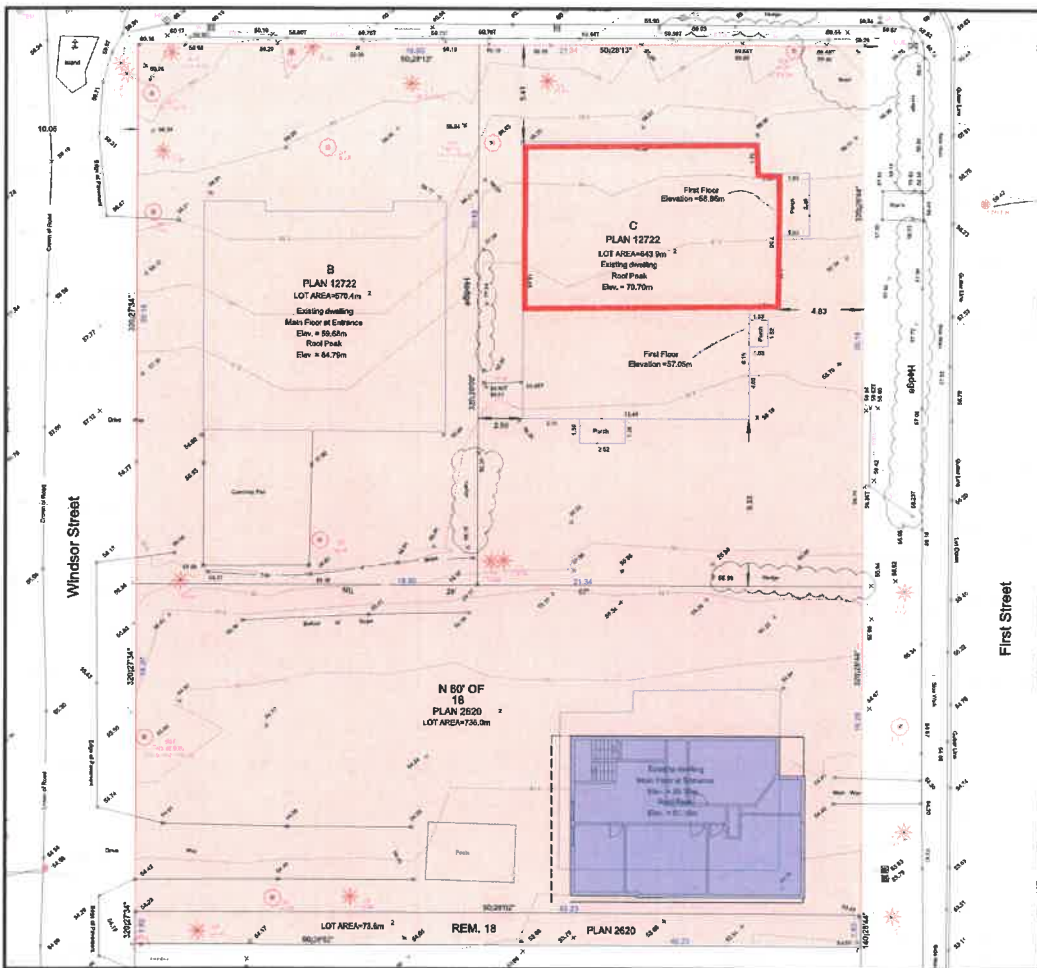
Recommended Conservation Procedures

a. Structure and site - Restoration and Rehabilitation:

Restore the historic house building structure in its new location, while introducing a new ground-level unit, thus converting the building into a two-family dwelling. Improve the functionality and liveability of the historic house through internal and mechanical alterations, not visible on the exterior. Remove 1958 additions - back porch and flat-roofed attachment to the south.

Rehabilitate the historic property by introducing a new multi-family development to significantly increase density at this site.

The below site plan shows the historic house in its current (red outline) and proposed (solid purple) locations:



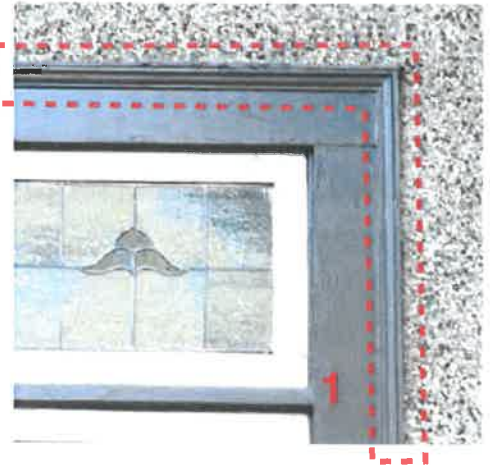
source for site plan: Iredale Architecture

b. General Wood Elements - Preservation and Restoration:

Preserve the following visible, original exterior wood elements:

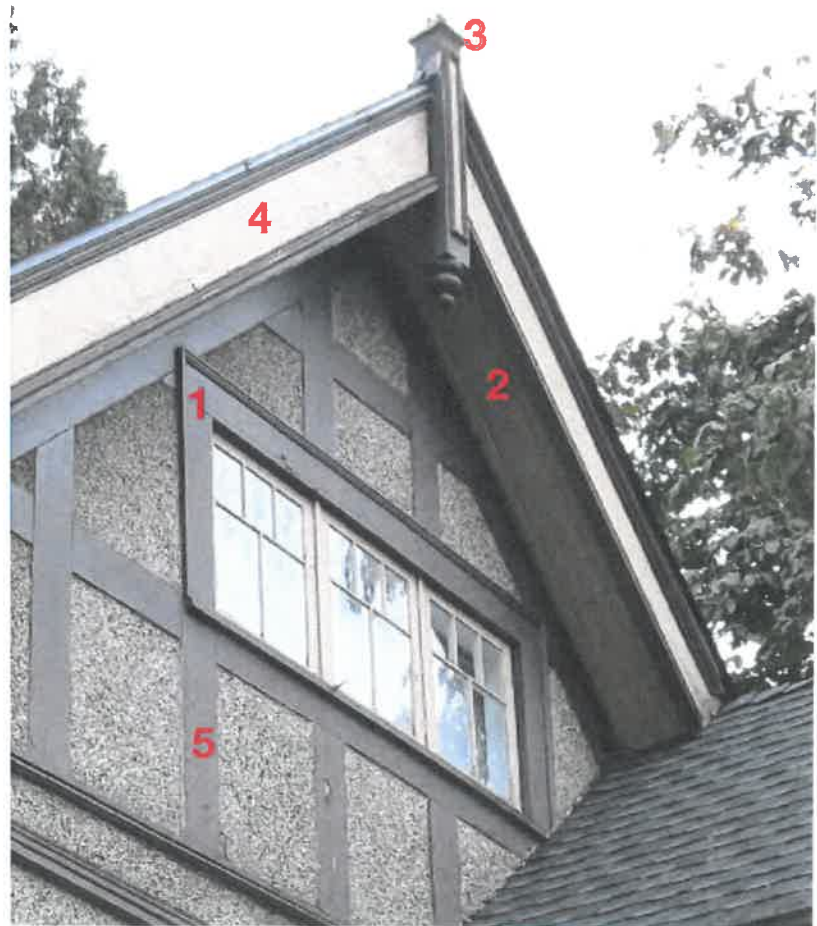
1 window trim - The original 5.5" window and door casings survive on the building around many original openings such as in the photographs below, however an additional back band moulding was added (outlined in red in photo - right), likely at the time the stucco was applied in 1958. This additional moulding should be removed where present.

2 soffits, 3 gable finials, 4 fascia boards, 5 half timbering
6 railing caps.



Repair any of the above wood elements with a thorough paint preparation (sanding down to sound paint layer, caulking and priming).

Only replace (in-kind) any individual element or portion of element that is identified as damaged beyond repair - with like species, dimensions and profiles of wood. At this time no visible wood elements are observed to be damaged beyond repair.



At this time, we have no confirmed knowledge of the condition or design of the non-visible wood elements on the subject building - especially the cladding, the front porch columns and brackets and any trim boards that have all been covered in stucco.

The following restoration assumptions are based on two other Maclure & Clow houses of the same era and neighbourhood - the Hill Residence (400 block of Fourth St., now demolished) and the English Residence (survives at 119 Royal Avenue). The subject house scale is more in line with the Hill Residence, pictured below in an archival photograph, and for this reason the cladding, column and porch elements recommended here are similar to those of the 1891 Maclure & Clow designed Hill Residence.

When more invasive investigation of the elements below the stucco layer are possible, this plan can be amended if necessary to reflect the original wood elements and their condition.



"Idlewild," home of A.J. Hill photographed ca. 1905. source: New Westminster Museum & Archives IHP0058

Restore the following non-visible, original exterior wood elements:

- 1 gable boards** - currently stuccoed, originally wood boards
- 2 altered window & door trim** - where window openings were altered, the trim size was changed. Restore all window and door trim on historic house to original 1890 dimension as per front door and sidelights trim.
- 3 front porch columns** - currently stuccoed, originally wood posts, likely turned.
- 4 porch brackets** - currently stuccoed, originally wood brackets, likely ornamental cut outs like the image on the right.
- 5 cladding** - currently stuccoed, originally wood. Likely 1890s drop siding, as per other Maclure & Clow houses of the same era.
- 6 trim boards** - currently stuccoed, originally wood. Likely a 10" trim board below gable, a 10" after table at main floor and a 5.5" trim board capping the porch entry.



The below crop from the proposed elevation drawings illustrates some of the restored wood elements on the facade elevation:



source for elevation drawing:
CityState Consulting Group Ltd.

- 1** gable boards restored to wood
- 2** stucco removed and wood cladding repaired
- 3** window trim restored to historic dimensions and materials
- 4** window sash restored to historic dimensions and materials
- 5** turned wood columns exposed and restored

c. Roof and Rainwater Works - Restoration:

Restore roof to a traditional cedar shake roof installed in standard coursing.

Install new "Colonial" K-style gutters and 2"x2" square downspouts - in Edwardian Pewter VC-23. Do not install downspouts facing the street.

d. Windows and Doors - Restoration:

Systematically and thoroughly repair all the original wood windows as identified on pages 14-15 with the aid of a specialized wood window carpenter. Wood windows need to be individually assessed for putty and glass repair, and for hardware integrity and operability. All windows need thorough paint preparation and repainting.

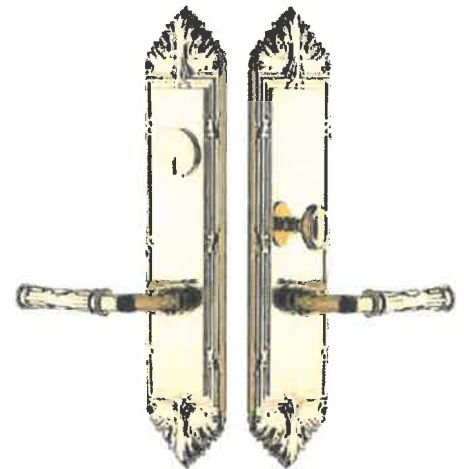
Restore original front door by stripping it of paint, filling in mail slot and restoring a lacquered, high-gloss finish. Restore the door hardware to a Victorian style entry set such as the (right) pictured Fenwick set by Baldwin Hardware, either in bronze or black. Rehang and discreetly weather strip.

Replace non-original window sashes and window openings with vertically oriented replica wood casement windows, as per proposed elevation drawings (see pages 23 to 26). Restore trim around these 'new' window openings as per original trim size (5.5") and style (square).

Restore back door on north elevation to a Victorian style back door with an upper-glazed portion such as the below photo of an 1890 salvaged door.

New basement level

This proposed addition to the historic house will be subtle and discreet in its siting behind landscaping (planted and constructed) so that the historic portion of the house is the most visible portion of the building from the street. The finishes on this level will be contemporary (concrete finish) and the window and door openings will mimic the historic ones in size but the trim detail will be slimmer. The basement addition will thus be compatible with, subordinate to and distinguishable from the historic place, as required in the Conservation Standards & Guidelines for additions. See illustration of this level on the proposed elevation drawings on pages 23 to 26.



g. Finishes - Restoration:

The current colour scheme is dominated by the 1958 bottle-dash stucco and texture which is in contrast to the dark, glossy and smooth painted finish an 1890s house would have featured.

The below proposed colour scheme is based on spot-scraping of original trim elements which revealed an almost black, dark green original paint layer. Inspired by the sepia archival photograph of the Hill Residence on page 18 and in line with 'drab' Victorian exterior colour schemes, the cladding too is proposed to be a deep, dark colour. The contrasting elements will be the light buff colour of the gable stucco and the window sashes, as per the same treatments on the Hill Residence.

Colour Scheme - all Benjamin Moore colours



all trim boards including window and door trim, facia, brackets, columns and finials

Salamander 2050-10 (matched to original paint colour found on building)
semi-gloss finish



body wood siding

Edwardian Pewter VC-23
low luster finish



gable stucco and window sash

Edwardian Buff VC-6
window sash in high gloss finish



front door

clear lacquer/stain



new construction body and trim

concrete (or)
concrete colour

Proposed Elevations

East elevation (front):



source for elevation render: CityState Consulting Group Ltd.

West elevation (rear)



source for elevation drawing: CityState Consulting Group Ltd.

South elevation (side)



source for elevation drawing: CityState Consulting Group Ltd.

North elevation (side)



source for elevation drawing: CityState Consulting Group Ltd.

Future Changes

Changes to the building configuration, especially additions, should be carefully considered for minimal affect on the **Heritage Values** as embodied in the **Character-Defining Elements** (CDE) listed in the **Statement of Significance**.

Research Resources

Ancestry.ca - historic genealogical documents for Woods, Dickinson and Lord and families

BC and National Archives

Indexes to births (1854-1903), marriages (1872-1938), deaths (1872-1993), colonial marriages (1859-1872) and baptisms (1836-1888). Archival photographs. Government of Canada Censuses for BC

City of New Westminster

Building permit records - CityViews database, City of New Westminster. Barman, Burton & Cook. 2009. Queen's Park Historical Context Statement prepared for the City of New Westminster.

New Westminster Archives

Archival photographs

New Westminster Public Library

Historic directories, Fire insurance maps, Municipal Voters Lists
Columbian Daily newspaper - 1880s-1890s

Freund-Hainsworth, Katherine & Hainsworth, Gavin. 2005. A New Westminster Album: Glimpses of the City As It Was. Dundurn. pages 46-47

Gottfried, Herbert & Jennings, Jan. 1985. American Vernacular Building and Interiors 1870-1960. Norton & Co. New York.

Hayes, Derek. 2005. Historical Atlas of Vancouver and the Lower Fraser Valley. Douglas & McIntyre.

Roy, Patricia E. 1989. A White Man's Province: BC Politicians and Chinese and Japanese Immigrants 1858-1914. UBC Press. pages 111-112

Vancouver Daily World Newspaper. various archival editions 1888-1924

Vancouver Archives and Vancouver Public Library - archival photographs

Wolf, Jim. 2005. Royal City: A Photographic History of New Westminster. Heritage House.

APPENDIX 3

CONFIRMATION OF COMMITMENT BY REGISTERED PROFESSIONAL

Date: _____

City of New Westminster

511 Royal Avenue

New Westminster, BC

V3L 1H9

Attention: Director of Climate Action, Planning and Development

Re: Heritage Revitalization Agreement for 108-118 Royal Avenue and 74-82 First Street

The undersigned hereby undertakes to be responsible for field reviews of the construction carried out at the captioned address for compliance with the requirements of Appendix 2 (Conservation Plan) of the Heritage Revitalization Agreement applicable to the property, which the undersigned acknowledges having received and reviewed, and undertakes to notify the City of New Westminster in writing within one business day if the undersigned's contract for field review is terminated at any time during construction. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

Registered Professional's Name

Address

Telephone No.

Signature or Seal

APPENDIX 4

CERTIFICATION OF REGISTERED PROFESSIONAL

Date: _____

City of New Westminster

511 Royal Avenue

New Westminster, BC

V3L 1H9

Attention: Director of Climate Action, Planning and Development

Re: Heritage Revitalization Agreement for 108-118 Royal Avenue and 74-82 First Street

I hereby give assurance that I have fulfilled my obligations for field review as indicated in my letter to the City of New Westminster dated _____ in relation to the captioned property, and that the architectural components of the work comply in all material respects with the requirements of Appendix 2 (Conservation Plan) of the Heritage Revitalization Agreement referred to in that letter. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

Registered Professional's Name

Address

Telephone No.

Signature or Seal

APPENDIX 5
APPROVED PLANS



First+Royal

74 - 82 First Street & 108 - 118 Royal Avenue, New Westminster, BC



Sheet

REDIC DEVELOPMENTS

TFL DEVELOPMENTS WINNOR INC.

11	Jan 13 2021	Revised for DP 3 Planning
10	Nov 19 2020	Revised for DP 3 Planning
9	July 19 2021	Revised for DP 3 Planning
8	Feb 02 2021	Revised for DP 3 Planning
7	Nov 11 2020	Revised for DP 3 Planning
6	Oct 02 2019	Revised for DP 3 Planning
5	Jan 16 2019	Revised for Planning
4	Dec 1	Revised for Planning
3	Dec 1	Revised for Planning
2	Dec 1	Revised for Planning
1	Dec 1	Revised for Planning



IREDALE ARCHITECTURE
 220 - 13 White Street
 Vancouver, BC V6B 1M5
 604 - 755 - 5581
 Vancouver - Victoria - Calgary
 iredale.ca



Title

TITLE
First+Royal
ADDRESS
 74 - 82 FIRST STREET &
 108 - 118 ROYAL AVENUE
 NEW WESTMINSTER
 DISTRICT OF NEW WESTMINSTER
 DISTRICT OF NEW WESTMINSTER
 DISTRICT OF NEW WESTMINSTER

Covering Area

COVER SHEET

Author	DRH	Checker	DRH
Project	18077	Sheet No.	4
Date	18 MARCH 2022	Sheet No.	4

PROPOSED RESIDENTIAL DEVELOPMENT - DP / REZONING SUBMISSION. The Royals
 108, 112, 114 and 118 Royal Ave. & 74, 82 First Street
 ZONING:

Legal Address: Lots 13, 14 AND 15 Plan 2620, All of Block 32, New Westminster Township Group 1 NW1D

Proposed:
 Single Detached/RIS-2
 CD - Multi-family
 Residential Apartment Complex (Site Strategy)
 51,888 SF (4,900 m²)
 47,912 SF (4,451 m²)
 47,912 SF (4,451 m²)
 3.2% (Calculated on newly reduced site area)
 30,892 SF (1,199 m²) = 64.5 %
 76'-0" (23.32 m) (net) = 63.5 %
 76'-0" (23.32 m) (gross)
North Property Line
 = 13'-0" (3.96 m)
 = 7'-2.59" (2.21 m)
 = 10'-4.58" (3.17 m)
South Property Line
 = 7'-2.59" (2.21 m)
 = 11'-4.78" (3.48 m)
 = 7'-2.59" (2.21 m)
West Property Line
 = 11'-4.78" (3.48 m)
 = 7'-2.59" (2.21 m)
 = 4'-0" (1.22 m)
 Note: Architectural features project into setbacks

Required: of 189 Units = 76
 Provider: %

Accessible Housing Units (40% required)
 Building Access provisions, accessible dwelling unit bathrooms and kitchens have been designed in accordance with base code requirements as well. Transparent red rectangles representing the required clearances (front and rear) to balconies and inviting doors have been provided in the plans for all accessible units.

RESPONSE TO ARCHITECTURAL GUIDELINES:

4.3 LIVABLE DENSITY
 The specific values for the livable density are set to be adjusted to the northern end of the site adjacent the other high-density character homes down First Street. The new building forms around the house providing sufficient beaching room along one side for a generous outdoor patio and garden space for the northern end of the block and against the west corridor of Royal Avenue prevents it from being a continuous wall of residential units. The proposed building is designed to be a community space house, a community garden and a children's play area offering spectacular views to the south.

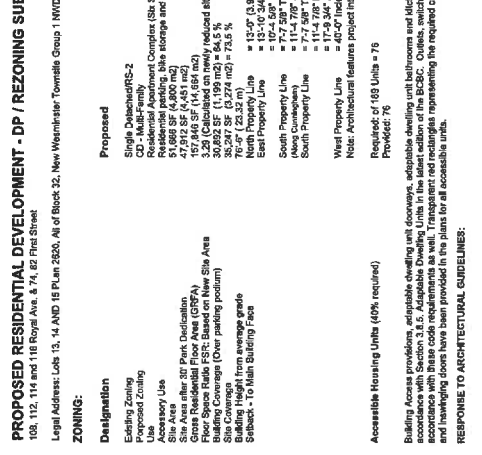
4.3 STREET RELATIONSHIP
 The building arrives to present an understated elegance, paying homage to some of the traditional brick-clad structures in the downtown precinct. It's form is a series of horizontal bands of windows, brickwork, and metal finishes without facade or ornamentation. The building sits on a few simple patterns to create visual interest and avoid mundane repetition.

4.7 CONTEXTUAL RESPONSE
 Focusing the building's mass towards Royal Avenue and then opening it up towards the low-scale residential buildings further down First Street helps mitigate the building's scale. The building's form language has been intentionally placed to assist in this transition and help maintain the street character. As mentioned previously, the new building's form language has been used to complement the heritage house. The colors we propose have been chosen to complement the house and provide old and new buildings.
4.8 SAFETY
 The building is oriented towards public footpaths with the main entrance spaces for Royal East off the corner of Royal Avenue and First Street, the most visible part of the development, and the entrance to Royal West from Cunningham Street adjacent the newly created MUP.
ACCESSIBLE HOUSING UNITS
 Required (90% of 189 Units = 76): 76 Provided
 Building Access provisions, accessible dwelling unit, elevators, accessible dwelling unit bathrooms and kitchens have been designed in accordance with base code requirements as well. Transparent red rectangles representing the required clearances in front and rear to fit furniture and hanging doors have been provided in the plans for all accessible units.
ACCESSIBLE HOUSING UNIT FEATURES
 o Covered main entrances to building with doors that are power-operated, functioning for passage in both directions.
 o 5'-0" wide common corridors.
 o Ramped areas with tactile at entry doors.
 o Bathrooms are provided with blocking for tub or shower.
 o Clear dimension from the front edge of the toilet to the leading edge of the bathtub.
 o Clear floor area in front of the emergency exit door (minimum of 750 mm width by 1220 mm depth contained on the same level).
 o Additional clearances and dimensions as per BC Building Code and applicable standards.

DRAWING LIST:

- A0.00 Information Sheet
- A0.01 CD - Multi-family
- A0.02 Area Diagrams-01
- A0.03 Area Diagrams-02
- A1.00 Plan - Level P3 & P2
- A1.01 Plan - Level 04 & 03
- A1.02 Plan - Level 04 & 05
- A1.03 Plan - Level 06 & Roof
- A2.01 Elevations
- A2.02 Section
- A3.01 Section
- A3.02 Section
- A3.03 Section
- A4.01 Renderings
- A4.02 Renderings
- A5.01 Shadow Studies

Heritage House Drawings by Clusters - 7 Pages



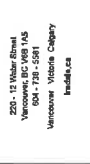
SITE CONTEXT PLAN

Proposed

Date	Description	By	Check
27 Jan 19 2022	Revised for DP + Rezoning		
28 Feb 20 2021	Revised for DP + Rezoning		
18 Jul 20 2021	Revised for DP + Rezoning		
18 Feb 22 2021	Revised for DP + Rezoning		
06 May 21 2020	Revised for DP + Rezoning		
05 Oct 20 2019	Revised for DP + Rezoning		
18 Jan 20 2019	Revised for DP + Rezoning		
10 Jun 19 2018	Revised for DP + Rezoning		
10 Jun 19 2018	Revised for DP + Rezoning		
10 Jun 19 2018	Revised for DP + Rezoning		
10 Jun 19 2018	Revised for DP + Rezoning		



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First+Royal
 ADDRESS
 74 - 82 FIRST STREET & CUMMINGS STREET
 NEW WESTMINSTER
 DOWNTOWN NW YL4 V4H

INFORMATION SHEET

Project No.	10077
Sheet No.	4
Date	16 MARCH 2022
Scale	AS SHOWN

UNIT Type - Both Sides	# of Units	Percent of Total
1 BR Unit	65	34.39%
2 BR Unit	36	19.05%
3 BR Unit	59	31.22%
2 BR Heritage House	3	1.57%
3 BR Heritage House	4	2.12%
2 BR Heritage House	1	0.53%
2 BR Unit	1	0.53%
3 BR Unit	6	3.17%
3 BR Unit	6	3.17%
TOTAL	189	100.00%

Factor

1 BR Unit	37	19.58%
2 BR Unit	22	11.64%
3 BR Unit	31	16.40%
2 BR Heritage House	3	1.57%
3 BR Heritage House	4	2.12%
2 BR Heritage House	1	0.53%
2 BR Unit	1	0.53%
3 BR Unit	6	3.17%
3 BR Unit	6	3.17%
TOTAL	189	100.00%

Factor

1 BR Unit	1.00
2 BR Unit	1.00
3 BR Unit	1.00
2 BR Heritage House	1.00
3 BR Heritage House	1.00
2 BR Heritage House	1.00
2 BR Unit	1.00
3 BR Unit	1.00
3 BR Unit	1.00
Total Residual Spaces - See	0.12

Factor

1 BR Unit	1.00
2 BR Unit	1.00
3 BR Unit	1.00
2 BR Heritage House	1.00
3 BR Heritage House	1.00
2 BR Heritage House	1.00
2 BR Unit	1.00
3 BR Unit	1.00
3 BR Unit	1.00
Total Residual Spaces - See	0.12

Factor

1 BR Unit	1.00
2 BR Unit	1.00
3 BR Unit	1.00
2 BR Heritage House	1.00
3 BR Heritage House	1.00
2 BR Heritage House	1.00
2 BR Unit	1.00
3 BR Unit	1.00
3 BR Unit	1.00
Total Residual Spaces - See	0.12

Factor

1 BR Unit	1.00
2 BR Unit	1.00
3 BR Unit	1.00
2 BR Heritage House	1.00
3 BR Heritage House	1.00
2 BR Heritage House	1.00
2 BR Unit	1.00
3 BR Unit	1.00
3 BR Unit	1.00
Total Residual Spaces - See	0.12

Factor

1 BR Unit	1.00
2 BR Unit	1.00
3 BR Unit	1.00
2 BR Heritage House	1.00
3 BR Heritage House	1.00
2 BR Heritage House	1.00
2 BR Unit	1.00
3 BR Unit	1.00
3 BR Unit	1.00
Total Residual Spaces - See	0.12

Factor

1 BR Unit	1.00
2 BR Unit	1.00
3 BR Unit	1.00
2 BR Heritage House	1.00
3 BR Heritage House	1.00
2 BR Heritage House	1.00
2 BR Unit	1.00
3 BR Unit	1.00
3 BR Unit	1.00
Total Residual Spaces - See	0.12

Factor

1 BR Unit	1.00
2 BR Unit	1.00
3 BR Unit	1.00
2 BR Heritage House	1.00
3 BR Heritage House	1.00
2 BR Heritage House	1.00
2 BR Unit	1.00
3 BR Unit	1.00
3 BR Unit	1.00
Total Residual Spaces - See	0.12

REDIC DEVELOPMENTS

TPL DEVELOPMENTS WINDSOR INC.

41	Jan 14 2022	Revised for O.P. #1 Planning
42	Feb 13 2022	Revised for O.P. #1 Planning
43	Jan 13 2021	Revised for O.P. #1 Planning
44	Nov 18 2021	Revised for O.P. #1 Planning
45	May 21 2020	Revised for O.P. #1 Planning
46	Oct 22 2019	Revised for O.P. #1 Planning
47	Jan 20 2019	Issued for Planning
48	EMR	



IREDALE ARCHITECTURE
 220-13 Main Street
 Vancouver, BC V6B 1A5
 604-731-1051
 Vancouver, British Columbia
 iredale.ca

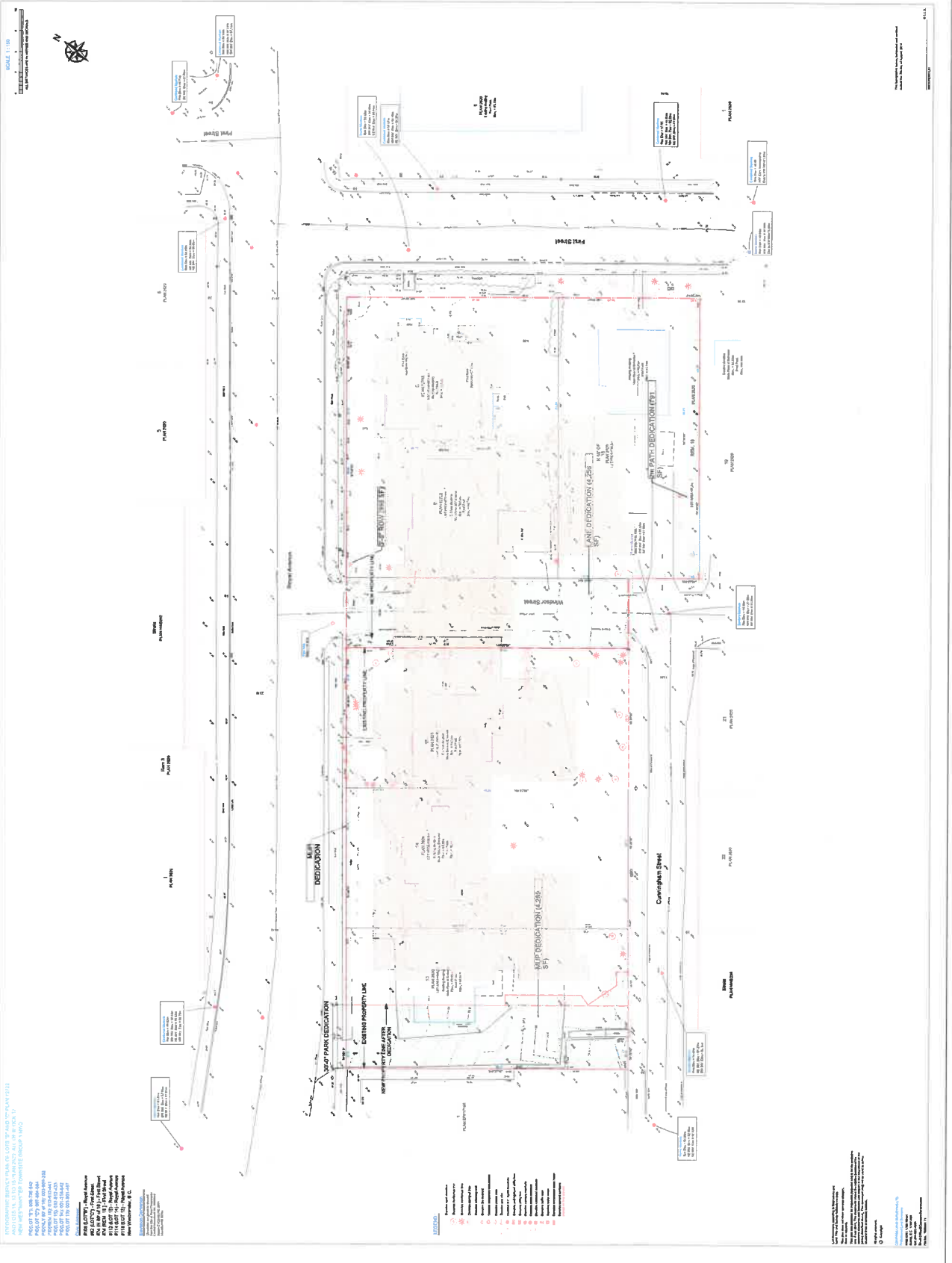


TITLE
First+Royal
ADDRESS
 74-82 BUREAU STREET &
 108-116 ROYAL AVENUE
 NEW WESTMINSTER
 DISTRICT OF NEW WESTMINSTER

SURVEY

Project No.	18077
Date	18 MARCH 2022
Sheet No.	4
Scale	A1/4

SCALE: 1:100
 ALL DIMENSIONS IN METERS



CONSTRUCTION OF THE PROPOSED BUILDING SHALL BE IN ACCORDANCE WITH THE CITY OF NEW WESTMINSTER ZONING BY-LAW AND THE BC BUILDING ACT AND REGULATIONS.
 ALL DIMENSIONS SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED.
 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
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 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

IREDALE ARCHITECTURE
 220-13 Main Street
 Vancouver, BC V6B 1A5
 604-731-1051
 iredale.ca

LEGEND

Symbol	Description
Red star	Survey Point
Red circle	Survey Station
Red square	Survey Control Point
Red triangle	Survey Bench Mark
Red diamond	Survey Intersection
Red hexagon	Survey Monument
Red octagon	Survey Marker
Red circle with cross	Survey Station
Red square with cross	Survey Control Point
Red triangle with cross	Survey Bench Mark
Red diamond with cross	Survey Intersection
Red hexagon with cross	Survey Monument
Red octagon with cross	Survey Marker

THIS SURVEY WAS CONDUCTED ON 18 MARCH 2022.
 ALL DIMENSIONS SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED.
 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
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 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

11	Jan 28 2022	Revised for DP 15 Reviewing
10	Jan 28 2021	Revised for DP 15 Reviewing
9	Jan 28 2021	Revised for DP 15 Reviewing
8	Feb 08 2021	Revised for DP 15 Reviewing
7	May 21 2020	Revised for DP 15 Reviewing
6	Oct 22 2019	Revised for DP 15 Reviewing
5	Jan 28 2019	Issued for Planning
4	Jan 28 2019	Issued for Planning
3	Jan 28 2019	Issued for Planning
2	Jan 28 2019	Issued for Planning
1	Jan 28 2019	Issued for Planning



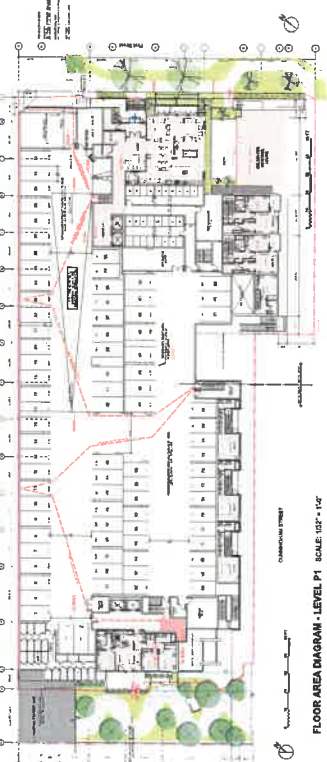
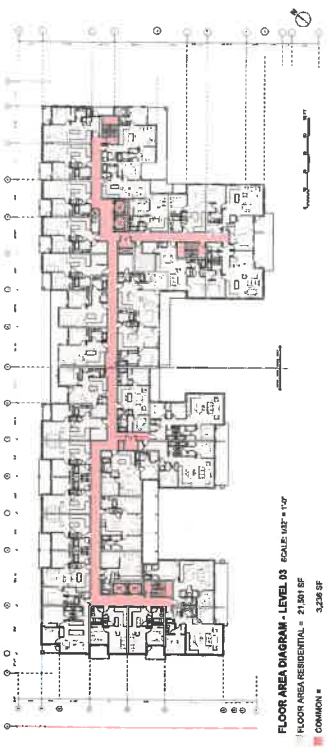
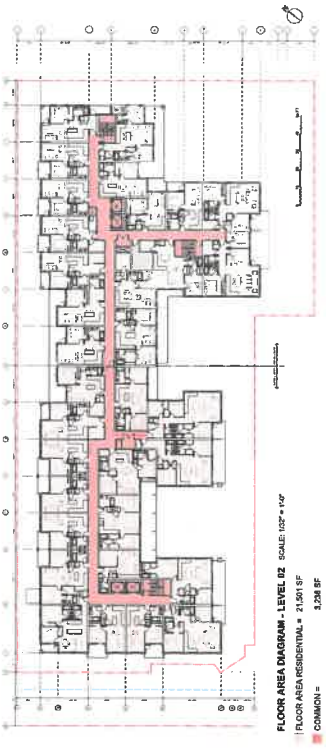
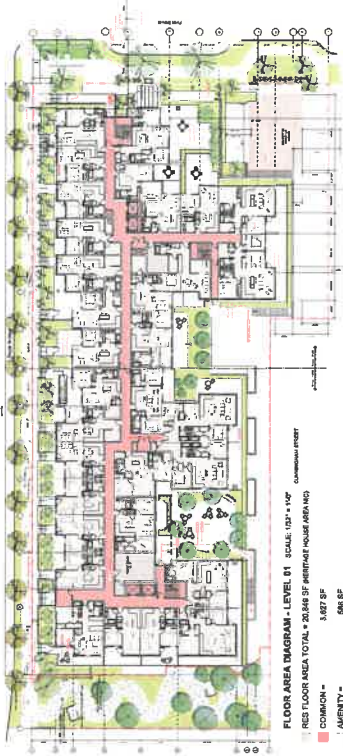
IREDALE ARCHITECTURE
 220-13 Water Street
 Vancouver, BC V6B 1A5
 604-739-5581
 Vancouver Victoria Calgary
 iredale.ca



TITLE
First+Royal
 ADDRESS
 74 AVENUE A
 108-114 ROYAL AVENUE
 NEW WESTMINSTER
 DOWNTOWN NW V3L 7H2

AREA DIAGRAMS

Project No.	18077
Date	18 MARCH 2022
Sheet No.	4
Revision No.	AR-02



REDIC DEVELOPMENTS

TPA DEVELOPMENT'S VENDOR INC.

17	Jan 20 2022	Approved for DP & Rezoning
18	Jan 20 2022	Approved for DP & Rezoning
19	Jan 20 2022	Approved for DP & Rezoning
20	Jan 20 2022	Approved for DP & Rezoning
21	Jan 20 2022	Approved for DP & Rezoning
22	Jan 20 2022	Approved for DP & Rezoning
23	Jan 20 2022	Approved for DP & Rezoning
24	Jan 20 2022	Approved for DP & Rezoning
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26	Jan 20 2022	Approved for DP & Rezoning
27	Jan 20 2022	Approved for DP & Rezoning
28	Jan 20 2022	Approved for DP & Rezoning
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98	Jan 20 2022	Approved for DP & Rezoning
99	Jan 20 2022	Approved for DP & Rezoning
100	Jan 20 2022	Approved for DP & Rezoning



IREDALE ARCHITECTURE
220 - 12 Miller Street
Vancouver, BC V6B 1A5
604-736-3551
Vancouver, British Columbia
iredale.ca

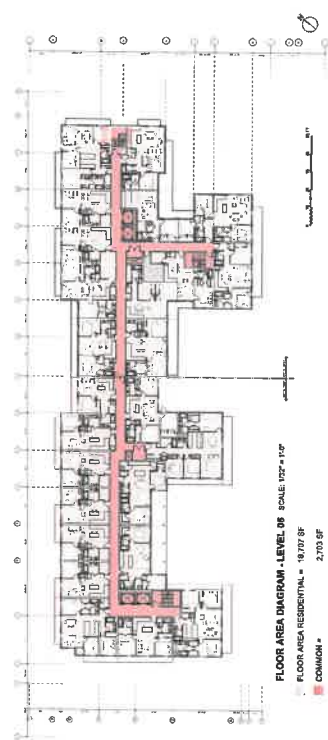
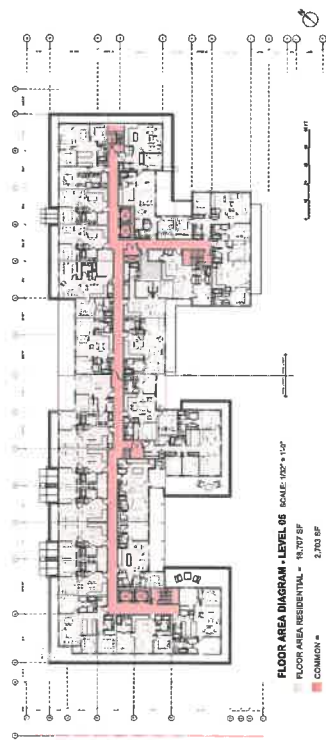
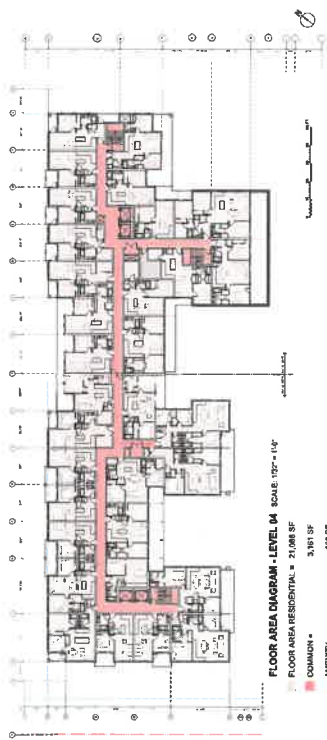


Comments

TITLE
First+Royal
ADDRESS
74-82 BUCKINGHAM STREET
108-118 ROYAL AVENUE
NEW WESTMINSTER
DEVELOPMENT PERMIT

PLAN - LEVEL 02

Client	PIH	Scale	Project	PIH
			18077	
Date	18 MARCH 2022	Page No.	4	Sheet No.
				A0.03



REDIC DEVELOPMENTS
 TPL DEVELOPMENTS VINCOR INC.

01	JAN 25 2022	Submitted for DP 10 Planning
02	JAN 25 2022	Approved for DP 10 Planning
03	JAN 25 2022	Submitted for DP 10 Planning
04	FEB 02 2021	Submitted for DP 10 Planning
05	MAY 17 2020	Submitted for DP 10 Planning
06	OCT 22 2019	Submitted for DP 10 Planning
07	JAN 22 2019	Issued for Planning
08	DATE	REVISION



IREDALE ARCHITECTURE
 200 - 43 White Street
 Vancouver, BC V6B 1A5
 604 - 791 - 0581
 Vancouver, Victoria, Calgary
 fred@i.ca



TITLE
First+Royal
 ADDRESS
 51 - 116 ROYAL AVENUE
 NEW WESTMINSTER
 DOWNTOWN NEW WEST, BC

LEVEL P3 & P2
BOTH BUILDINGS

Client	P.J.H.	Project	18077
Date	16 MARCH 2022	Sheet No.	A1.00



LEVEL P3

LEVEL P2

CUNNINGHAM STREET

FIRST STREET

WINDOS STREET

REDIC DEVELOPMENTS

TYL DEVELOPMENTS WINDSOR INC.

10	Jan 22 2022	Architectural Plot 18 Drawing
11	Mar 23 2022	Architectural Plot 18 Drawing
12	May 10 2022	Architectural Plot 18 Drawing
13	Feb 09 2022	Architectural Plot 18 Drawing
14	May 21 2022	Architectural Plot 18 Drawing
15	Oct 22 2021	Architectural Plot 18 Drawing
16	Mar 22 2021	Issued for Permitted
17	16	Revision
18	15	Revision
19	14	Revision



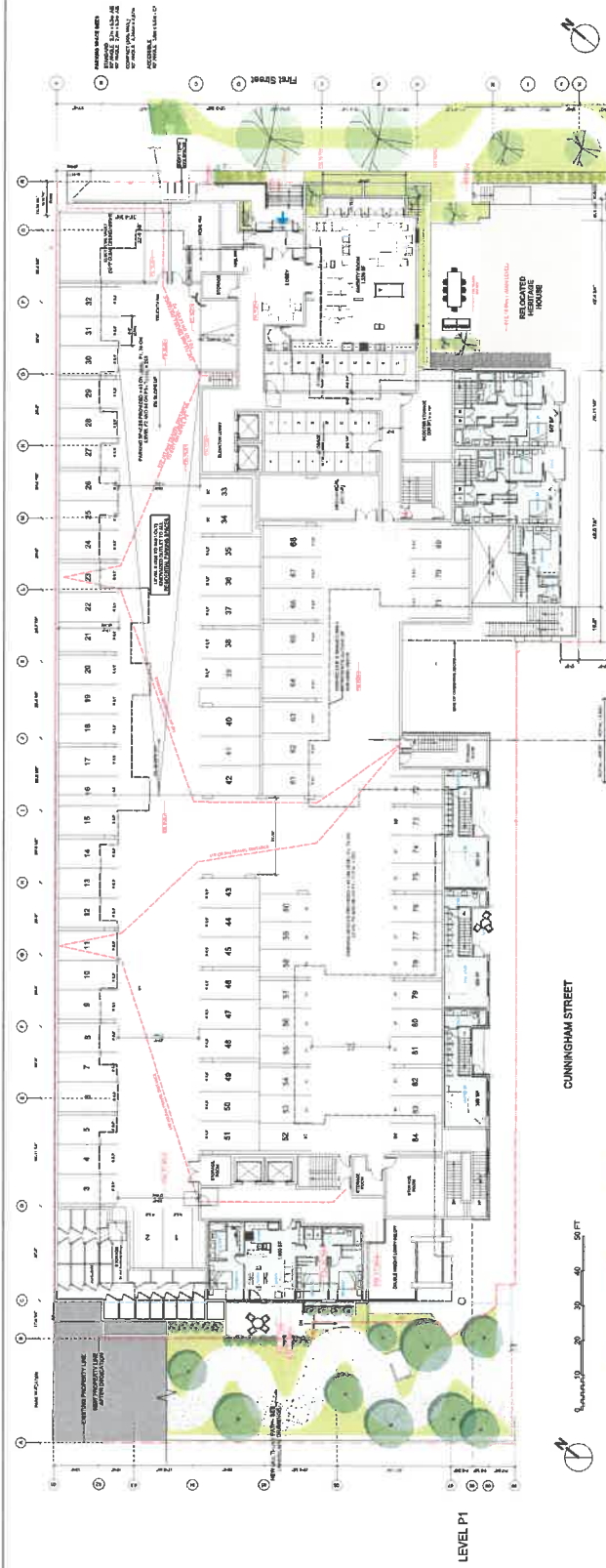
IREDALE ARCHITECTURE
 220-15 Waver Street
 Vancouver, BC V6B 1A8
 604-735-5581
 Vancouver: Victor's Copying
 iredale.ca



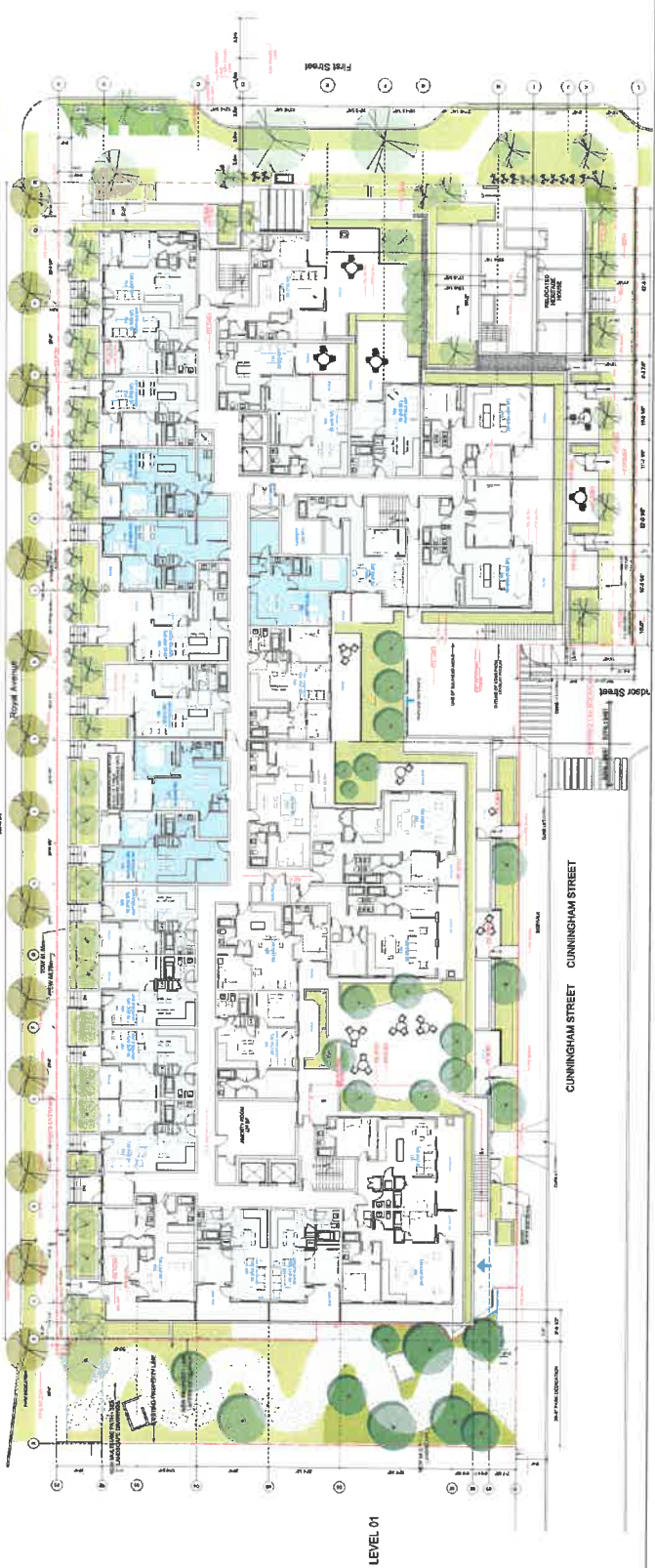
TITLE
First+Royal
 ADDRESS
 71 - 73 ROYAL AVENUE
 100 - 110 ROYAL AVENUE
 NEW WESTMINSTER
 COQUITLAM WY V3L 1T6

LEVEL 01 (SITE PLAN) & P1
ROYAL EAST & WEST

Client	PJH	Project	PJH
Scale	1/16" = 1'-0"	Permit No.	18077
Date	18 MARCH 2022	Sheet No.	4
		Project No.	A1/01



LEVEL P1



LEVEL 01

I:\Projects\2022\New West\01 - 02 - 03 - 04 - 05 - 06 - 07 - 08 - 09 - 10 - 11 - 12 - 13 - 14 - 15 - 16 - 17 - 18 - 19 - 20 - 21 - 22 - 23 - 24 - 25 - 26 - 27 - 28 - 29 - 30 - 31 - 32 - 33 - 34 - 35 - 36 - 37 - 38 - 39 - 40 - 41 - 42 - 43 - 44 - 45 - 46 - 47 - 48 - 49 - 50 - 51 - 52 - 53 - 54 - 55 - 56 - 57 - 58 - 59 - 60 - 61 - 62 - 63 - 64 - 65 - 66 - 67 - 68 - 69 - 70 - 71 - 72 - 73 - 74 - 75 - 76 - 77 - 78 - 79 - 80 - 81 - 82 - 83 - 84 - 85 - 86 - 87 - 88 - 89 - 90 - 91 - 92 - 93 - 94 - 95 - 96 - 97 - 98 - 99 - 100 - 101 - 102 - 103 - 104 - 105 - 106 - 107 - 108 - 109 - 110 - 111 - 112 - 113 - 114 - 115 - 116 - 117 - 118 - 119 - 120 - 121 - 122 - 123 - 124 - 125 - 126 - 127 - 128 - 129 - 130 - 131 - 132 - 133 - 134 - 135 - 136 - 137 - 138 - 139 - 140 - 141 - 142 - 143 - 144 - 145 - 146 - 147 - 148 - 149 - 150 - 151 - 152 - 153 - 154 - 155 - 156 - 157 - 158 - 159 - 160 - 161 - 162 - 163 - 164 - 165 - 166 - 167 - 168 - 169 - 170 - 171 - 172 - 173 - 174 - 175 - 176 - 177 - 178 - 179 - 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REDIC DEVELOPMENTS

TPL DEVELOPMENTS VINCINOR INC.

01	July 26, 2022	Revised for DP 15 Resolving
02	July 28, 2022	Revised for DP 15 Resolving
03	July 29, 2022	Revised for DP 15 Resolving
04	July 29, 2022	Revised for DP 15 Resolving
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93	July 29, 2022	Revised for DP 15 Resolving
94	July 29, 2022	Revised for DP 15 Resolving
95	July 29, 2022	Revised for DP 15 Resolving
96	July 29, 2022	Revised for DP 15 Resolving
97	July 29, 2022	Revised for DP 15 Resolving
98	July 29, 2022	Revised for DP 15 Resolving
99	July 29, 2022	Revised for DP 15 Resolving
100	July 29, 2022	Revised for DP 15 Resolving



IREDALE ARCHITECTURE
 200-15 White Street
 Vancouver, BC V6B 1A8
 604-735-0851
 Vancouver, Victoria, Calgary
 Toronto



TITLE
First+Royal
 ADDRESS
 108 + 116 ROYAL AVENUE
 NEW WESTMINSTER
 DOWNTOWN NW V2L 1Y6

PLAN - LEVEL 02 & 03

Drawn	PJH	Checked	PJH
Scale	1/8" = 1'-0"	Project No.	18877
Date	16 MARCH 2022	Sheet No.	A1.02



UNIT LEGEND
 1 BEDROOM UNIT
 2 BEDROOM + DEN UNIT
 3 BEDROOM UNIT

LEVEL 02

UNIT LEGEND
 1 BEDROOM UNIT
 2 BEDROOM + DEN UNIT
 3 BEDROOM UNIT

LEVEL 03

REDIC DEVELOPMENTS

TFL DEVELOPMENT'S WINDSOR INC.

07	Jan 19 2022	Revised for DP 4 Review
06	Sept 23 2021	Revised for DP 3 Review
05	Aug 10 2021	Revised for DP 2 Review
04	Feb 08 2021	Revised for DP 1 Review
03	Nov 11 2020	Revised for DP 4 Review
02	Oct 22 2019	Revised for DP 4 Review
01	Jan 29 2019	Issued for Review
NS	0	Issue
NO	0	Date



IREDALE ARCHITECTURE
 505, 111 Nelson Street
 Vancouver, BC V6B 1K5
 604-739-1171
 Vancouver, Victoria, Calgary
 Iredale.ca



TITLE
First+Royal
 ADDRESS
 101-111 BROADWAY
 100-111 BROADWAY
 NEW WESTMINSTER,
 DOWNTOWN NEW VOL 112

PLAN - LEVEL 04 & 05

Drawn	P.J.H.	Checked	P.J.H.
Scale	1/8" = 1'-0"	Project No.	18077
Date	16 MARCH 2022	Sheet No.	4
		Plot No.	A1.03

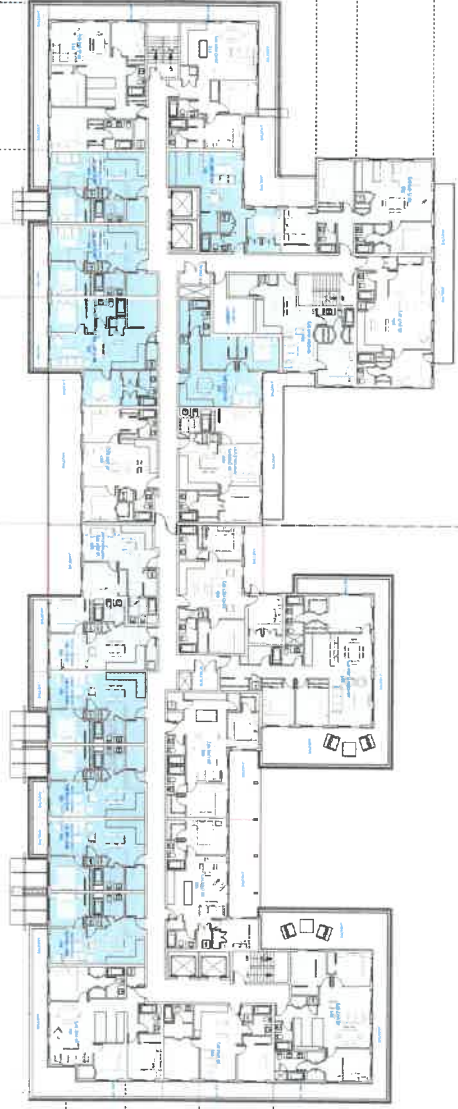


UNIT LEGEND

1	BEDROOM UNIT
2	BEDROOM + DEN UNIT
3	BEDROOM UNIT

LEVEL 04

0 10 20 30 40 50 FT



UNIT LEGEND

1	BEDROOM UNIT
2	BEDROOM + DEN UNIT
3	BEDROOM UNIT

LEVEL 05

0 10 20 30 40 50 FT

REDIC DEVELOPMENTS

TYL DEVELOPMENTS WINDSOR INC.

01	Jan 28 2022	Revised for CP & Planning
02	Apr 19 2022	Revised for CP & Planning
03	Apr 19 2022	Revised for CP & Planning
04	Apr 19 2022	Revised for CP & Planning
05	Apr 19 2022	Revised for CP & Planning
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97	Apr 19 2022	Revised for CP & Planning
98	Apr 19 2022	Revised for CP & Planning
99	Apr 19 2022	Revised for CP & Planning
100	Apr 19 2022	Revised for CP & Planning



IREDALE ARCHITECTURE
 220-13 Wood Street
 Vancouver BC V6B 1A5
 604-739-5681
 Vancouver, Victoria, Calgary
 Iredale.ca



TITLE
First+Royal
 ADDRESS
 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 96, 98, 100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000

PLAN - LEVEL 08 & ROOF

Drawn	P.J.H.	Checked	P.J.H.
Project No.	18077	Sheet No.	4
Date	16 MARCH 2022	Scale	AS SHOWN



UNIT LEGEND

1	BEDROOM UNIT
2	BEDROOM + DEN UNIT
3	BEDROOM UNIT
4	BEDROOM + DEN UNIT
5	BEDROOM UNIT

LEVEL 08

LEVEL ROOF

REDIC DEVELOPMENTS

TFL DEVELOPMENTS WINDSOR INC.

01	Jan 28 2022	Revised for CP 4 Reviewing
02	Mar 28 2021	Revised for CP 4 Reviewing
03	Feb 05 2021	Revised for CP 4 Reviewing
04	Nov 17 2020	Revised for CP 4 Reviewing
05	Oct 23 2020	Revised for CP 4 Reviewing
06	Jan 20 2019	Issued for Planning
07	01/20/19	Revision
08	01/20/19	Revision



IREDALE ARCHITECTURE
 292-15 10th Street
 Vancouver, BC V6B 1A5
 604-734-5551
 Vancouver, British Columbia
 iredale.ca



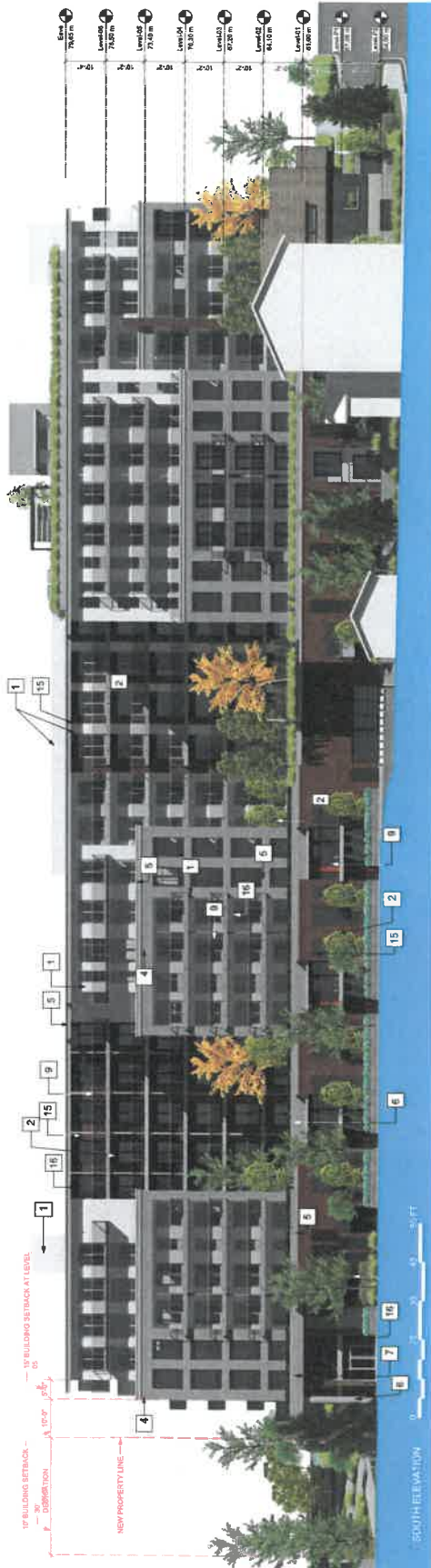
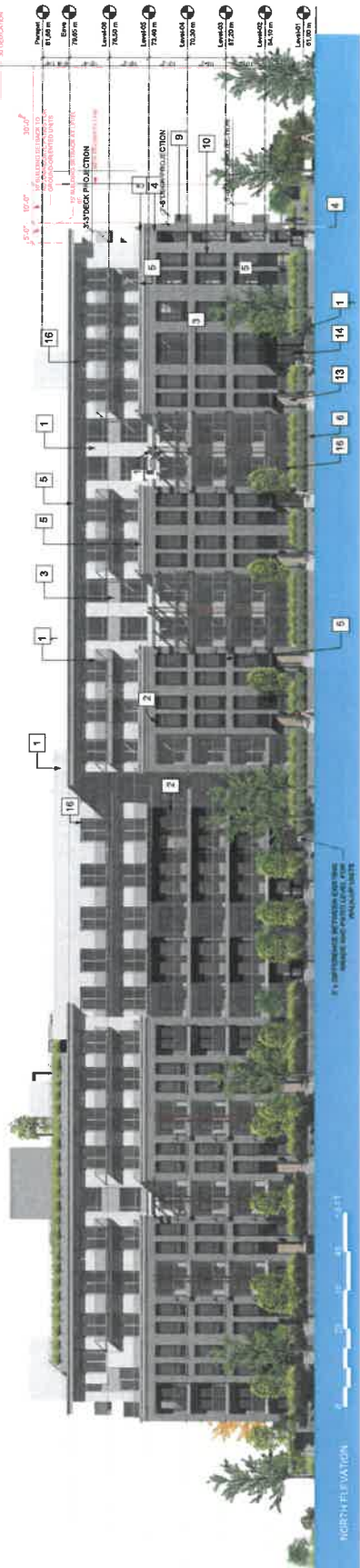
TITLE
First+Royal
 ADDRESS
 108-112 ROYAL AVENUE
 NEW WESTMINSTER
 COQUITMAN WA V3L 7J2

NORTH ELEVATION
SOUTH ELEVATION

Author	P.J.H.	Client	Power P.J.H.
Project No.	18077	Sheet No.	4
Date	18 MARCH 2022	Scale	A2.01

MATERIAL LEGEND

	CONCRETE
	BRICK
	GLAZED ALUMINUM
	WOOD CLADDING
	ROOFING
	LANDSCAPE
	PAVING
	SCREENING
	SCREENING
	SCREENING
	SCREENING
	SCREENING
	SCREENING
	SCREENING
	SCREENING
	SCREENING



REDIC DEVELOPMENTS
TFL DEVELOPMENTS WINNDOR INC.

Date	Description
Jan 18 2023	Reviewed for 4th Review
Jan 19 2023	Reviewed for 5th Review
Jan 20 2023	Reviewed for 6th Review
Feb 20 2023	Reviewed for 7th Review
May 23 2020	Reviewed for 8th Review
Oct 22 2019	Reviewed for 9th Review
Jan 19 2019	Issued for Planning



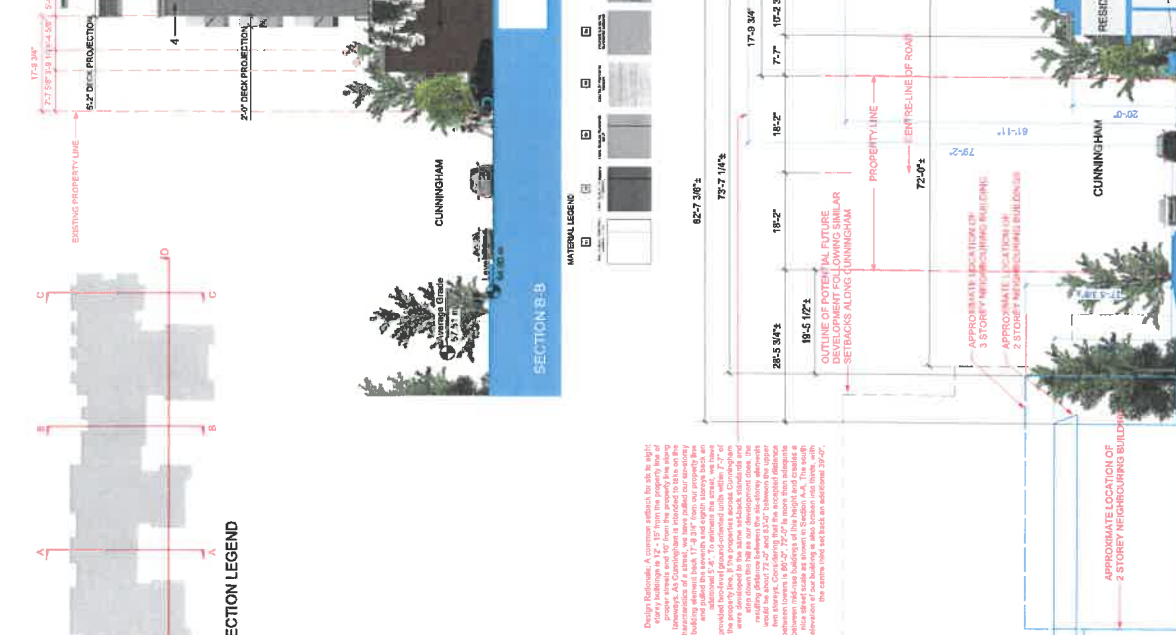
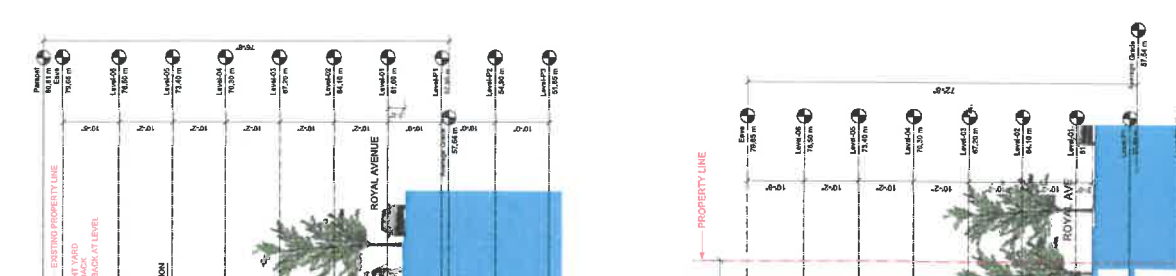
IREDALE ARCHITECTURE
505, 511 West Street
Vancouver, BC V6B 1A5
604-731-5581
Vancouver, Victoria, Calgary
iredale.ca



TITLE
First+Royal
ADDRESS
71 & 72 CUNNINGHAM
108 & 112 ROYAL AVENUE
NEW WESTMINSTER
DOWNTOWN NW YSL INC.

Drawn	PJH	Checkd	Project No.
3/27	1-10	16077	

Date	Drawn	Project No.	Sheet No.
16 MARCH 2022	4	43.01	



Design Rationale: A common method for siting is to use a grid system for the entire site. In this case, the site is divided into a grid of 10 columns (A-J) and 16 rows (1-16). This grid system allows for precise location of building footprints, parking, and other site elements. The grid lines are spaced at regular intervals, providing a clear framework for the site layout. The building footprint is shown in blue, and the parking areas are shown in grey. The grid system is used to define the location and size of the building and parking areas. The grid lines are labeled with letters and numbers, and the building footprint is shown in blue. The parking areas are shown in grey. The grid system is used to define the location and size of the building and parking areas.

REDIC DEVELOPMENTS
 TPL DEVELOPMENTS WINDSOR INC.

2022.03.18	Approved by Council	2022.03.18	Approved by Council
2022.03.18	Approved by Council	2022.03.18	Approved by Council
2022.03.18	Approved by Council	2022.03.18	Approved by Council
2022.03.18	Approved by Council	2022.03.18	Approved by Council
2022.03.18	Approved by Council	2022.03.18	Approved by Council
2022.03.18	Approved by Council	2022.03.18	Approved by Council
2022.03.18	Approved by Council	2022.03.18	Approved by Council
2022.03.18	Approved by Council	2022.03.18	Approved by Council
2022.03.18	Approved by Council	2022.03.18	Approved by Council
2022.03.18	Approved by Council	2022.03.18	Approved by Council
2022.03.18	Approved by Council	2022.03.18	Approved by Council
2022.03.18	Approved by Council	2022.03.18	Approved by Council

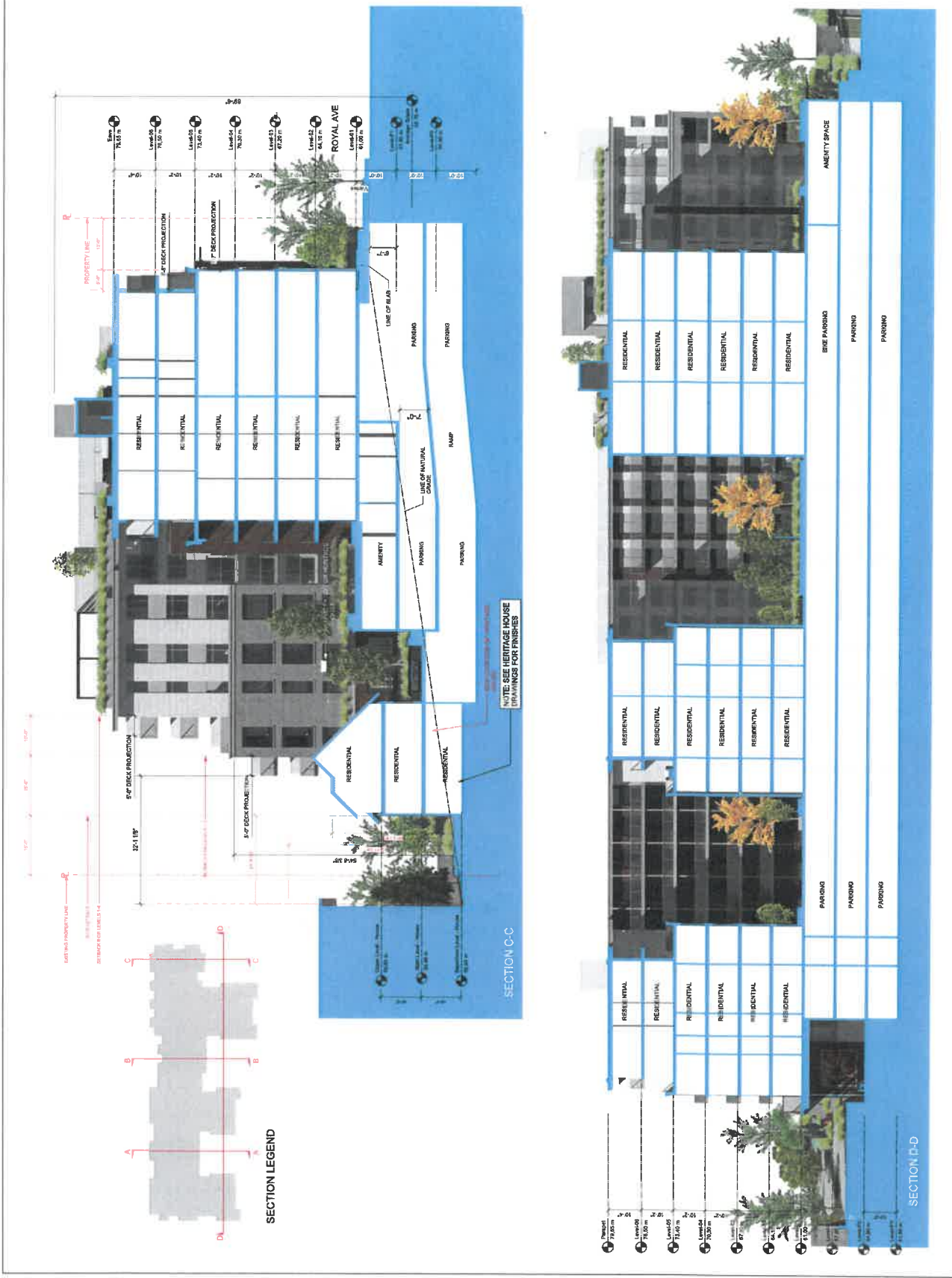
IREDALE ARCHITECTURE
 300-13 Nicks Road
 Vancouver, BC V6R 1A8
 604-739-5881
 Vancouver Victoria Calgary
 i@iredale.ca



TITLE
First+Rosal
 ADDRESS
 108-116 ROYAL AVENUE
 NEW WESTMINSTER
 DOWNTOWN NW 101 102

SECTION

Sheet No.	Project No.	Project Name	Scale
1	18077	18077	302F = 1'-0"
Date	Drawn By	Checked By	Scale
18 MARCH 2022			A3.32



NOTE: SEE HERITAGE HOUSE DRAWINGS FOR FINISHES

SECTION C-C

SECTION D-D

REDIC DEVELOPMENTS

TPL DEVELOPMENTS WINDSOR INC.

07	Jan-18-2021	Submitted for DP #1 Rezoning
08	Apr-02-2021	Approved for DP #1 Rezoning
09	Apr-29-2021	Submitted for DP #2 Rezoning
10	Apr-29-2021	Approved for DP #2 Rezoning
11	May-23-2020	Submitted for DP #3 Rezoning
12	Oct-23-2019	Approved for DP #3 Rezoning
13	Jan-30-2019	Issued for Planning
14	Date	Revision
This is a preliminary drawing. It is not to be used for any construction purposes. It is for information only.		



IREDALE ARCHITECTURE
 200-15 Weber Street
 Vancouver, BC V6R 1A6
 604-791-5951
 Vancouver - Victoria - Calgary
 iredale.ca



TITLE
First+Royal
 ADDRESS
 74
 NEW WESTMINSTER
 DOWNTOWN NEW WESTMINSTER

RENDERINGS

Drawn	P.J.H	Scale	1:8" = 1'-0"	Project No.	18077
Date	18 MARCH 2022	Sheet No.	4	Client No.	AA-61

View from First Street looking west



View from Royal Avenue looking south-west



Type of town house entrance along Royal Ave



View from Windsor and Cunningham looking north-west



View from Cunningham looking north-east



REDIC DEVELOPMENTS

TFL DEVELOPMENTS WINDSOR INC.

01	16 JAN 19 2022	Revised for DP 2 Planning
02	16 JAN 19 2022	Revised for DP 2 Planning
03	16 JAN 19 2022	Revised for DP 2 Planning
04	16 JAN 19 2022	Revised for DP 2 Planning
05	16 JAN 19 2022	Revised for DP 2 Planning
06	16 JAN 19 2022	Revised for DP 2 Planning
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49	16 JAN 19 2022	Revised for DP 2 Planning
50	16 JAN 19 2022	Revised for DP 2 Planning



IREDALE ARCHITECTURE

505 - 12 Howe Street
 Vancouver BC V6B 1A5
 604 - 738 - 6561
 Vancouver Victoria Calgary
 iredale.ca



TITLE
First+Royal
 ADDRESS
 11 - 12 HOWE STREET
 108 - 116 HOWE AVENUE
 NEW WESTMINSTER
 DISTRICT OF NEW WESTMINSTER

RENDERINGS

Client	P.J.H. Design	Project No.	18077
Date	16 MARCH 2022	Sheet No.	AA-02

View from south east above



View of development from the north west



View of outside entrance of the Intersession of Winsor and Cunningham



View of development from the south west





DRAWING SYMBOLS



BUILDING SECTION



ELEVATION



GROUND ELEVATION

DRAWING LIST

- A01- SITE PLAN
- A02- MAIN FLOOR PLAN
- A03- SECOND FLOOR PLAN
- A04- BASEMENT FLOOR PLAN
- A05- ELEVATIONS EAST & WEST
- A06- ELEVATION SOUTH
- A07- ELEVATION NORTH

Gaëtan Royer – CityState Consulting Services
 2419 Clarke Street, Port Moody, BC, Canada V3H 1Z2
 gaetan@citystate.ca



A PARTIAL SITE PLAN
 001 1:96 (1/8"=1'-0")



- PROJECT MANAGER
 HAMIDREZA AHMADIAN, REDIC DEVELOPMENT
 604-722-3074
- HERITAGE CONSULTANT
 ELANA ZYSBLAT
 604-722-3074
- HERITAGE BUILDING RE-DESIGN
 GAËTAN ROYER, CITYSTATE
 778-355-5399
- ARCHITECTURE
 PETER, HILDEBRAND, IREDALE ARCHITECTURE
 604-736-5581

Drawings show the design intent for the landscaping.
 For details refer to the Landscape drawings.

Description:

Project: 82 FIRST STREET NEW WEST
 Sheet: A01

Project:

Gaëtan Royer – CityState Consulting Services
 2419 Clarke Street, Port Moody, BC, Canada V3H 1Z2
 gaetan@citystate.ca



Scale:
 1:96
 (1/8"=1'-0")

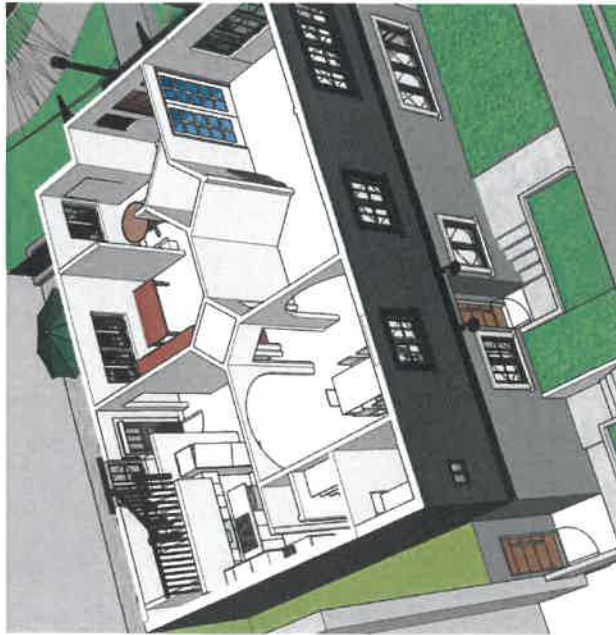
Date: 13/12/2018
 Revised: 17/12/2018
 Revised: 20/12/2018
 Revised: 07/01/2019
 Revised: 24/01/2019

Revised: 8 AUG 2019
 Revised: 16 SEP 2019
 Revised: 11 OCT 2019
 Revised: 15 JUN 2021

SCOPE OF WORK

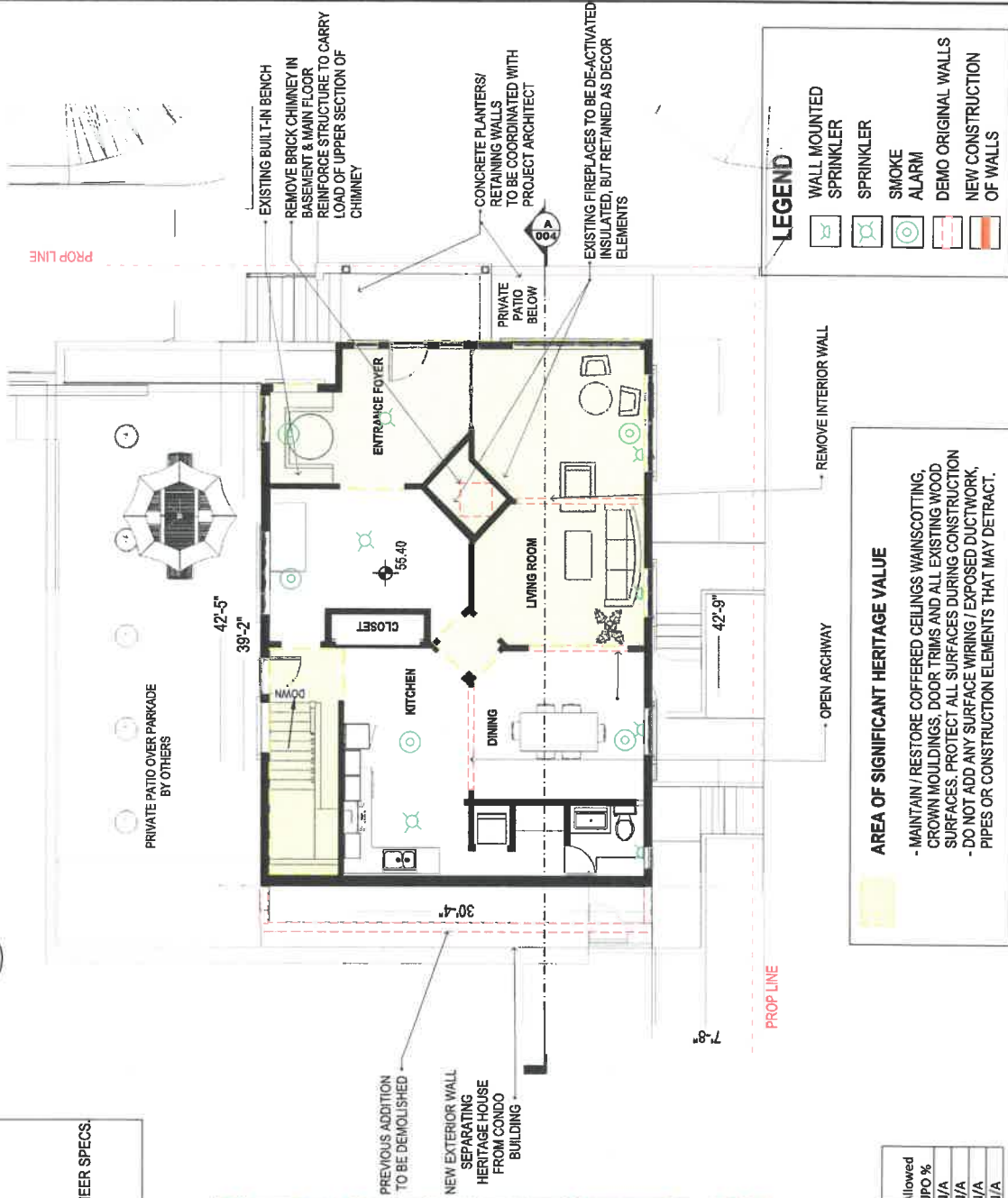
- OPEN ARCHWAYS (KITCHEN / DINING & LIVING)
- NEW PARTITIONS ON BOTH FLOORS.
- IMPROVE INSULATION IN NON-HERITAGE AREAS
- REWIRE / REPLUMB PER DESIGNER'S INSTRUCTIONS
- INSTALL NEW SPRINKLERS, ALARMS TO BCBC 2018
- INSTALL SHEAR WALL AND SEISMIC REINFORCEMENTS PER STRUCTURAL ENGINEER SPECS.
- INSTALL NEW DRYWALL, TAPE, SAND & PAINT

NEW ARCHWAYS CONNECTING KITCHEN, DINING & LIVING ROOM



A MAIN FLOOR PLAN

002 SCALE 1:48 (1/4"=1'-0")



AREA OF SIGNIFICANT HERITAGE VALUE

- MAINTAIN / RESTORE COFFERED CEILINGS WAINSCOTTING, CROWN MOULDINGS, DOOR TRIMS AND ALL EXISTING WOOD SURFACES. PROTECT ALL SURFACES DURING CONSTRUCTION
- DO NOT ADD ANY SURFACE WIRING / EXPOSED DUCTWORK, PIPES OR CONSTRUCTION ELEMENTS THAT MAY DETRACT.

LEGEND

	WALL MOUNTED SPRINKLER
	SPRINKLER
	SMOKE ALARM
	DEMO ORIGINAL WALLS
	NEW CONSTRUCTION OF WALLS

Unit	Gross Floor Area	# of Bedrooms
Basement Unit	1,128 Sq.Ft.	2
Main Unit	2,538 Sq.Ft.	3
Total	3,666 Sq.Ft.	5

Orientation	Unprotected Opening Exposure		Distance From Lot Line (m)	Allowed LPO %
	Total m ² x 100 / Exposed Building Face m ²	Unprotected Opening Exposure %		
North	7.4 m ² x 100 / 78.7 m ²	9.40%	38.7m	N/A
South	15.1 m ² x 100 / 110.8 m ²	13.60%	2.2m	N/A
East	12.0 m ² x 100 / 73.79 m ²	16.30%	2.4m	N/A
West	1.99 m ² x 100 / 23.4 m ²	8.50%	3.65m	N/A

CITYSTATE

Gaëtan Royer — CityState Consulting Services
 2419 Clarke Street, Port Moody, BC, Canada V3H 1Z2
 gaetan@citystate.ca

Project: 82 FIRST STREET NEW WEST

Sheet: A02

Description: MAIN FLOOR PLAN

Scale: 1:48 (1/4"=1'-0")

Date: 13/12/2018
 Revised: 17/12/2018
 Revised: 20/12/2018
 Revised: 07/01/2019
 Revised: 24/01/2019

Revised: 8 AUG 2019
 Revised: 15 SEP 2019
 Revised: 11 OCT 2019
 Revised: 15 JUN 2021
 Revised: 15 JUN 2021

A SECOND FLOOR PLAN
003 SCALE 1:48 (1/4"=1'-0")

B SECTION A
003 SCALE 1:48 (1/4"=1'-0")

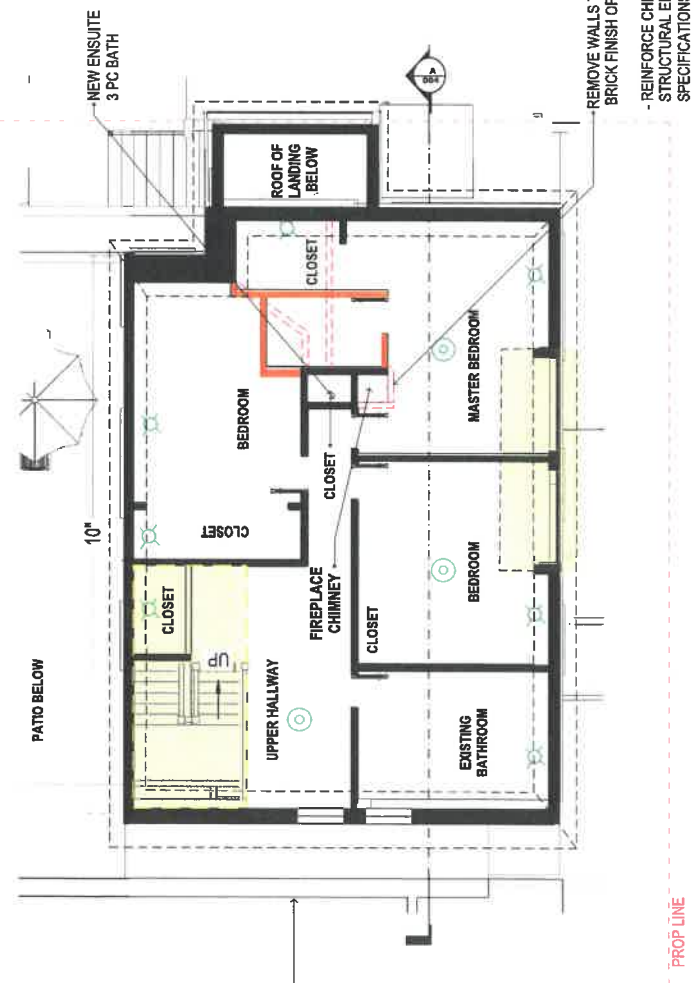
- PRIOR TO RELOCATION**
- EXPOSE BRICK CHIMNEY
 - ANCHOR TO EXISTING & NEW / REINFORCED FLOOR JOISTS
 - BRACE & CONVEY LOAD TO SUB-FLOOR / FUTURE BASEMENT PER STRUCTURAL ENGINEER'S INSTRUCTION

AFTER RELOCATION

- CONVEY CHIMNEY WEIGHT TO FOUNDATION AS PER STRUCTURAL ENGINEER'S INSTRUCTIONS

PROF LINE

NEW ENSUITE 3 PC BATH



EXISTING EXTERIOR WALL OF LEAN-TO BELOW TO BE REMOVED

- REMOVE WALLS TO RESTORE BRICK FINISH OF CHIMNEY
- REINFORCE CHIMNEY PER STRUCTURAL ENGINEER SPECIFICATIONS.

- INSTALL SPRINKLER HEADS FROM ABOVE TO PROTECT HERITAGE COFFERED CEILING
- 45 MIN FIRE SEPARATION BETWEEN FLOORS
- FIRE GUARD ALL OPENINGS BETWEEN FLOOR

LEGEND

- WALL MOUNTED SPRINKLER
- SPRINKLER
- SMOKE ALARM
- ORIGINAL WALLS
- NEW CONSTRUCTION OF WALLS

Gross Floor Area: # of Bedrooms	Basement Unit	1,128 Sq.Ft.	2
	Main Unit	2,538 Sq.Ft.	3
	Total	3,666 Sq.Ft.	5
(Unprotected Opening)			
Unprotected Opening	Total m ² x100/Exposed Building face m ²	Distance From Lot Line (m)	Allowed UPO %
North	7.4 m ² x 100 / 78.7m ²	38.7m	N/A
South	15.1m ² x 100 / 110.8m ²	2.2m	N/A
East	12.0m ² x 100 / 73.79m ²	24m	N/A
West	1.99m ² x 100 / 23.4m ²	3.65m	N/A

AREA OF SIGNIFICANT HERITAGE VALUE

- MAINTAIN / RESTORE ANGLED CEILING, WAINSCOTTING, CROWN MOULDINGS, DOOR TRIMS AND ALL EXISTING WOOD SURFACES. PROTECT ALL SURFACES DURING CONSTRUCTION
- DO NOT ADD ANY SURFACE WIRING / EXPOSED DUCTWORK, PIPES OR CONSTRUCTION ELEMENTS THAT MAY DETRACT.

NOTES

- ALL SMOKE DETECTORS & SPRINKLER SYSTEM TO BE ALARMED WITH MAIN BUILDING ANNUNCIATOR PANEL
- SPRINKLER SYSTEM TO BE DESIGNED & INSTALLED BY CERTIFIED PROFESSIONALS. LOCATIONS ARE INDICATIVE ONLY TO ASSIST IN SCHEDULING ROUGH-INS



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gaelan@citystate.ca

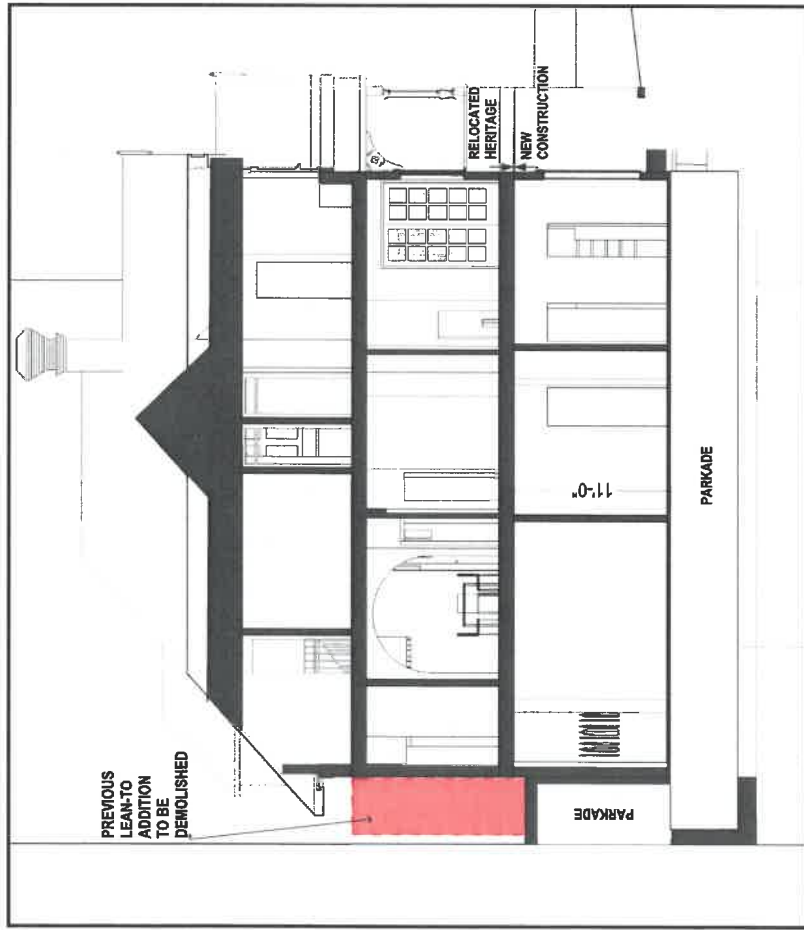
Project: 82 FIRST STREET NEW WEST
Sheet: A03

Description: SECOND FLOOR PLAN

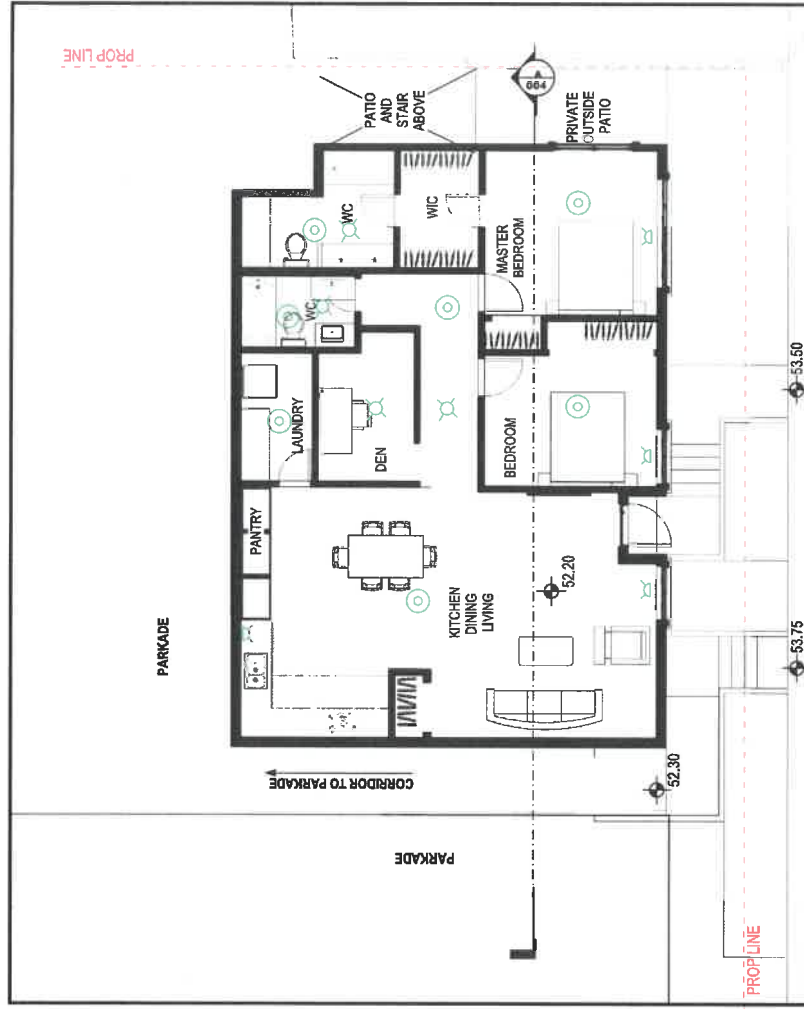
Scales: 1:48 (1/4"=1'-0")

Date: 11/12/2018
Revised: 17/12/2018
Revised: 16 SEP 2019
Revised: 11 OCT 2019
Revised: 07/01/2019
Revised: 24/01/2019
Revised: 8 AUG 2019
Revised: 16 SEP 2019
Revised: 11 OCT 2019
Revised: 15 JUN 2021

A SECTION
004 SCALE 1:48 (1/4"=1'-0")



B BASEMENT FLOOR PLAN
004 SCALE 1:48 (1/4"=1'-0")



Basement Unit	Gross Floor Area	# of Bedrooms
1	1,176 Sq. Ft.	2
2	2,538 Sq. Ft.	3
3	3,666 Sq. Ft.	5
Total	7,380	10

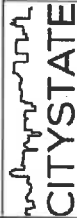
Unprotected Opening Exposure	Unprotected Opening Building Face m ²	Unprotected Opening Exposure %	Distance From Lot Line (m)	Allowed LPO %
North	7.4 m ² x 100 / 78.7 m ²	9.40%	38.7m	N/A
South	15.1m ² x 100 / 110.8 m ²	13.60%	2.2m	N/A
East	12.0m ² x 100 / 73.79 m ²	16.30%	24m	N/A
West	1.99m ² x 100 / 23.4 m ²	8.50%	3.65m	N/A

NOTES

- ALL SMOKE DETECTORS & SPRINKLER SYSTEM TO BE ALARMED WITH MAIN BUILDING ANNUNCIATOR PANEL
- SPRINKLER SYSTEM TO BE DESIGNED & INSTALLED BY CERTIFIED PROFESSIONALS AND INTEGRATED IN MAIN ANNUNCIATOR PANEL.
- BASEMENT UNIT WILL SERVE AS FOUNDATION FOR THE RELOCATED HERITAGE HOME ABOVE
- COORDINATE WALL OPENINGS FOR PLACEMENT OF TEMPORARY BEAMS WITH HOUSE MOVING COMPANY
- COORDINATE BASEMENT UNIT CONSTRUCTION WITH STRUCTURAL ENGINEER FOR HERITAGE HOME

LEGEND

- WALL MOUNTED SPRINKLER
- SPRINKLER
- SMOKE ALARM
- ORIGINAL WALLS
- NEW CONSTRUCTION OF WALLS



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Project:
82 FIRST STREET NEW WEST

Sheet:
A04

Description:

BASEMENT FLOOR PLAN

Scale:
1:48
(1/4"=1'-0")

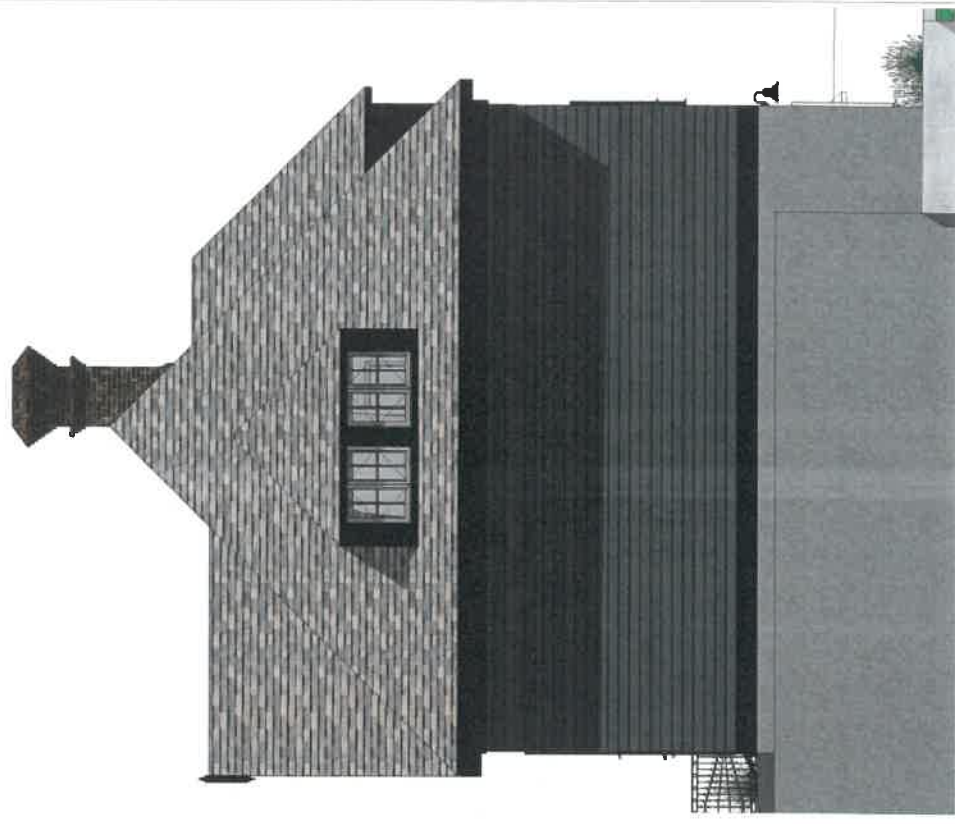
Date: 11/12/2019
Revised: 17/12/2019
Revised: 20/12/2019
Revised: 07/01/2020
Revised: 24/01/2020

Date: 8 AUG 2019
Revised: 16 SEP 2019
Revised: 11 OCT 2019
Revised: 15 JUN 2021
Revised:

A EAST ELEVATION
005 1:32(3/8"=1'-0")



B WEST ELEVATION
005 1:32(3/8"=1'-0")



SEE MATERIALS / COLORS LEGEND NEXT PAGE

Drawings show the design intent for the landscaping.
For details refer to the Landscape drawings.

	Gaëlan Royer – CityState Consulting Services 2419 Clarke Street, Port Moody, BC, Canada V3H 1Z2 gaellan@citystate.ca	Project: 82 FIRST STREET NEW WEST	Sheet: A05	Description: EAST & WEST ELEVATIONS	Scale: 1:32 (3/8"=1'-0")	Date: 11/12/2018 Revisé: 17/12/2018 Revisé: 20/12/2018 Revisé: 07/01/2019 Revisé: 24/01/2019	Revisé: 2 AUG 2019 Revisé: 11 OCT 2019 Revisé: 11 OCT 2019 Revisé: 15 JUN 2021
--	--	--------------------------------------	---------------	--	--------------------------------	--	---

A SOUTH ELEVATION

006 1:32 (3/8"=1'-0")



Colour Scheme - all Benjamin Moore colours



all trim boards including window and door trim, fascia, brackets, columns and finials
Salamander 2050-10 (matched to original paint colour found on building)
semi-gloss finish

body wood siding
Edwardian Pewter VC-23
low luster finish

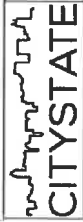
gable stucco and window sash
Edwardian Buff VC-6
window sash in high gloss finish

front door
clear lacquer/stain

new construction body and trim
concrete (or)
concrete colour

NEW CONSTRUCTION NEW CONSTRUCTION
PARKADE ACCESS FOUNDATION FOR RENOVATED HOME AND NEW SUITE

Drawings show the design intent for the landscaping.
For details refer to the Landscape drawings.



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gaetan@citystate.ca

Project: 82 FIRST STREET NEW WEST

Sheet: A06

Description:

SOUTH ELEVATIONS

Scale: 1:32
(3/8"=1'-0")

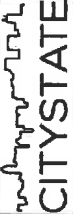
Date: 11/27/2018	Revised: 8 AUG 2018
Revised: 17/12/2018	Revised: 16 SEP 2018
Revised: 20/12/2018	Revised: 11 OCT 2018
Revised: 07/01/2019	Revised: 15 JUN 2021
Revised: 24/01/2019	Revised:

A NORTH ELEVATION

006 1:32 (3/8"=1'-0")



Drawings show the design intent for the landscaping.
For details refer to the Landscape drawings.

	Project: 82 FIRST STREET NEW WEST	Sheet: A07	Description: NORTH ELEVATIONS	Scale: 1:32 (3/8"=1'-0")	Date: 13/12/2018 Revised: 17/12/2018 Revised: 20/12/2018 Revised: 07/01/2019 Revised: 24/01/2019	Revised: 1 AUG 2019 Revised: 15 SEP 2019 Revised: 11 OCT 2019 Revised: 15 JUN 2021
	Gaëtan Royer – CityState Consulting Services 2419 Clarke Street, Port Moody, BC, Canada V3H 1Z2 gaetan@citystate.ca					

ROYAL I

for TPL Developments Royal 1 Inc

Civic Address: 108 Royal Ave., 82 First St., 74 (N 60' of 18) First St., 74 (REM) First St. New Westminster
 Legal Address: Lots "B" and "C" Block 32 Plan 12722 & Lot 18 Block 32 Plan 2620 New Westminster
 Townsite Group 1 NWD

CONSULTANT TEAM
 OWNER: TPL Developments Royal Inc
 ARCHITECT: Fiedler Architecture
 LANDSCAPE: eta landscape architecture

ISSUED FOR DP - MARCH 14, 2022



DRAWING LIST

L0.0	Cover Page
L0.1	Notes and Schedules
L0.2	Submission Plan
L0.3	Resubmission Plan
L0.4	Preparation Package
L0.5	Amenity Area Plan
L1.1	Tree Management Plan
L2.1	Office Plan
L3.1	P2 - Materials Plan
L3.2	P1 - Materials Plan
L3.3	L1 - Materials Plan
L3.4	Roof - Materials Plan
L4.1	P2 - Grading and Drainage Plan
L4.2	P1 - Grading and Drainage Plan
L4.3	L1 - Grading and Drainage Plan
L4.4	Roof - Grading and Drainage Plan
L5.1	P2 - Planting Plan
L5.2	P1 - Planting Plan
L5.3	L1 - Planting Plan
L5.4	Roof - Planting Plan
L6.1	Soil Depth Plan
L7.1	Irrigated Areas Plan
L8.1	Landscape Sections
L8.2	Landscape Sections
L8.3	Landscape Sections
L9.1	Softscape Details
L9.2	Softscape Details
L10.1	Hardscape Details
L10.2	Hardscape Details
L11.1	Site Furnishings Details
L11.2	Site Furnishings Details
L11.3	Site Furnishings Details
L11.4	Site Furnishings Details
L11.5	Site Furnishings Details
L12.1	Lighting Details

TO BE INCLUDED PENDING UPDATE FROM ARCHITECT

Revision No.	Date	Revised By/Checked
A	2019.02.05	Issue for Review
B	2019.02.05	Issue for Review
C	2019.02.13	Issue for Review
D	2019.02.13	Issue for Review
E	2019.02.13	Issue for Review
F	2019.02.13	Issue for Review
G	2019.02.13	Issue for Review
H	2019.02.13	Issue for Review
I	2019.02.14	Issue for Review

No.	Date	Revised By/Checked
A	2019.02.05	Issue for Review
B	2019.02.05	Issue for Review
C	2019.02.13	Issue for Review
D	2019.02.13	Issue for Review
E	2019.02.13	Issue for Review
F	2019.02.13	Issue for Review
G	2019.02.13	Issue for Review
H	2019.02.13	Issue for Review
I	2019.02.14	Issue for Review

Professional Seal

eta eta landscape architecture
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 Vancouver, BC, Canada V6J 1H3
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Project
Royal I
Royal Ave & 1st Street
 108 Royal Ave & 82-74 1st Street
 New Westminster

Drawing No.

Cover Sheet

Scale	1/8" = 1'-0"
North Arrow	North
Author	eta
Checker	eta
Project No.	21043
Sheet No.	1/1
Issue Date	2019.02.05
Revision No.	L0.0
Page No.	34

No.	Date	Revised Notes
A	2016.02.05	Issue for Planning
B	2016.02.13	Issue for Council
C	2016.02.13	Issue for Council
D	2016.02.13	Issue for Council
E	2016.02.13	Issue for Council
F	2016.02.26	Issue for NZ GP
G	2016.02.26	Issue for NZ GP
H	2016.02.26	Issue for NZ GP

Prepared Date



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 Vancouver, BC, Canada, V6L 1M4
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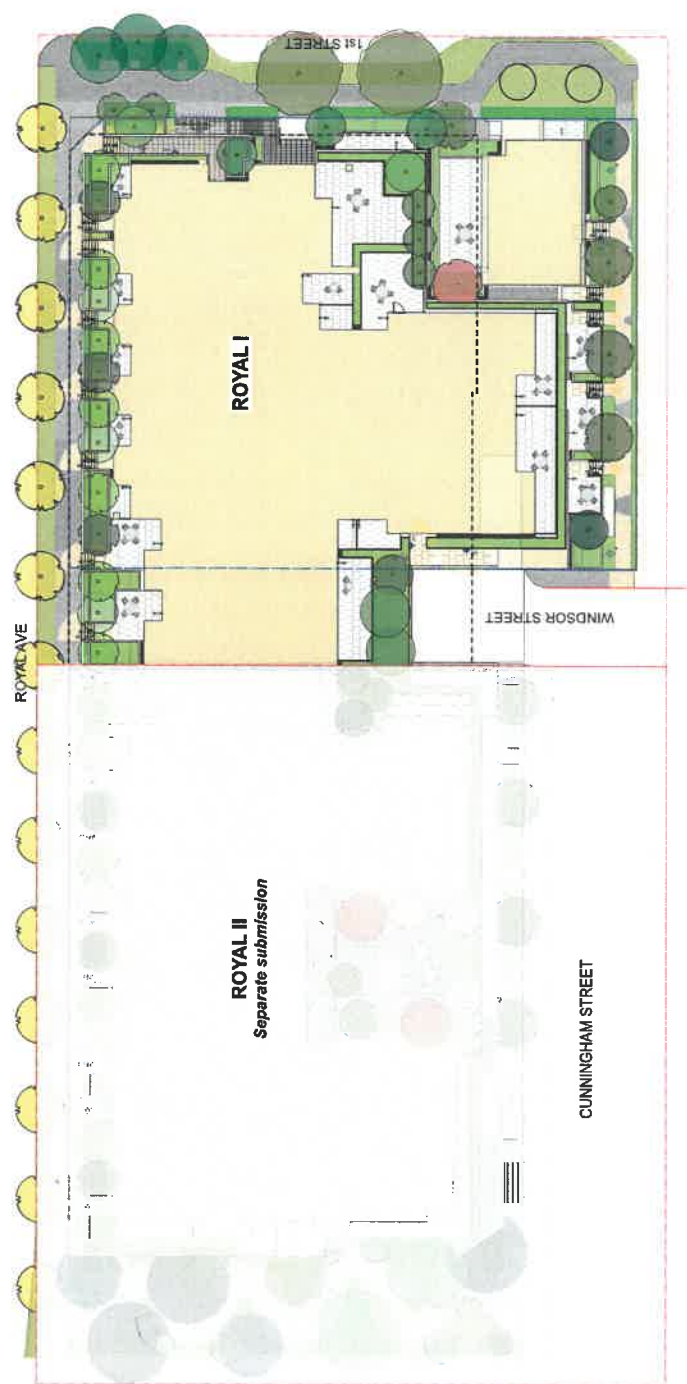
Project
Royal I
Royal Ave & 1st Street
 105 Royal Ave & 1st Street
 Near Waterfront
 Drawing Title

Submission Plan

Level
 Level: 1st Floor (1st Floor Plan)
 2016.02.05
 2016.02.05
 2016.02.05

Author	Checked	Approved
Author	Checked	Approved
Author	Checked	Approved
Author	Checked	Approved

Date: 2016.02.05
 Page: 54



1 Royal I and Royal II
 Scale: 1:500



Item No.	Date	Revised/Notes
A	2015.02.04	Issue for Review
B	2015.02.26	Issue for Review
C	2015.03.13	Issue for Review
D	2015.04.01	Issue for Review
E	2015.04.15	Issue for Review
F	2015.05.08	Issue for Review
G	2015.05.20	Issue for Review
H	2015.06.11	Issue for Review
I	2015.06.14	Issue for Review

No.	Date	Issue/Notes
A	2015.02.04	Issue for Review
B	2015.02.26	Issue for Review
C	2015.03.13	Issue for Review
D	2015.04.01	Issue for Review
E	2015.04.15	Issue for Review
F	2015.05.08	Issue for Review
G	2015.05.20	Issue for Review
H	2015.06.11	Issue for Review
I	2015.06.14	Issue for Review

Professional Seal

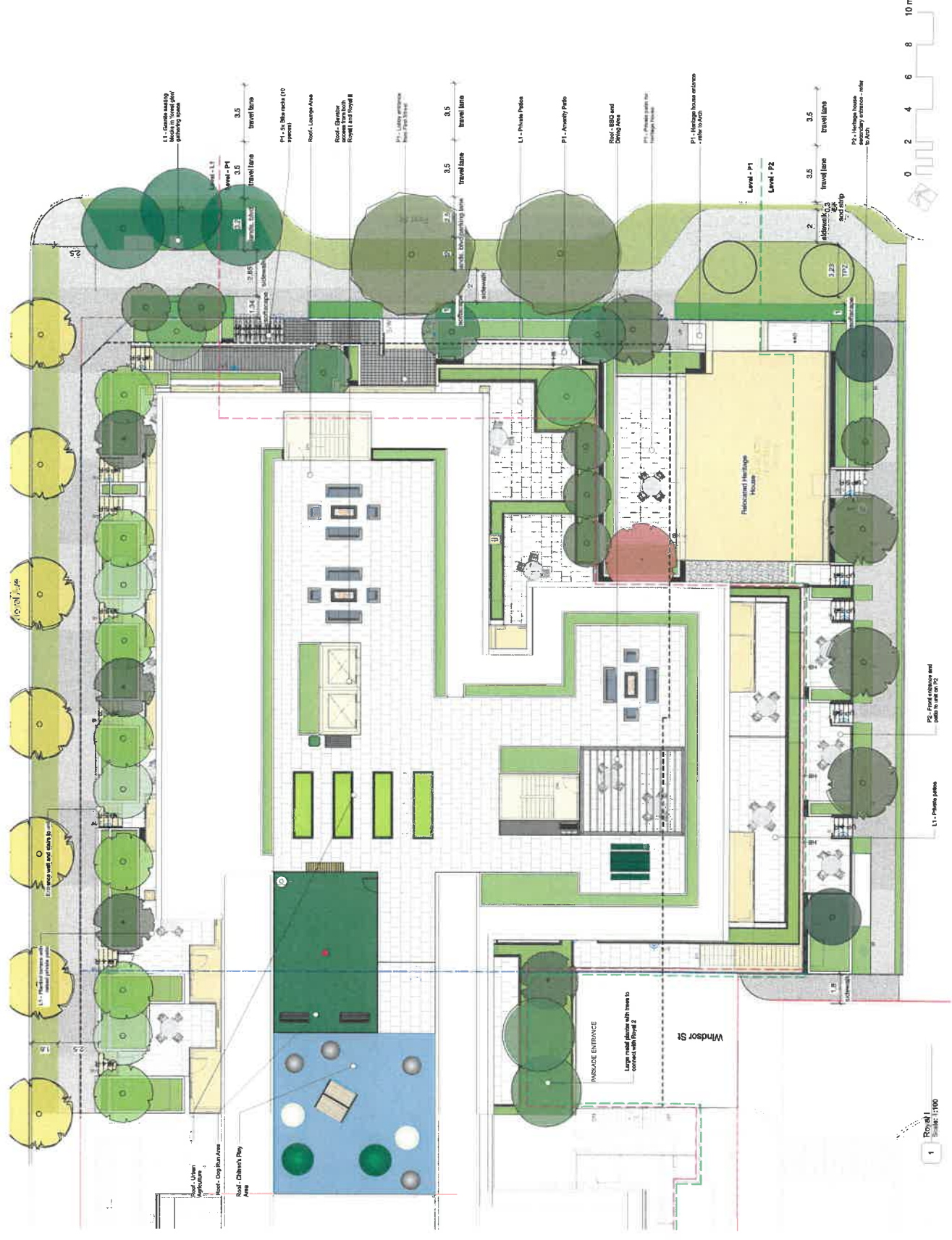
eta ARCHITECTURE
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Westerville, OH, Columbus, OH 43081
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Columbus, OH 43260

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Project
Royal I
Royal Ave & 1st Street
100 Royal Ave & 65-71 1st Street
Westerville, Ohio

Drawing Title
Landscape
Illustrative Plan

Scale	Date
1/8" = 1'-0" (1:24)	2015.02.04
1/4" = 1'-0" (1:48)	2015.02.26
1/2" = 1'-0" (1:96)	2015.03.13
3/4" = 1'-0" (1:128)	2015.04.01
1" = 1'-0" (1:192)	2015.04.15
1 1/4" = 1'-0" (1:288)	2015.05.08
1 1/2" = 1'-0" (1:336)	2015.05.20
1 3/4" = 1'-0" (1:392)	2015.06.11
2" = 1'-0" (1:480)	2015.06.14



1
Royal I
Scale: 1/8" = 1'-0"

No.	Date	Issue/Notes
A	2016.02.03	Issue for Planning
B	2016.02.15	Issue for Public Review
C	2016.03.15	Issue for Public Review
D	2016.03.15	Issue for Public Review
E	2016.03.15	Issue for Public Review
F	2016.03.15	Issue for Public Review
G	2016.03.15	Issue for Public Review
H	2016.03.15	Issue for Public Review
I	2016.03.15	Issue for Public Review

eta LANDSCAPE ARCHITECTURE

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 Department, St. Catharines, ON, L2R 1Y4
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Project
Royal I
Royal Ave & 1st Street
 100 Royal Ave E, 82-74, 1st Street
 North Westmeath

Driving Site
Landscape
Precedent Images

Scale
 L100' (1" = 100')

Client
 100 Royal Ave E, 82-74, 1st Street
 North Westmeath

DT
 2/16/15

Author
 [Name]

DT
 2/16/15

Scale
 L0.4

DT
 2/16/15

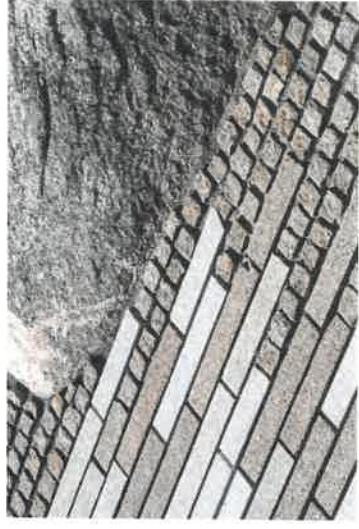
Page
 04



Frontage and planting example



Children's Play



Ground floor materials / pavers



Western walkway planting and path treatment



Planting and retaining wall example



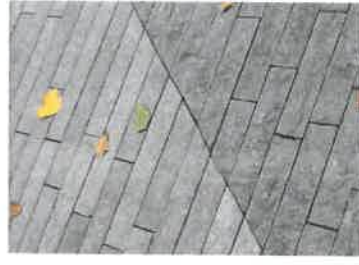
Metal planters



Amenity area wall and light example



Firepit and lounges



Ground floor materials / pavers

No.	Date	Author
A	2019-02-11	Robert G. Proulx
B	2019-02-11	Robert G. Proulx
C	2019-02-11	Robert G. Proulx
D	2019-02-11	Robert G. Proulx
E	2019-02-11	Robert G. Proulx
F	2019-02-11	Robert G. Proulx
G	2019-02-11	Robert G. Proulx
H	2019-02-11	Robert G. Proulx
I	2019-02-11	Robert G. Proulx

Professional Seal

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Newmarket, ON, Canada, L3Y 1M4

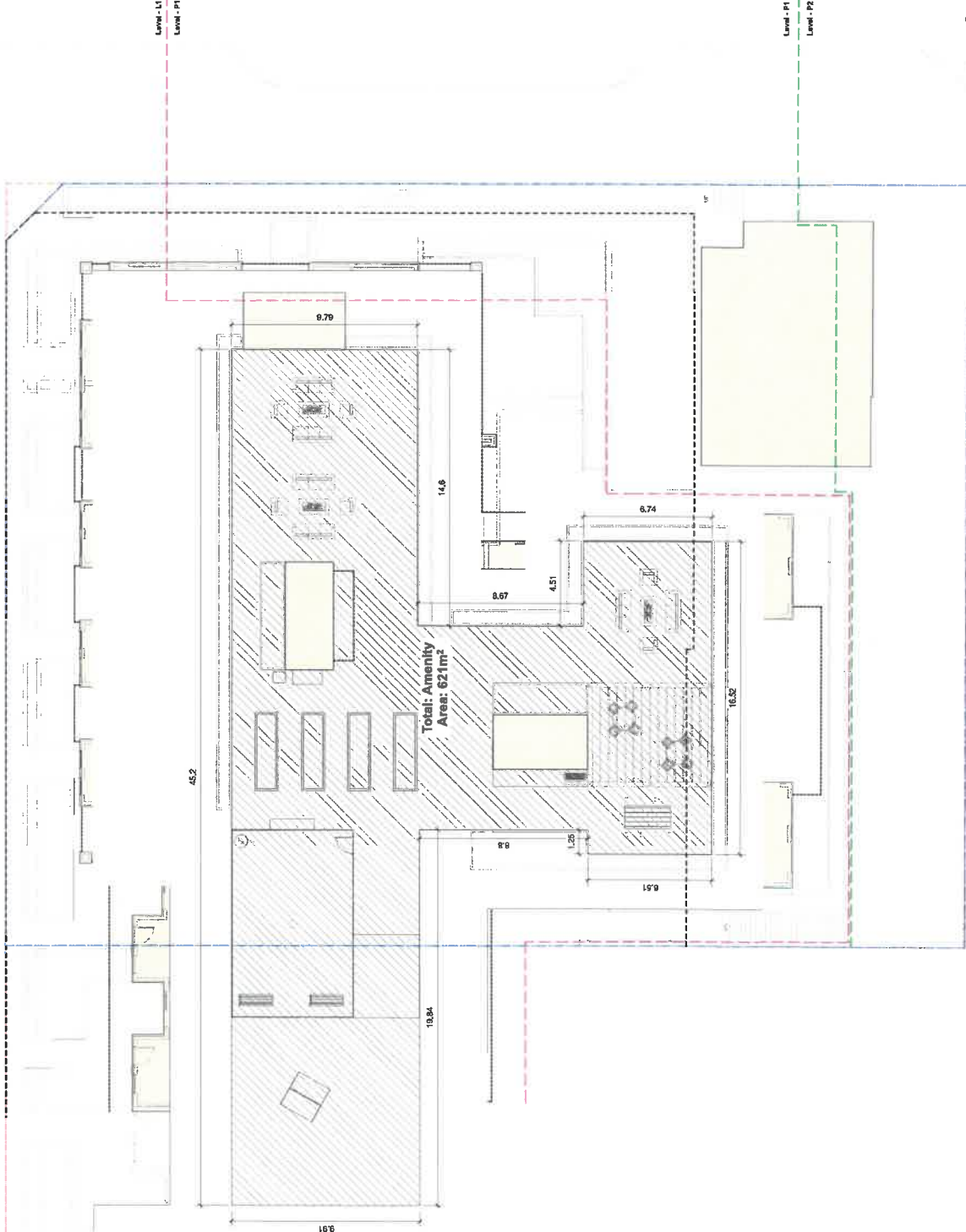
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Project
Royal I
Royal Ave & 1st Street
108 Royal Ave & 85-74 1st Street
New Westminster

Drawing Title
Landscape
Amenity Area Plan

Scale	Project No.	Sheet No.
1:100	21040	01
1:100	21040	02
1:100	21040	03
1:100	21040	04
1:100	21040	05
1:100	21040	06
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1:100	21040	96
1:100	21040	97
1:100	21040	98
1:100	21040	99
1:100	21040	100



Total: Amenity Area: 621m²

Revision: No. Date Description

UNIT 1 - INTERIOR	
Refer to the construction schedule for the following:	
	BRICKWORK
	CONCRETE
	DRYWALL
	INSULATION
	FLOOR FINISH
	CEILING FINISH
	WALL FINISH
	STAIRCASE
	WINDOW
	DOOR
	PARTITION WALL
	STRUCTURAL STEEL
	MECHANICAL
	ELECTRICAL
	PLUMBING
	FIRE PROTECTION
	SECURITY
	ACCESSIBILITY
	SUSTAINABILITY
	OTHER

No.	Date	Name	Notes
1	2019.05.11	David	Issue for Review
2	2019.05.11	David	Issue for Review
3	2019.05.11	David	Issue for Review
4	2019.05.11	David	Issue for Review
5	2019.05.11	David	Issue for Review
6	2019.05.11	David	Issue for Review
7	2019.05.11	David	Issue for Review
8	2019.05.11	David	Issue for Review
9	2019.05.11	David	Issue for Review
10	2019.05.11	David	Issue for Review

EXTERIOR LIGHTING	
	SPOT WALL LIGHT
	BOLLARD LIGHT

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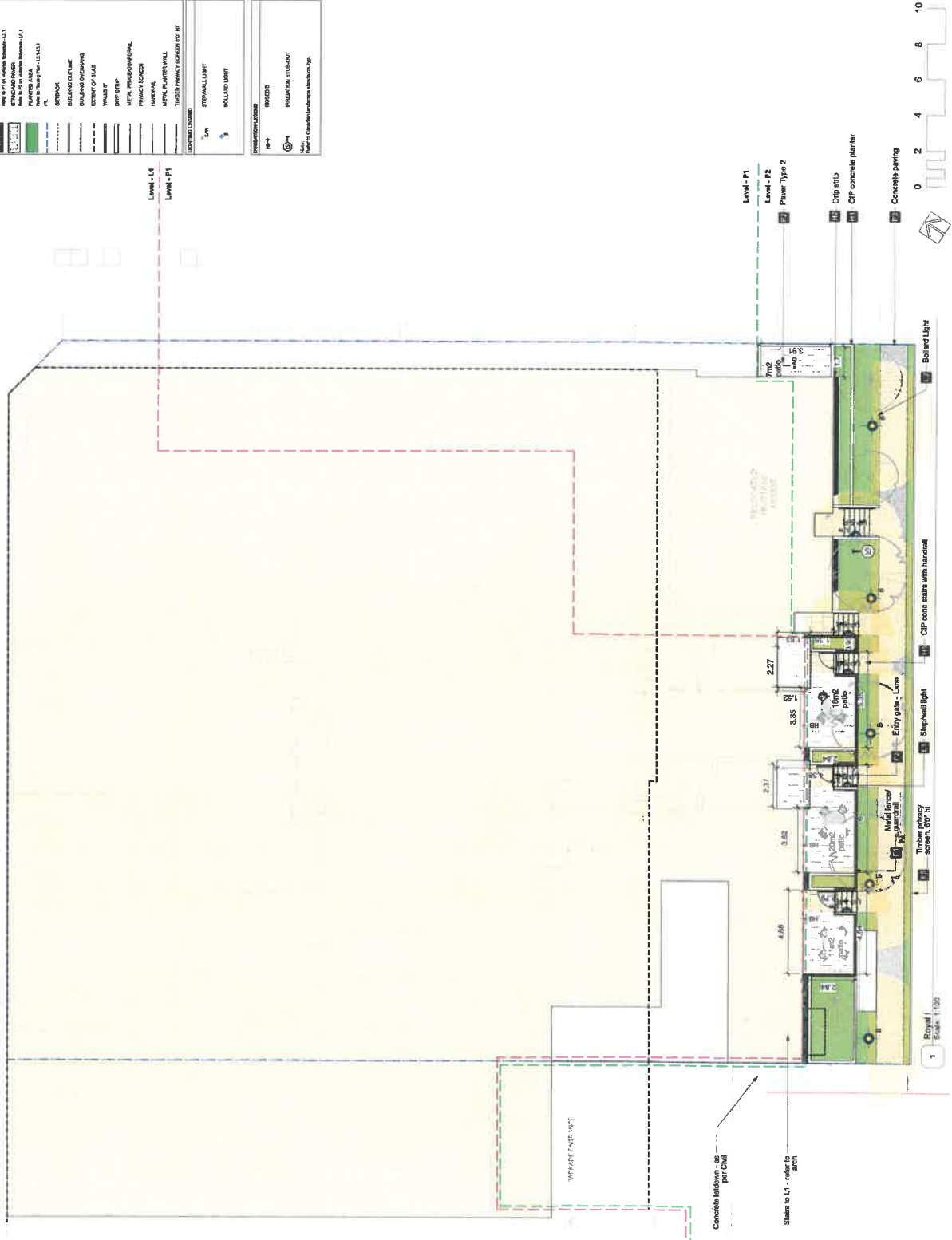
Project: **Royal I**
Royal Ave & 1st Street
 103 Royal Ave & 65-74 1st Street
 New Westminster

Project: **P2 - Materials Plan**

Client: Linn 'N' David
 1725 East 18th Street
 Vancouver, BC V6L 1A5

Architect: eta
 100 West 2nd Avenue
 Vancouver, BC V6B 1M4

Date: 2019.05.05
 Scale: 1:100
 Drawing No: L3.1
 Page No: 34



1 Royal I
 Scale: 1:100

No.	Date	Description
1	2018.03.14	Issue for RFP
2	2018.03.14	Issue for RFP
3	2018.03.14	Issue for RFP
4	2018.03.14	Issue for RFP
5	2018.03.14	Issue for RFP
6	2018.03.14	Issue for RFP
7	2018.03.14	Issue for RFP
8	2018.03.14	Issue for RFP
9	2018.03.14	Issue for RFP
10	2018.03.14	Issue for RFP

Professional Seal



100 West 27th Street
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Project
Royal I
Royal Ave & 1st Street
108 Royal Ave & B2 74 1st Street
New Westminster

Drawing Title

P1 - Materials Plan

Legend

Lot 17, and 17' Block 10
2018.03.14
2018.03.14

2018.03.14

2018.03.14

2018.03.14

2018.03.14

2018.03.14

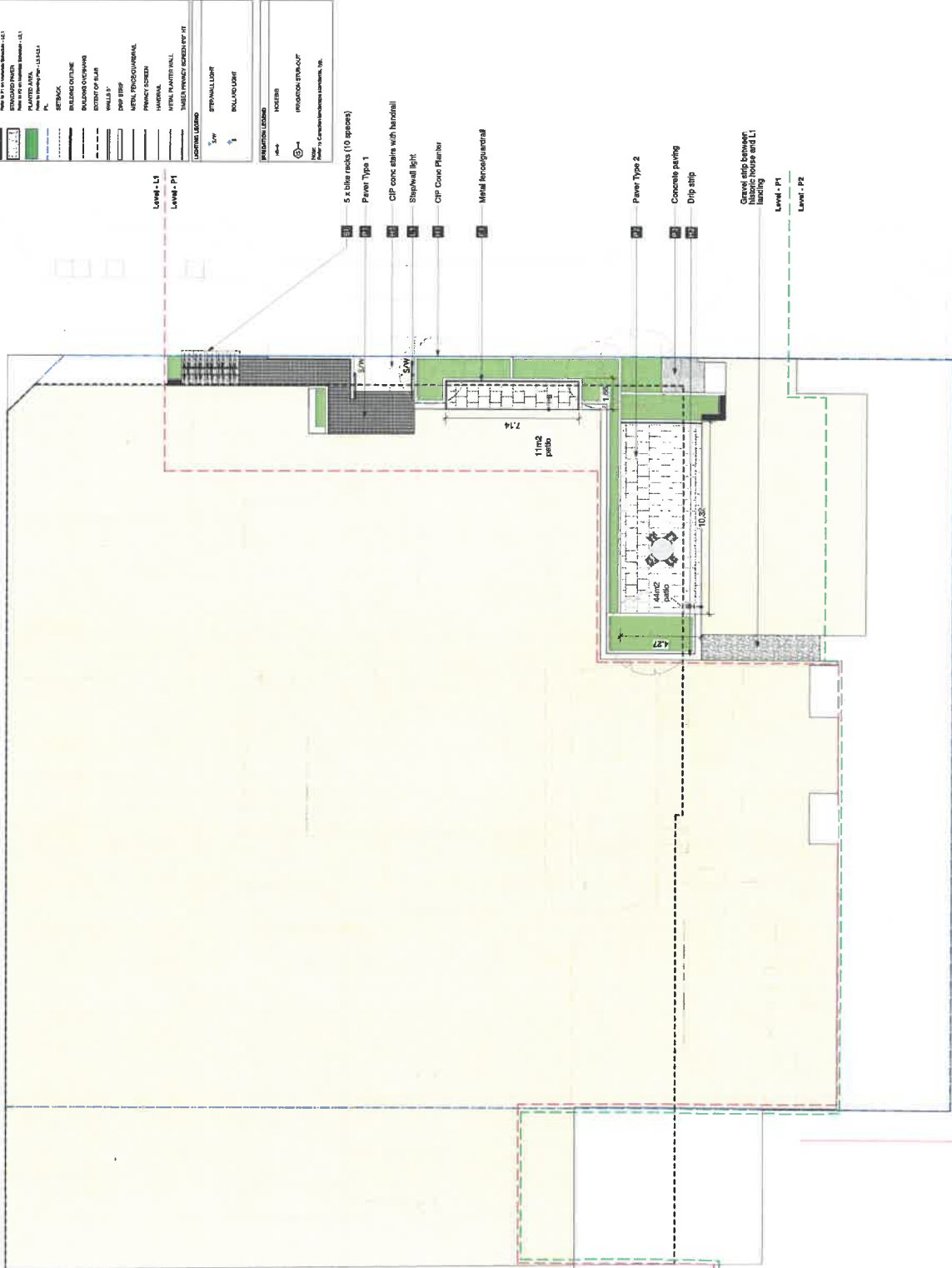
2018.03.14

2018.03.14

2018.03.14

2018.03.14

Color	Material
Light Green	BRICK FROM CONCRETE
Dark Green	PAVING PAVEMENT
Light Blue	STANDARD PAVEMENT
Dark Blue	PAVEMENT WITH BARRIERS (L1)
Light Purple	PAVEMENT WITH BARRIERS (L2)
Dark Purple	PAVEMENT WITH BARRIERS (L3)
Light Yellow	SETBACK
Dark Yellow	BUILDING OUTLINE
Light Orange	BOUNDARY OF CONCRETE
Dark Orange	BOUNDARY OF WALLS
Light Red	CONC. STAIR
Dark Red	METAL, PROPOSED/ANAL
Light Pink	PAVING SCREEN
Dark Pink	HANDRAIL
Light Grey	METAL PLANTER WALL
Dark Grey	THICKEN FINISHED SURFACE OF HT
Light Brown	SPERM WALL LIGHT
Dark Brown	BOLLARD LIGHT
Light Green	SCREEN
Dark Green	PROPOSED SIGN-OUT
Light Blue	NEW 3' CONCRETE BARRIERS (L1)



Revision No.	Date	Description

No.	Date	Name
B	2016/05/11	Marked by Author
C	2016/05/11	Checked by Author
D	2016/05/18	Marked by Author
E	2016/05/18	Checked by Author
F	2016/05/18	Marked by CP
G	2016/05/18	Checked by CP
H	2016/05/18	Marked by CP
I	2016/05/18	Checked by CP

Professional Seal

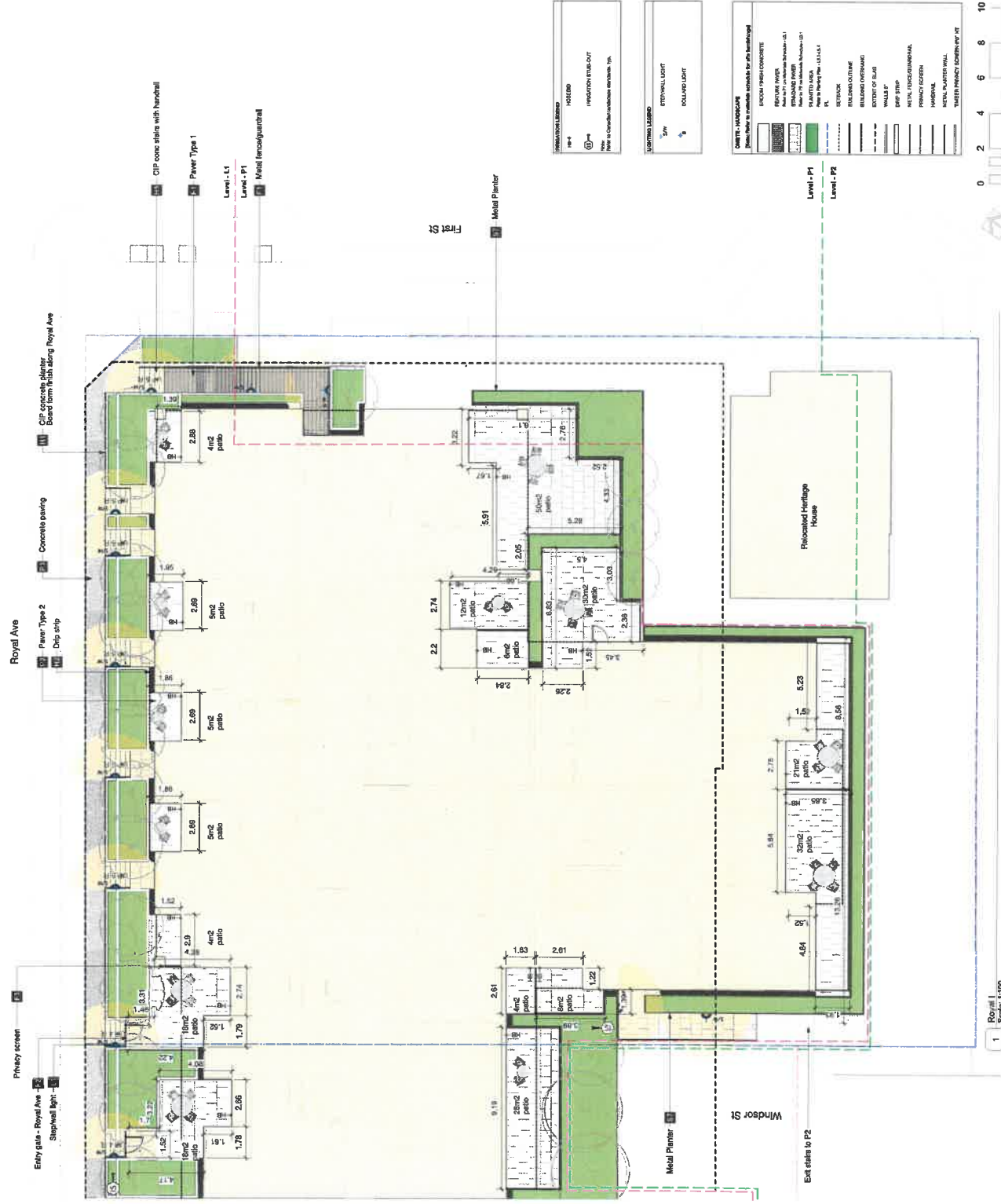


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Royal I
Royal Ave & 1st Street
 108 Royal Ave & 82-74 1st Street
 New Westminster
 Drawing Title

L1 - Materials Plan

Code	Description
1	CONCRETE
2	PAVING
3	LANDSCAPE
4	ROOFING
5	CLADDING
6	SCREENING
7	SCREENING
8	SCREENING
9	SCREENING
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99	SCREENING
100	SCREENING



Royal I
 Scale: 1:100

General Notes

1. Refer to the attached schedule for the finishing of the concrete.
2. Refer to the attached schedule for the finishing of the concrete.
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50. Refer to the attached schedule for the finishing of the concrete.

No.	Date	Issue Notes
1	2018.01.11	Issued to Public
2	2018.01.11	Revised to Public
3	2018.01.11	Revised to Public
4	2018.01.11	Revised to Public
5	2018.01.11	Revised to Public
6	2018.01.11	Revised to Public
7	2018.01.11	Revised to Public
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48	2018.01.11	Revised to Public
49	2018.01.11	Revised to Public
50	2018.01.11	Revised to Public

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eta landscape architecture

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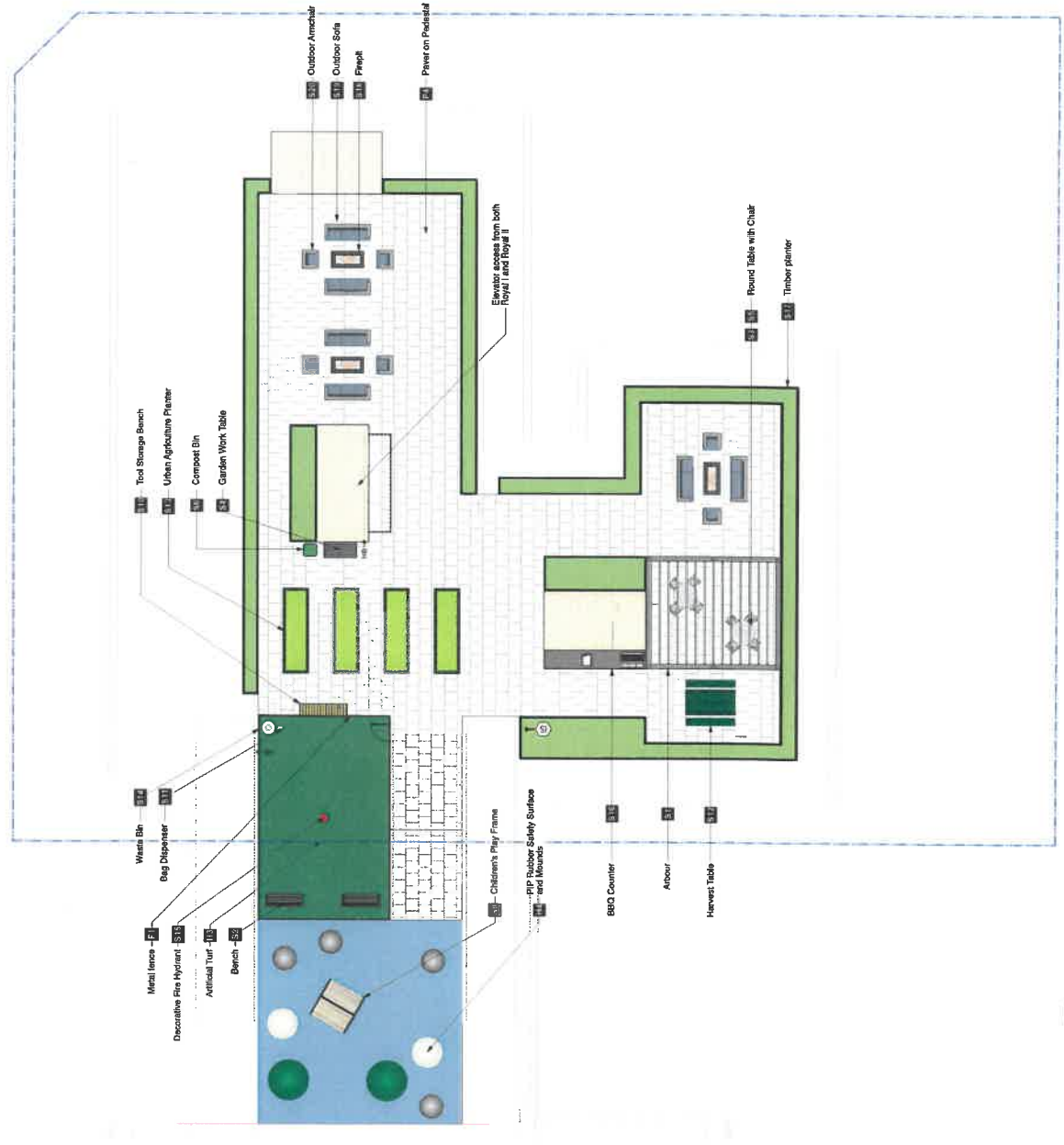
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Project:
Royal I
Royal Ave & 1st Street
 100 Royal Ave & 85-74 1st Street
 New Westminster
 County: BC

Roof - Materials Plan

Scale: 1:100

Legend
 L3.4
 34



No.	Date	Revised By	Revised For
B	2018-05-11	Markus B. Berman	Markus B. Berman
C	2018-05-11	Markus B. Berman	Markus B. Berman
D	2018-05-11	Markus B. Berman	Markus B. Berman
E	2018-05-18	Markus B. Berman	Markus B. Berman
F	2018-05-18	Markus B. Berman	Markus B. Berman
G	2018-05-18	Markus B. Berman	Markus B. Berman
H	2018-05-18	Markus B. Berman	Markus B. Berman
I	2018-05-18	Markus B. Berman	Markus B. Berman

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Project:
Royal I
Royal Ave & 1st Street
 108 Royal Ave & 83-74 1st Street
 Near West Nashville

Drawing Title:
Landscaping
P2 - Grading and Drainage Plan

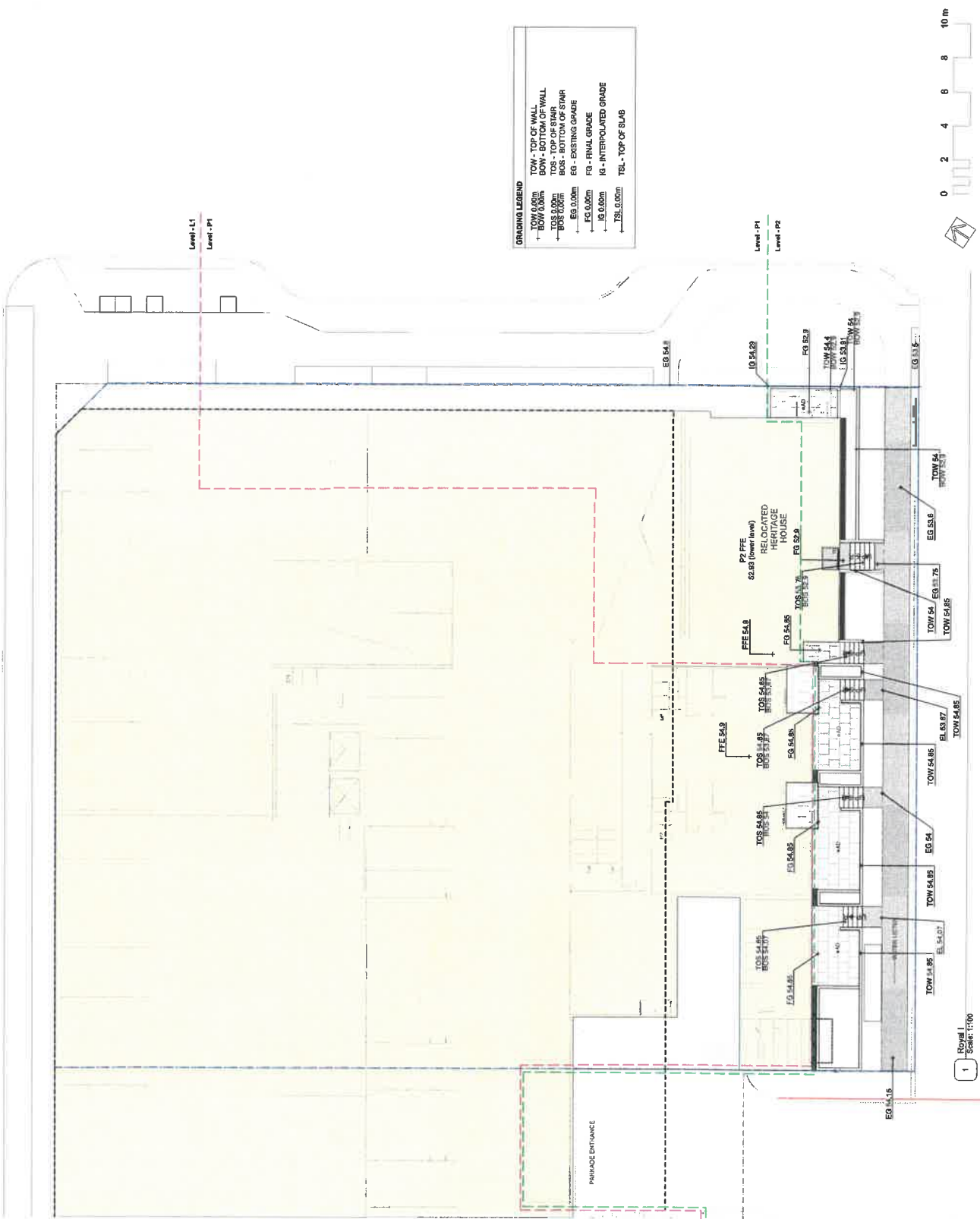
Client:
 Lark 100 West End Avenue
 Nashville, TN 37203

Architect:
 DT
 218 East
 Nashville, TN
 37203

Scale:
 1" = 10'-0"

Date:
 2018-05-08

Sheet:
L4.1
 of 34



No.	Date	Issue/Revision
A	2018-03-13	Issued for Review
B	2018-03-13	Issued for Review
C	2018-03-13	Issued for Review
D	2018-03-13	Issued for Review
E	2018-03-13	Issued for Review
F	2018-03-13	Issued for Review
G	2018-03-13	Issued for Review
H	2018-03-13	Issued for Review
I	2018-03-13	Issued for Review

Engineering Code



100 West Park Avenue
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1-201-462-1409
1-201-462-1410

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Project

Royal I
Royal Ave & 1st Street
108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

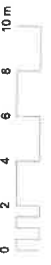
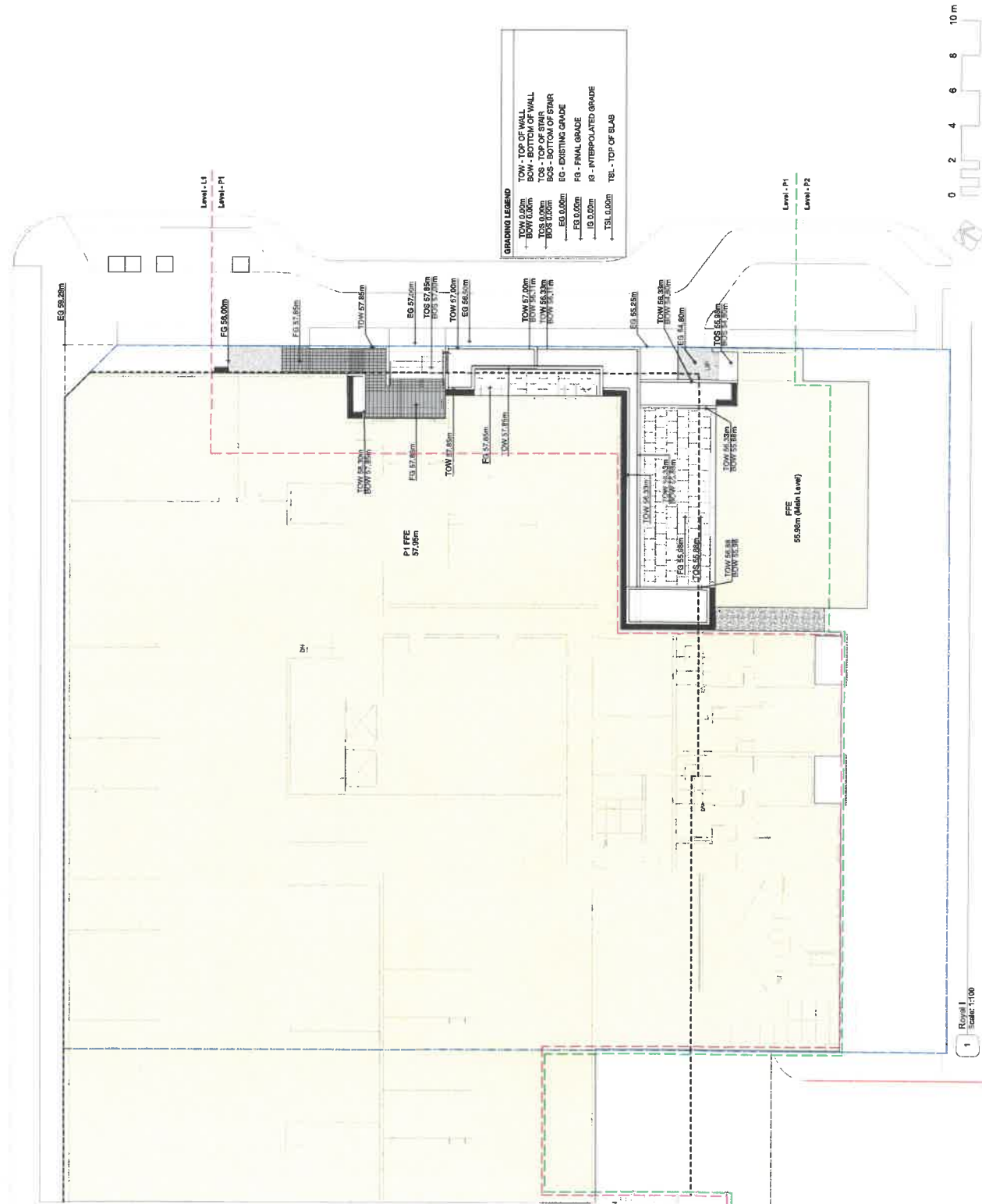
Landscaping
P1 - Grading and Drainage Plan

Scale
1:100

Date: 2018-03-13

Sheet: 1 of 1

L4.2



Royal I
Scale: 1:100

Revision No. Description

No.	Date	Issue Number
A	2016.05.11	Issue for Review
B	2016.05.11	Issue for Review
C	2016.05.23	Issue for Review
D	2016.05.23	Issue for Review
E	2016.05.23	Issue for Review
F	2016.05.23	Issue for Review
G	2016.05.23	Issue for Review
H	2016.05.23	Issue for Review
I	2016.05.23	Issue for Review

Professional Seal

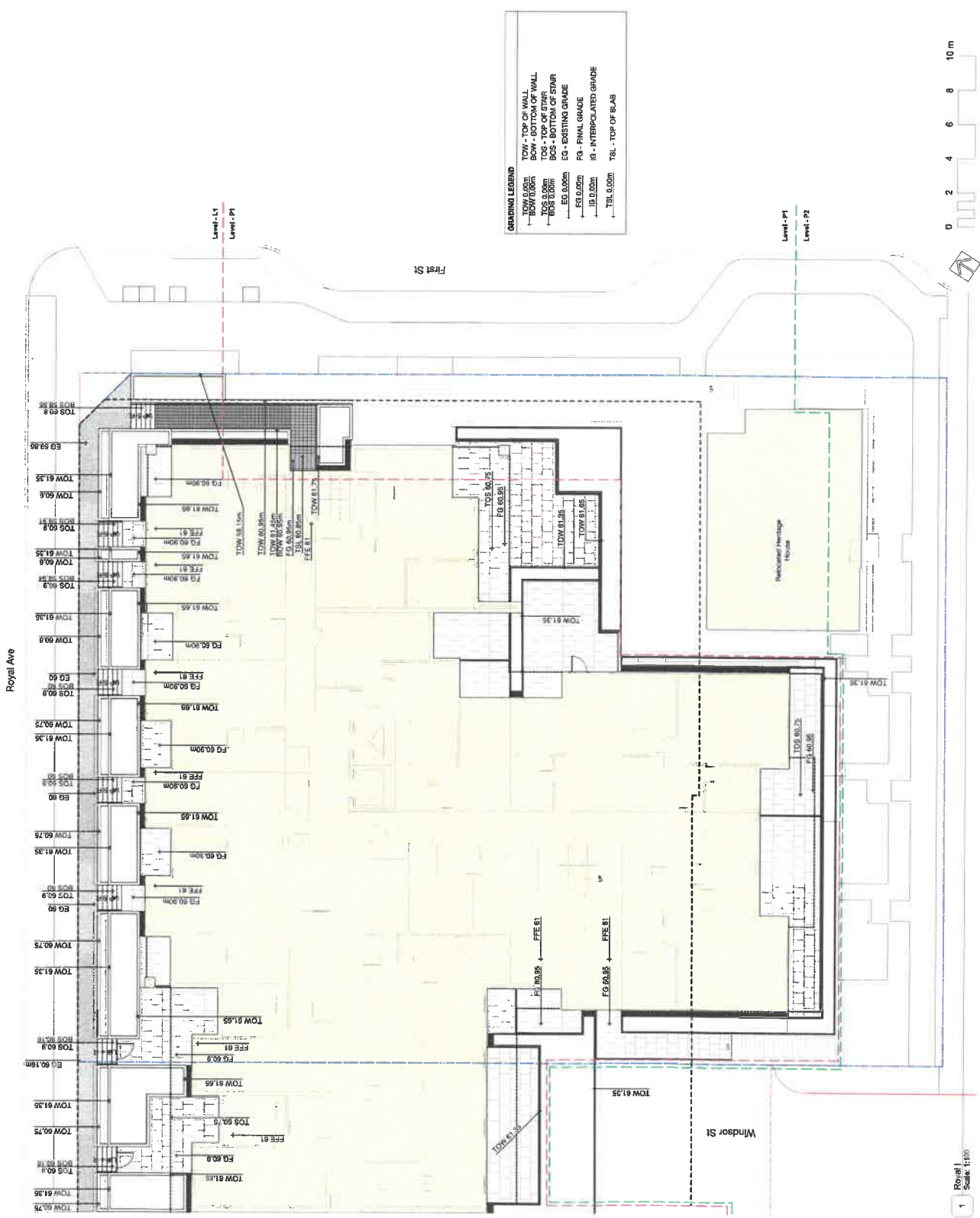


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Project
Royal I
Royal Ave & 1st Street
 108 Royal Ave S. 62-74 1st Street
 New Westminster

Drawing Title
Grading
L1 - Grading and Drainage Plan

Scale
 L4.3
 1" = 10' (1:304.8)



Royal I
 Scale: 1:100

No.	Date	Issue/Notes
1	2023-05-11	Issued for Review
2	2023-05-11	Issued for Review
3	2023-05-11	Issued for Review
4	2023-05-11	Issued for Review
5	2023-05-11	Issued for Review
6	2023-05-11	Issued for Review
7	2023-05-11	Issued for Review

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Project:
Royal I
Royal Ave & 1st Street
108 Royal Ave & B2-74 St Street
New Westminster

Drawing File:

Roof - Grading and Drainage Plan



Legend

Symbol	Description
[Symbol]	108 Royal Ave & B2-74 St Street
[Symbol]	1000 West 10th Avenue
[Symbol]	2023 New Westminster Property

Project Number	Sheet No.	Sheet Title
21843	AT 0008	Roof - Grading and Drainage Plan

Scale	North Arrow	Date
1:100	[North Arrow]	2023-05-11

Scale: 1:100
North Arrow
Date: 2023-05-11

No.	Date	Issued For
A	2016.02.05	Issue for Planning
B	2016.02.13	Issue for Review
C	2016.02.13	Issue for Review
D	2016.02.13	Issue for Review
E	2016.02.13	Issue for Review
F	2016.02.25	Issue for Review
G	2016.02.25	Issue for Review
H	2016.02.25	Issue for Review
I	2016.02.25	Issue for Review

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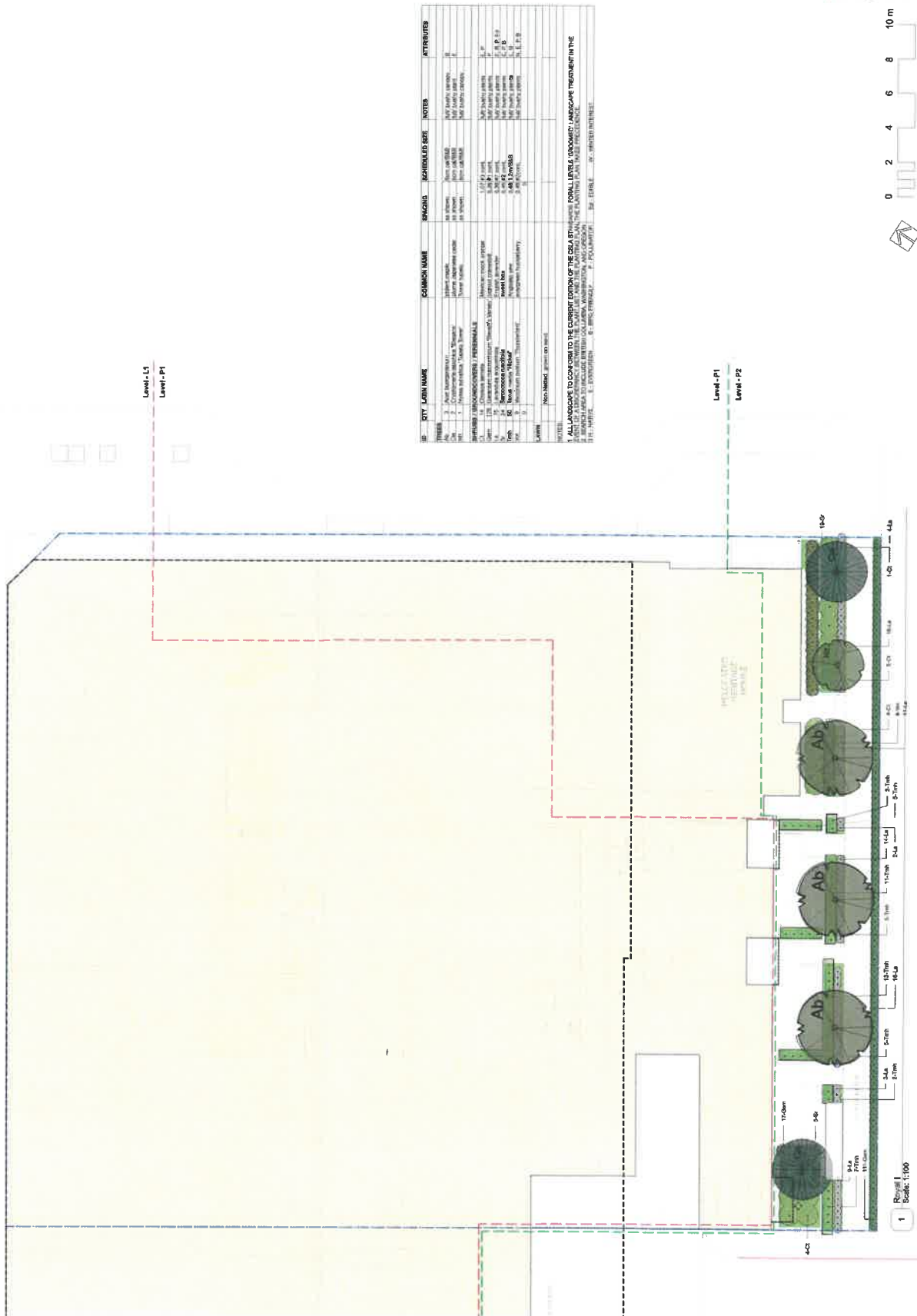


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 Fax: 604.273.1101
 www.etq.ca

Royal I
Royal Ave & 1st Street
 100 Royal Ave & 1st Street
 Near Westminster

Group No:
Landscape
P2 - Planting Plan

Scale	1:100
North Arrow	North
Sheet No.	21603
Project No.	16-001
Drawn By	ETQ
Checked By	ETQ
Date	2016.02.05
Project Name	Royal I
Sheet No.	24



ID	QTY	Latin Name	COMMON NAME	BRACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
1	1	Adiantum species	Adiantum	None	100cm	Plant in bed	AD
2	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
3	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
4	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
5	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
6	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
7	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
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15	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
16	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
17	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
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19	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
20	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
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22	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
23	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
24	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
25	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
26	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
27	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
28	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
29	1	Salix species	Salix	None	100cm	Plant in bed	S-4b
30	1	Salix species	Salix	None	100cm	Plant in bed	S-4b

1. ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSA B710 (MAY 2012) STANDARD FOR LANDSCAPE TREATMENT IN THE
 2. BRITISH COLUMBIA SUBALPINE BIODIVERSITY MANAGEMENT AND DESIGN
 3. BRITISH COLUMBIA SUBALPINE BIODIVERSITY MANAGEMENT AND DESIGN
 4. BRITISH COLUMBIA SUBALPINE BIODIVERSITY MANAGEMENT AND DESIGN
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 30. BRITISH COLUMBIA SUBALPINE BIODIVERSITY MANAGEMENT AND DESIGN



1
 Scale: 1:100

No.	Date	Issue/Notes
A	2018.02.05	Issue for Planning
B	2018.02.05	Issue for Planning
C	2018.02.15	Issue for Planning
D	2018.02.15	Issue for Planning
E	2018.02.15	Issue for Planning
F	2018.02.15	Issue for Planning
G	2018.02.15	Issue for Planning
H	2018.02.15	Issue for Planning
I	2018.02.15	Issue for Planning

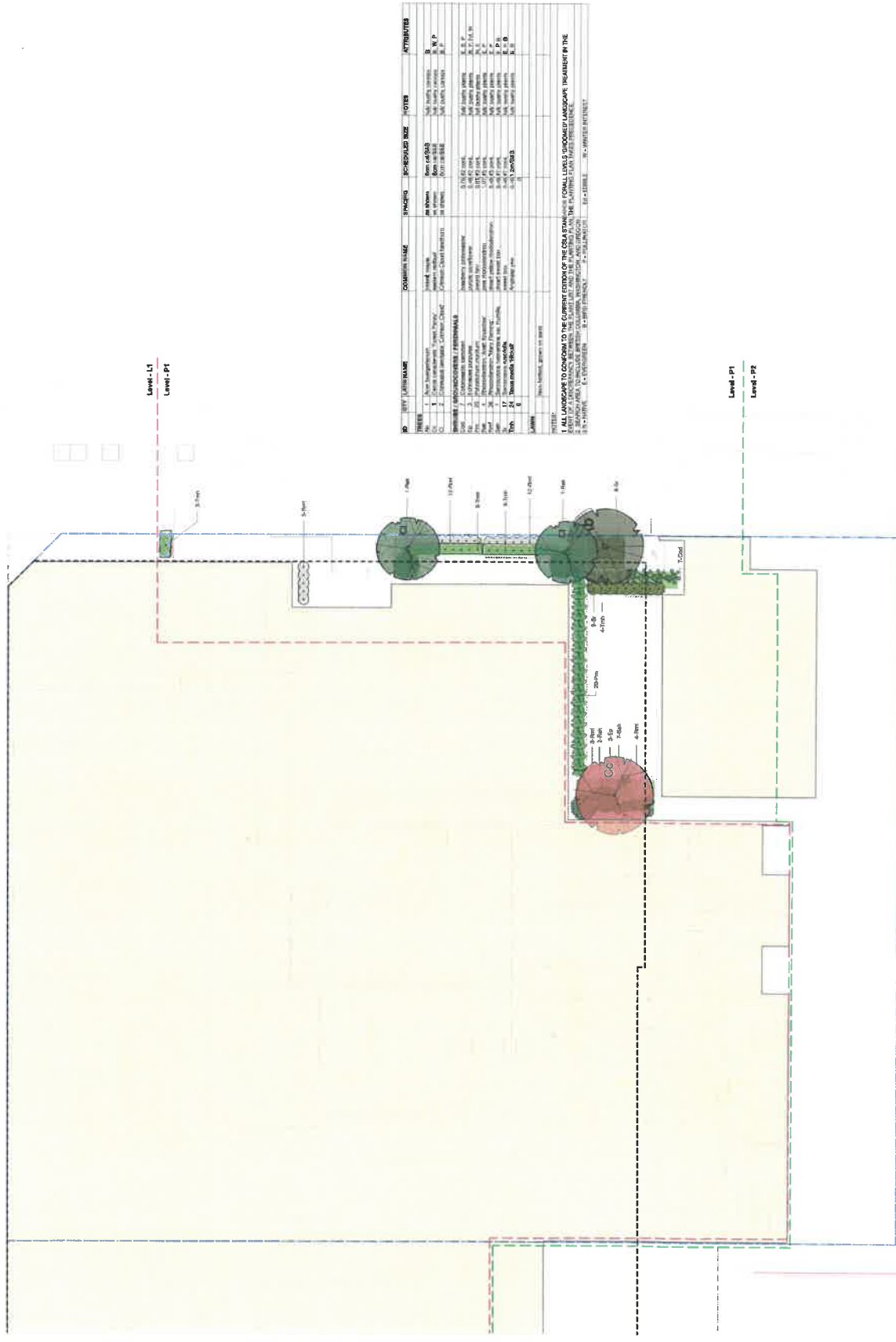
Professional Seal

100 West Broadway
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Project
Royal I
Royal Ave & 1st Street
 108 Royal Ave & 1st Street
 New Westminster

Drawing No.
Landscape
P1 - Planting Plan

Scale
 1:100
 Date
 2018.02.05
 Project No.
 21840
 Drawing No.
 L5.2
 Page No.
 34



ID	TYPE	PLANT NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
C1	Tree	Redwood	Redwood	10m x 10m	10m x 10m	10m x 10m	R, W, P
C2	Tree	Redwood	Redwood	10m x 10m	10m x 10m	10m x 10m	R, W, P
C3	Tree	Redwood	Redwood	10m x 10m	10m x 10m	10m x 10m	R, W, P
C4	Tree	Redwood	Redwood	10m x 10m	10m x 10m	10m x 10m	R, W, P
C5	Tree	Redwood	Redwood	10m x 10m	10m x 10m	10m x 10m	R, W, P
C6	Tree	Redwood	Redwood	10m x 10m	10m x 10m	10m x 10m	R, W, P
C7	Tree	Redwood	Redwood	10m x 10m	10m x 10m	10m x 10m	R, W, P
C8	Tree	Redwood	Redwood	10m x 10m	10m x 10m	10m x 10m	R, W, P
C9	Tree	Redwood	Redwood	10m x 10m	10m x 10m	10m x 10m	R, W, P
C10	Tree	Redwood	Redwood	10m x 10m	10m x 10m	10m x 10m	R, W, P



No.	Date	Issue/Notes
A	2018-02-15	Issue for Review
B	2018-02-15	Issue for Review
C	2018-02-15	Issue for Review
D	2018-02-15	Issue for Review
E	2018-02-15	Issue for Review
F	2018-02-15	Issue for Review
G	2018-02-15	Issue for Review
H	2018-02-15	Issue for Review
I	2018-02-15	Issue for Review

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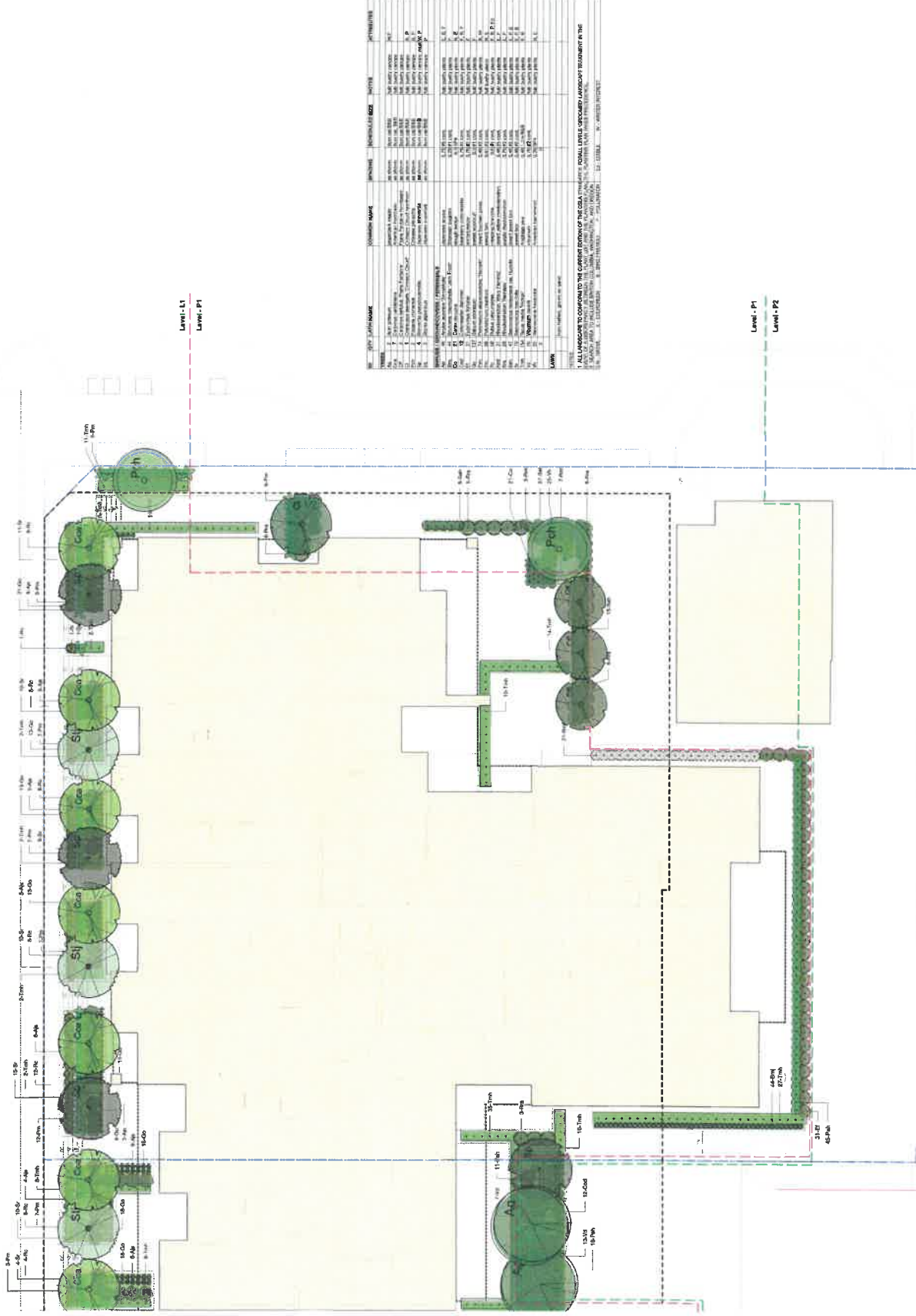
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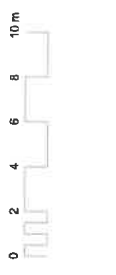
Project:
Royal I
Royal Ave & 1st Street
 108 Royal Ave & 82-74 1st Street
 New Westminster

Drawing Title:
Landscaping
L1 - Planting Plan

Client	108 Royal Ave & 82-74 1st Street
Location	108 Royal Ave & 82-74 1st Street, New Westminster, British Columbia
Project No.	21803
Drawn By	AVI (P) (S)
Checked By	AVI (P) (S)
Date	2018-02-05
Scale	L5.3
Sheet No.	1
Total Sheets	34



NO.	SYMBOL	COMMON NAME	HEIGHT	SPACING	PLANTING	REMARKS
1	Stp	Stipa capensis	1.5m	1.5m	1000	Plant in 1000mm x 1000mm grid
2	Coo	Cornus ovata	2.5m	2.5m	1000	Plant in 1000mm x 1000mm grid
3	Pch	Prunella coccinea	1.5m	1.5m	1000	Plant in 1000mm x 1000mm grid
4	Ag	Agrostis sp.	1.5m	1.5m	1000	Plant in 1000mm x 1000mm grid
5



Rev.	Date	Description
A	2018-02-02	Issue Review
B	2018-02-11	Issue Review
C	2018-02-13	Issue Review
D	2018-02-13	Issue Review
E	2018-02-13	Issue Review
F	2018-02-26	Issue Review
G	2018-02-26	Issue Review
H	2018-02-26	Issue Review
I	2018-02-26	Issue Review

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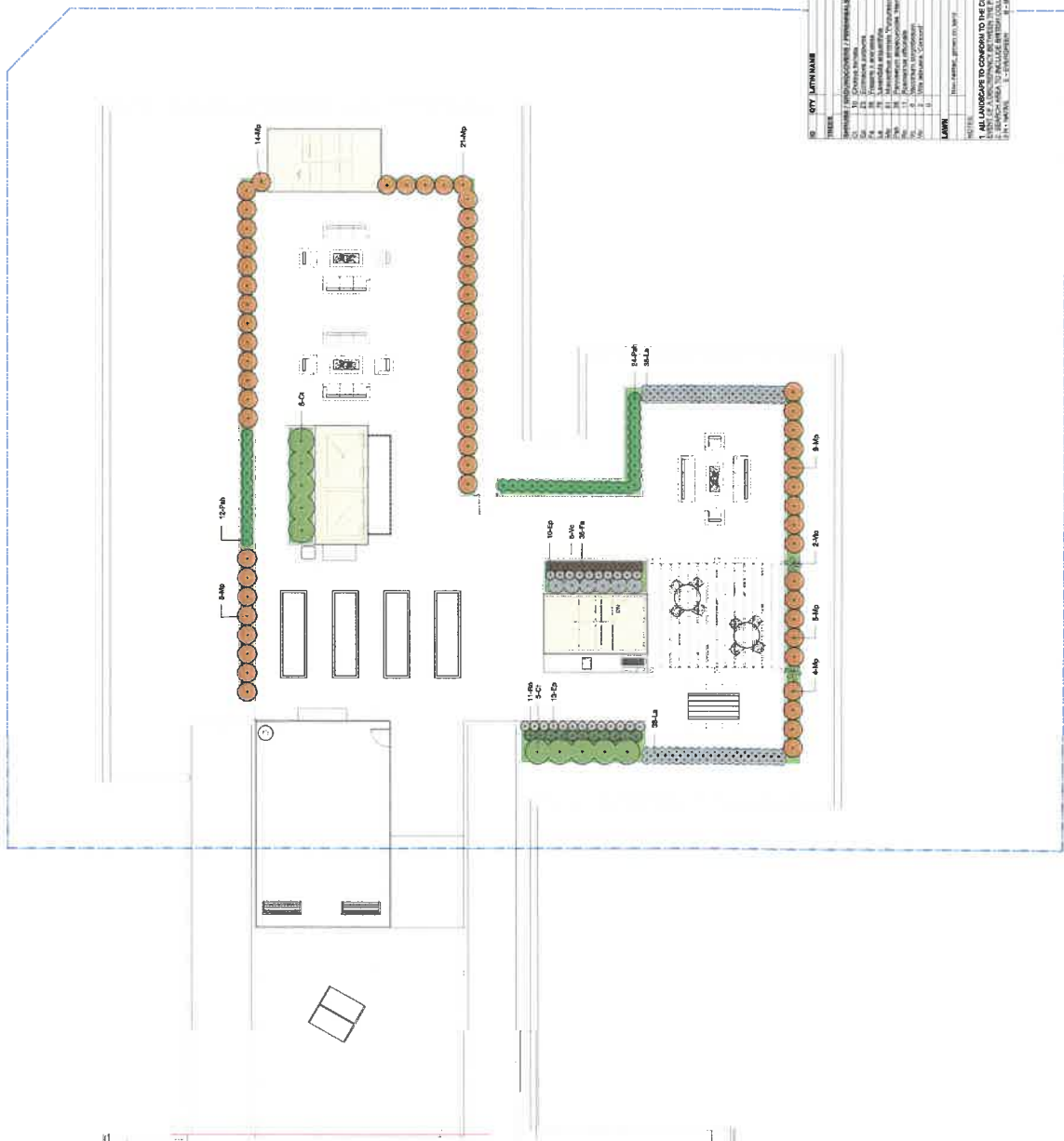
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Project:
Royal I
Royal Ave & 1st Street
New Westminster

Drawing Title:
Landscaping
Roof - Planting Plan

Author	21803
Check	AW/ROD
Date	2018-02-06
Scale	1:5.4
Sheet No.	04



ID	QTY	PLANT NAME	COMMON NAME	SPACING	ROW/SPACE SIZE	NOTES	ATTRIBUTES
1	1	10-10	Small tree	10' x 10'	10' x 10'	Plant in bed 1	10-10
2	1	12-12	Small tree	12' x 12'	12' x 12'	Plant in bed 2	12-12
3	1	14-14	Small tree	14' x 14'	14' x 14'	Plant in bed 3	14-14
4	1	16-16	Small tree	16' x 16'	16' x 16'	Plant in bed 4	16-16
5	1	18-18	Small tree	18' x 18'	18' x 18'	Plant in bed 5	18-18
6	1	20-20	Small tree	20' x 20'	20' x 20'	Plant in bed 6	20-20
7	1	22-22	Small tree	22' x 22'	22' x 22'	Plant in bed 7	22-22
8	1	24-24	Small tree	24' x 24'	24' x 24'	Plant in bed 8	24-24
9	1	26-26	Small tree	26' x 26'	26' x 26'	Plant in bed 9	26-26
10	1	28-28	Small tree	28' x 28'	28' x 28'	Plant in bed 10	28-28
11	1	30-30	Small tree	30' x 30'	30' x 30'	Plant in bed 11	30-30
12	1	32-32	Small tree	32' x 32'	32' x 32'	Plant in bed 12	32-32
13	1	34-34	Small tree	34' x 34'	34' x 34'	Plant in bed 13	34-34
14	1	36-36	Small tree	36' x 36'	36' x 36'	Plant in bed 14	36-36
15	1	38-38	Small tree	38' x 38'	38' x 38'	Plant in bed 15	38-38
16	1	40-40	Small tree	40' x 40'	40' x 40'	Plant in bed 16	40-40
17	1	42-42	Small tree	42' x 42'	42' x 42'	Plant in bed 17	42-42
18	1	44-44	Small tree	44' x 44'	44' x 44'	Plant in bed 18	44-44
19	1	46-46	Small tree	46' x 46'	46' x 46'	Plant in bed 19	46-46
20	1	48-48	Small tree	48' x 48'	48' x 48'	Plant in bed 20	48-48
21	1	50-50	Small tree	50' x 50'	50' x 50'	Plant in bed 21	50-50
22	1	52-52	Small tree	52' x 52'	52' x 52'	Plant in bed 22	52-52
23	1	54-54	Small tree	54' x 54'	54' x 54'	Plant in bed 23	54-54
24	1	56-56	Small tree	56' x 56'	56' x 56'	Plant in bed 24	56-56
25	1	58-58	Small tree	58' x 58'	58' x 58'	Plant in bed 25	58-58
26	1	60-60	Small tree	60' x 60'	60' x 60'	Plant in bed 26	60-60
27	1	62-62	Small tree	62' x 62'	62' x 62'	Plant in bed 27	62-62
28	1	64-64	Small tree	64' x 64'	64' x 64'	Plant in bed 28	64-64
29	1	66-66	Small tree	66' x 66'	66' x 66'	Plant in bed 29	66-66
30	1	68-68	Small tree	68' x 68'	68' x 68'	Plant in bed 30	68-68
31	1	70-70	Small tree	70' x 70'	70' x 70'	Plant in bed 31	70-70
32	1	72-72	Small tree	72' x 72'	72' x 72'	Plant in bed 32	72-72
33	1	74-74	Small tree	74' x 74'	74' x 74'	Plant in bed 33	74-74
34	1	76-76	Small tree	76' x 76'	76' x 76'	Plant in bed 34	76-76
35	1	78-78	Small tree	78' x 78'	78' x 78'	Plant in bed 35	78-78
36	1	80-80	Small tree	80' x 80'	80' x 80'	Plant in bed 36	80-80
37	1	82-82	Small tree	82' x 82'	82' x 82'	Plant in bed 37	82-82
38	1	84-84	Small tree	84' x 84'	84' x 84'	Plant in bed 38	84-84
39	1	86-86	Small tree	86' x 86'	86' x 86'	Plant in bed 39	86-86
40	1	88-88	Small tree	88' x 88'	88' x 88'	Plant in bed 40	88-88
41	1	90-90	Small tree	90' x 90'	90' x 90'	Plant in bed 41	90-90



Revision	Date	Description
1	2018-02-14	Issue for RFP
2	2018-02-14	Issue for RFP
3	2018-02-14	Issue for RFP
4	2018-02-14	Issue for RFP
5	2018-02-14	Issue for RFP
6	2018-02-14	Issue for RFP
7	2018-02-14	Issue for RFP
8	2018-02-14	Issue for RFP
9	2018-02-14	Issue for RFP
10	2018-02-14	Issue for RFP

Date	Issue Name
2018-02-14	Issue for RFP
2018-02-14	Issue for RFP
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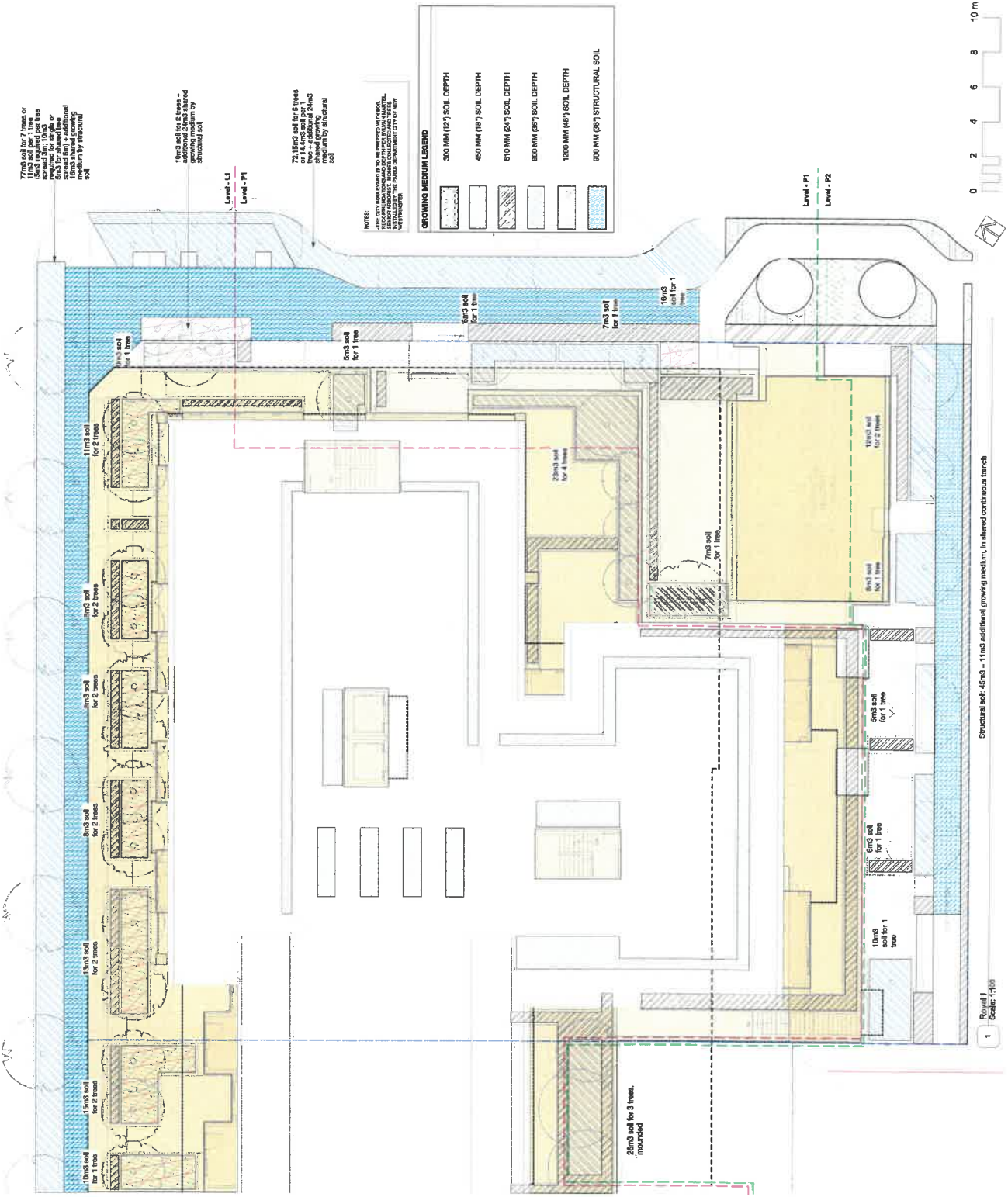
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Project: **Royal I**
Royal Ave & 1st Street
 100 Royal Ave & 1st Street
 Near Westminster

Drawing Title: **Soil Depth Plan**

Scale: 1:100	Date: 2018.02.05
Sheet: L&1	Page: 54



Structural soil: 600 - 1100 additional growing medium, in shared continuous trench

Royal I
 Scale: 1:100

Revision	Date	Description

Rev	Date	Issue Notes
A	2018-03-15	Issued for Review
B	2018-03-15	Revised for Review
C	2018-03-15	Issued for R2/10P
D	2018-03-15	Issued for R2/10P
E	2018-03-15	Issued for R2/10P
F	2018-03-15	Issued for R2/10P
G	2018-03-15	Issued for R2/10P
H	2018-03-15	Issued for R2/10P
I	2018-03-15	Issued for R2/10P

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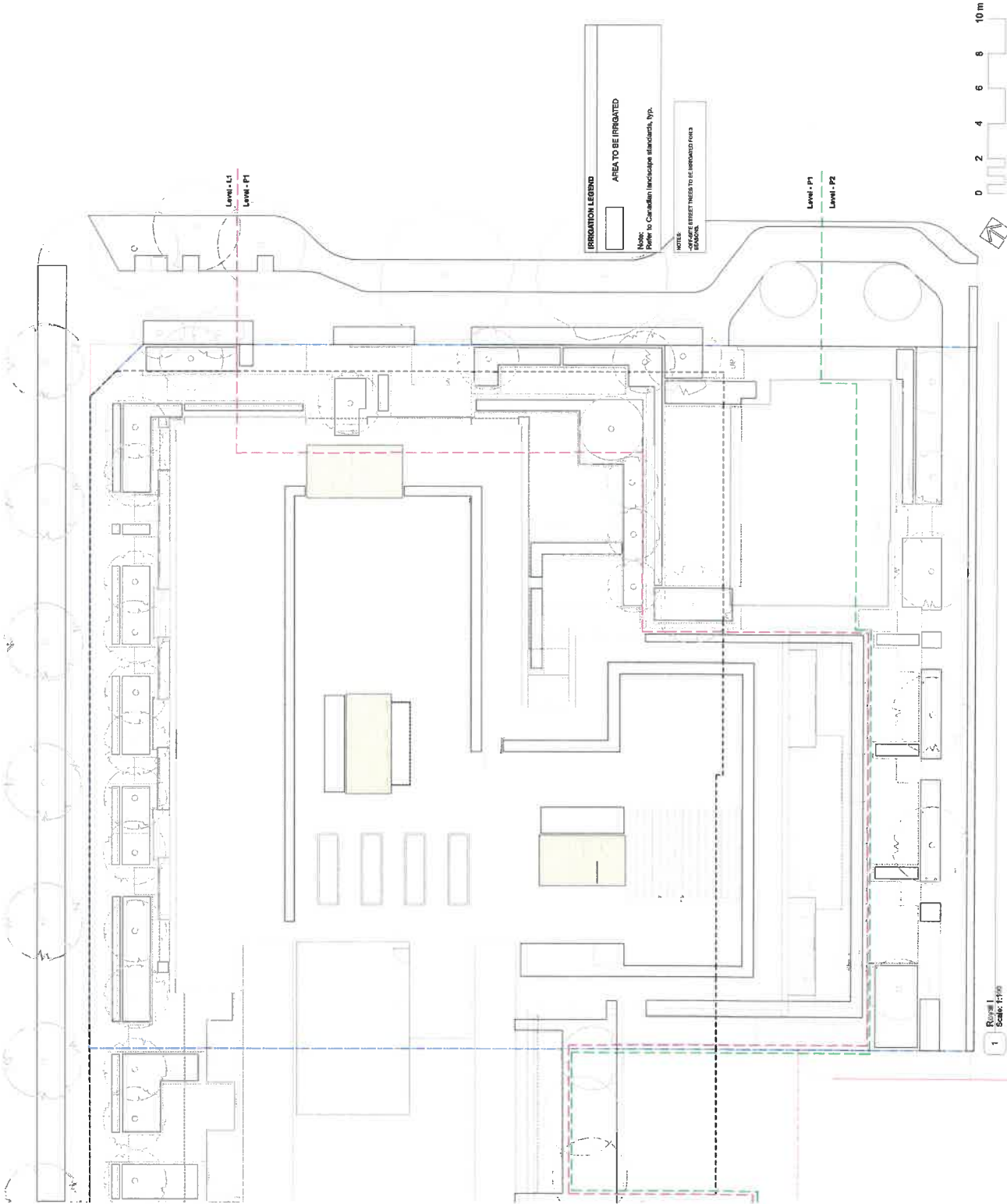
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Project:
Royal I
Royal Ave & 1st Street
108 Royal Ave & 857-74 1st Street
New Westchester

Drawing Title

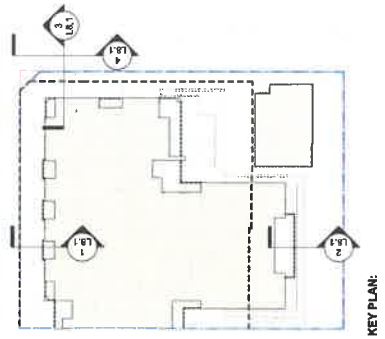
Irrigated Areas Plan

Level	Level Notes
L7.1	L7.1 to L7.100' (100' from 1st Street)
L7.2	L7.2 to L7.100' (100' from 1st Street)
L7.3	L7.3 to L7.100' (100' from 1st Street)
L7.4	L7.4 to L7.100' (100' from 1st Street)
L7.5	L7.5 to L7.100' (100' from 1st Street)
L7.6	L7.6 to L7.100' (100' from 1st Street)
L7.7	L7.7 to L7.100' (100' from 1st Street)
L7.8	L7.8 to L7.100' (100' from 1st Street)
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L7.10	L7.10 to L7.100' (100' from 1st Street)

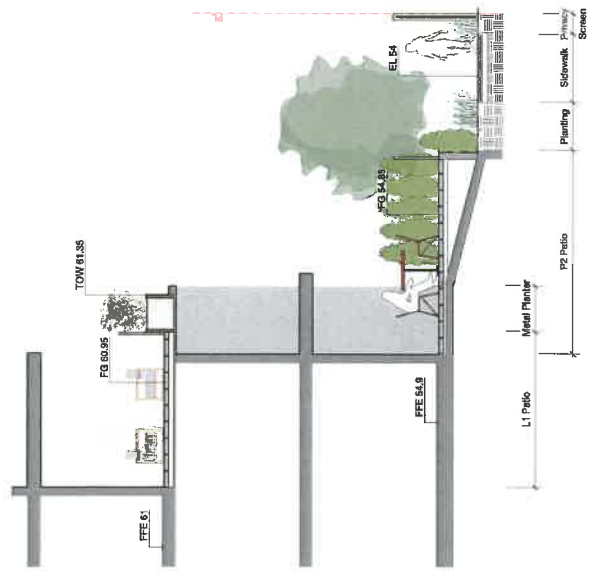


No.	Date	Revised By/For
A	2018/02/11	Submitted for Review
B	2018/02/11	Approved for Review
C	2018/02/11	Approved for Review
D	2018/02/11	Approved for Review
E	2018/02/11	Approved for Review
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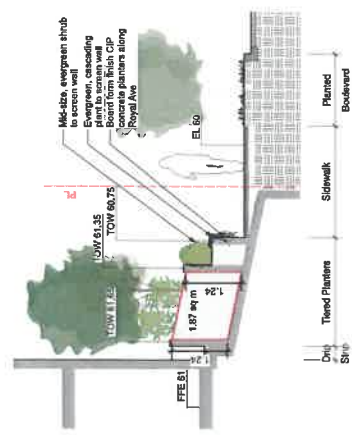
Prepared By:



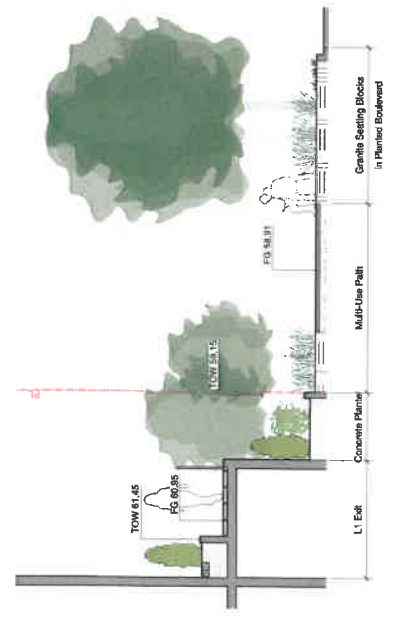
KEY PLAN:



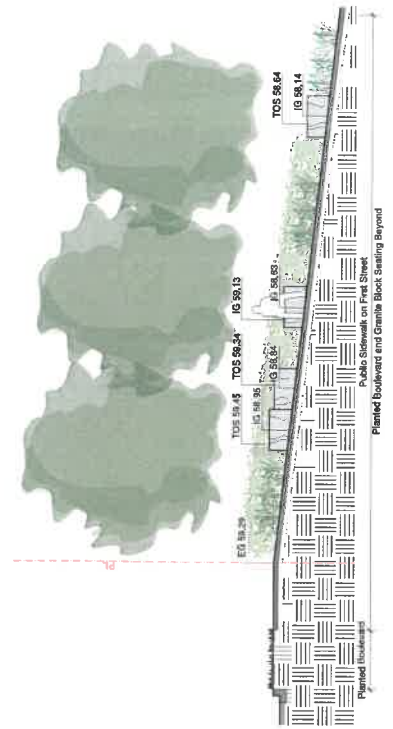
2 SECTION: L1 and P2 South Frontage
Scale: 1:50



1 SECTION: L1 Royal Avenue Frontage
Scale: 1:50



3 SECTION: L1 Entry and Public Node
Scale: 1:50



4 SECTION: L1 Public Node at Royal Ave and First Street
Scale: 1:50

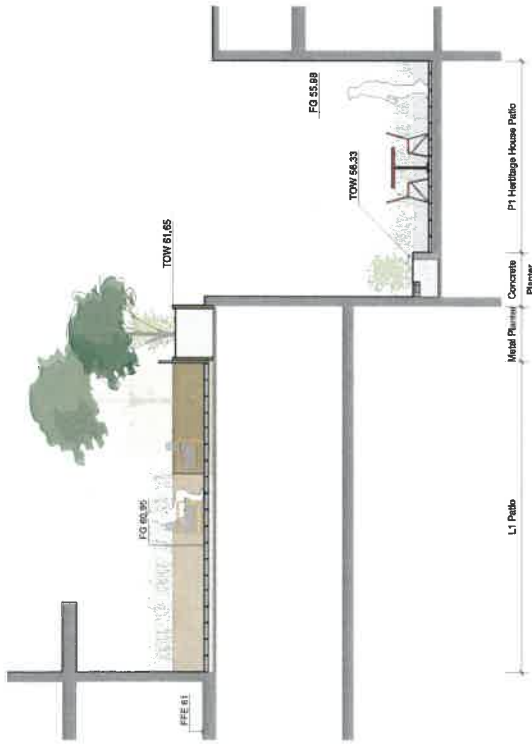
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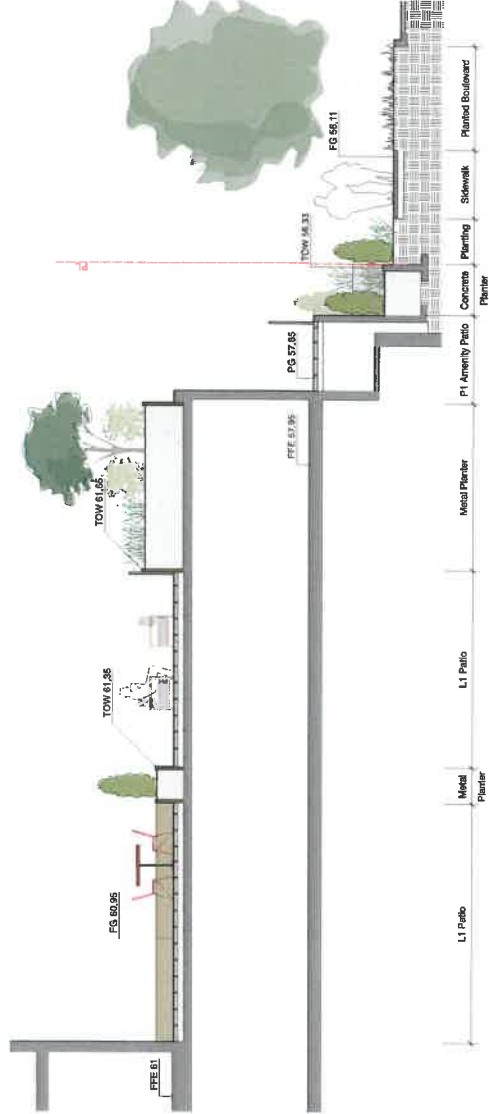
Project:
Royal I
Royal Ave & 1st Street
 100 Royal Ave & 65-74 1st Street
 New Westminister

Drawing Title:
Landscape Sections
Landscape Sections

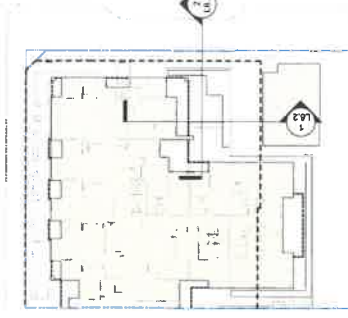
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L7	L7: 7th Floor
L8	L8: 8th Floor
L9	L9: 9th Floor
L10	L10: 10th Floor
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L15	L15: 15th Floor
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L96	L96: 96th Floor
L97	L97: 97th Floor
L98	L98: 98th Floor
L99	L99: 99th Floor
L100	L100: 100th Floor



1 SECTION: L1 Private Patio and P1 Heritage House Patio
Scale: 1/32



2 SECTION: L1 Private Patios and P1 First Street Frontage
Scale: 1/32



KEY PLAN:

Professional Seal

Number	Date	Description/Notes

Date	Notes/Revisions
2018.05.11	Initial Design
2018.05.11	Initial Design
2018.05.11	Initial Design
2018.05.11	Initial Design
2018.05.11	Initial Design
2018.05.11	Initial Design
2018.05.11	Initial Design
2018.05.11	Initial Design
2018.05.11	Initial Design

eta ENVIRONMENTAL ARCHITECTURE

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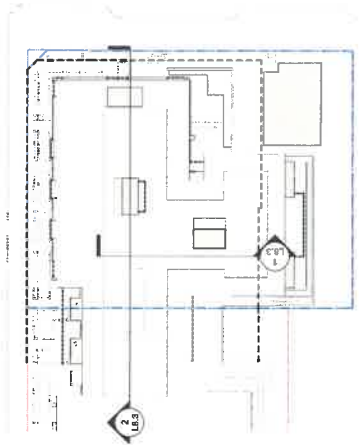
Project: **Royal I**
Royal Ave & 1st Street
 185 Royal Ave & 1st Street
 New Westminster

Drawing Title: **Landscape Sections**
 Landscape Sections

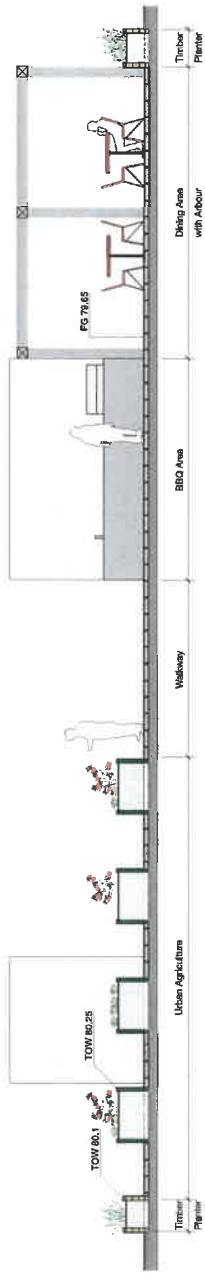
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Discipline	Number
Architectural	2018.05.11
Structural	2018.05.11
MEP	2018.05.11
Electrical	2018.05.11
Plumbing	2018.05.11
Other	2018.05.11

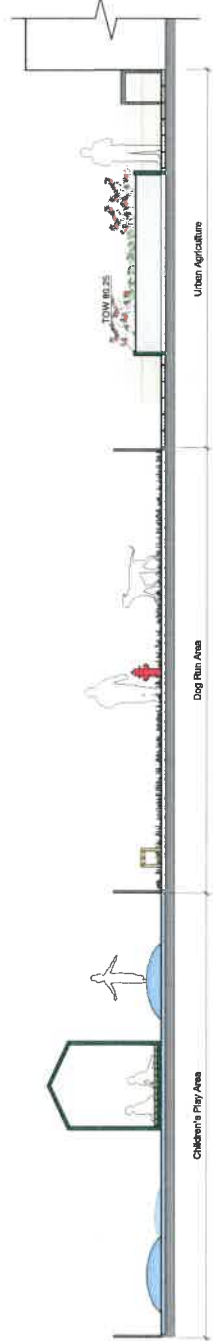
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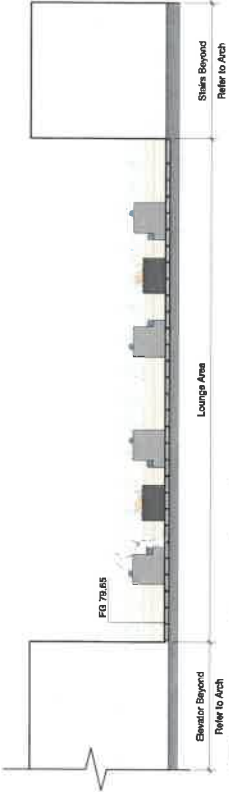
KEY PLAN:



1 SECTION: Roof Amenities North to South
Scale: 1:50



2 SECTION: Roof Amenities East to West
Scale: 1:50



2 SECTION: Roof Amenities East to West (Continued)
Scale: 1:50

Rev **Date** **Issue/Notes**

0	2016/05/11	Issued for Review
1	2016/05/11	Approved for Construction
2	2016/05/11	Approved for Review
3	2016/05/11	Issued for Review
4	2016/05/11	Approved for Review
5	2016/05/11	Issued for Review
6	2016/05/11	Approved for Review
7	2016/05/11	Issued for Review
8	2016/05/11	Approved for Review
9	2016/05/11	Issued for Review
10	2016/05/11	Approved for Review



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Project:
Royal I
Royal Ave & 1st Street
139 Royal Ave & 88-74 1st Street
North Westchicago

Drawing Title:
Landscape Sections
Landscape Sections

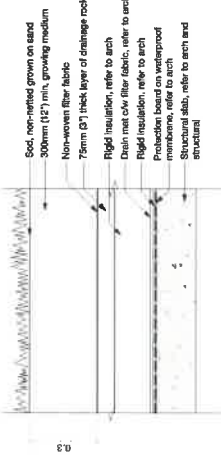
Scale:
Landscape Sections
Landscape Sections

Sheet No.	218/03
DT	218/03
Rev	01
Date	2016/02/05
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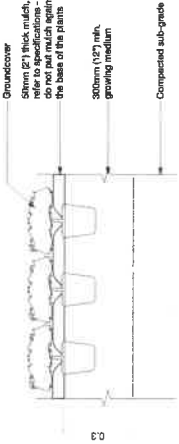
Rev	Date	By	Check	Description
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2	2019.02.14	ET	ET	Revised for Review
3	2019.02.14	ET	ET	Issue for Review
4	2019.02.14	ET	ET	Issue for Review
5	2019.02.14	ET	ET	Issue for Review
6	2019.02.14	ET	ET	Issue for Review
7	2019.02.14	ET	ET	Issue for Review
8	2019.02.14	ET	ET	Issue for Review
9	2019.02.14	ET	ET	Issue for Review
10	2019.02.14	ET	ET	Issue for Review



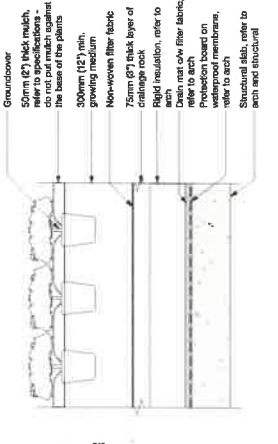
1 DETAIL: Sod on Grade
Scale: 1:10



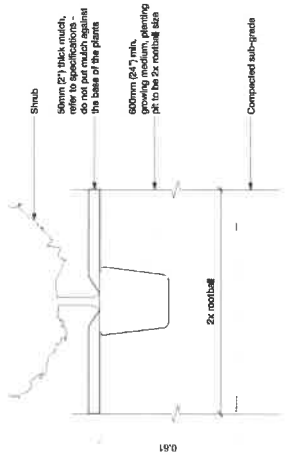
2 DETAIL: Sod on Slab
Scale: 1:10



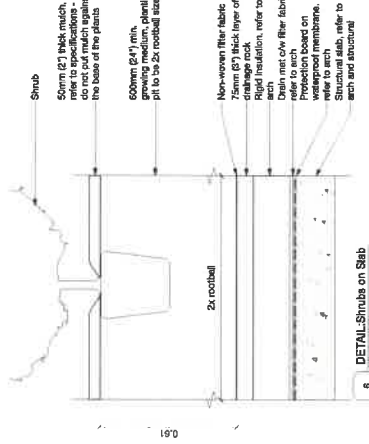
3 DETAIL: Groundcover at Grade
Scale: 1:10



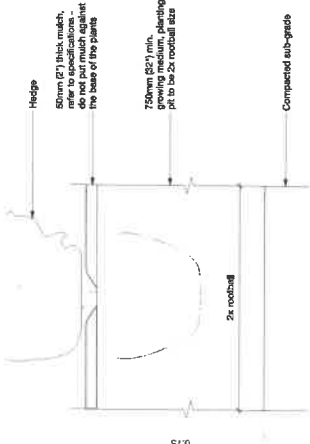
4 DETAIL: Groundcover on Slab
Scale: 1:10



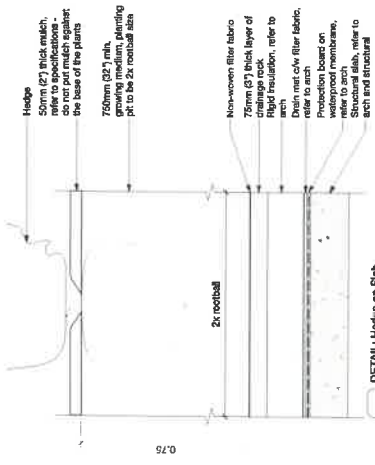
5 DETAIL: Shrub at Grade
Scale: 1:10



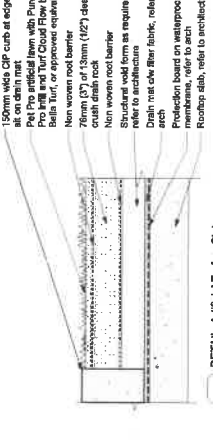
6 DETAIL: Shrubs on Slab
Scale: 1:10



7 DETAIL: Hedge at Grade
Scale: 1:10



8 DETAIL: Hedge on Slab
Scale: 1:10



9 DETAIL: Artificial Turf on Slab
Scale: 1:10

eta architectural

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 1 800.465.1100
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Project
Royal I
 100 Royal Ave & 1st Street
 New Westminster

Drawing Title
Landscaping
Softscape Details

Level	Scale	Sheet No.	Total Sheets
L1	1:10	2/19	19
L2	1:10	3/19	19
L3	1:10	4/19	19
L4	1:10	5/19	19
L5	1:10	6/19	19
L6	1:10	7/19	19
L7	1:10	8/19	19
L8	1:10	9/19	19
L9	1:10	10/19	19
L10	1:10	11/19	19
L11	1:10	12/19	19
L12	1:10	13/19	19
L13	1:10	14/19	19
L14	1:10	15/19	19
L15	1:10	16/19	19
L16	1:10	17/19	19
L17	1:10	18/19	19
L18	1:10	19/19	19

No.	Date	Issue/Notes
A	2016-06-11	Issue for Review
B	2016-06-11	Issue for Review
C	2016-06-11	Issue for Review
D	2016-06-11	Issue for Review
E	2016-06-11	Issue for Review
F	2016-06-11	Issue for Review
G	2016-06-11	Issue for Review
H	2016-06-11	Issue for Review
I	2016-06-11	Issue for Review

Professional Seal

eta INVESTIGATION ENGINEERING

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 www.eta.ca

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Project
Royal I
Royal Ave & 1st Street
 100 Royal Ave & 05-74 1st Street
 New Westminster

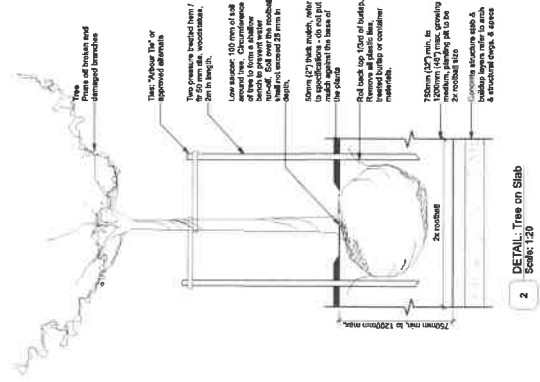
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Landscape
Softscape Details

Scale

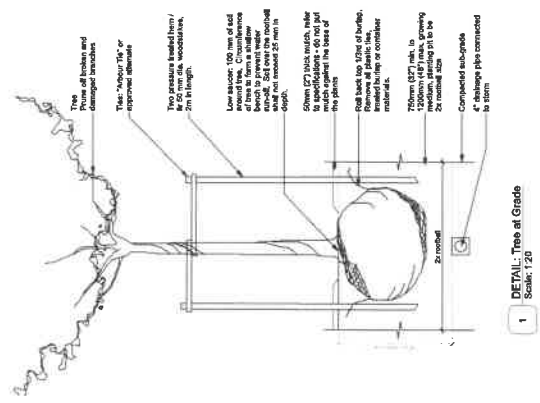
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 1/8" = 1'-0" and 1/4" = 3'-0" Section
 1/8" = 1'-0" and 1/4" = 3'-0" Elevation

Author	Project
DT	21062
DR	As noted
Checked by	DT
Drawn by	DT
Date	2016.02.05
Sheet No.	of 34

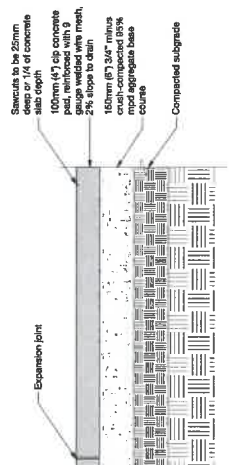
Project No. **L9.2**



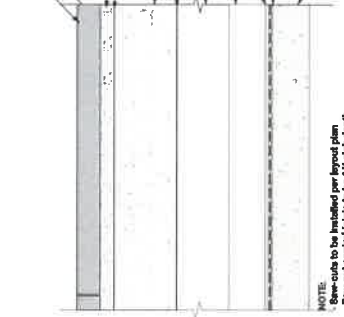
2 DETAIL - Tree on Slab
Scale: 1/20



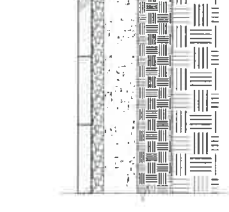
1 DETAIL - Tree at Grade
Scale: 1/20



Concrete slab pavers
Black, 300g poly propylene or approved alternative
Non-woven fiber fabric
Rigid insulation or structural void form as required
Drainage complete w/ filter fabric
Protection board on waterproof membrane, Note to fabricator



Saw-cut pattern, installed per landscape drawings, 2% slope to drain, reinforced with 9 gauge welded wire mesh, 2% slope to drain, 50mm (2") sand setting bed, Non-woven fiber fabric, 200mm (8") of 20mm (3/4") coarse aggregate, Non-woven fiber fabric, Void form material or approved equivalent - depth varies, refer to arch, Rigid insulation, refer to arch, Drain mat c/w fiber fabric, refer to arch, Protection board on waterproof membrane, Structural slab, refer to arch and structural

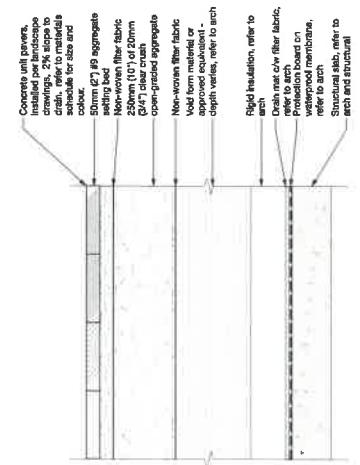


Concrete curb pavers, installed per landscape drawings, 2% slope to drain, reinforced with 9 gauge welded wire mesh, 2% slope to drain, 50mm (2") aggregate setting bed, 150mm (6") compacted aggregate, approach back course, Compacted subgrade

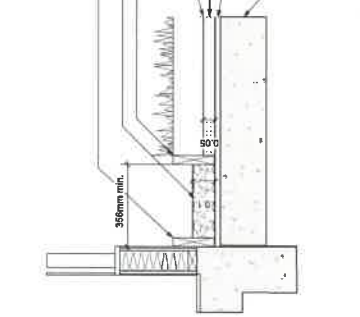
1 DETAIL: Pedestrian Concrete at Grade
Scale: 1:10

2 DETAIL: Pedestrian Concrete on Slab with Insulation
Scale: 1:10

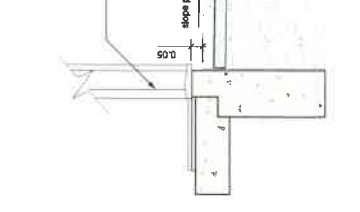
3 DETAIL: Pedestrian Concrete Unit Pavers at Grade
Scale: 1:10



Concrete curb pavers, installed per landscape drawings, 2% slope to drain, reinforced with 9 gauge welded wire mesh, 2% slope to drain, 50mm (2") aggregate setting bed, 150mm (6") compacted aggregate, approach back course, Compacted subgrade



350mm min., 2x4" pressure treated timber edge stringer, 1-1/2" dia. river rock, timber edge treated timber edge, Filter fabric, 30mm (2") of drain rock, Protection board and waterproof membrane - as per arch, Structural slab - as per arch

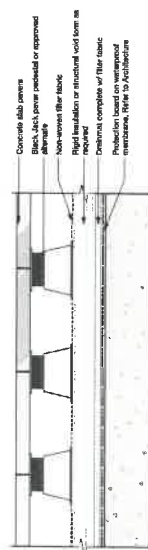


Building base - refer to arch for exact wall/floor details, slope paving @ 2% away from building, 50 D

6 DETAIL: Threshold at Building
Scale: 1:10

4 DETAIL: Pedestrian Concrete Unit Paver on Slab with Insulation
Scale: 1:10

5 DETAIL: Drip Strip on Slab
Scale: 1:10



Concrete slab pavers
Black, 300g poly propylene or approved alternative
Non-woven fiber fabric
Rigid insulation or structural void form as required
Drainage complete w/ filter fabric
Protection board on waterproof membrane, Note to fabricator



Concrete slab pavers, installed per landscape drawings, 2% slope to drain, reinforced with 9 gauge welded wire mesh, 2% slope to drain, 50mm (2") aggregate setting bed, 150mm (6") compacted aggregate, approach back course, Compacted subgrade

7 DETAIL: Concrete Paver on Pedestal
Scale: 1:10

Rev.	Date	Revised By	Revised For
A	2018-05-11	Michael P. Hines	Initial Design
B	2018-05-11	Michael P. Hines	Final Design
C	2018-05-11	Michael P. Hines	Final Design
D	2018-05-11	Michael P. Hines	Final Design
E	2018-05-11	Michael P. Hines	Final Design
F	2018-05-11	Michael P. Hines	Final Design
G	2018-05-11	Michael P. Hines	Final Design
H	2018-05-11	Michael P. Hines	Final Design

Rev.	Date	Revised By	Revised For
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B	2018-05-11	Michael P. Hines	Final Design
C	2018-05-11	Michael P. Hines	Final Design
D	2018-05-11	Michael P. Hines	Final Design
E	2018-05-11	Michael P. Hines	Final Design
F	2018-05-11	Michael P. Hines	Final Design
G	2018-05-11	Michael P. Hines	Final Design
H	2018-05-11	Michael P. Hines	Final Design

Reference Line

eta INTERIOR EXTERIOR

1600 West 1st Avenue
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1 604 631 1808
| 604 631 1808
| eta@eta.ca

48 Delta Street, Suite 100, Delta, BC V4C 2G8
48 Delta Street, Suite 100, Delta, BC V4C 2G8
48 Delta Street, Suite 100, Delta, BC V4C 2G8
48 Delta Street, Suite 100, Delta, BC V4C 2G8
48 Delta Street, Suite 100, Delta, BC V4C 2G8
48 Delta Street, Suite 100, Delta, BC V4C 2G8
48 Delta Street, Suite 100, Delta, BC V4C 2G8
48 Delta Street, Suite 100, Delta, BC V4C 2G8
48 Delta Street, Suite 100, Delta, BC V4C 2G8
48 Delta Street, Suite 100, Delta, BC V4C 2G8

Project:
Royal I
Royal Ave & 1st Street
108 Royal Ave & 257-74 1st Street
New Westchamber

Company:
Landscape
Landscape Details

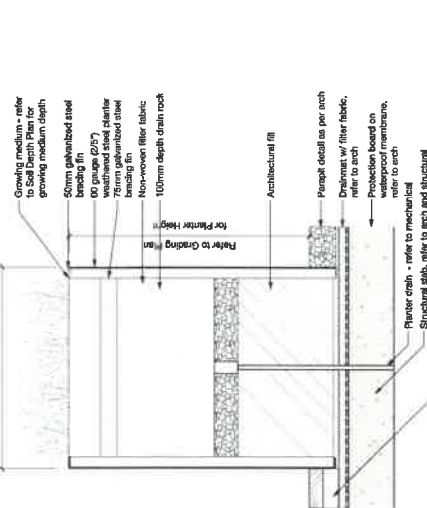
Rev.	Date	Revised By	Revised For
A	2018-05-11	Michael P. Hines	Initial Design
B	2018-05-11	Michael P. Hines	Final Design
C	2018-05-11	Michael P. Hines	Final Design
D	2018-05-11	Michael P. Hines	Final Design
E	2018-05-11	Michael P. Hines	Final Design
F	2018-05-11	Michael P. Hines	Final Design
G	2018-05-11	Michael P. Hines	Final Design
H	2018-05-11	Michael P. Hines	Final Design

Sheet Name: Landscape
Sheet No: 21043
Landscape Details
Project No: L10-1
Date: 2018.05.05
Page No: 34

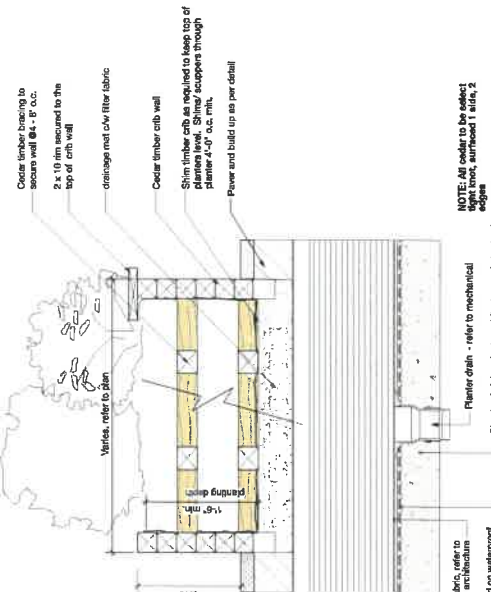
Rev.	Date	Description
A	2018-03-21	Issued for Review
B	2018-03-21	Issued for Review
C	2018-03-21	Issued for Review
D	2018-03-21	Issued for Review
E	2018-03-21	Issued for Review
F	2018-03-21	Issued for Review
G	2018-03-21	Issued for Review
H	2018-03-21	Issued for Review
I	2018-03-21	Issued for Review

Rev.	Date	Description
A	2018-03-21	Issued for Review
B	2018-03-21	Issued for Review
C	2018-03-21	Issued for Review
D	2018-03-21	Issued for Review
E	2018-03-21	Issued for Review
F	2018-03-21	Issued for Review
G	2018-03-21	Issued for Review
H	2018-03-21	Issued for Review
I	2018-03-21	Issued for Review

1 **DETAIL: Concrete Planter on Slab**
Scale: 1:10

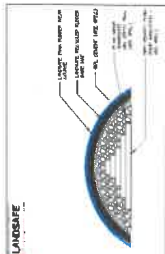
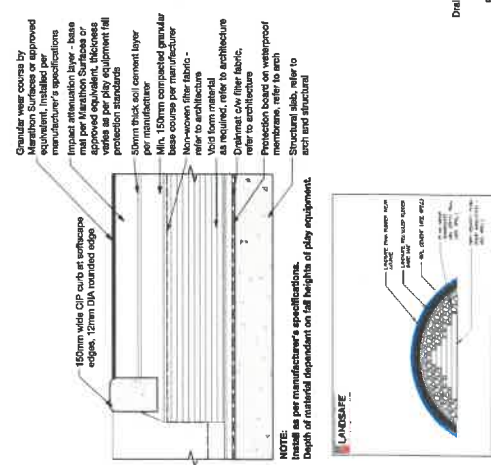


2 **DETAIL: Metal Planter**
Scale: 1:10



4 **DETAIL: Timber Planter**
Scale: 1:10

3 **DETAIL: RIP Rubber Surface**
Scale: 1:10



3 **DETAIL: RIP Rubber Surface**
Scale: 1:10

Rev.	Date	Description
A	2018-03-21	Issued for Review
B	2018-03-21	Issued for Review
C	2018-03-21	Issued for Review
D	2018-03-21	Issued for Review
E	2018-03-21	Issued for Review
F	2018-03-21	Issued for Review
G	2018-03-21	Issued for Review
H	2018-03-21	Issued for Review
I	2018-03-21	Issued for Review

eta ARCHITECTURAL RESTORATION
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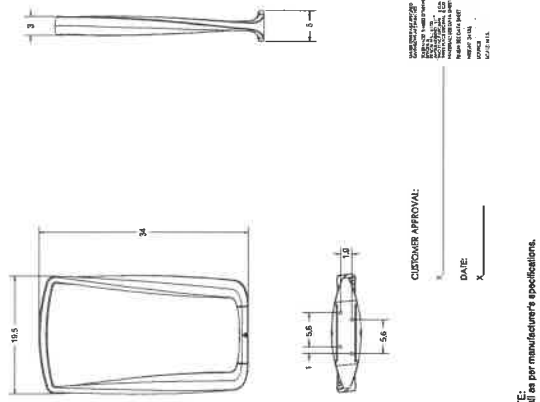
Project
Royal I
Royal Ave & 1st Street
100 Royal Ave & 1st Street
New Westminster

Drawing Title
Landscape
Landscape Details
L10.2

Rev.	Date	Description
A	2018-03-21	Issued for Review
B	2018-03-21	Issued for Review
C	2018-03-21	Issued for Review
D	2018-03-21	Issued for Review
E	2018-03-21	Issued for Review
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H	2018-03-21	Issued for Review
I	2018-03-21	Issued for Review

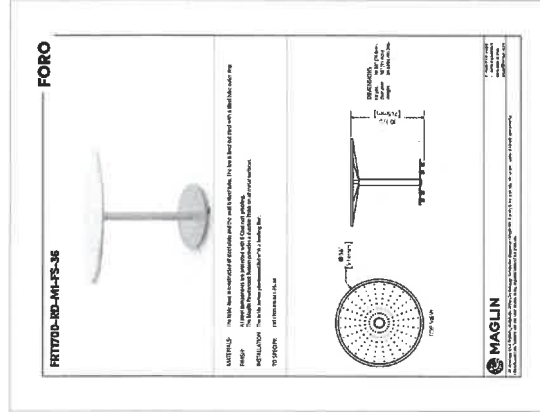
Revision No. Date Description

No.	Date	Issue Details
A	2010-05-11	Initial Project
B	2010-05-11	Issues for Review
C	2010-05-11	Revised for Review
D	2010-05-11	Revised for Review
E	2010-05-11	Revised for Review
F	2010-05-11	Revised for Review
G	2010-05-11	Revised for Review
H	2010-05-11	Revised for Review
I	2010-05-11	Revised for Review

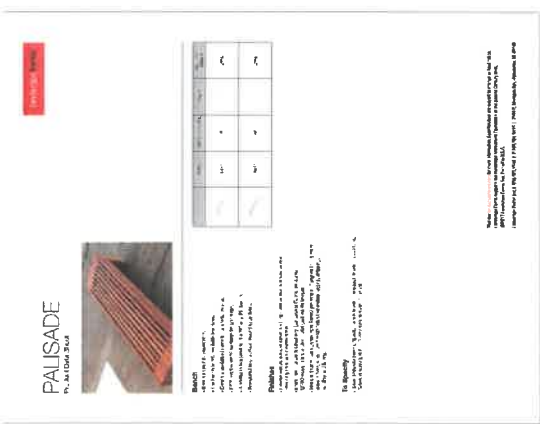


FORMSURFACES.COM
 CUSTOMER APPROVAL: _____
 DATE: _____
 PROJECT NO. _____
 DRAWING NO. _____
 SHEET NO. _____

NOTE: Refer to manufacturer's specifications.
 3 DETAIL: Bite Rack
 NTS



2 DETAIL: Round Table
 NTS



1 DETAIL: Bench
 NTS

eta
 landscape architecture
 100 West 21st Street
 New York, NY 10011
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 www.eta.com

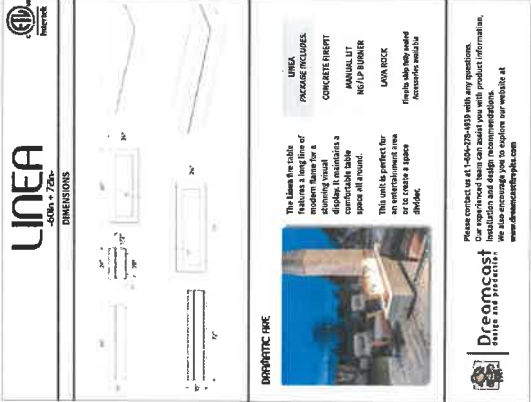
Royal I
Royal Ave & 1st Street
 New York, NY

Landscape
Site Furnishings Details

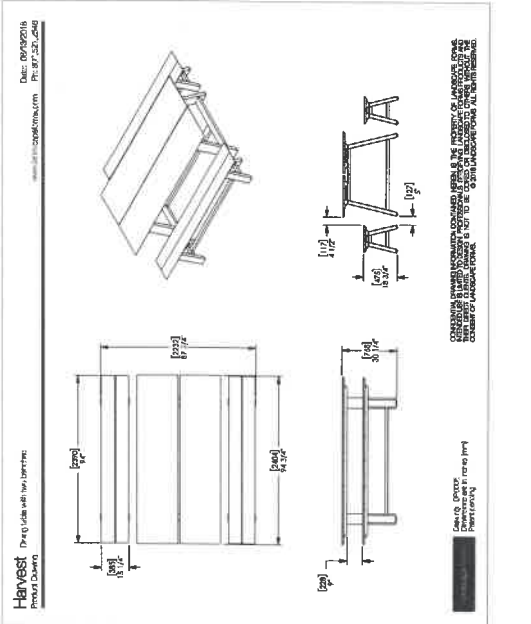
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DT	21100

Scale: 1/8" = 1'-0"



5 DETAIL: Front
 Scale: 1/10



4 DETAIL: Harvest Table
 NTS

Revision	Date	Description
1	2016.02.26	Initial Issue
2	2016.03.13	Revised for Review
3	2016.03.13	Revised for Review
4	2016.03.13	Revised for Review
5	2016.03.13	Revised for Review
6	2016.03.13	Revised for Review
7	2016.03.13	Revised for Review
8	2016.03.13	Revised for Review
9	2016.03.13	Revised for Review
10	2016.03.13	Revised for Review

FORO

FRCT700-MSE-MI

MATERIALS

- Frame: 6061-T6 Aluminum
- Seat: 304 Stainless Steel
- Back: 304 Stainless Steel

FINISHES

- Frame: Powder Coat
- Seat: Powder Coat
- Back: Powder Coat

ASSEMBLY

Assembly Time: 15 minutes

WEIGHT

Weight: 15 lbs

LOADING

Weight Capacity: 250 lbs

COMMENTS

1. This chair is designed for outdoor use.

2. The seat is made of 304 stainless steel.

3. The back is made of 304 stainless steel.

4. The frame is made of 6061-T6 aluminum.

5. The chair is designed to be assembled in 15 minutes.

6. The weight of the chair is 15 lbs.

7. The weight capacity of the chair is 250 lbs.

8. The chair is designed for outdoor use.

9. The seat is made of 304 stainless steel.

10. The back is made of 304 stainless steel.

11. The frame is made of 6061-T6 aluminum.

12. The chair is designed to be assembled in 15 minutes.

13. The weight of the chair is 15 lbs.

14. The weight capacity of the chair is 250 lbs.

15. The chair is designed for outdoor use.

1 DETAIL: Chair
NTS

WASTE BIN

DETAIL: Waste Bin

NTS

3 DETAIL: Waste Bin
NTS

MAGRIN

MWR200-20-ST

DETAIL: Magrin Trash Can

NTS

3 DETAIL: Magrin Trash Can
NTS

WATER DISPENSER

DETAIL: Water Dispenser

NTS

2 DETAIL: Water Dispenser
NTS

WORK TABLE

DETAIL: Work Table

NTS

5 DETAIL: Work Table
NTS

HUNGRY BIN

DETAIL: Hungry Bin

NTS

6 DETAIL: Hungry Bin
NTS

CONTOUR BIN

DETAIL: Contour Bin

NTS

6 DETAIL: Contour Bin
NTS

BEO COUNTER

DETAIL: BEO Counter

NTS

7 DETAIL: BEO Counter
NTS

SEAT

DETAIL: Seat

NTS

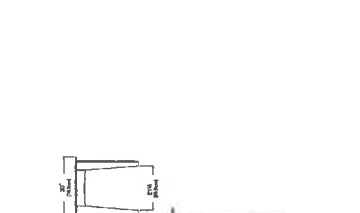
8 DETAIL: Seat
NTS



6 DETAIL: Landscape Rendering
NTS



6 DETAIL: Landscape Rendering
NTS



6 DETAIL: Landscape Rendering
NTS



6 DETAIL: Landscape Rendering
NTS



6 DETAIL: Landscape Rendering
NTS

PROJECT

Royal I

Royal Ave & 1st Street

Near Westchester

DESIGNED BY

Landscaping Details

DATE

2016.02.26

SCALE

1/8" = 1'-0"

CLIENT

100 Royal Ave & 1st Street

Near Westchester

ARCHITECT

200 Westchester Ave

Westchester, NY

DATE

2016.02.26

SCALE

1/8" = 1'-0"

PROJECT

Royal I

Royal Ave & 1st Street

Near Westchester

DESIGNED BY

Landscaping Details

DATE

2016.02.26

SCALE

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CLIENT

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2016.02.26

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Royal I

Royal Ave & 1st Street

Near Westchester

DESIGNED BY

Landscaping Details

DATE

2016.02.26

SCALE

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CLIENT

100 Royal Ave & 1st Street

Near Westchester

ARCHITECT

200 Westchester Ave

Westchester, NY

DATE

2016.02.26

SCALE

1/8" = 1'-0"

PROJECT

Royal I

Royal Ave & 1st Street

Near Westchester

DESIGNED BY

Landscaping Details

DATE

2016.02.26

SCALE

1/8" = 1'-0"

CLIENT

100 Royal Ave & 1st Street

Near Westchester

ARCHITECT

200 Westchester Ave

Westchester, NY

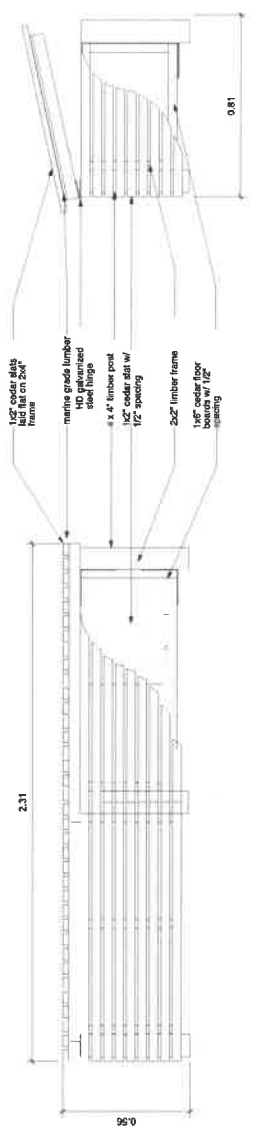
DATE

2016.02.26

SCALE

1/8" = 1'-0"

Revision No.	Date	Revised By



No.	Date	Issue/Notes
B	2018.05.11	Issued for Review
C	2018.05.11	Revised for Review
D	2018.10.27	Issued for Review
E	2018.10.18	Revised for Review
F	2018.10.18	Revised for Review
G	2017.02.19	Issue for Review
H	2018.02.14	Issue for Review

Prepared By:

eta HUNTSVILLE ARCHITECTURE

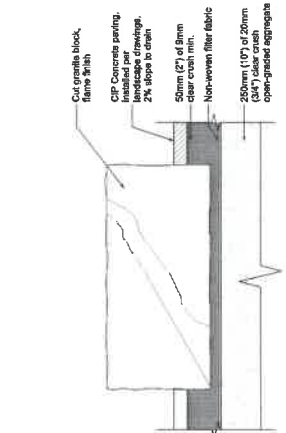
1000 Wood Park Avenue
 Department 100, Huntsville, TN, USA
 | 256.881.1100
 | 256.881.1105
 | www.eta.us

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Project 1
Royal I
Royal Ave & 1st Street
 100 Royal Ave & 1st St, 1st Street
 Near Westside

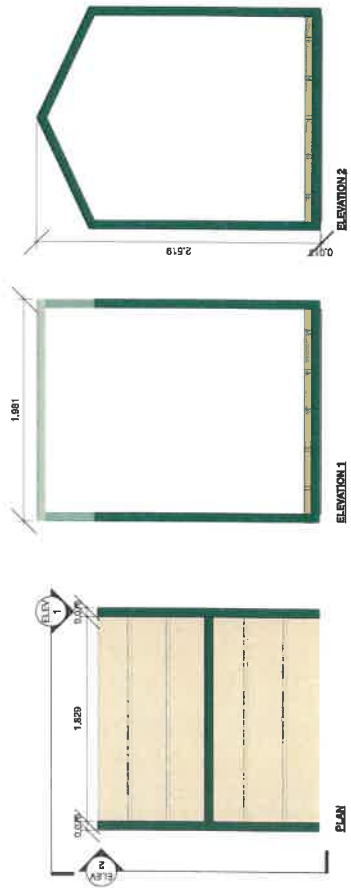
Drawing Title
Landscape
Site Furnishings Details

Level	Sheet No.	Total Sheets
Landscape	L11.3	34

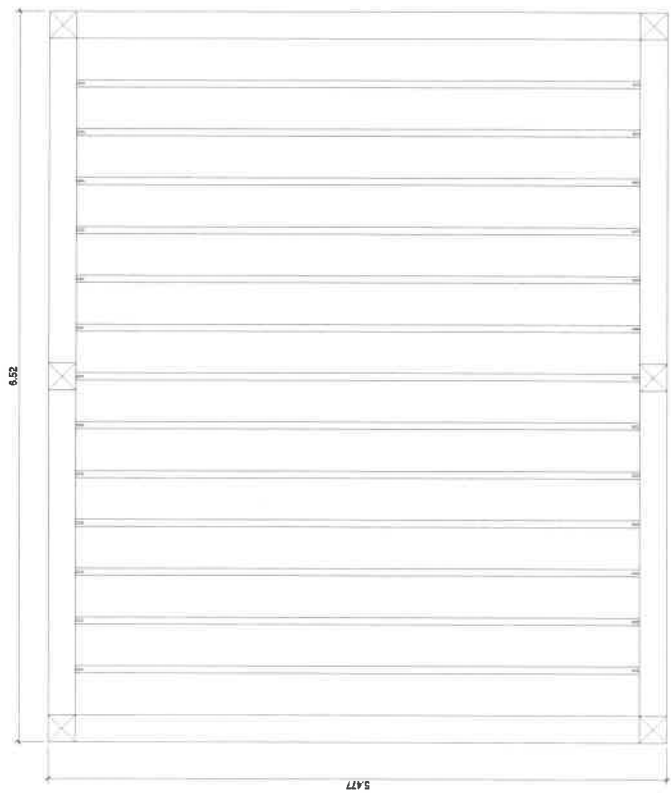


1 DETAIL: Granite Seating Block
 NTS

2 DETAIL: Tool Storage Bench w/ Wooden Seat
 Scale: 1:10



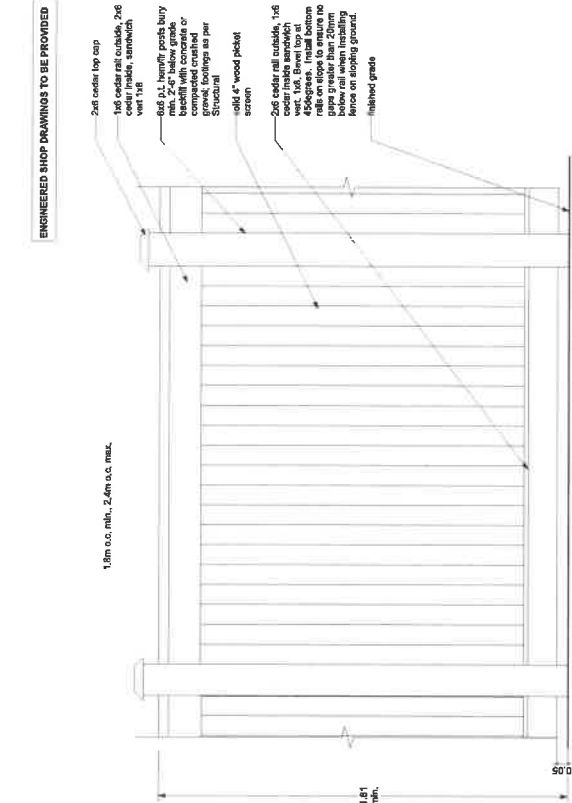
3 DETAIL: Children's Play Frame
 Scale: 1:20



ELEVATION

ELEVATION

1 DETAIL - Rooftop Arbor
Scale: 1/20



2 DETAIL - TIMBER PRIVACY FENCE
Scale: 1/10

ENGINEERED SHOP DRAWINGS TO BE PROVIDED

- 2x6 cedar top cap
- 1x6 cedar rail outside, 2x6 cedar inside, sandwich vert. 1/8"
- 6x6 1/2" with posts bury backfill with concrete or compacted crushed stone as per Structural
- 4x4 1/2" wood post screen
- 2x6 cedar rail outside, 1x6 cedar rail inside, sandwich vert. 1/8", Bored top w/ 45degrees. Install bottom rail 1/2" above ground. Posts to be set below rail when installing fence on sloping ground.
- finished grade

Rev	Date	Issue/Notes
B	2018-04-11	Issued for Review
C	2018-10-31	Issued for Review
E	2018-10-31	Issued for Review
H	2018-03-19	Issue for Review
I	2018-02-14	Issue for Review

Prepared by: [Name]



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Project:
Royal I
Royal Ave & 1st Street
103 Royal Ave & 827 1st Street
New Westminster

Drawn by:
Landscaping
Site Furnishings Details

Author	Lee-Ann and Co. Landscape Architecture
Client	11722-114 St. Edmonton, Alberta
DT	2/18/18
Scale	As Shown
DT	2/18/18
DT	2/18/18
DT	2/18/18

No.	Date	Issue/Notes
A	2018.05.11	Issue for Review
B	2018.05.11	Issue for Review
C	2018.05.11	Issue for Review
D	2018.05.11	Issue for Review
E	2018.05.11	Issue for Review
F	2018.05.11	Issue for Review
G	2018.05.11	Issue for Review
H	2018.05.11	Issue for Review
I	2018.05.11	Issue for Review

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Project
Royal I
Royal Ave & 1st Street
 100 Royal Ave & 65-71 1st Street
 New Westminster

Drawing Title
Landscape
Site Furnishings Details

Scale: 1:10

Sheet No. **L11.5** of 34

Project No. 201802.05

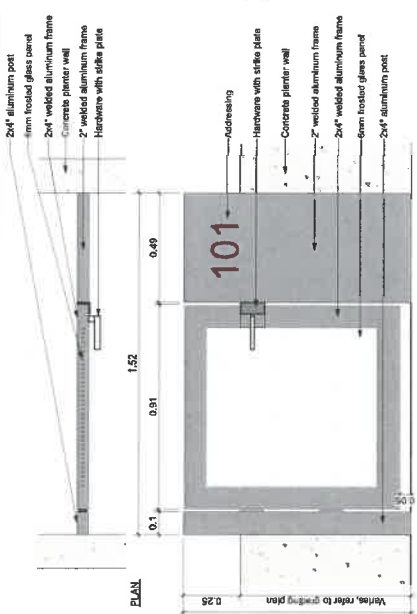
Date: 2018.05.11

Drawn By: [Name]

Checked By: [Name]

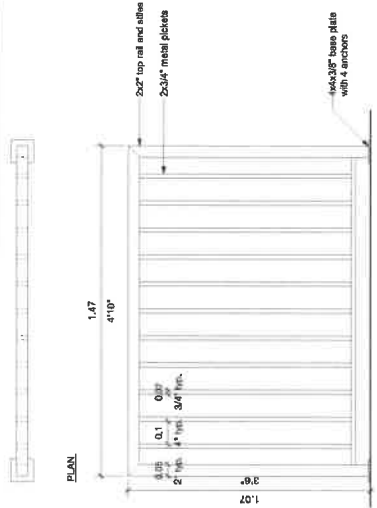
Approved By: [Name]

ENGINEERED SHOP DRAWINGS TO BE PROVIDED



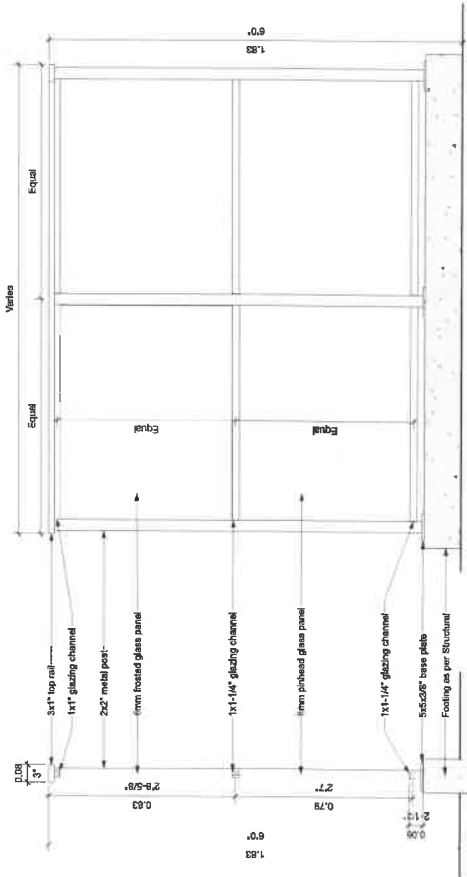
4 DETAIL: CIP Concrete Steps with Handrail
 Scale: 1:20

ENGINEERED SHOP DRAWINGS TO BE PROVIDED



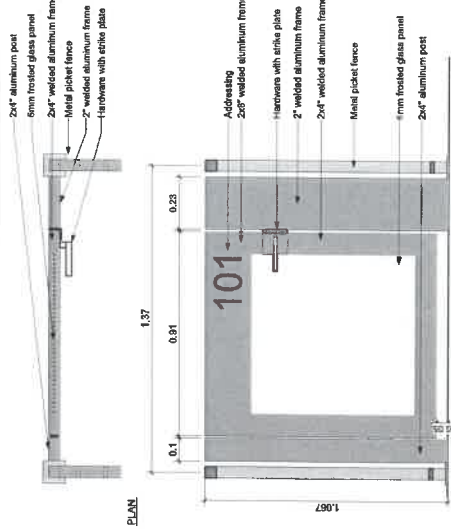
1 DETAIL: Metal Fence
 Scale: 1:10

ENGINEERED SHOP DRAWINGS TO BE PROVIDED



2 DETAIL: Entry Gate - Royal Ave
 Scale: 1:10

ENGINEERED SHOP DRAWINGS TO BE PROVIDED



5 DETAIL: Entry Gate - Lane
 Scale: 1:10

SECTION

3 DETAIL: Privacy Screen
 Scale: 1:10

ROYAL II

for TPL Developments Royal 2 Inc

Civic Address: 112, 114 and 118 Royal Ave, New Westminster, BC
 Legal Address: Lots 13, 14 AND 15 Plan 2620. All of Block 32, New Westminster Townsite Group 1 NWD

CONSULTANT TEAM

OWNER: TPL Developments Windsor Inc
 ARCHITECT: REDALE ARCHITECTURE
 LANDSCAPE: eta landscape architecture

ISSUED FOR DP: MARCH 14, 2022

Revision	Date	Revised By

Rev	Date	Revised By
A	2021-05-19	Wendy White
B	2021-05-19	Wendy White
C	2021-05-19	Wendy White
D	2021-05-19	Wendy White
E	2021-05-19	Wendy White
F	2021-05-19	Wendy White
G	2021-05-19	Wendy White
H	2021-05-19	Wendy White
I	2021-05-19	Wendy White
J	2021-05-19	Wendy White
K	2021-05-19	Wendy White

Photorealistic

DRAWING LIST

L0.0	Cover Page
L0.1	Notes and Schedule
L0.2	Context Plan
L0.3	Illustrative Plan
L0.4	Precedent Images
L0.5	Amenity Plan
L1.1	Tree-Management Plan
L2.1	Onsite Materials Plan
L2.2	Onsite Tree Plan
L2.3	Onsite Planting Plan
L2.4	Onsite Irrigation Plan
L3.1	P2 - Materials Plan
L3.2	P1 - Materials Plan
L3.3	L1 - Materials Plan
L4.1	P2 - Grading and Drainage Plan
L4.2	P1 - Grading and Drainage Plan
L4.3	L1 - Grading and Drainage Plan
L5.1	P2 - Planting Plan
L5.2	P1 - Planting Plan
L5.3	L1 - Planting Plan
L6.1	Soil Depth Plan
L7.1	Irrigated Areas Plan
L8.1	Landscape Sections
L9.1	Softscape Details
L9.2	Softscape Details
L10.1	Hardscape Details
L10.2	Hardscape Details
L11.1	Site Furnishings Details
L11.2	Site Furnishings Details
L11.3	Site Furnishings Details
L12.1	Lighting Details

TO BE INCLUDED PENDING UPDATE FROM ARCHITECT



Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title

Cover Sheet

Scale	1:1
Date	2022-03-14
Drawn by	Wendy White
Checked by	Wendy White
Project No.	2021-05-19
Sheet No.	1 of 30
Scale	L0.0



Rev.	Date	Revised By/Checked
A	2018/03/05	Initial Design/Concept
B	2018/03/05	Initial Design/Concept
C	2018/03/11	Initial Design/Concept
D	2018/03/11	Initial Design/Concept
E	2018/03/11	Initial Design/Concept
F	2018/03/11	Initial Design/Concept
G	2018/03/26	Initial Design/Concept
H	2018/03/26	Initial Design/Concept
I	2018/03/26	Initial Design/Concept
J	2018/03/26	Initial Design/Concept
K	2018/03/26	Initial Design/Concept

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Project:

Royal II

112, 114 and 118 Royal Ave.

1 Royal II and Royal II
 Scale: 1:200

Drawing Title:

Context Plan



Scale: 1:200
 Date: 2018/03/05
 Drawing Title: L0.2

Project No.: 21844
 Drawing No.: 01/000
 Drawing Title: L0.2



Revision	Date	Prepared/Checked

No.	Date	Revised Notes
A	10/18/2021	Issue for Construction
B	2/21/2022	Issue for Construction
C	2/21/2022	Issue for Phase 1
D	2/21/2022	Issue for Phase 1
E	2/21/2022	Issue for Phase 1
F	2/21/2022	Issue for Phase 1
G	2/21/2022	Issue for Phase 1
H	2/21/2022	Issue for Phase 1
I	2/21/2022	Issue for Phase 1
J	2/21/2022	Issue for Phase 1
K	2/21/2022	Issue for Phase 1

Published Date



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Royal II

112, 114 and 118 Royal Ave.

Illustrative Plan

Legend
 L1-11, L1-11A and L1-11B (2021)
 L1-11C, L1-11D and L1-11E (2022)
 L1-11F, L1-11G and L1-11H (2022)

Scale	1:80	0	2	4	6	8	10 m
North Arrow							
Sheet No.	L0.3						
Project	112, 114 and 118 Royal Ave.						
Date	2/21/2022						



Rev.	Date	Revised Notes
A	2018-05-14	Initial Design
B	2018-05-14	Initial Design
C	2018-05-14	Initial Design
D	2018-05-14	Initial Design
E	2018-05-14	Initial Design
F	2018-05-14	Initial Design
G	2018-05-14	Initial Design
H	2018-05-14	Initial Design
I	2018-05-14	Initial Design
J	2018-05-14	Initial Design
K	2018-05-14	Initial Design

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Project:

Royal II

112, 114 and 116 Royal Ave.

Drawing Title:

Precedent Images

Level:

Level 0, 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

Sheet No.:

21844

City:

NYC

Scale:

1:100

Date:

2018.05.14

Sheet No.:

10.4

of

30

Plot Name:



Frontage and planting example



Western walkway planting and path treatment



Feature landscape wall example



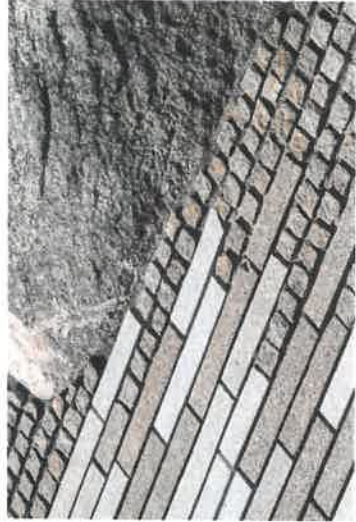
Planting and retaining wall example



Amenity area wall and light example



Ground floor materials / pavers



Ground floor materials / pavers



Metal planters

ROYAL AVE

Revision No. Date Description

No.	Date	Issue Made
A	2014/01/13	Issue for Construction
B	2014/02/10	Issue for Construction
C	2014/02/10	Issue for Construction
D	2014/02/10	Issue for Construction
E	2014/02/10	Issue for Construction
F	2014/02/10	Issue for Construction
G	2014/02/10	Issue for Construction
H	2014/02/10	Issue for Construction
I	2014/02/10	Issue for Construction
J	2014/02/10	Issue for Construction
K	2014/02/10	Issue for Construction

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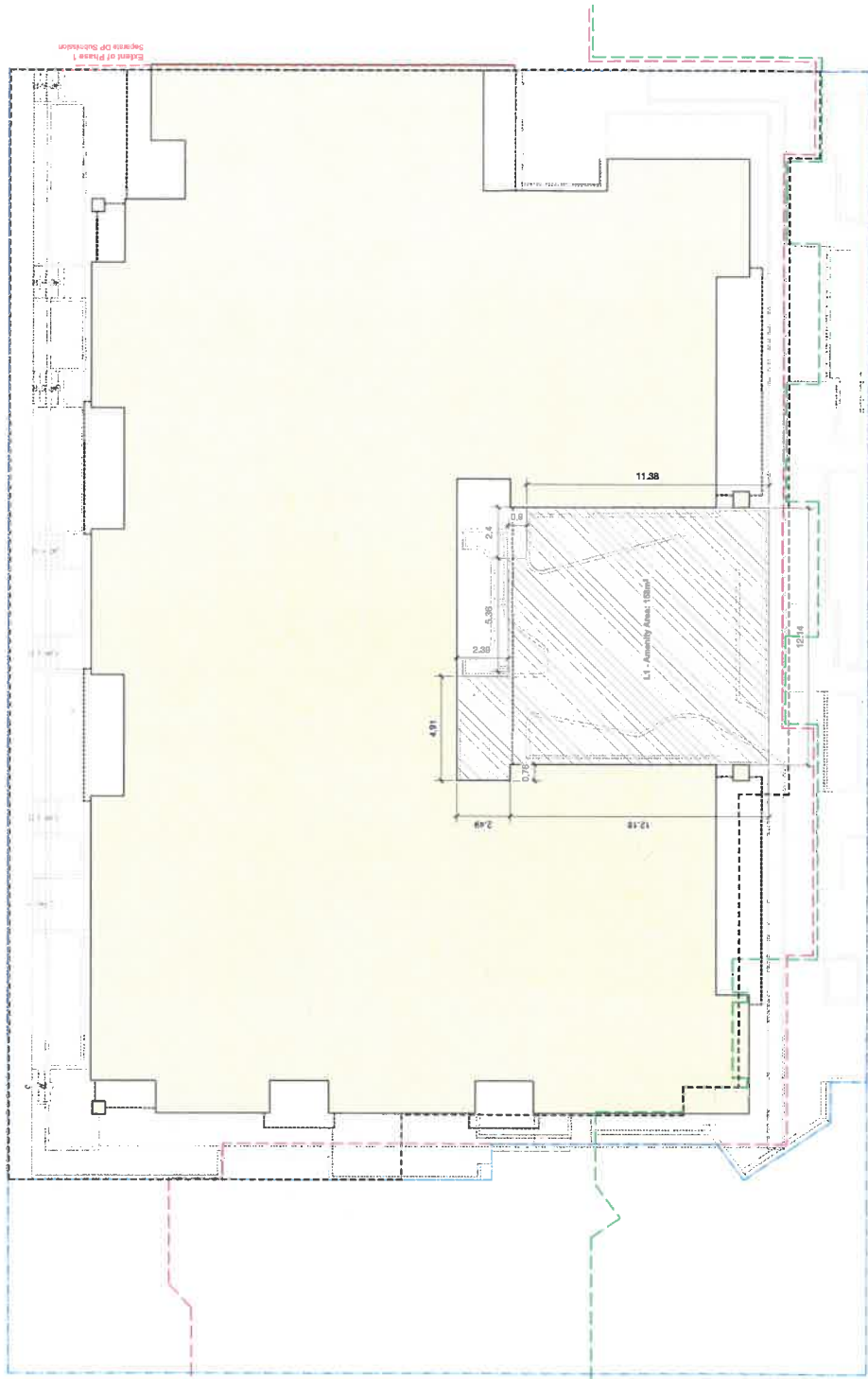
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Project
Royal II
112, 114 and 118 Royal Ave.

Drawing Title
Amenity Area Plan

Level	Scale
Level 12, 14 and 15 Plan (000)	1:100
Level 16 Plan (000)	1:100
Level 17 Plan (000)	1:100
Level 18 Plan (000)	1:100
Level 19 Plan (000)	1:100
Level 20 Plan (000)	1:100
Level 21 Plan (000)	1:100
Level 22 Plan (000)	1:100
Level 23 Plan (000)	1:100
Level 24 Plan (000)	1:100
Level 25 Plan (000)	1:100
Level 26 Plan (000)	1:100
Level 27 Plan (000)	1:100
Level 28 Plan (000)	1:100
Level 29 Plan (000)	1:100
Level 30 Plan (000)	1:100
Level 31 Plan (000)	1:100
Level 32 Plan (000)	1:100
Level 33 Plan (000)	1:100
Level 34 Plan (000)	1:100
Level 35 Plan (000)	1:100
Level 36 Plan (000)	1:100
Level 37 Plan (000)	1:100
Level 38 Plan (000)	1:100
Level 39 Plan (000)	1:100
Level 40 Plan (000)	1:100
Level 41 Plan (000)	1:100
Level 42 Plan (000)	1:100
Level 43 Plan (000)	1:100
Level 44 Plan (000)	1:100
Level 45 Plan (000)	1:100
Level 46 Plan (000)	1:100
Level 47 Plan (000)	1:100
Level 48 Plan (000)	1:100
Level 49 Plan (000)	1:100
Level 50 Plan (000)	1:100



Level - P1
Level - P2

Level - P1
Level - P2

CUNNINGHAM STREET



1 Royal II
Scale: 1:100

ROYAL AVE



Sheet	Date	Revision	Notes
A	2012-05-05	1	Initial Issue
B	2012-05-05	1	Initial Issue
C	2012-05-05	1	Initial Issue
D	2012-05-05	1	Initial Issue
E	2012-05-05	1	Initial Issue
F	2012-05-05	1	Initial Issue
G	2012-05-05	1	Initial Issue
H	2012-05-05	1	Initial Issue
I	2012-05-05	1	Initial Issue
J	2012-05-05	1	Initial Issue
K	2012-05-05	1	Initial Issue

Item	Code	Material	Quantity
1	CONCRETE	CONCRETE TO DRAW FOUNDATIONS	1000.00
2	CONCRETE	CONCRETE TO DRAW FOUNDATIONS 600 TO CURB STRUCTURES	1000.00
3	MASONRY	MASONRY TO DRAW FOUNDATIONS	1000.00
4	MASONRY	MASONRY TO DRAW FOUNDATIONS 600 TO CURB STRUCTURES	1000.00

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Project
Royal II
 112, 114 and 116 Royal Ave.

Checked by
Offsite Materials Plan

Item	Code	Material	Quantity
1	CONCRETE	CONCRETE TO DRAW FOUNDATIONS	1000.00
2	CONCRETE	CONCRETE TO DRAW FOUNDATIONS 600 TO CURB STRUCTURES	1000.00
3	MASONRY	MASONRY TO DRAW FOUNDATIONS	1000.00
4	MASONRY	MASONRY TO DRAW FOUNDATIONS 600 TO CURB STRUCTURES	1000.00

Scale: 1:100
 Date: 2012-05-05
 Sheet No: L2.1
 Total Sheets: 25

Rev	Date	Revised By	Revised For
B	2018.03.05	Markus	Issue for Planning Permit
C	2018.03.13	Markus	Issue for the Site
D	2018.03.20	Markus	Issue for the Site
E	2018.03.20	Markus	Issue for the Site
F	2018.03.20	Markus	Issue for the Site
G	2018.03.20	Markus	Issue for the Site
H	2018.03.20	Markus	Issue for the Site
I	2018.03.20	Markus	Issue for the Site
J	2018.03.20	Markus	Issue for the Site
K	2018.03.20	Markus	Issue for the Site

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Project: **Royal II**
 112, 114 and 118 Royal Ave.

Drawing Title: **Offsite Tree Plan**

GENERAL MATERIAL LEGEND

- 300 MM (12") SOIL DEPTH
- 450 MM (18") SOIL DEPTH
- 600 MM (24") SOIL DEPTH
- 900 MM (36") SOIL DEPTH
- 1050 MM (42") SOIL DEPTH
- 1200 MM (48") SOIL DEPTH

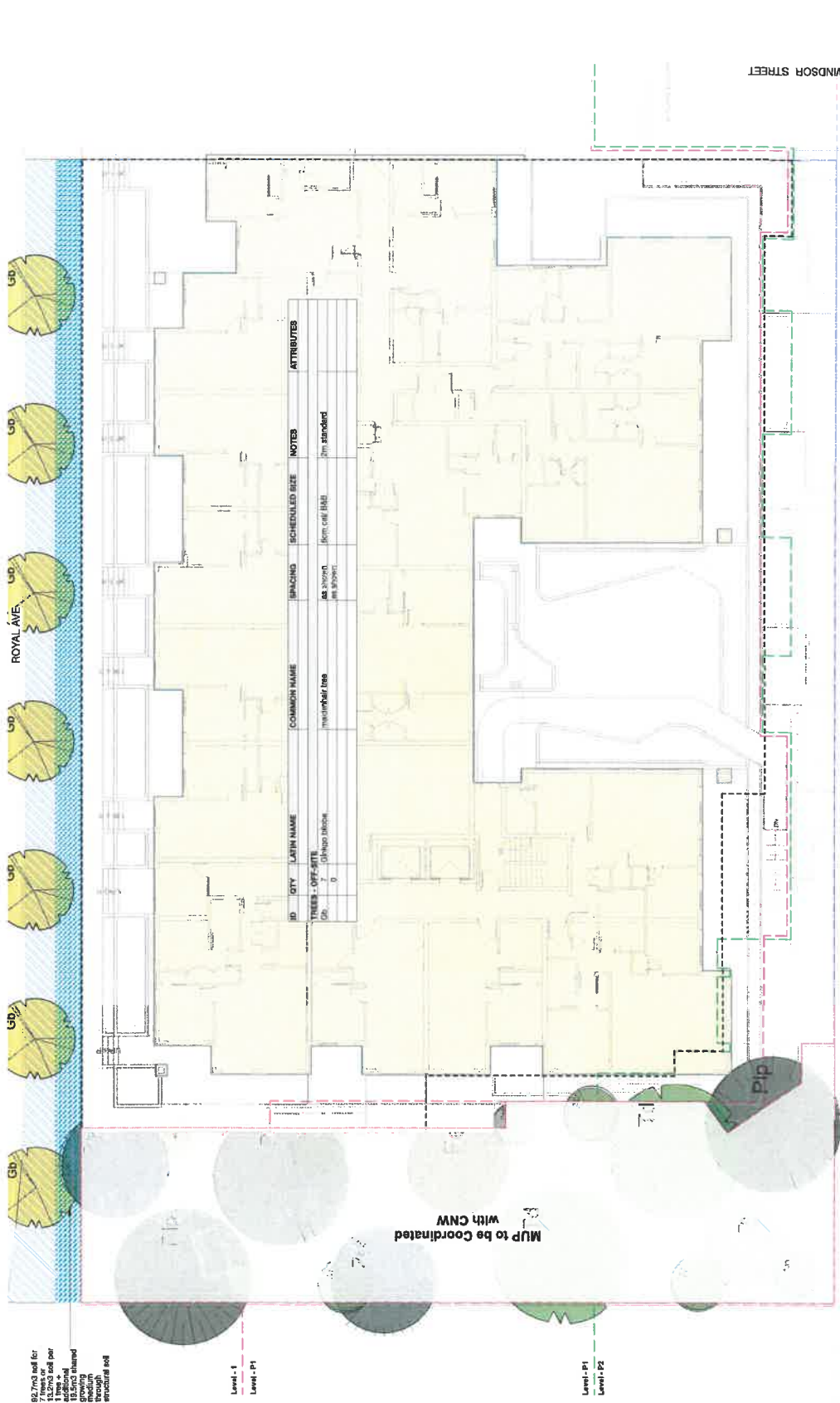
NOTE:
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Scale: 1:100

North Arrow

0 2 4 6 8 10 m

Project No: 2018.03.05
 Date: 2018.03.05
 Scale: 1:100
 Drawing No: L2.2
 Page No: 30



22.7m soil for 13.2m soil per additional structure. Minimum structure structural soil

Level - P1
 Level - P2

MUP to be Coordinated with CNW

Rev	Date	Description
A	17/01/2020	Issue for Planning Permit
B	20/01/2020	Issue for Planning Permit
C	20/01/2020	Issue for Planning Permit
D	20/01/2020	Issue for Planning Permit
E	20/01/2020	Issue for Planning Permit
F	20/01/2020	Issue for Planning Permit
G	20/01/2020	Issue for Planning Permit
H	20/01/2020	Issue for Planning Permit
I	20/01/2020	Issue for Planning Permit
J	20/01/2020	Issue for Planning Permit
K	20/01/2020	Issue for Planning Permit

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Project
Royal II

112, 114 and 116 Royal Ave.

Drawing Title
Offsite Planning Plan

Level
 Level 1, 2 and 3
 112, 114 and 116 Royal Ave.
 Toronto, Ontario M5S 1A2

Project No.
 21844

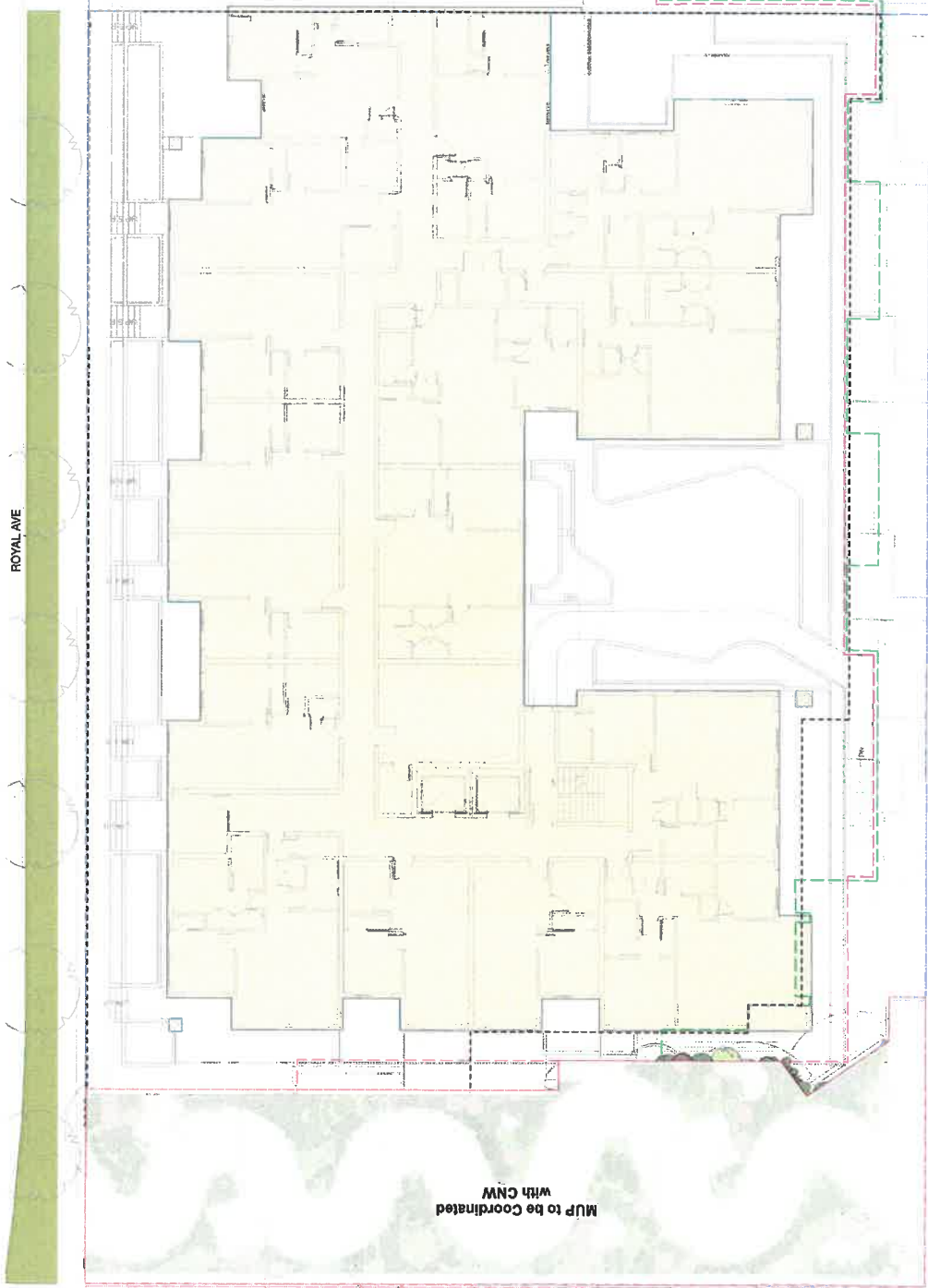
Drawn By
 J. Li

Checked By
 J. Li

Date
 20/01/2020

Scale
 L2.3

Page No.
 20



CONCRETE TO CURB FINISHES
 END TO CURB FINISHES

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. THE CITY REQUIREMENTS TO BE PROVIDED WITH THIS PLAN ARE:
 - SITE PLAN
 - SITE AND ACCESSORY LOT LAYOUT PLAN
 - LANDSCAPE PLAN
 - TRAFFIC IMPACT STUDY
 - ENVIRONMENTAL ASSESSMENT REPORT

1 Royal II
 Scale: 1:100

Revision	Date	Description

Rev	Date	Issue Notes

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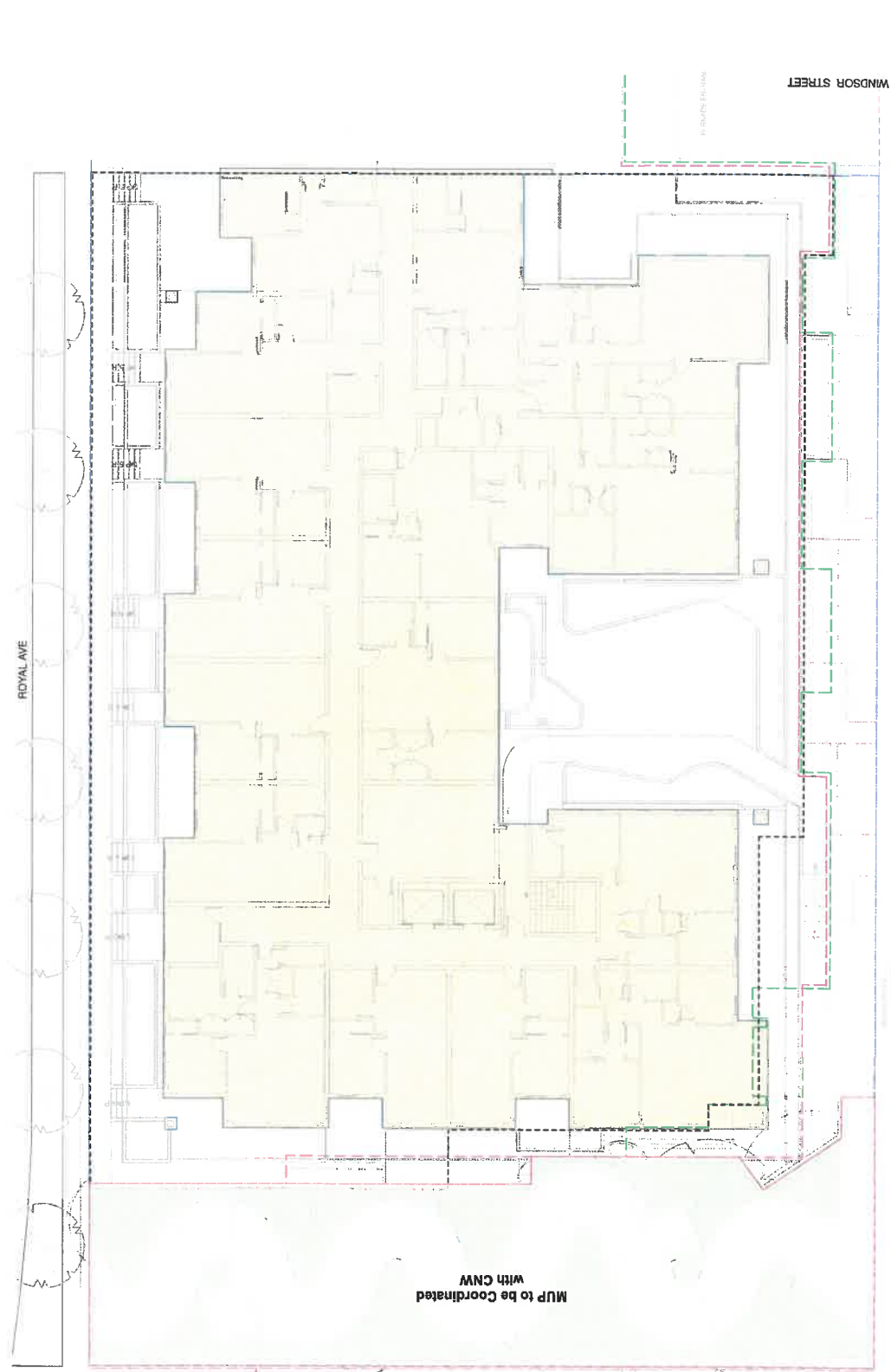
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Project
Royal II
 112, 114 and 118 Royal Ave.

Drawing Title
Onsite Irrigation Plan

Level	Area to be Irrigated
L2.4	



Level	Area to be Irrigated
L2.4	



ROYAL AVE

Project No. Date Description

Rev.	Date	Description
A	2018-08-01	Initial Design
B	2018-08-15	Revised Design
C	2018-09-01	Final Design
D	2018-09-15	Final Design
E	2018-09-25	Final Design
F	2018-10-15	Final Design
G	2018-10-25	Final Design
H	2018-11-01	Final Design
I	2018-11-15	Final Design
J	2018-11-25	Final Design
K	2018-12-01	Final Design

Color / Pattern	Description
Light Grey	CONCRETE
Dark Grey	BRICK
White	PLASTER
Green	LANDSCAPE
Blue	WATER
Yellow	WOOD
Red	GLASS
Black	IRON
Orange	ROOFING
Pink	PAVING
Light Blue	CEILING
Dark Blue	WALLS
Light Green	LANDSCAPE
Dark Green	LANDSCAPE
Light Yellow	LANDSCAPE
Dark Yellow	LANDSCAPE
Light Purple	LANDSCAPE
Dark Purple	LANDSCAPE
Light Brown	LANDSCAPE
Dark Brown	LANDSCAPE
Light Orange	LANDSCAPE
Dark Orange	LANDSCAPE
Light Red	LANDSCAPE
Dark Red	LANDSCAPE
Light Pink	LANDSCAPE
Dark Pink	LANDSCAPE
Light Grey	CONCRETE
Dark Grey	BRICK
White	PLASTER
Green	LANDSCAPE
Blue	WATER
Yellow	WOOD
Red	GLASS
Black	IRON
Orange	ROOFING
Pink	PAVING
Light Blue	CEILING
Dark Blue	WALLS
Light Green	LANDSCAPE
Dark Green	LANDSCAPE
Light Yellow	LANDSCAPE
Dark Yellow	LANDSCAPE
Light Purple	LANDSCAPE
Dark Purple	LANDSCAPE
Light Brown	LANDSCAPE
Dark Brown	LANDSCAPE
Light Orange	LANDSCAPE
Dark Orange	LANDSCAPE
Light Red	LANDSCAPE
Dark Red	LANDSCAPE
Light Pink	LANDSCAPE
Dark Pink	LANDSCAPE

Symbol	Description
Circle with dot	STEP LIGHT
Circle with cross	DOWN LIGHT
Circle with square	UPWASH LIGHT



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Legend

L3.1: L3.1, L3.2, L3.3, L3.4, L3.5, L3.6, L3.7, L3.8, L3.9, L3.10, L3.11, L3.12, L3.13, L3.14, L3.15, L3.16, L3.17, L3.18, L3.19, L3.20, L3.21, L3.22, L3.23, L3.24, L3.25, L3.26, L3.27, L3.28, L3.29, L3.30, L3.31, L3.32, L3.33, L3.34, L3.35, L3.36, L3.37, L3.38, L3.39, L3.40, L3.41, L3.42, L3.43, L3.44, L3.45, L3.46, L3.47, L3.48, L3.49, L3.50, L3.51, L3.52, L3.53, L3.54, L3.55, L3.56, L3.57, L3.58, L3.59, L3.60, L3.61, L3.62, L3.63, L3.64, L3.65, L3.66, L3.67, L3.68, L3.69, L3.70, L3.71, L3.72, L3.73, L3.74, L3.75, L3.76, L3.77, L3.78, L3.79, L3.80, L3.81, L3.82, L3.83, L3.84, L3.85, L3.86, L3.87, L3.88, L3.89, L3.90, L3.91, L3.92, L3.93, L3.94, L3.95, L3.96, L3.97, L3.98, L3.99, L3.100

Project No.: [Symbol]

Date: [Symbol]

ROYAL AVE

Revision No. Date Description

No.	Date	Description
A	2018-05-08	Issue for Review
B	2018-05-08	Issue for Review
C	2018-05-08	Issue for Review
D	2018-05-08	Issue for Review
E	2018-05-08	Issue for Review
F	2018-05-08	Issue for Review
G	2018-05-08	Issue for Review
H	2018-05-08	Issue for Review
I	2018-05-08	Issue for Review
J	2018-05-08	Issue for Review
K	2018-05-14	Issue for Review

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Project

Royal II

112, 114 and 118 Royal Ave.

Drawing Title

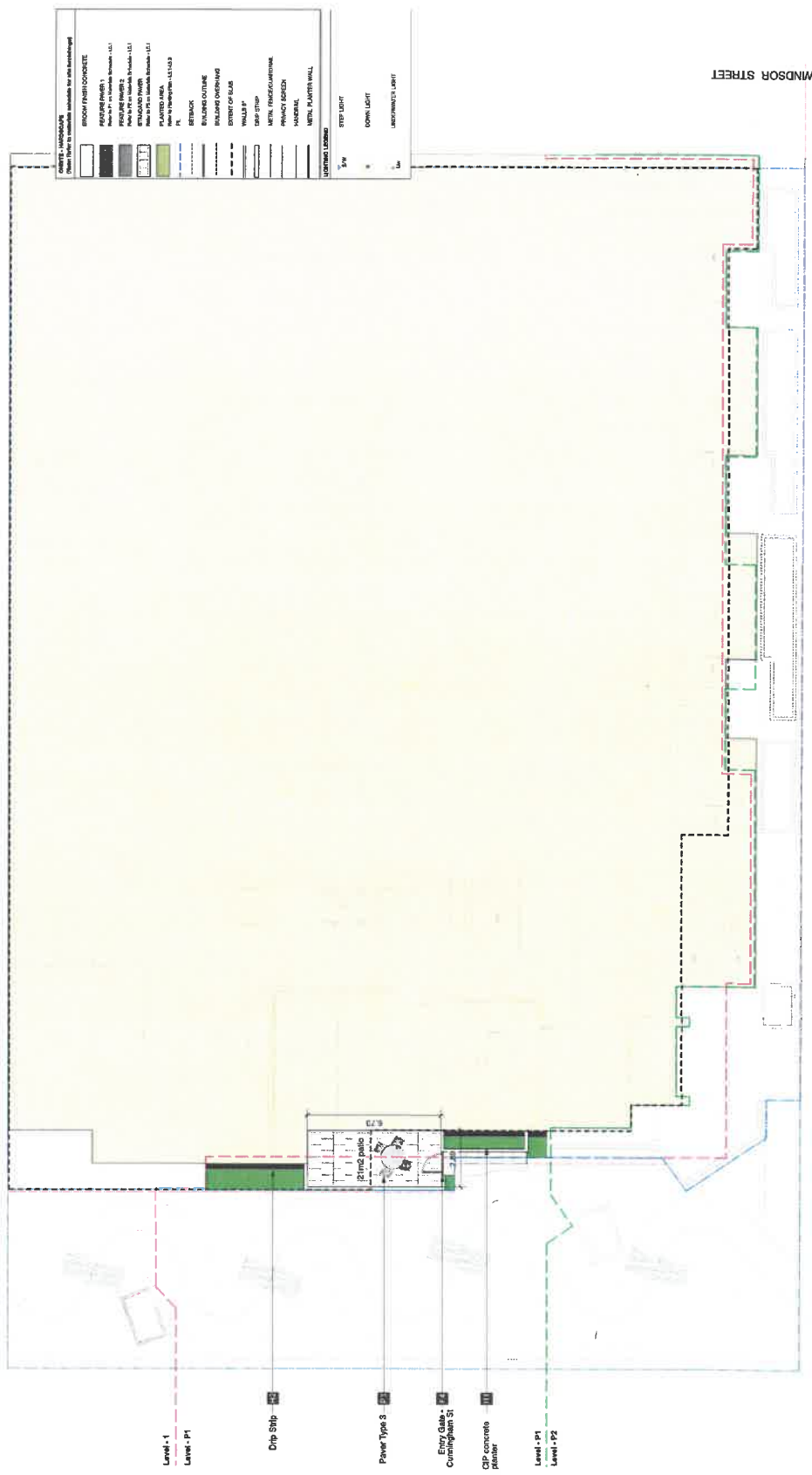
P1 - Materials Plan

Scale
1:1000
1:1000
1:1000

Date
2018-05-08

Sheet
L3.2

of 03



ROYAL AVE

WINDSOR STREET

CUNNINGHAM STREET

Level -1

Level -P1

Drip Strip

Power Type 3

Entry Gate, Cunningham St

CIP concrete planter

Level -P1

Level -P2

1 Royal II
Scale: 1:100

Revision No.	Date	Revised By

No.	Date	Issue/Notes
1	2018-03-15	Issue for Review
2	2018-03-15	Issue for Review
3	2018-03-15	Issue for Review
4	2018-03-15	Issue for Review
5	2018-03-15	Issue for Review
6	2018-03-15	Issue for Review
7	2018-03-15	Issue for Review
8	2018-03-15	Issue for Review
9	2018-03-15	Issue for Review
10	2018-03-15	Issue for Review

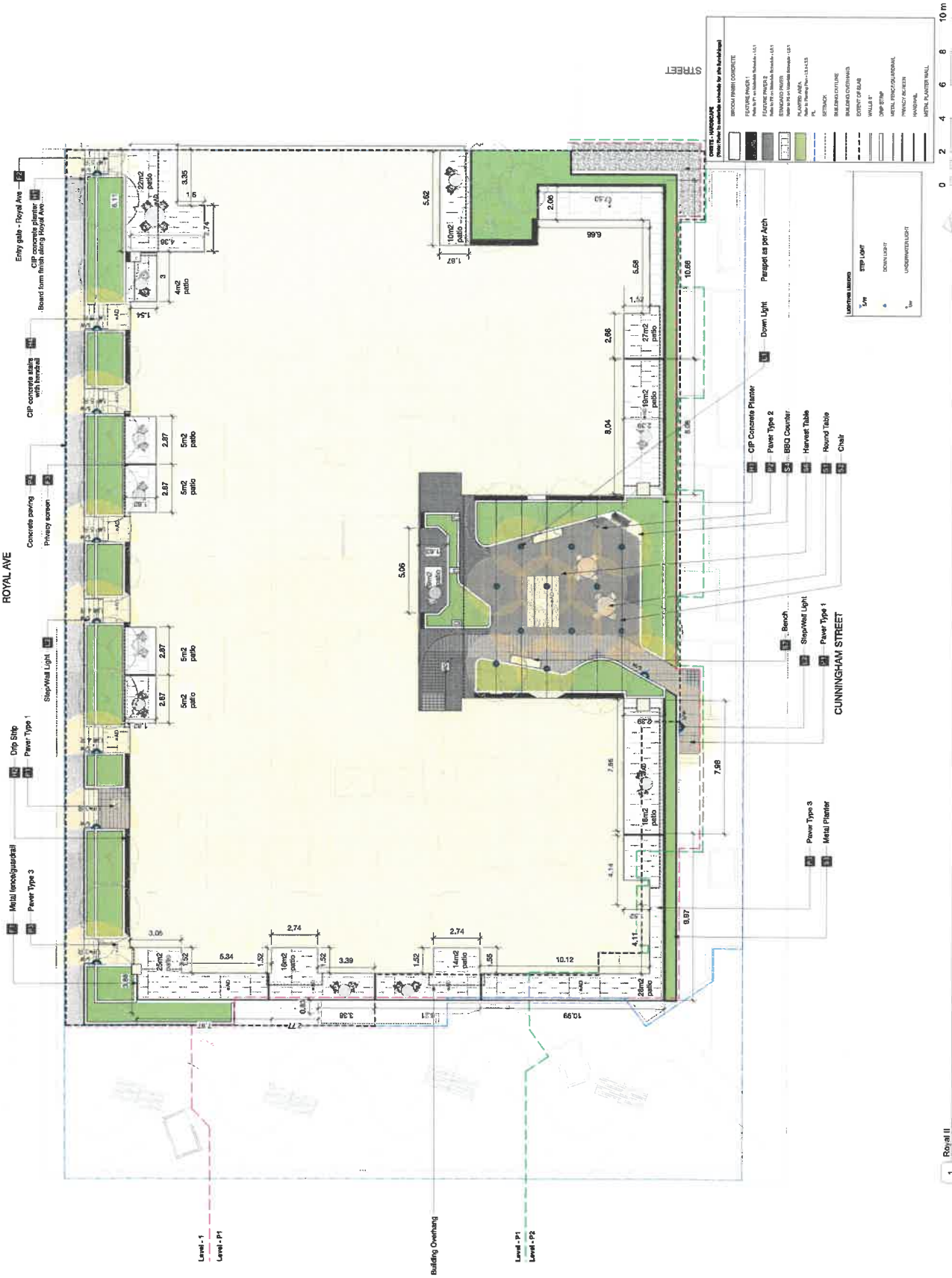
Prepared By: [Name]

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Project: **Royal II**
 112, 114 and 118 Royal Ave.

L1 - Materials Plan

Level	Layer	Material
L1	1	Asph/Flt
	2	4" Gravel
	3	4" Crushed Stone
	4	4" Gravel
	5	4" Crushed Stone
	6	4" Gravel
	7	4" Crushed Stone
	8	4" Gravel
	9	4" Crushed Stone
	10	4" Gravel



1 Royal II
 Scale: 1:100

ROYAL AVE

Revision No. Date Description

Rev.	Date	Issue Number
A	2018-08-08	Issue for Engineering Review
B	2018-08-13	Issue for Construction Review
C	2018-08-13	Issue for Building
D	2018-08-13	Issue for Building
E	2018-08-13	Issue for Building
F	2018-08-13	Issue for Building
G	2018-08-13	Issue for Building
H	2018-08-13	Issue for Building
I	2018-08-13	Issue for Building
J	2018-08-13	Issue for Building
K	2018-08-13	Issue for Building

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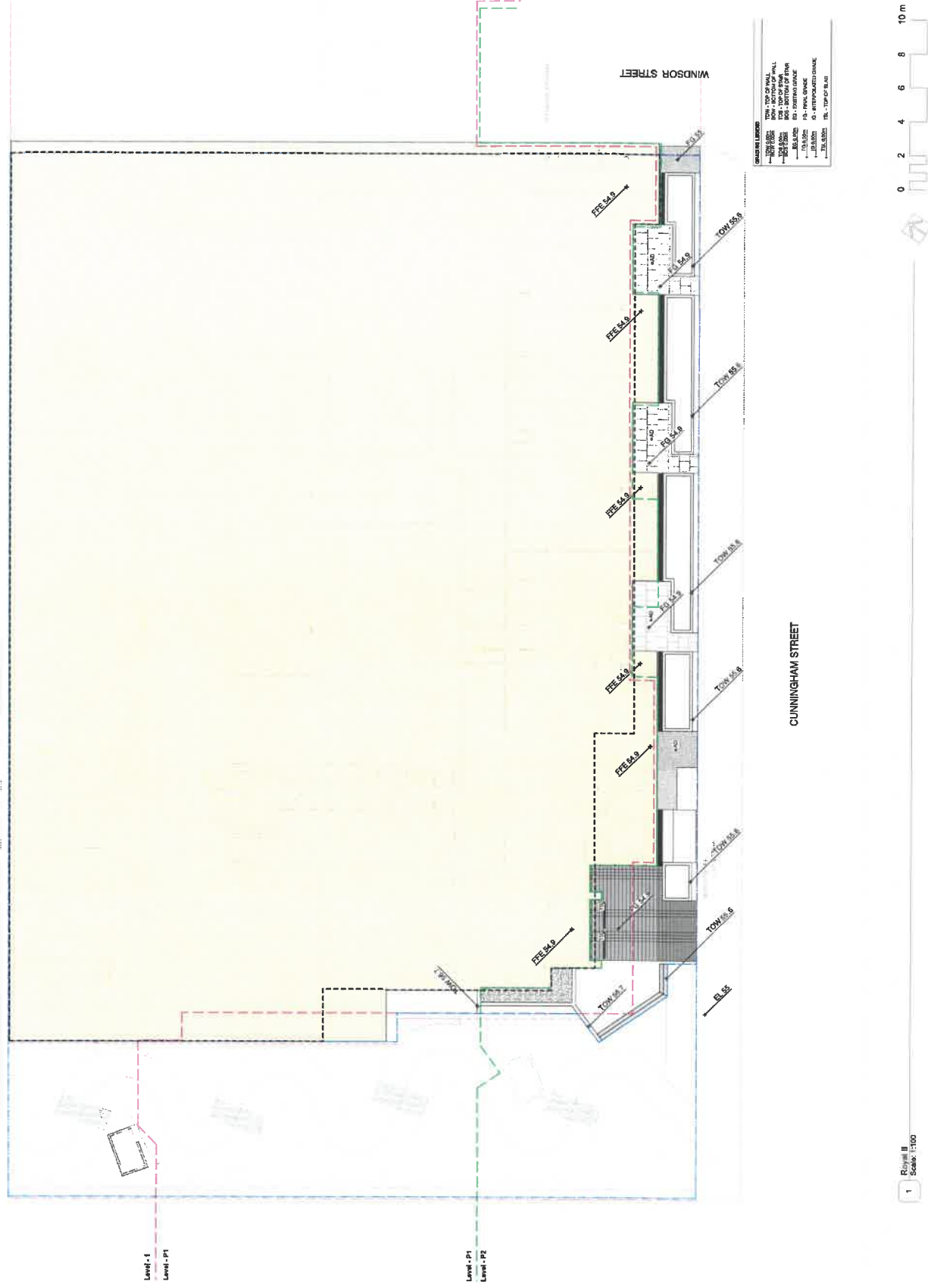
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Project
Royal II
 112, 114 and 118 Royal Ave.

Drawing Title
P2 - Grading and Drainage Plan

Level
 L101.12, L1 and L101.0001
 112, 114 and 118 Royal Ave.
 112, 114 and 118 Royal Ave.
 112, 114 and 118 Royal Ave.

Project Number	21044
DT	21044
Rev.	01
Drawn by	AK/robb
Checked by	AK/robb
Date	2018.08.08
Scale	L4.1
Sheet No.	30



1 Royal II
 Scale: 1"=10'

ROYAL AVE

Project No. Date Description Notes

No.	Date	Issue History
A	17/05/2014	Issue for Planning Process
B	20/05/2014	Issue for Council
C	20/05/2014	Issue for Planning
D	20/05/2014	Issue for Planning
E	20/05/2014	Issue for Planning
F	20/05/2014	Issue for Planning
G	20/05/2014	Issue for Planning
H	20/05/2014	Issue for Planning
I	20/05/2014	Issue for Planning
J	20/05/2014	Issue for Planning
K	20/05/2014	Issue for Planning

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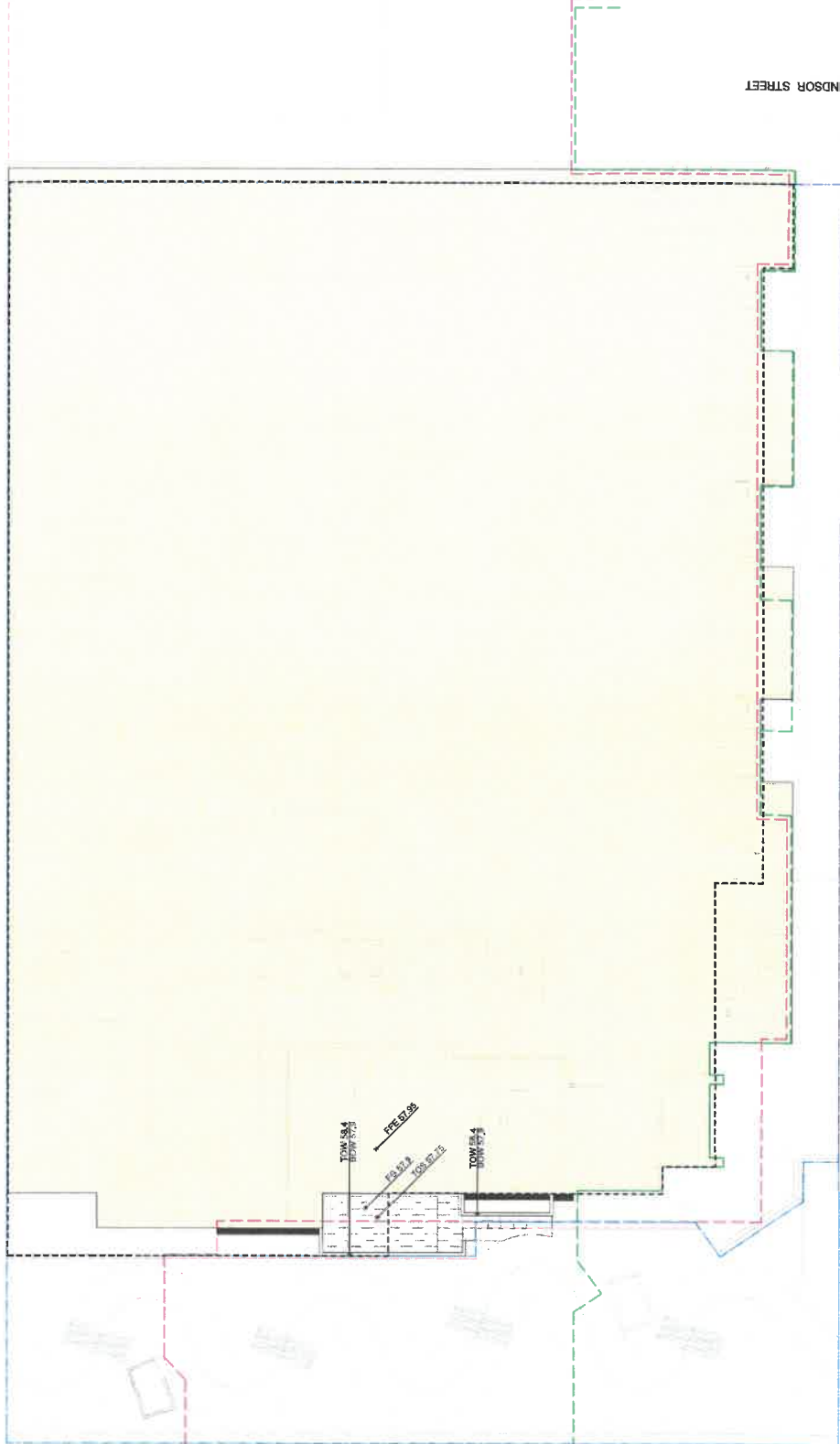
Project
Royal II
 112, 114 and 118 Royal Ave.

Drawing Title
**P1 - Grading
 and Drainage Plan**

Legend
 L4.2
 All of the above information is for informational purposes only.

Author	Checked
DT	ZJ/DA
MT	AM/DA
DT	AM/DA
DT	AM/DA

Date: 2016.01.05
 Scale: L4.2
 Page: 30



CONSTRUCTION NOTES

- 1. EXISTING GRADE TO BE MAINTAINED
- 2. EXISTING GRADE TO BE MAINTAINED
- 3. EXISTING GRADE TO BE MAINTAINED
- 4. EXISTING GRADE TO BE MAINTAINED
- 5. EXISTING GRADE TO BE MAINTAINED
- 6. EXISTING GRADE TO BE MAINTAINED
- 7. EXISTING GRADE TO BE MAINTAINED
- 8. EXISTING GRADE TO BE MAINTAINED
- 9. EXISTING GRADE TO BE MAINTAINED
- 10. EXISTING GRADE TO BE MAINTAINED



1 Royal II
 Scale: 1:100

Revised	By	Date	Revision/Notes

Item	Date	Issue/Notes
A	2018-09-13	Issue for Review
B	2018-09-13	Issue for Review
C	2018-09-13	Issue for Review
D	2018-09-13	Issue for Review
E	2018-09-13	Issue for Review
F	2018-09-13	Issue for Review
G	2018-09-13	Issue for Review
H	2018-09-13	Issue for Review
I	2018-09-13	Issue for Review
J	2018-09-13	Issue for Review
K	2018-09-14	Issue for Review

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 1 (604) 681 1349
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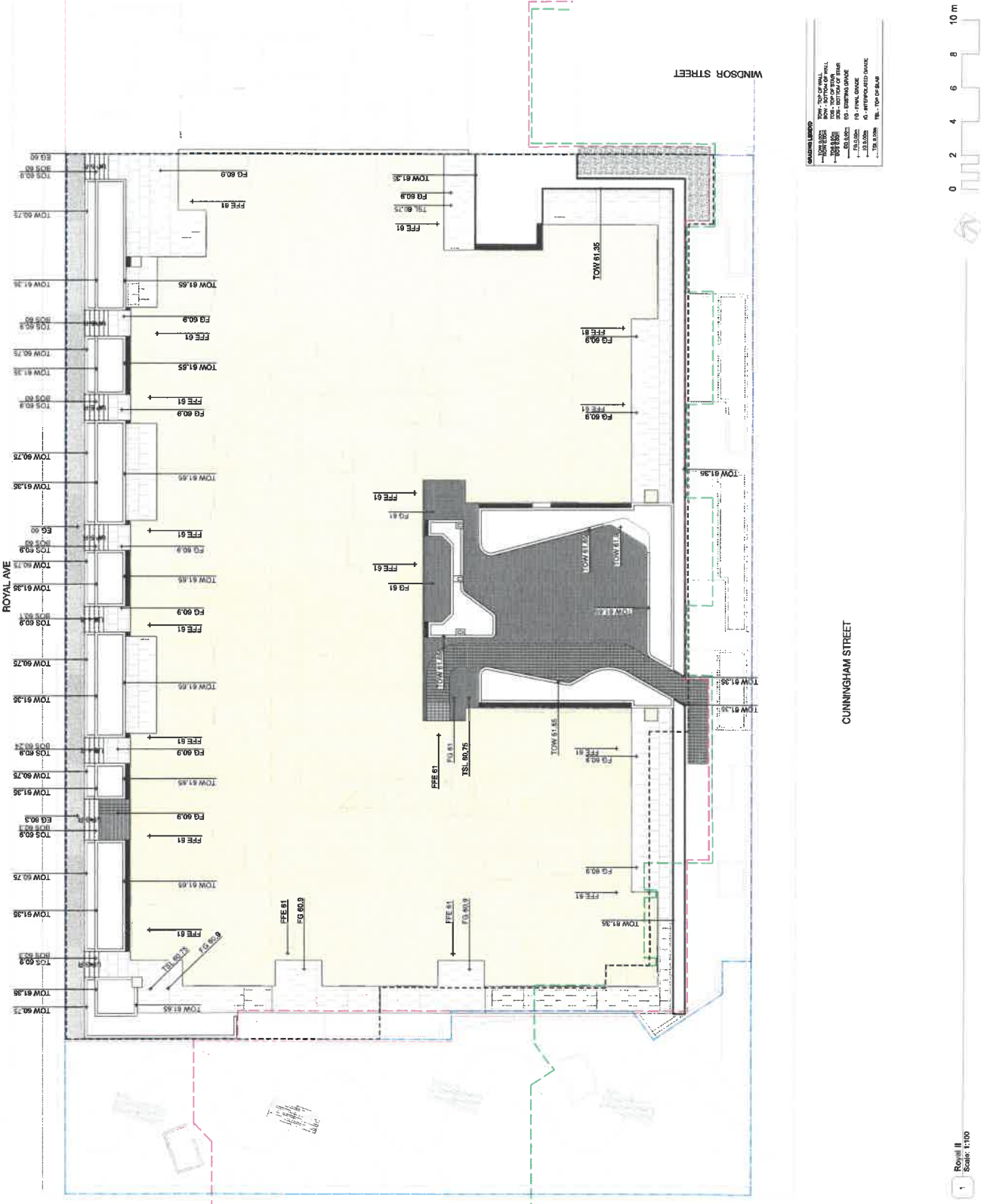
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Project
Royal II
 112, 114 and 116 Royal Ave.

Checked By
L1 - Grading and Drainage Plan

Level
 L1 - L1, L1.00 to L1.05
 L2 - L2, L2.00 to L2.05
 L3 - L3, L3.00 to L3.05
 L4.3 - L4.3, L4.30 to L4.35

Drawn	Checked	Date



Symbol	Description
(Symbol)	TOP OF WALL
(Symbol)	TOP OF CURB
(Symbol)	TOP OF FINISH FLOOR
(Symbol)	TOP OF FINISH GRADE
(Symbol)	TOP OF FINISH DRIVE
(Symbol)	TOP OF FINISH DRIVE

ROYAL AVE

Revision No. Date Issued/Revised

Rev.	Date	Issue/Revised
A	2018-03-20	Issue for Planning Office
B	2018-04-13	Issue for Planning Office
C	2018-04-13	Issue for Planning Office
D	2018-04-13	Issue for Planning Office
E	2018-04-13	Issue for Planning Office
F	2018-04-13	Issue for Planning Office
G	2018-04-13	Issue for Planning Office
H	2018-04-13	Issue for Planning Office
I	2018-04-13	Issue for Planning Office
J	2018-04-13	Issue for Planning Office
K	2018-04-13	Issue for Planning Office

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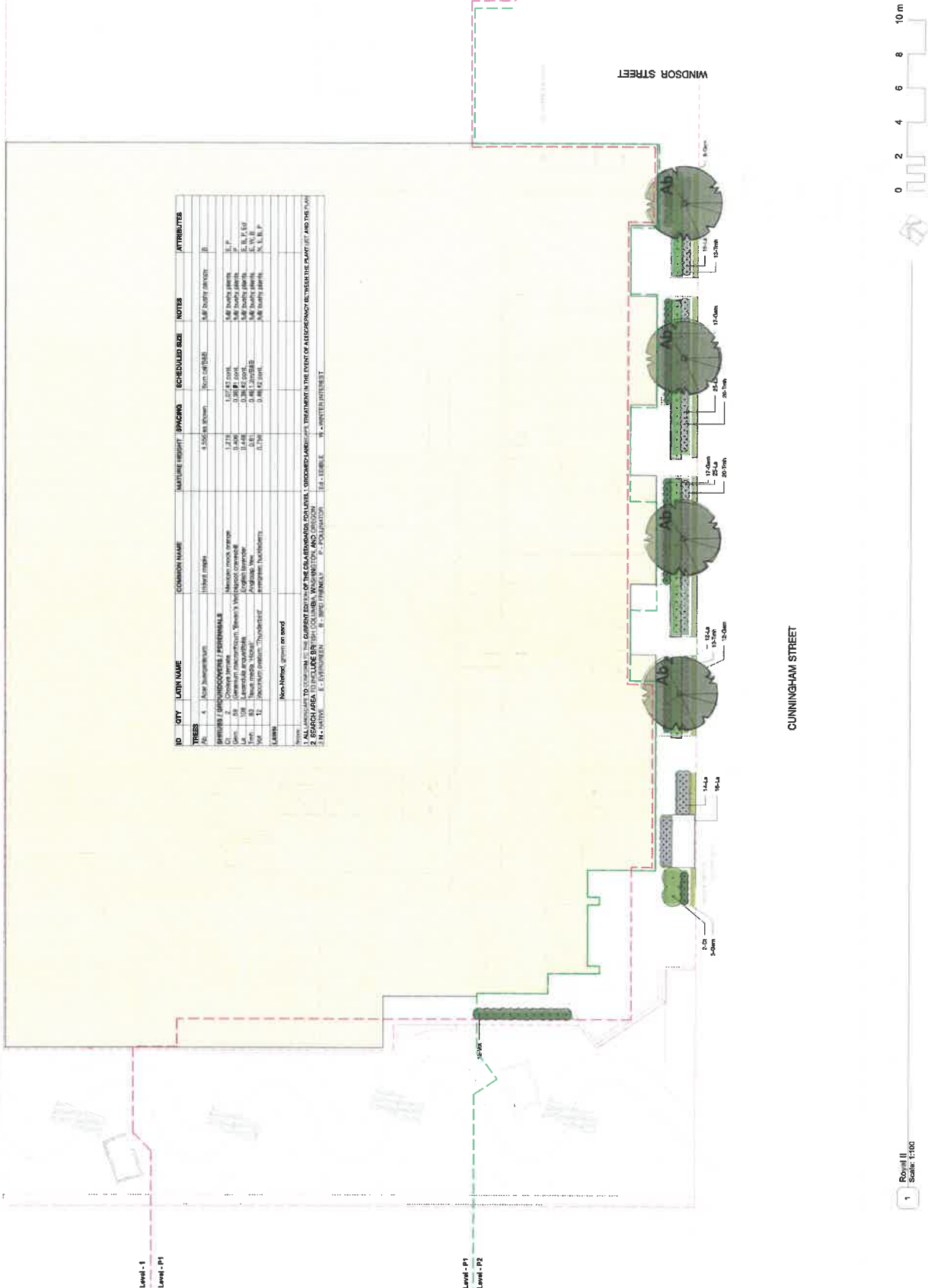
All plants proposed for this landscape are native to British Columbia and are suitable for the climate and soil conditions of the site. The plants are selected for their ability to thrive in the site conditions and to provide a diverse and sustainable landscape. The plants are also selected for their ability to provide a high level of privacy and security for the site.

Project
Royal II

112, 114 and 116 Royal Ave.

Drawing Title
P2 - Planting Plan

Scale
L5.1
1:100
Date
2018.04.13



ID	CITY	LATIN NAME	COMMON NAME	MAXIMUM HEIGHT	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
1	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
2	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
3	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
4	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
5	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
6	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
7	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
8	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
9	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
10	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
11	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
12	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
13	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
14	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
15	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
16	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
17	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
18	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
19	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
20	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
21	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
22	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
23	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
24	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
25	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
26	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
27	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
28	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
29	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
30	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
31	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
32	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
33	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
34	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
35	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
36	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
37	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
38	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
39	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
40	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
41	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
42	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
43	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
44	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
45	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
46	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
47	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
48	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
49	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted
50	4	Non-Noted	Non-Noted	1.5m	1.5m	1.5m	Non-Noted	Non-Noted

ROYAL AVE

Revised: 04/24/2024
 Date: 04/24/2024
 Project: 112, 114 and 116 Royal Ave.

ID	CITY	LATIN NAME	COMMON NAME	MAXIMUM HEIGHT (M/FT)	SCHEDULED SIZE	NOTES	ATTRIBUTES
1	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
2	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
3	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
4	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
5	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
6	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
7	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
8	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
9	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
10	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
11	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
12	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
13	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
14	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
15	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
16	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
17	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
18	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
19	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
20	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
21	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
22	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
23	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
24	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
25	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
26	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
27	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
28	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
29	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
30	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
31	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
32	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
33	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
34	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
35	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
36	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
37	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
38	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
39	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
40	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
41	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
42	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
43	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
44	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
45	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
46	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
47	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
48	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
49	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R
50	OTTAWA	SPIDERBUSH	SPIDERBUSH	1.5 (5.0)	1.5 (5.0)	Planting in front of building.	W, N, S, E, L, R

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eta
 HORTICULTURE ARCHITECTURE

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WINDSOR STREET

Project:
Royal II
 112, 114 and 116 Royal Ave.

Drawing Title:
P1 - Planting Plan

CUNNINGHAM STREET

Layer:
 L101 (1, 14 AND 116 Royal Ave.)
 P1 - Planting Plan
 Drawing Date: 04/24/2024

Project:
 112, 114 and 116 Royal Ave.

Drawing Title:
 P1 - Planting Plan

Scale:
 1:500

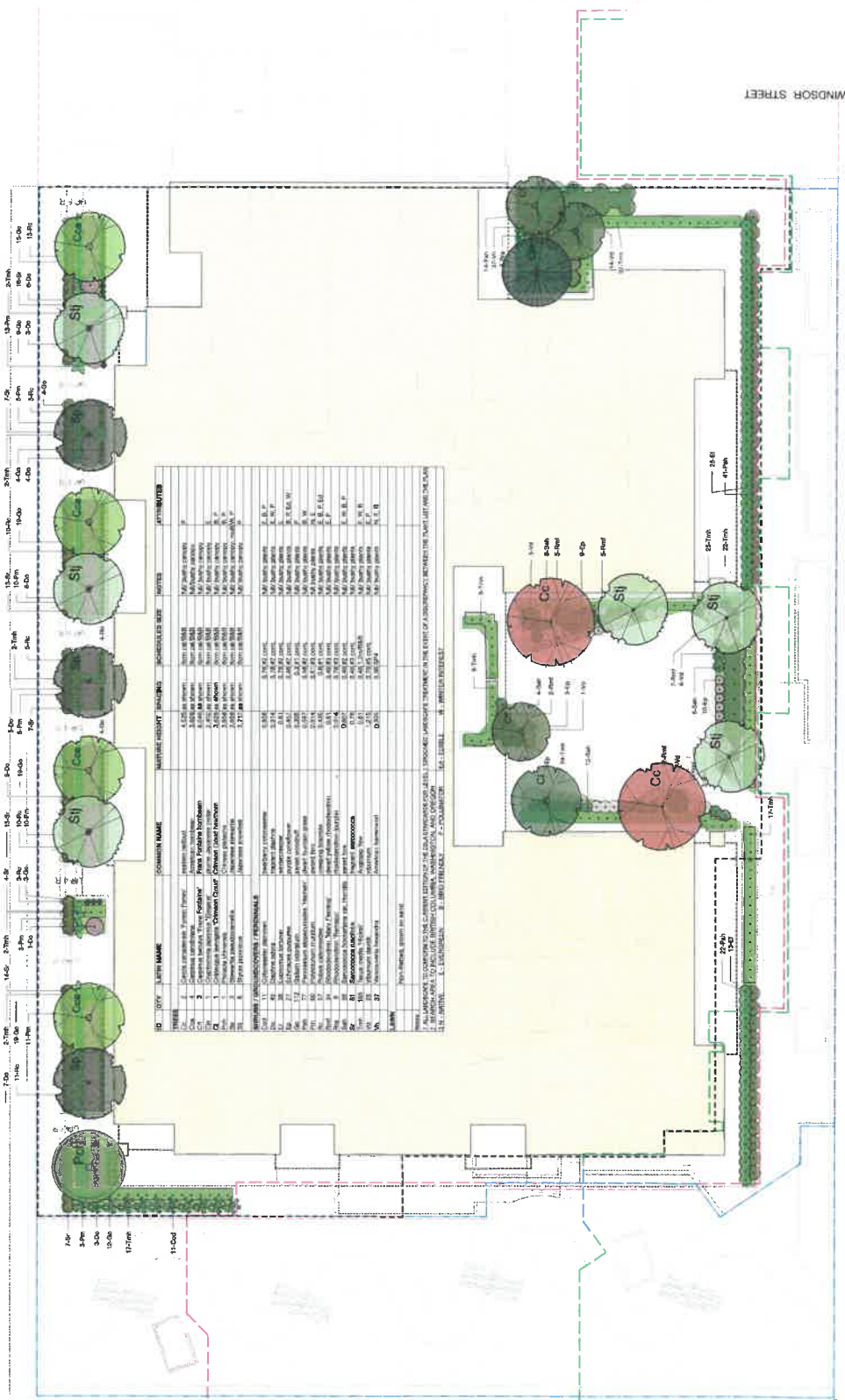
Sheet:
 1 of 20

Project:
 112, 114 and 116 Royal Ave.

1 Royal II
 Scale: 1:500



ROYALE AVE



ID	TYPE	PLANT NAME	COMMON NAME	NATIVE/PLANTING	HEIGHTS	SPACING	PLANTING
1	Tree	Quercus laevis	White Oak	Native	20-30'	10-12'	10-12'
2	Tree	Quercus prinus	Prickly Pear Oak	Native	20-30'	10-12'	10-12'
3	Tree	Quercus macrocarpa	Scarlet Oak	Native	20-30'	10-12'	10-12'
4	Tree	Quercus coccinea	Chickadee Oak	Native	20-30'	10-12'	10-12'
5	Tree	Quercus rubra	Red Oak	Native	20-30'	10-12'	10-12'
6	Tree	Quercus falcata	Swamp White Oak	Native	20-30'	10-12'	10-12'
7	Tree	Quercus lyrata	Overcup Oak	Native	20-30'	10-12'	10-12'
8	Tree	Quercus sp.	White Oak	Native	20-30'	10-12'	10-12'
9	Tree	Quercus sp.	Prickly Pear Oak	Native	20-30'	10-12'	10-12'
10	Tree	Quercus sp.	Scarlet Oak	Native	20-30'	10-12'	10-12'
11	Tree	Quercus sp.	Chickadee Oak	Native	20-30'	10-12'	10-12'
12	Tree	Quercus sp.	Red Oak	Native	20-30'	10-12'	10-12'
13	Tree	Quercus sp.	Swamp White Oak	Native	20-30'	10-12'	10-12'
14	Tree	Quercus sp.	Overcup Oak	Native	20-30'	10-12'	10-12'
15	Tree	Quercus sp.	White Oak	Native	20-30'	10-12'	10-12'
16	Tree	Quercus sp.	Prickly Pear Oak	Native	20-30'	10-12'	10-12'
17	Tree	Quercus sp.	Scarlet Oak	Native	20-30'	10-12'	10-12'
18	Tree	Quercus sp.	Chickadee Oak	Native	20-30'	10-12'	10-12'
19	Tree	Quercus sp.	Red Oak	Native	20-30'	10-12'	10-12'
20	Tree	Quercus sp.	Swamp White Oak	Native	20-30'	10-12'	10-12'
21	Tree	Quercus sp.	Overcup Oak	Native	20-30'	10-12'	10-12'
22	Tree	Quercus sp.	White Oak	Native	20-30'	10-12'	10-12'
23	Tree	Quercus sp.	Prickly Pear Oak	Native	20-30'	10-12'	10-12'
24	Tree	Quercus sp.	Scarlet Oak	Native	20-30'	10-12'	10-12'
25	Tree	Quercus sp.	Chickadee Oak	Native	20-30'	10-12'	10-12'
26	Tree	Quercus sp.	Red Oak	Native	20-30'	10-12'	10-12'
27	Tree	Quercus sp.	Swamp White Oak	Native	20-30'	10-12'	10-12'
28	Tree	Quercus sp.	Overcup Oak	Native	20-30'	10-12'	10-12'
29	Tree	Quercus sp.	White Oak	Native	20-30'	10-12'	10-12'
30	Tree	Quercus sp.	Prickly Pear Oak	Native	20-30'	10-12'	10-12'
31	Tree	Quercus sp.	Scarlet Oak	Native	20-30'	10-12'	10-12'
32	Tree	Quercus sp.	Chickadee Oak	Native	20-30'	10-12'	10-12'
33	Tree	Quercus sp.	Red Oak	Native	20-30'	10-12'	10-12'
34	Tree	Quercus sp.	Swamp White Oak	Native	20-30'	10-12'	10-12'
35	Tree	Quercus sp.	Overcup Oak	Native	20-30'	10-12'	10-12'
36	Tree	Quercus sp.	White Oak	Native	20-30'	10-12'	10-12'
37	Tree	Quercus sp.	Prickly Pear Oak	Native	20-30'	10-12'	10-12'
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50	Tree	Quercus sp.	White Oak	Native	20-30'	10-12'	10-12'

Project: Royal II
 112, 114, and 118 Royal Ave.
 Drawing Title: L1 - Planting Plan

Scale: 1" = 10'
 Date: 2/10/2020
 Author: [Name]
 Check: [Name]
 Title: [Title]



1 Royal II
 Scale: 1" = 10'

ROYAL AVE



Revision No.	Date	Description/Notes

Rev.	Date	Issue/Notes
B	2018.03.05	Issue for Approval/Permit
C	2018.03.13	Issue for Review
D	2018.03.13	Issue for Review
E	2018.03.20	Issue for Review
F	2018.03.20	Issue for Review
G	2018.03.25	Issue for Review
H	2018.03.25	Issue for Review
I	2018.03.25	Issue for Review
J	2018.03.25	Issue for Review
K	2018.03.25	Issue for Review

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Project
Royal II
 112, 114 and 116 Royal Ave.

Drawing Title

Soil Depth Plan

COMMON MATERIAL LEGEND

[Pattern]	300 MM DEPT STRUCTURAL SLAB
[Pattern]	400 MM DEPT STRUCTURAL SLAB
[Pattern]	450 MM DEPT STRUCTURAL SLAB
[Pattern]	500 MM DEPT STRUCTURAL SLAB
[Pattern]	550 MM DEPT STRUCTURAL SLAB
[Pattern]	600 MM DEPT STRUCTURAL SLAB

Scale: 1:100
 0 2 4 6 8 10 m

1 Royal II
 Scale: 1:100

Sheet No. **LB.1**
 of 30

Rev. Date

ROYAL AVE

Number Date Revision

Rev.	Date	Revised By	Revised For
A	2017-02-05	ET	Initial Design
B	2017-02-05	ET	Revised for Review
C	2017-02-05	ET	Revised for Review
D	2017-02-05	ET	Revised for Review
E	2017-02-05	ET	Revised for Review
F	2017-02-05	ET	Revised for Review
G	2017-02-05	ET	Revised for Review
H	2017-02-05	ET	Revised for Review
I	2017-02-05	ET	Revised for Review
J	2017-02-05	ET	Revised for Review
K	2017-02-05	ET	Revised for Review

Prepared By

eta

112, 114 and 118 Royal Ave.

112, 114 and 118 Royal Ave.

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Project

Royal II

112, 114 and 118 Royal Ave.

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112, 114 and 118 Royal Ave.

Legend	Symbol	Description
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EXISTING	[Symbol]	EXISTING
PROPOSED IRRIGATION	[Symbol]	PROPOSED IRRIGATION
PROPOSED IRRIGATION	[Symbol]	PROPOSED IRRIGATION

0 2 4 6 8 10 m



1 Royal II Scale: 1:100

Level

112, 114 and 118 Royal Ave.

112, 114 and 118 Royal Ave.

112, 114 and 118 Royal Ave.

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112, 114 and 118 Royal Ave.

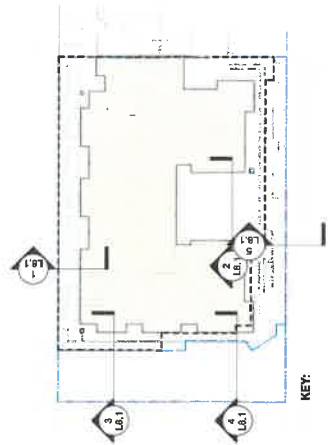
112, 114 and 118 Royal Ave.

112, 114 and 118 Royal Ave.

112, 114 and 118 Royal Ave.

112, 114 and 118 Royal Ave.

Irrigated Areas Plan



KEY:

Revision No.	Date	Revised By	Revised For
B	2016.02.05	Mark G. Perry	Final
C	2016.02.15	Mark G. Perry	Final
D	2016.02.15	Mark G. Perry	Final
E	2016.02.15	Mark G. Perry	Final
F	2016.02.15	Mark G. Perry	Final
G	2016.02.15	Mark G. Perry	Final
H	2016.02.15	Mark G. Perry	Final
I	2016.02.15	Mark G. Perry	Final
J	2016.02.15	Mark G. Perry	Final
K	2016.02.15	Mark G. Perry	Final

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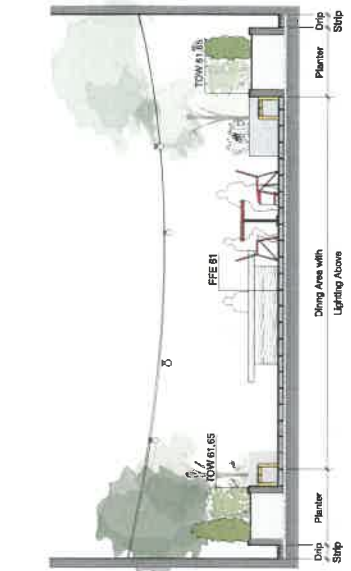
Mark G. Perry
 Landscape Architect
 License No. 10000
 BC Reg. No. 10000

Project
Royal II

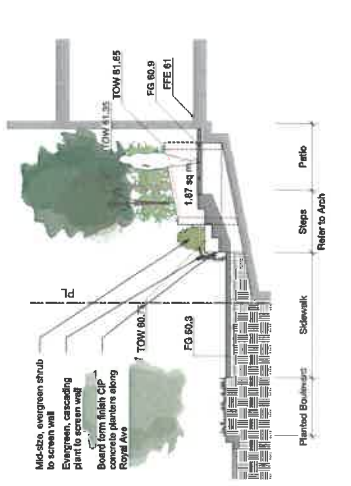
112, 114 and 118 Royal Ave.

Drawing Title
Landscape Sections

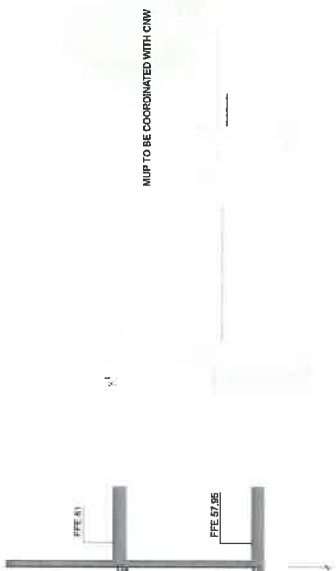
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L2	Level 2, 112, 114 and 118 Royal Ave.
L3	Level 3, 112, 114 and 118 Royal Ave.
L4	Level 4, 112, 114 and 118 Royal Ave.
L5	Level 5, 112, 114 and 118 Royal Ave.
L6	Level 6, 112, 114 and 118 Royal Ave.
L7	Level 7, 112, 114 and 118 Royal Ave.
L8	Level 8, 112, 114 and 118 Royal Ave.
L9	Level 9, 112, 114 and 118 Royal Ave.
L10	Level 10, 112, 114 and 118 Royal Ave.
L11	Level 11, 112, 114 and 118 Royal Ave.
L12	Level 12, 112, 114 and 118 Royal Ave.
L13	Level 13, 112, 114 and 118 Royal Ave.
L14	Level 14, 112, 114 and 118 Royal Ave.
L15	Level 15, 112, 114 and 118 Royal Ave.
L16	Level 16, 112, 114 and 118 Royal Ave.
L17	Level 17, 112, 114 and 118 Royal Ave.
L18	Level 18, 112, 114 and 118 Royal Ave.
L19	Level 19, 112, 114 and 118 Royal Ave.
L20	Level 20, 112, 114 and 118 Royal Ave.
L21	Level 21, 112, 114 and 118 Royal Ave.
L22	Level 22, 112, 114 and 118 Royal Ave.
L23	Level 23, 112, 114 and 118 Royal Ave.
L24	Level 24, 112, 114 and 118 Royal Ave.
L25	Level 25, 112, 114 and 118 Royal Ave.
L26	Level 26, 112, 114 and 118 Royal Ave.
L27	Level 27, 112, 114 and 118 Royal Ave.
L28	Level 28, 112, 114 and 118 Royal Ave.
L29	Level 29, 112, 114 and 118 Royal Ave.
L30	Level 30, 112, 114 and 118 Royal Ave.



1 SECTION 1: L1 Patio Fronting Royal Avenue
 Scale: 1/8" = 1'-0"



2 SECTION 2: L1 Outdoor Amenity Area
 Scale: 1/8" = 1'-0"



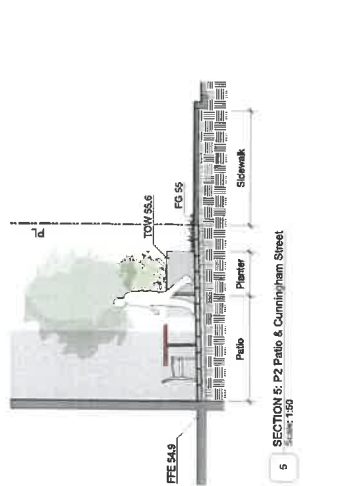
3 SECTION 3: Western MUP & P1 Patio
 Scale: 1/8" = 1'-0"



4 SECTION 4: Western MUP Reaching Walks & P2 Lobby
 Scale: 1/8" = 1'-0"

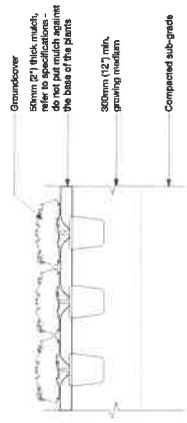


5 SECTION 5: P2 Patio & Cunningham Street
 Scale: 1/8" = 1'-0"

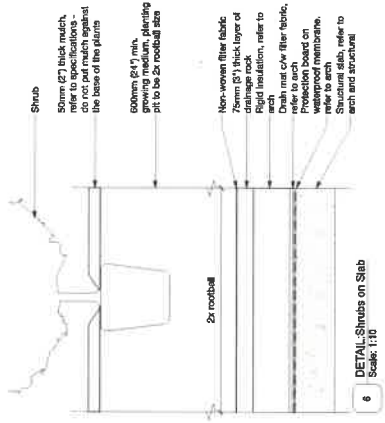


6 SECTION 6: P2 Patio & Cunningham Street
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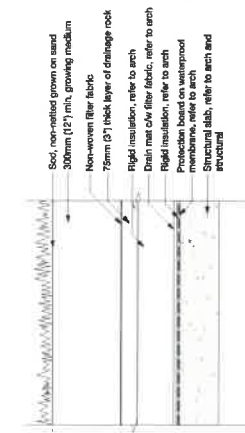
Rev.	Date	Issue Made
A	2013-03-05	Issued for Review
B	2013-03-13	Revised for Review
C	2013-03-13	Issued for Review
D	2013-03-13	Issued for Review
E	2013-03-13	Issued for Review
F	2013-03-13	Issued for Review
G	2013-03-13	Issued for Review
H	2013-03-13	Issued for Review
I	2013-03-13	Issued for Review
J	2013-03-13	Issued for Review
K	2013-03-14	Issued for Review



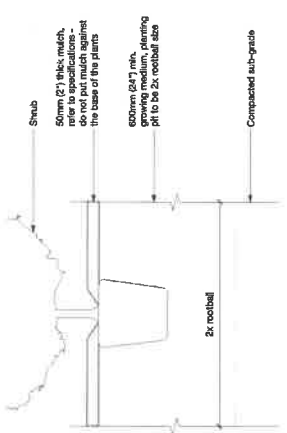
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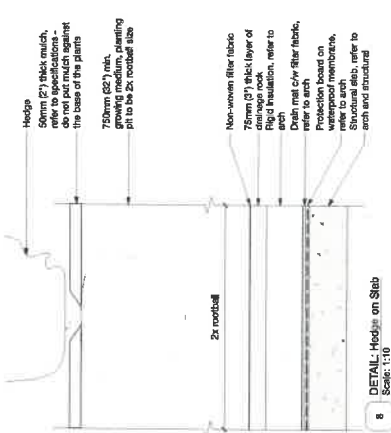
6 DETAIL: Shrubs on Slab
Scale: 1:10



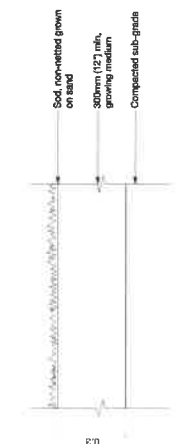
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Scale: 1:10



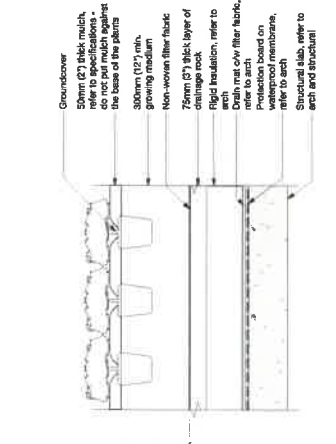
5 DETAIL: Shrubs at Grade
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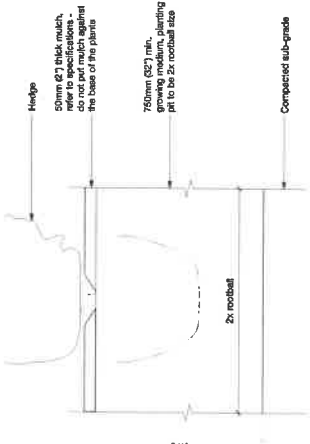
8 DETAIL: Hedges on Slab
Scale: 1:10



1 DETAIL: Sod on Grade
Scale: 1:10



4 DETAIL: Groundcover on Slab
Scale: 1:10



7 DETAIL: Hedges at Grade
Scale: 1:10

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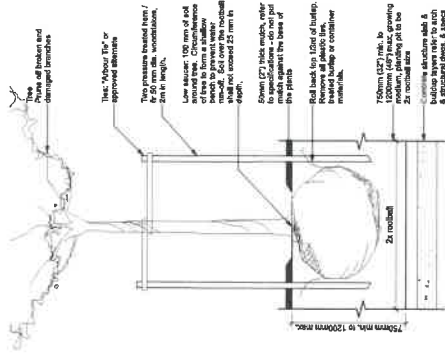
Project: **Royal II**
112, 114 and 116 Royal Ave.

Drawing Title: **Softscape Details**

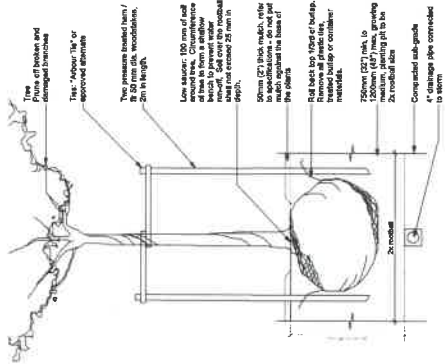
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Date:	2013-03-13
Drawn by:	21884
Checked by:	As Project
Scale:	As Project
Sheet:	1 of 1

Rev.	Date	Issue/Notes
A	2015-05-20	Issue for Review
B	2015-05-20	Issue for Review
C	2015-05-13	Revised for Review
D	2015-05-13	Issue for Review
E	2015-05-18	Issue for Review
F	2015-05-18	Issue for Review
G	2015-05-20	Issue for Review
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I	2015-05-18	Issue for Review
J	2015-05-18	Issue for Review
K	2015-05-14	Issue for Review

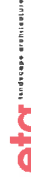
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2 DETAIL: Tree on Sill
Scale: 1:20



1 DETAIL: Tree at Grade
Scale: 1:20



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Project

Royal II

112, 114 and 116 Royal Ave.

Drawing Title

Softscape Details

Layer

Layer 1, 14 AND 12 New 2020
Layer 2, 15 AND 13 New 2020
Layer 3, 16 AND 11 New 2020
Layer 4, 17 AND 10 New 2020

Revision	By	Date
1	ET	2015-05-20
2	ET	2015-05-20
3	ET	2015-05-13
4	ET	2015-05-13
5	ET	2015-05-18
6	ET	2015-05-18
7	ET	2015-05-20
8	ET	2015-05-20
9	ET	2015-05-18
10	ET	2015-05-18
11	ET	2015-05-14

Project No. 2015-05-20

Project Name: Royal II

Project Location: 112, 114 and 116 Royal Ave.

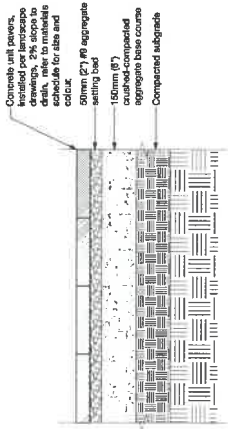
Project Date: 2015-05-20

Project Scale: 1:20

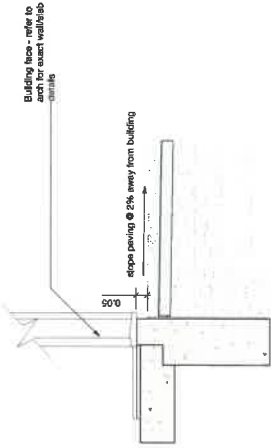
Project Sheet: 00

Revision No.	Date	Revised By/Notes

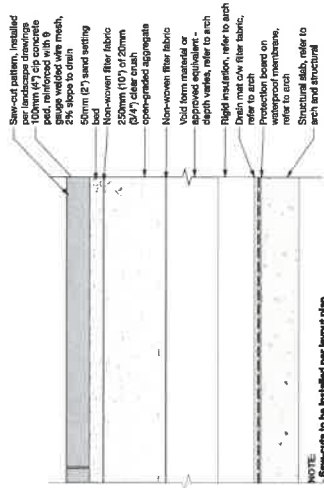
Rev.	Date	Revised By/Notes
A	2018-08-09	Issue for Planning Phase
B	2018-08-09	Issue for Tender
C	2018-08-13	Issue for Construction
D	2018-08-13	Issue for Construction
E	2018-08-13	Issue for Construction
F	2018-08-13	Issue for Construction
G	2018-08-13	Issue for Construction
H	2018-08-13	Issue for Construction
I	2018-08-13	Issue for Construction
J	2018-08-13	Issue for Construction
K	2018-08-14	Issue for Construction



3 DETAIL: Pedestrian Concrete Unit Pavers at Grade
Scale: 1:10

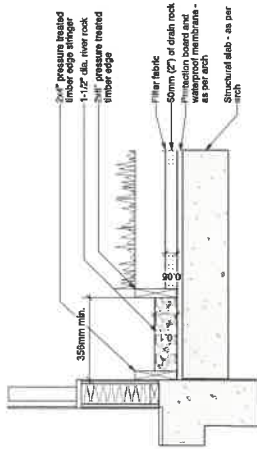


8 DETAIL: Threshold at Building
Scale: 1:10

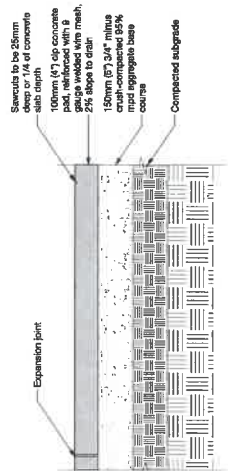


NOTE:
- Saw-cuts to be installed per approved plan
- To be completed within 24hrs of pouring the slab

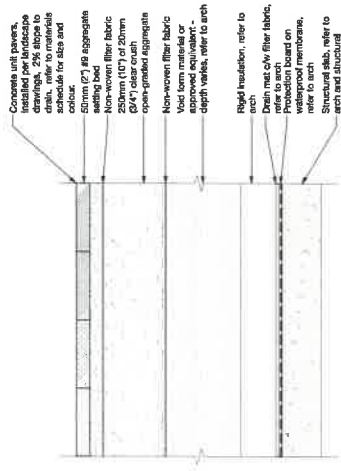
2 DETAIL: Pedestrian Concrete on Slab with Insulation
Scale: 1:10



6 DETAIL: Drain Slab on Slab
Scale: 1:10



1 DETAIL: Pedestrian Concrete at Grade
Scale: 1:10



4 DETAIL: Pedestrian Concrete Unit Paver at Grade with Insulation
Scale: 1:10



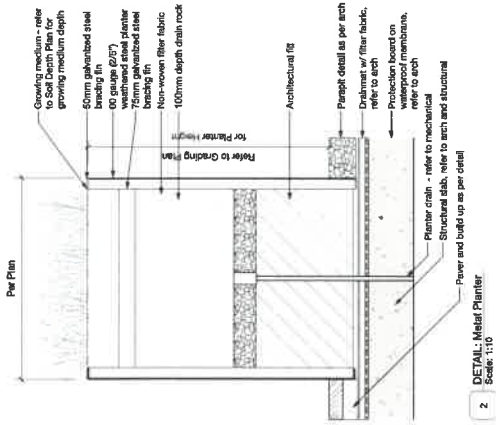
1000 West 2nd Avenue
Vancouver, BC, Canada V6H 1M4
Tel: 604.273.1100
Fax: 604.273.1101
www.eta.ca

Project
Royal II

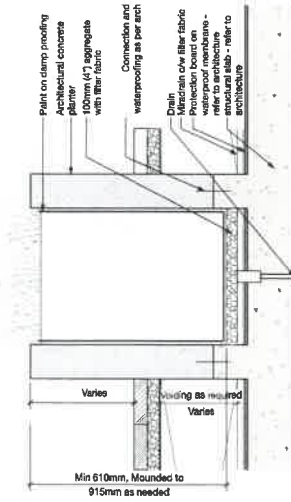
112, 114 and 116 Royal Ave.

Drawing Title
Hardscape Details

Level	L10.1
Date	2018.03.05
Author	JT
Checked	
Drawn	
Scale	L10.1
Sheet No.	30



2 DETAIL: Metal Planter
Scale: 1:10



1 DETAIL: Concrete Planter on Slab
Scale: 1:10

Revisions	Date	Description
A	2022-03-14	Issue for CP
B	2022-03-14	Issue for CP
C	2022-03-14	Issue for Planning Permit
D	2022-03-14	Issue for Planning Permit
E	2022-03-14	Issue for Planning Permit
F	2022-03-14	Issue for Planning Permit
G	2022-03-14	Issue for Planning Permit
H	2022-03-14	Issue for Planning Permit
I	2022-03-14	Issue for Planning Permit
J	2022-03-14	Issue for CP
K	2022-03-14	Issue for CP

Rev	Date	Issue
A	2022-03-14	Issue for Planning Permit
B	2022-03-14	Issue for Planning Permit
C	2022-03-14	Issue for Planning Permit
D	2022-03-14	Issue for Planning Permit
E	2022-03-14	Issue for Planning Permit
F	2022-03-14	Issue for Planning Permit
G	2022-03-14	Issue for Planning Permit
H	2022-03-14	Issue for Planning Permit
I	2022-03-14	Issue for Planning Permit
J	2022-03-14	Issue for CP
K	2022-03-14	Issue for CP

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 Fax: 604.273.1101
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Project
Royal II

112, 114 and 116 Royal Ave.

Drawing Title

Hardscape Details

Legal	
Lot: 15, 14 and 13 Plan 2555, 112, 114 and 116 Royal Avenue, Vancouver, British Columbia, Vancouver, Canada V6V 1H4	
Project Name	Royal II
Drawn By	21844
Checked By	AK 10002
Project No.	201810.002
Sheet No.	L10.2
Sheet Count	of 30

Print Date:

PALISADE

PAVING BLOCK



Color	Code	Dimensions (mm)	Weight (kg)
Red	1000-01	190x190x55	11.5
Grey	1000-02	190x190x55	11.5
Black	1000-03	190x190x55	11.5

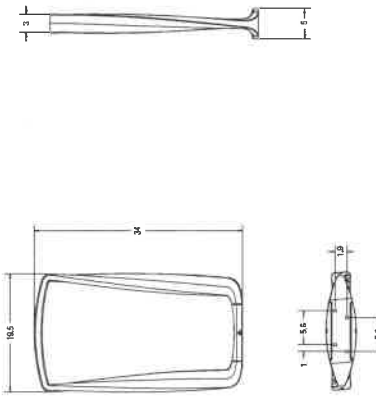
Benefits
 - High strength and durability
 - Interlocking design for easy installation
 - Available in multiple colors to match your design
 - Eco-friendly and sustainable material

Applications
 - Driveways
 - Patios
 - Walkways
 - Pool decks
 - Commercial parking lots

Installation
 - Prepare a solid, level base
 - Lay blocks in a staggered pattern
 - Use sand or gravel for bedding
 - Compact joints and surface

For more information, visit www.palisade.com or call 1-800-555-1234.

1 DETAIL: Bench
NTS



CUSTOMER APPROVAL:

DATE: _____

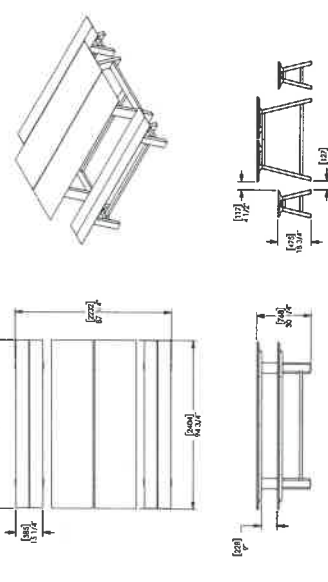
FORMING SURFACES - AZORES
 Project: PALISADE
 Location: PALISADE
 Date: 2018-05-14
 Scale: 1/8" = 1'-0"

NOTE: Read as per manufacturer's specifications.

2 DETAIL: Bike Rack
NTS

Honest

PAVING BLOCKS



CONDICIONS: VERIFICAR INTERFERENCIAS CON OTROS ELEMENTOS DE LA OBRA ANTES DE EMPEZAR LA INSTALACION. VERIFICAR EL TIPO DE SUELO Y LA CAPACIDAD DE CARGA DEL SUELO ANTES DE EMPEZAR LA INSTALACION. VERIFICAR EL TIPO DE SUELO Y LA CAPACIDAD DE CARGA DEL SUELO ANTES DE EMPEZAR LA INSTALACION.

3 DETAIL: Harvest Table
NTS

FORO

FR1700-RD-MI-RS-36

MATERIALS - The table base is constructed from cast iron. The table top is made of perforated aluminum. The table top is finished with a powder coat. The table base is finished with a powder coat.

FINISH - The table top is finished with a powder coat. The table base is finished with a powder coat.

INSTALLATION - The table should be installed on a flat, level surface. The table should be installed on a flat, level surface.

TO ORDER - FR1700-RD-MI-RS-36

MAGLIN

4 DETAIL: Round Table
NTS

FORO

FR1700-MSF-MI

MATERIALS - The table base is constructed from cast iron. The table top is made of solid aluminum. The table top is finished with a powder coat. The table base is finished with a powder coat.

FINISH - The table top is finished with a powder coat. The table base is finished with a powder coat.

INSTALLATION - The table should be installed on a flat, level surface. The table should be installed on a flat, level surface.

TO ORDER - FR1700-MSF-MI

MAGLIN

5 DETAIL: Chair
NTS

Project: PALISADE
 Date: 2018-05-14

Rev.	Date	Description
A	2018-05-14	Initial Design
B	2018-05-14	Revised Design
C	2018-05-14	Final Design
D	2018-05-14	Final Design
E	2018-05-14	Final Design
F	2018-05-14	Final Design
G	2018-05-14	Final Design
H	2018-05-14	Final Design
I	2018-05-14	Final Design
J	2018-05-14	Final Design
K	2018-05-14	Final Design

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eta INVESTIGATE ARCHITECTURE
 1800 West 20th Avenue
 Suite 100
 Denver, CO 80202
 Phone: 303.733.1111
 Fax: 303.733.1112
 Website: www.etaarch.com

Project:
Royal II

112, 114 and 118 Royal Ave.

Drawn By:
Site Furnishings Details

Level:
 Date: 11 MAY 15 Rev: 0003
 Project: PALISADE
 Location: PALISADE
 Date: 2018-05-14

Project Manager: [Name]
 Designer: [Name]
 Date: 2018-05-14

Scale: 1/8" = 1'-0"

Rev.	Date	Revision Notes
B	2019.03.05	Issue for Archetype Change
C	2019.03.06	Issue for Review
D	2019.03.07	Issue for Review
E	2019.03.08	Issue for Review
F	2019.03.09	Issue for Review
G	2019.03.10	Issue for Review
H	2019.03.11	Issue for Review
I	2019.03.12	Issue for Review
J	2019.03.13	Issue for Review
K	2019.03.14	Issue for Review

Revised Detail

eta landscape architecture

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 503.325.1235
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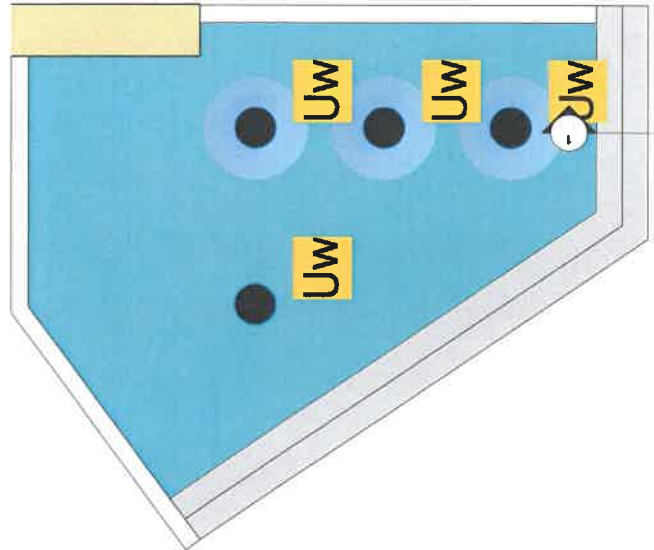
Project
Royal II

112, 114 and 116 Royal Ave.

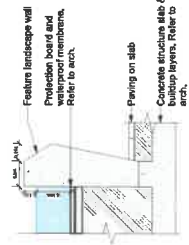
Drawing No.

Site Furnishings Details

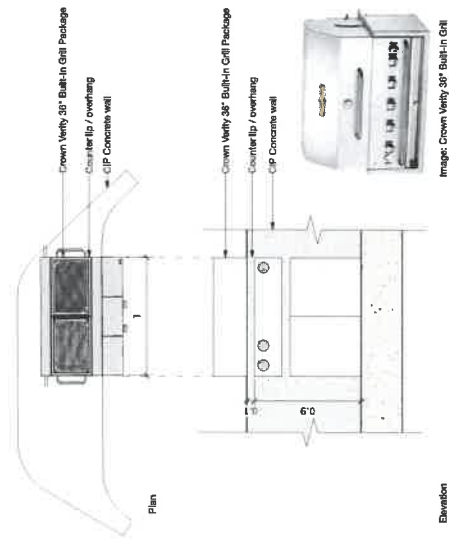
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Scale	20" = 1'-0"



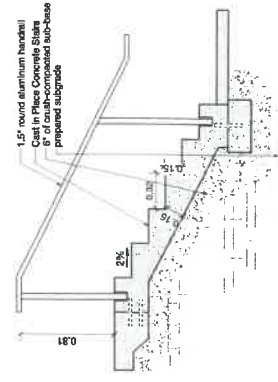
2 DETAIL: Water Feature
 Scale: 1:20



Section 1



1 DETAIL: BRQ of Concrete Planter on Slab
 Scale: 1:20



3 DETAIL: CIP Concrete Slab with Handrail
 Scale: 1:20

Revision No.	Date	Revision Notes

Item	Date	Issue/Notes
B	2018.03.05	Revised for Review
C	2018.03.05	Revised for Review
D	2018.03.05	Revised for Review
E	2018.03.05	Revised for Review
F	2018.03.05	Revised for Review
G	2018.03.05	Revised for Review
H	2018.03.05	Revised for Review
I	2018.03.05	Revised for Review
J	2018.03.05	Revised for Review
K	2018.03.05	Revised for Review

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eta ENGINEERING & ARCHITECTURE

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 Fax: 612.338.1112
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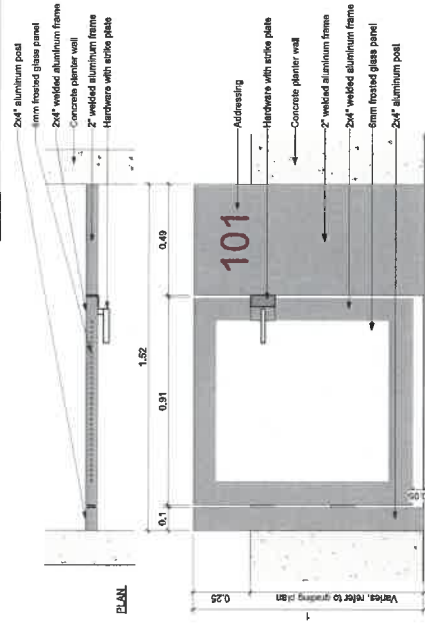
Project:
Royal II

112, 114 and 116 Royal Ave.

Drawing Title:
Site Furnishings Details

Scale:	1" = 1'-0"
Date:	03/05/18
Drawn by:	AD
Checked by:	AD
Project No.:	112, 114, 116
Sheet No.:	11.3
Total Sheets:	30

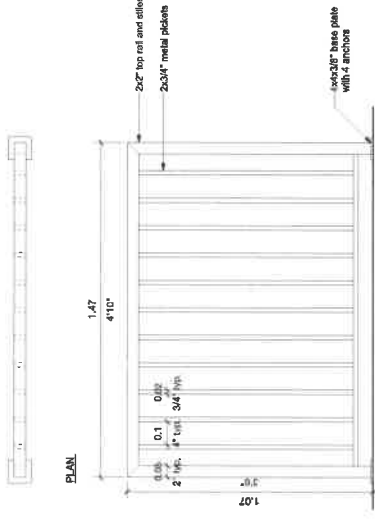
ENGINEERED SHOP DRAWINGS TO BE PROVIDED



ELEVATION

2 DETAIL: Entry Gate - Royal Ave
 Scale: 1:10

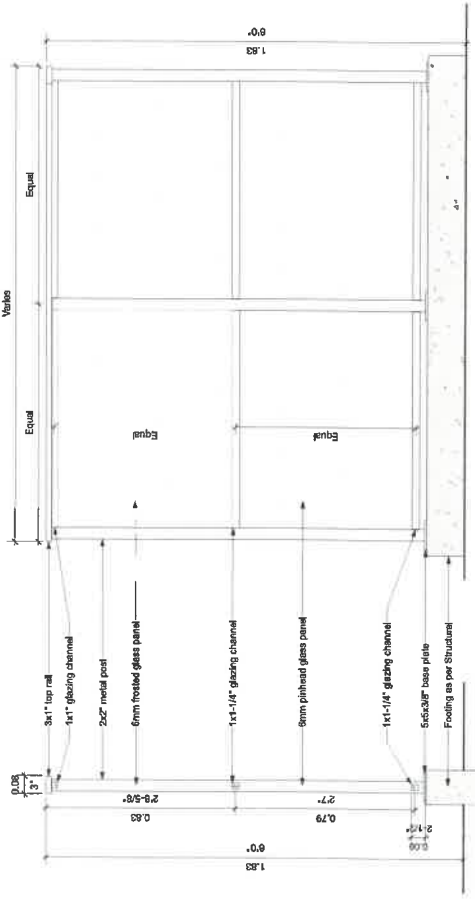
ENGINEERED SHOP DRAWINGS TO BE PROVIDED



ELEVATION

1 DETAIL: Metal Fence
 Scale: 1:10

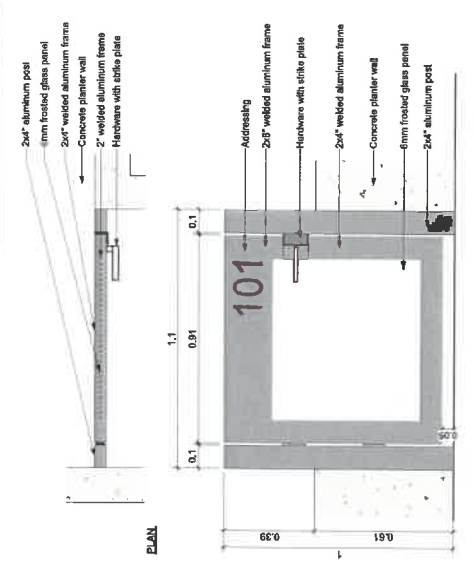
ENGINEERED SHOP DRAWINGS TO BE PROVIDED



SECTION

3 DETAIL: Privacy Screen
 Scale: 1:10

ENGINEERED SHOP DRAWINGS TO BE PROVIDED



ELEVATION

4 DETAIL: Entry Gate - Cunniffham Street
 Scale: 1:10

Revision

No.	Date	Revision Notes

Part Name

DATE

DESCRIPTION

QUANTITY

UNIT

STATUS

LOCATION

REVISION

APPROVAL

DATE

DESIGNATION

DESCRIPTION

DATE

DESIGNER

APPROVED BY

DATE

ADAPT / ACCESSORIES / REPLACEMENT PARTS

ADAPTORS

- L1A
- L1B
- L1C
- L1D
- L1E
- L1F
- L1G
- L1H
- L1I
- L1J
- L1K
- L1L
- L1M
- L1N
- L1O
- L1P
- L1Q
- L1R
- L1S
- L1T
- L1U
- L1V
- L1W
- L1X
- L1Y
- L1Z

INSTALLATION

REVISIONS

ADAPTORS

INSTALLATION

REVISIONS

DATE

2 DETAIL: Light Fixture - Wall Light

Standard Surface Options

Surface	15°C	18°C	19°C	24°C	27°C	33°C	40°C

Standard Surface Options

DESCRIPTION

DATE

DESCRIPTION

DATE

LENGTHS AND RIT OUTLINES

ADAPTORS

INSTALLATION

REVISIONS

1 DETAIL: Light Fixture - Ceiling

eta

1600 Wood Hill Avenue
 Manchester, RI, 02822, USA 1514

1 (800) 441-5498
 1 (603) 642-1509
 1 (603) 642-1500

Project: **Royal II**

112, 114 and 118 Royal Ave.

Lighting Design: **Lighting Details**

Client: **L421**

Rev: **30**

coloronix

555-RGB-R3R

INSTALLATION

REVISIONS

INSTALLATION

REVISIONS

3 DETAIL: Light Fixture - Underwater light

APPENDIX 6

VARIATIONS TO ZONING BYLAW NO. 6680, 2001

	Single Detached Dwelling District (RS-2) Requirement/Allowance	Heritage Revitalization Agreement Bylaw Requirement
Minimum Lot Size	6,000 square feet (557 square metres)	No Requirement
Permitted Uses	Single detached dwellings, secondary suites	All uses permitted in the Multiple Dwelling District (RM-2) Zoning District
Residential Dwelling Units	One principal unit, one secondary suite	189
Maximum Floor Space Ratio	0.5	3.30
Site Coverage	35%	75%
Maximum Building Height	25 feet (7.62)	90 feet (27.43 metres) from datum of 186.29 feet (56.78 metres) geodetic
Minimum Rear Yard Setback (South, Cunningham Street)	12.6 feet (3.8 metres)	Townhouses – 7.50 feet (2.29 metres) Podium Level – 11.25 feet (3.43 metres) Apartments at Podium – 17.5 feet (5.33 metres)
Minimum Rear Yard Setback (South, Adjacent to 72 First Street)	12.6 feet (3.8 metres)	Heritage Home / Townhouses: 15 feet (4.57 metres) Podium Level: 30 feet (9.14 metres) Above Podium: 40 feet (12.19 metres)
Minimum Front Yard Setback (North, Royal Avenue)	10.6 feet (3.2 metres)	13 feet (3.96 metres)
Minimum Side Yard Setback (East, First Street)	5 feet (1.5 metres)	Heritage House – 10 feet (3.05 metres) Apartment – 13.5 feet (4.1 metres)
Minimum Side Yard Setback	5 feet (1.5 metres)	10 feet (3.05 metres)

(West, Multi-Use Path)		
Off-Street Parking	2 on-site residential parking spaces	As per Section 140 of Zoning Bylaw 6680, 2001

APPENDIX 7

Road Closure, Subdivision and Consolidation Plan

**SUBDIVISION PLAN OF LOTS "B" AND "C" PLAN 12722,
AND LOTS 18, 13 TO 15 PLAN 2620, ALL OF BLOCK 32
GROUP 1 NEW WESTMINSTER DISTRICT**

Pursuant to Section 67, Land Title Act.
BCGS 92G.026

This Plan Lies Within Integrated Survey Area No. 49,
City of New Westminster, NAD83 (CSRS) 4.0.0.BC.LMWD



- Legend**
- ⊙ Denotes Control Monument Found
 - ⊙ Denotes Standard Concrete Post Found
 - ⊙ Denotes Lead Plug Found
 - Denotes Standard Iron Pin Found
 - Denotes Standard Iron Post Set
 - ⊕ Denotes Squared Metres
 - PP Denotes Peeling Plan
 - W Denotes Whittens

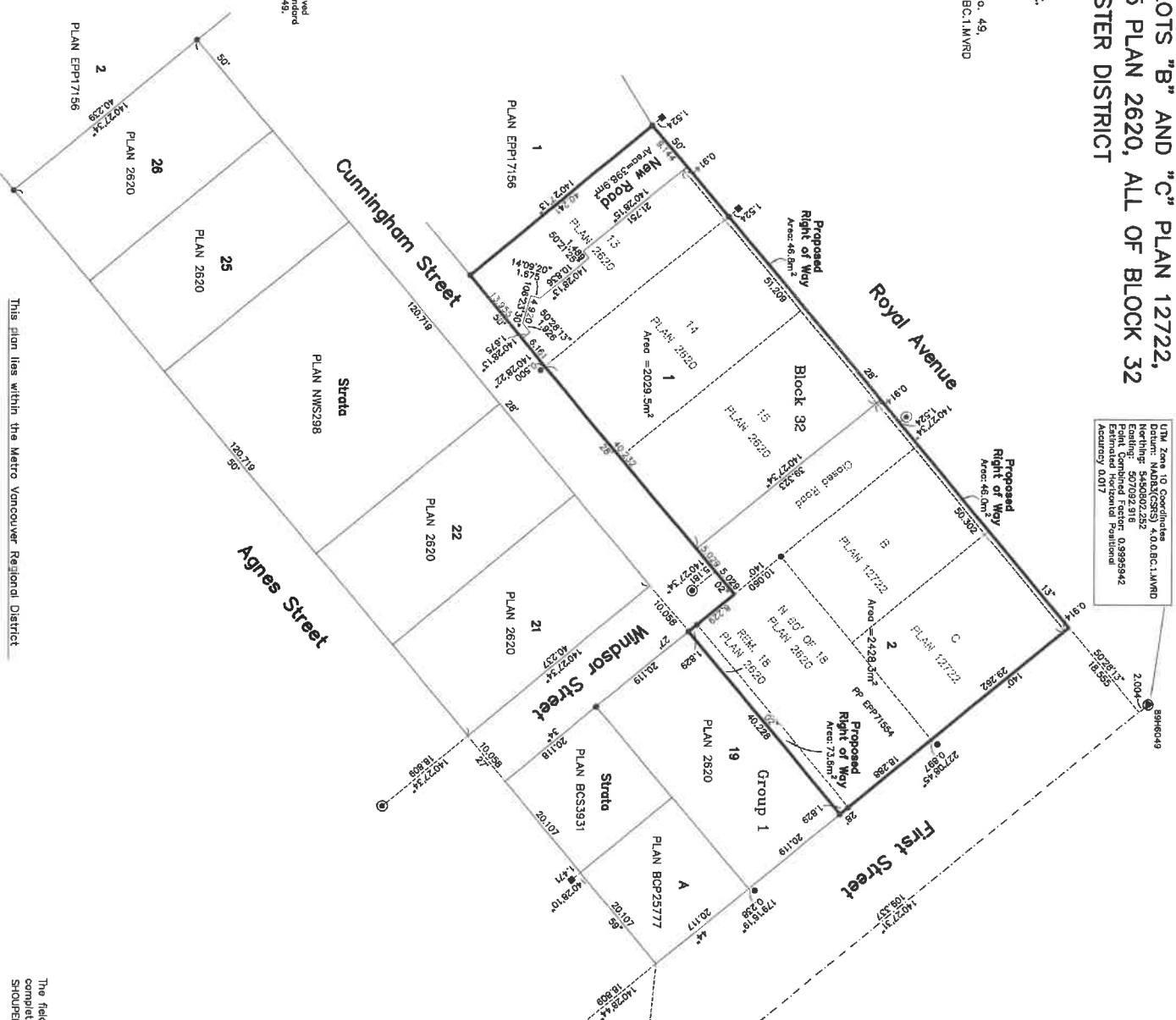
Note:
This plan shows one or more witness posts which are not set on the true corner(s).

Grid bearings are derived from observations between geodetic control monuments 6066 and 6816049, and one referred to the central meridian of UTM zone 10.
The UTM coordinates and estimated absolute accuracy achieved are derived from the NAD83 published coordinates and standard deviation for geodetic control monuments 6066 and 6816049.
This plan shows horizontal ground level distances unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of scale error for the ground level distances based on geodetic control monuments 6066 and 6816049.

COMPASS LAND SURVEYING LTD.
Professional Land Surveyors
6022-891 128th Street
Delta, B.C. V4L 2L1
Tel: 604-303-8888
Email: Office@CompassSurvey.com
File No.: 168501 52

UTM Zone 10 Coordinates
Datum: NAD83(CSRS) 4.0.0.BC.LMWD
Northing: 5460802.252
Easting: 507092.918
Point Combined Factor: 0.9999961
Point Combined Deviation: 0.017
Accuracy: 0.017

UTM Zone 10 Coordinates
Datum: NAD83(CSRS) 4.0.0.BC.LMWD
Northing: 5460716.424
Easting: 507163.771
Point Combined Factor: 0.9999961
Point Combined Deviation: 0.018
Accuracy: 0.018



This plan lies within the Metro Vancouver Regional District

The field survey represented by this plan was completed on the 16th day April, 2022.
SHOUFENG LIU, B.C.L.S., #933

Preliminary

APPENDIX 8

PROPOSED PHASING FOR 82 FIRST STREET CONSERVATION WORK

May 5, 2022

Mike Watson
Acting Supervisor of Development Planning
City of New Westminster

Dear Mike,

RE: Proposed Phasing for 82 1st Street Conservation Work

As the permit issuance for this complex project is tied to substantial completion of the conservation work at the heritage building, I propose phasing the conservation work into two stages.

The first phase would be required to be substantially complete before Building Permits for above ground construction of the infill development could be issued. The second phase would be required to be substantially complete before insulation inspection of the infill development could be called. All below tasks to follow detailed instructions in the Heritage Conservation Plan.

HH Phase 1 - structural conservation

a. Structure and site rehabilitation -

- Remove 1958 additions - back porch and flat-roofed building to the south.
- Dismantle chimney before relocation. Precisely document chimney stack for restoration at new location.
- Lift and relocate remaining 1890 wood frame structure onto temporary cribs.
- Excavate for and pour new seismic foundation at proposed new location.
- Build and sister connective framing for heritage house, including at roof for chimney stack.
- Lower heritage house onto new foundation
- Reconstruct (restore) chimney stack (from roofline up) with original bricks. Cap chimney.
- Ensure structure, porches, chimney, openings and roof are all temporarily braced, boarded and secured from weather and access while awaiting commencement of phase 2.

Notes:

- It is my preference that the stucco remain on the 1890 house during this phase to better protect the structure from weather until the exterior finishing task is carried out. However, the house movers may prefer portions of it be removed to facilitate relocation.
- Although this is not part of the conservation scope - the interior work on the heritage house (structural upgrades, layout changes, mechanical systems, insulation and drywall) can proceed immediately, concurrent with the construction of the above surface infill structures.

HH Phase 2 - exterior/finishing conservation

b. General Wood Elements - Preservation and Restoration -

- Remove 1958 stucco.
- Preserve the 6 exterior wood elements outlined on page 17 of the Conservation Plan.
- Restore the 6 exterior wood elements outlined on page 19 of the Conservation Plan.

c. Roof and Rainwater Works - Restoration

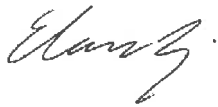
d. Windows and Doors - Restoration

e. Finishes (painting) - Restoration

Although Phase 1 appears to involve less steps, it represents about half of the conservation scope. The rehabilitation of the house interior can proceed immediately but not be required to issue the BP for the infill building.

Phase 2 involves several tasks that are all contingent on each other.

Yours Truly,

A handwritten signature in cursive script, appearing to read "Elana Zysblat".

Elana Zysblat, Principal
Ance Building Services