THE CORPORATION OF THE CITY OF NEW WESTMINSTER
HERITAGE REVITALIZATION AGREEMENT (108-118 Royal Avenue and 74-82 First Street)
BYLAW NO. 8339, 2022

A Bylaw to enter into a Heritage Revitalization Agreement under Section 610 of the *Local Government Act*

WHEREAS the City of New Westminster and the owner of the properties located at 74 First Street, 82 First Street, 108 Royal Avenue, 112 Royal Avenue, 114 Royal Avenue and 118 Royal Avenue in New Westminster wish to enter into a Heritage Revitalization Agreement in respect of the properties;

NOW THEREFORE, the Council of the City of New Westminster enacts as follows:

Citation

1. This Bylaw may be cited as "Heritage Revitalization Agreement (**108-118 Royal Avenue and 74-82 First Street**) Bylaw No. 8339, 2022".

Heritage Revitalization Agreement

2. The City of New Westminster enters into a Heritage Revitalization Agreement with the registered owners of the properties located at:

74 First Street, New Westminster, and legally described as:
PID: 003-959-252
NORTHERLY 60 FEET LOT 18 BLOCK 32 PLAN 2620 HAVING A FRONTAGE OF 60 FEET ON FIRST STREET BY A UNIFORM DEPTH OF 132 FEET AND ADJOINING LOTS 16 AND 17

and

PID: 012-912-441
LOT 18 EXCEPT: NORTHERLY 60 FEET HAVING A FRONTAGE OF 60 FEET ON FIRST STREET WITH A UNIFORM WIDTH THE FULL DEPTH OF LOT AND ADJOINING LOTS 16 AND 17, BLOCK 32 PLAN 2620

82 First Street, New Westminster, and legally described as:
PID: 007-604-084
LOT "C" BLOCK 32 PLAN 12722

108 Royal Avenue, New Westminster, and legally described as:
PID: 009-735-542
LOT "B" BLOCK 32 PLAN 12722

112 Royal Avenue, New Westminster, and legally described as:
PID: 012-912-433
LOT 15 BLOCK 32 PLAN 2620

114 Royal Avenue, New Westminster, and legally described as:
PID: 001-316-842
LOT 14 BLOCK 32 PLAN 2620

118 Royal Avenue, New Westminster, and legally described as:
PID: 003-901-467
LOT 13 BLOCK 32 PLAN 2620

and

No PID NMBR
THAT PART OF BLOCK 32 SHOWN AS ROAD TO BE CLOSED ON PLAN EPP121184.

(together, the "Lands")

3. If the City and the registered owners of the Lands enter into a road closure and land exchange agreement and the registered owners of the Lands acquire, and consolidate with the Lands, a part of the Windsor Street (the "Closed Road") as shown in Appendix 7, the Heritage Revitalization Agreement will apply to the Closed Road.

4. The Mayor and City Clerk are authorized on behalf of the City of New Westminster Council to sign and seal the Heritage Revitalization Agreement attached to this Bylaw as Schedule "A".

READ A FIRST TIME this 13th day of June, 2022.

READ A SECOND TIME this 13th day of June, 2022.

PUBLIC HEARING held this _____ day of _____, 2022.

READ A THIRD TIME this _____ day of _____, 2022.

ADOPTED this _____ day of _____, 2022.

MAYOR JONATHAN X. COTE

JACQUE KILLAWEE, CITY CLERK

SCHEDULE "A"

HERITAGE REVITALIZATION AGREEMENT (108-118 Royal Avenue and 74-82 First Street)

THIS AGREEMENT dated for reference the 27th day of May, 2022 is

BETWEEN:

TPL DEVELOPMENTS ROYAL INC., Inc. No. BC1103289, 200-1111 West Hastings Street, Vancouver, BC V6E 2J3

(the "Owner")

AND:

THE CORPORATION OF THE CITY OF NEW WESTMINSTER, City Hall, 511 Royal Avenue, New Westminster, BC V3L 1H9

(the "City")

WHEREAS:

A. The Owner is the registered owner in fee simple of the land and all improvements located at:

74 First Street, New Westminster, and legally described as:
PID: 003-959-252
NORTHERLY 60 FEET LOT 18 BLOCK 32 PLAN 2620 HAVING A FRONTAGE OF 60 FEET ON FIRST STREET BY A UNIFORM DEPTH OF 132 FEET AND ADJOINING LOTS 16 AND 17

and

PID: 012-912-441
LOT 18 EXCEPT: NORTHERLY 60 FEET HAVING A FRONTAGE OF 60 FEET ON FIRST STREET WITH A UNIFORM WIDTH THE FULL DEPTH OF LOT AND ADJOINING LOTS 16 AND 17, BLOCK 32 PLAN 2620

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PID: 003-901-467
LOT 13 BLOCK 32 PLAN 2620.

and

No PID NMBR
THAT PART OF BLOCK 32 SHOWN AS ROAD TO BE CLOSED ON PLAN EPP121184.

(together, the "Lands");

B. If the Owner and the City enter into a road closure and land exchange agreement and the Owner acquire, and consolidate with the Lands, a part of the Windsor Street (the "Closed Road") shown in Appendix 7, the Heritage Revitalization Agreement will apply to the Closed Road.

C. There is one building situated on 82 First Street, known as the E.M.N Woods House (the "Heritage Building"), which is shown on the site plan attached as Appendix 1 (the "Site Plan");

D. The City and the Owner agree that the Heritage Building has heritage value and should be conserved;

E. The Owner wishes to relocate, make certain alterations to, restore, and rehabilitate the Heritage Building (the "Work");

F. The Owner intends to apply to the City's Approving Officer for approval to file a subdivision plan (the "Subdivision Plan") in the Land Title Office in order to consolidate the Lands into a single parcel, generally as shown on the Site Plan;

G. If the proposed consolidation of the Lands is approved by the City's Approving Officer, the Owner wishes to relocate the Heritage Building from 82 First Street to that portion of the Lands labeled on the Site Plan as "RELOCATED HERITAGE HOUSE", convert the Heritage Building into two (2) market strata units and to construct a new six to eight storey residential building containing 187 market strata (the "New Building") on that portion of the Lands labeled on the Site Plan as "NEW BUILDING – MULTIPLE UNIT RESIDENTIAL";

H. Section 610 of the *Local Government Act*, RSBC 2015, Chapter 1 authorizes a local government to enter into a Heritage Revitalization Agreement with the owner of heritage property, and to allow variations of, and supplements to, the provisions of a bylaw or a permit issued under Part 14 or Part 15 of the *Local Government Act*;

I. The Owner and the City have agreed to enter into this Heritage Revitalization Agreement (the "Agreement") setting out the terms and conditions by which the heritage value of the Heritage Building is to be preserved and protected, in return for specified supplements and variances to City bylaws;

J. If the proposed consolidation of the Lands is approved by the City's Approving Officer, the Owner also wishes to relocate a building situated on 112 Royal Avenue (the "House") off-site.

THIS AGREEMENT is evidence that in consideration of the sum of ten dollars ($10.00) now paid by each party to the other and for other good and valuable consideration (the receipt of which each party hereby acknowledges) the Owner and the City each covenant with the other pursuant to Section 610 of the *Local Government Act* as follows:

Conservation of Heritage Building

1. Upon execution of this Agreement, the Owner shall promptly commence the Work to the Heritage Building in accordance with the Heritage Conservation Plan prepared by Elana Zysblat CAHP, of Ance Building Services dated June 2021, a copy of which is attached hereto as Appendix 2 (the "Conservation Plan"), and the design plans and specifications prepared by CityState Consulting Services, dated June 15, 2021, in respect of the Heritage Building, and Iredale Architecture, dated March 16, 2022 and Landscape Plans prepared by ETA Landscape Architecture dates March 14, 2022, a copy of each of which are attached hereto as Appendix 5 (the "Approved Plans"), full-size copies of which plans and specifications are on file at the New Westminster City Hall.

2. Prior to commencement of the Work, the Owner shall obtain from the City all necessary permits and licenses, including a heritage alteration permit, building permit, and tree permit.

3. The Owner shall obtain written approval from the City's Director of Climate Action, Planning and Development for any changes to the Work or the Approved Plans, and obtain any amended permits that may be required for such changes, as required by the City.

4. The Owner agrees that the City may, notwithstanding that such permits may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a heritage alteration permit or building permit applied for in respect of the Heritage Building if the work that the Owner wishes to undertake is not in accordance with the Conservation Plan or the Approved Plans.

5. The Work shall be done at the Owner's sole expense in accordance with generally accepted engineering, architectural, and heritage conservation practices. If any conflict or ambiguity arises in the interpretation of Appendix 2, the parties agree that the conflict or ambiguity shall be resolved in accordance with the "Standards and Guidelines for the Conservation of Historic Places in Canada", 2nd edition, published by Parks Canada in 2010.

6. The Owner shall, at the Owner's sole expense, erect on the Lands and keep erected throughout the course of the Work, a sign of sufficient size and visibility to effectively notify

contractors and tradespersons entering onto the Lands that the Work involves protected heritage property and is being carried out for heritage conservation purposes.

7. The Owner shall, at the Owner's sole expense, engage a member of the Architectural Institute of British Columbia or the Association of Professional Engineers and Geoscientists of British Columbia or the British Columbian Association of Heritage Professionals with specialization in Building or Planning (the "Registered Professional") to oversee the Work and to perform the duties set out in section 8 of this Agreement, below.

Role of Registered Professional

8. The Registered Professional shall:

   (a) prior to commencement of the Work, and at any time during the course of the Work that a Registered Professional has been engaged in substitution for a Registered Professional previously engaged by the Owner, provide to the City an executed and sealed Confirmation of Commitment in the form attached as Appendix 3 and, if the Registered Professional is a member of the Canadian Association of Heritage Professionals, the Registered Professional shall provide evidence of their membership and specialization when submitting such executed Confirmation of Commitment;

   (b) conduct field reviews of the Work with the aim of ensuring compliance of the Work with the Conservation Plan in Appendix 2;

   (c) provide regular reports to the City's Climate Action, Planning and Development Department, on the progress of the Work;

   (d) upon substantial completion of the Work, provide to the City an executed and sealed Certification of Compliance in the form attached as Appendix 4; and

   (e) notify the City within one business day if the Registered Professional's engagement by the Owner is terminated for any reason.

Heritage Designation

9. The Owner irrevocably agrees to the designation of the Heritage Building as protected heritage property, in accordance with Section 611 of the *Local Government Act*, and releases the City from any obligation to compensate the Owner in any form for any reduction in the market value of the Lands, the New Building or the Heritage Building that may result from the designation.

10. Following completion of the Work, the Owner shall maintain the Heritage Building in good repair in accordance with the Conservation Plan in Appendix 2 and the maintenance standards set out in City of New Westminster Heritage Properties Minimum Maintenance Standards Bylaw No. 7971, 2018, as amended or replaced from time to time, and, in the

event that Bylaw No. 7971 is repealed and not replaced, the Owner shall continue to maintain the building to the standards that applied under Bylaw No. 7971 immediately prior to its repeal.

11. Following completion of the Work in accordance with this Agreement, the Owner shall not alter the heritage character or the exterior appearance of the Heritage Building, except as permitted by a heritage alteration permit issued by the City.

Damage to or Destruction of Heritage Building

12. If the Heritage Building is damaged, the Owner shall obtain a heritage alteration permit and any other necessary permits and licenses and, in a timely manner, shall restore and repair the Heritage Building to the same condition and appearance that existed before the damage occurred.

13. If, in the opinion of the City, the Heritage Building is completely destroyed, the Owner shall construct a replica, using contemporary material if necessary, of the Heritage Building that complies in all respects with the Conservation Plan in Appendix 2, the Approved Plans in Appendix 5, and with City of New Westminster Zoning Bylaw No. 6680, 2001 as amended (the "Zoning Bylaw"), as varied by this Agreement, after having obtained a heritage alteration permit and any other necessary permits and licenses.

14. The Owner shall use best efforts to commence and complete any repairs to the Heritage Building, or the construction of any replica building, with reasonable dispatch.

Relocation of the House

15. Upon execution of this Agreement, the Owner shall make reasonable efforts to advertise and offer the House for sale and relocation to a location other than the Lands for a purchase price of $0 and a minimum $30,000.00 contribution by the Owner towards costs of relocating the House.

16. If, prior to commencement of the excavation of the Lands, the House has not been sold, the Owner may demolish the House and pay to the City a contribution in the amount of $30,000.00 for general serving amenities.

17. Prior to commencement of the relocation or demolition of the House, the Owner shall obtain, or if the House has been sold the purchaser, the purchaser of the House shall obtain all necessary permits, licenses, approvals and authorizations for the demolition or relocation, as applicable, from all municipal and provincial governmental authorities having jurisdiction.

Construction of the New Building

18. The Owner shall construct the New Building in strict accordance with the Site Plan and the Approved Plans.

19. Prior to commencement of construction of the New Building, the Owner shall obtain from the City all necessary approvals, permits, and licenses, including a heritage alteration permit, building permit, and tree permit and approval of the City's Approving Officer to file the Subdivision Plan in the Land Title Office.

20. The Owner shall obtain written approval from the City's Director of Climate Action, Planning and Development for any changes to the New Building, and obtain any amended permits that may be required for such changes to the New Building, as required by the City.

21. The Owner agrees that the City may, notwithstanding that such permits may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a heritage alteration permit or building permit applied for in respect of the New Building if the work that the Owner wishes to undertake is not in accordance with the Approved Plans.

22. The construction of the New Building shall be done at the Owner's sole expense and in accordance with generally accepted engineering and architectural practices.

Timing and Phasing

23. The Owner acknowledges and agrees that no building permits above grade (permits for work on levels 01, 02 03, 04, 05 or 06 of the Approved Plans) applied for in respect of the New Building shall be issued until the Owner has commenced and completed all actions required for the completion of the Work set out in Appendix 8 under the heading "HH Phase 1 – structural conservation".

24. The Owner acknowledges and agrees that no insulation inspection by the City in respect of the New Building shall be issued until the Owner has commenced and completed all actions required for the completion of the Work set out in Appendix 8 under the heading "HH Phase 2 – exterior/finishing conservation".

25. The Owner acknowledges and agrees that no occupancy permit for the New Building will be issued until the Owner has completed the Work in respect of the Heritage Building to the satisfaction of the City's Director of Climate Action, Planning and Development, has provided the Certification of Compliance described in section 8(d) above, and has approval of the City's Approving Officer to file the Subdivision Plan in the Land Title Office.

26. The Owner shall complete all actions required for the completion of the Work and the New Building, as set out in Approved Plans in Appendix 5, within five years following the date on which the Owner deposits the Subdivision Plan in the Land Title Office.

Consolidation

27. Nothing in this Agreement commits the Approving Officer to approve the proposed consolidation of the Lands.

Inspection

28. Upon request by the City, the Owner shall advise or cause the Registered Professional to advise, the City's Climate Action, Planning and Development Department, of the status of the Work.

29. For the duration of the Work and the construction of the New Building as authorized by this Agreement, without limiting the City's power of inspection conferred by statute and in addition to such powers, the City shall be entitled at all reasonable times and from time to time to enter onto the Lands for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner.

30. The Owner agrees that the City may, notwithstanding that a final inspection may be issuable under the City's zoning and building regulations and the BC Building Code, withhold a final inspection or occupancy certificate applied for in respect of the Heritage Building or the New Building if the Owner has not completed the Work with respect to the Heritage Building or construction of the New Building to the satisfaction of the City's Director of Climate Action, Planning and Development.

31. The Land shall not be subdivided by any means other than in accordance with the Subdivision Plan, including by deposit of a strata plan of any kind under the *Strata Property Act* (British Columbia) in respect of the Heritage Building or the New Building if the Owner has not completed the Work with respect to the Heritage Building or construction of the New Building to the satisfaction of the City's Director of Climate Action, Planning and Development.

Conformity with City Bylaws

32. The City of New Westminster Zoning Bylaw No. 6680, 2001, is varied and supplemented in its application to the Lands in the manner and to the extent provided and attached as Appendix 6.

33. The Owner acknowledges and agrees that, except as expressly varied by this Agreement, any development or use of the Lands, including any construction, alteration, rehabilitation, relocation, restoration and repairs of the Heritage Building or New Building, must comply with all applicable bylaws of the City.

No Application to Building Interiors

34. Unless otherwise stated in this Agreement or set out in the Conservation Plan, the terms and conditions of this Agreement respecting the Heritage Building and New Building apply only to the structure and exterior of the buildings, including without limitation the foundation, walls, roof, and all exterior doors, stairs, windows and architectural ornamentation.

Enforcement of Agreement

35. The Owner acknowledges that it is an offence under Section 621(1)(c) of the *Local Government Act* to alter the Lands, the Heritage Building or the New Building in contravention of this Agreement, punishable by a fine of up to $50,000.00 or imprisonment for a term of up to 2 years, or both.

36. The Owner acknowledges that it is an offence under Section 621(1)(b) of the *Local Government Act* to fail to comply with the requirements and conditions of any heritage alteration permit issued to the Owner pursuant to this Agreement and Section 617 of the *Local Government Act*, punishable in the manner described in the preceding section.

37. The Owner acknowledges that, if the Owner alters the Lands, the Heritage Building or the New Building in contravention of this Agreement, the City may apply to the British Columbia Supreme Court for:

    (a) an order that the Owner restore the Lands or the Heritage Building or the New Building, or all, to their condition before the contravention;

    (b) an order that the Owner undertake compensatory conservation work on the Lands, the Heritage Building, or the New Building;

    (c) an order requiring the Owner to take other measures specified by the Court to ameliorate the effects of the contravention; and

    (d) an order authorizing the City to perform any and all such work at the expense of the Owner.

38. The Owner acknowledges that, if the City undertakes work to satisfy the terms, requirements or conditions of any heritage alteration permit issued to the Owner pursuant to this Agreement upon the Owner's failure to do so, the City may add the cost of the work and any incidental expenses to the taxes payable with respect to the Lands, or may recover the cost from any security that the Owner has provided to the City to guarantee the performance of the terms, requirements or conditions of the permit, or both.

39. The Owner acknowledges that the City may file a notice on title to the Lands in the Land Title Office if the terms and conditions of this Agreement have been contravened.

40. The City may notify the Owner in writing of any alleged breach of this Agreement and the Owner shall have the time specified in the notice to remedy the breach. In the event that the Owner fails to remedy the breach within the time specified, the City may enforce this Agreement by:

    (a) seeking an order for specific performance of the Agreement;

    (b) any other means specified in this Agreement; or

(c) any means specified in the *Community Charter* or the *Local Government Act*,

and the City's resort to any remedy for a breach of this Agreement does not limit its right to resort to any other remedy available at law or in equity.

Statutory Authority Retained

41. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City, all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled.

Indemnity

42. The Owner hereby releases, indemnifies and saves the City, its officers, employees, elected officials, agents and assigns harmless from and against any and all actions, causes of action, losses, damages, costs, claims, debts and demands whatsoever by any person, arising out of or in any way due to the existence or effect of any of the restrictions or requirements in this Agreement, or the breach or non-performance by the Owner of any term or provision of this Agreement, or by reason of any work or action of the Owner in performance of its obligations under this Agreement or by reason of any wrongful act or omission, default, or negligence of the Owner.

43. In no case shall the City be liable or responsible in any way for:

(a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that be suffered or sustained by the Owner or by any other person who may be on the Land; or

(b) any loss or damage of any nature whatsoever, howsoever caused to the Lands, or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements in this Agreement, wrongful or negligent failure or omission to comply with the restrictions and requirements in this Agreement or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements in this Agreement or with any other term, condition, or provision of this Agreement.

No Waiver

44. No restrictions, requirements, or other provisions of this Agreement shall be deemed to have been waived by the City unless a written waiver signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default, nor any previous written waiver, shall be taken to operate as a waiver by the City of any subsequent default or in any way defeat or affect the rights and remedies of the City.

Interpretation

45. In this Agreement, "Owner" shall mean all registered owners of the Lands or subsequent registered owners of the Lands, as the context requires or permits.

Headings

46. The headings in this Agreement are inserted for convenience only and shall not affect the interpretation of this Agreement or any of its provisions.

Appendices

47. All appendices to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

48. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Joint and Several

49. If at any time more than one person (as defined in the *Interpretation Act* (British Columbia) owns the Lands, each of those persons will be jointly and severally liable for all of the obligations of the Owner under this Agreement.

Successors Bound

50. All restrictions, rights and liabilities herein imposed upon or given to the respective parties shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date written above.

TPL DEVELOPMENTS ROYAL INC. by its authorized signatories:

_____

Name:

_____

Name:

THE CORPORATION OF THE CITY OF NEW WESTMINSTER
by its authorized signatories:

_____

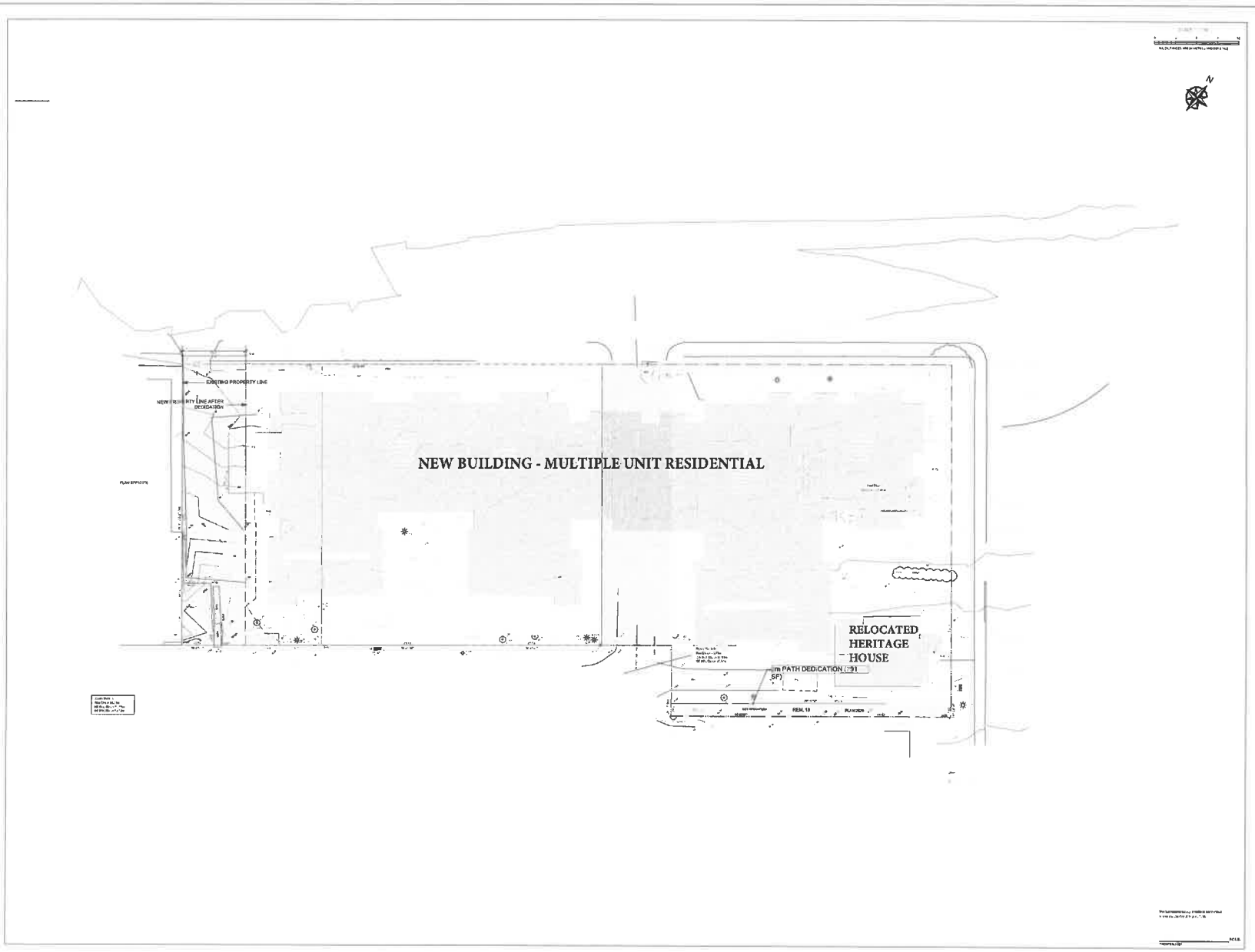
Mayor Jonathan X. Cote

_____

Jacqueline Killawee, City Clerk

APPENDIX 1

SITE PLAN



Client

REDIC DEVELOPMENTS

TPL DEVELOPMENTS WINDSOR INC.

No	Date	Revision
07	Jan 24 2022	Re-Issued for DP & Rezoning
06	Sept 28 2021	Re-Issued for DP & Rezoning
05	July 19 2021	Re-Issued for DP & Rezoning
04	Feb 05 2021	Re-Issued for DP & Rezoning
03	May 21 2020	Re-Issued for DP & Rezoning
02	Oct 22 2019	Re-Issued for DP & Rezoning
01	Jan 30 2019	Issued for Rezoning

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Consultant

TITLE
First+Royal

ADDRESS
74 - 82 FIRST STREET &
108 - 118 ROYAL AVENUE
NEW WESTMINSTER
DOWNTOWN NW V3L 1H2

Drawing Title
SURVEY

Scale

Drawn	Checked	Partner
PJH		PJH

Project No. 18077

Date	Phase No.	Sheet No.
16 MARCH 2022	4	A0.01

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APPENDIX 2

CONSERVATION PLAN

Heritage Conservation Plan

82 First Street, New Westminster, BC

E. M. N. Woods House ~ 1890

Elana Zysblat, CAHP :: Ance Building Services :: October 2019

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Future Changes....27

Research Resources....27

Statement of Significance

Description of the Historic Place

The E.M.N. Woods House is a 1 and 1/2 storey, Victorian Arts & Crafts style house located between Queen's Park and Albert Crescent at the southeast corner of Royal Avenue and 1st Street in downtown New Westminster.

Heritage Value of the Historic Place

Built in 1890, the E. M. N. Woods House is associated with the late 1880s development boom in New Westminster, sparked in response to the announcement of the arrival of the Canadian Pacific Railway to the area. Located on a short stretch of First Street connecting Queen's Park and Albert Crescent, the E. M. N. Woods House was constructed in what was considered the most exclusive area of early New Westminster. The lots on Park Lane (the original name of First Street) were advertised in local papers as some of the 'finest' in the city and the subject building's corner location adds to this prestige.

The building's association with its developers and first residents - pioneers, notable and affluent citizens of the city - expresses the prestigious status of this location in the Victorian era. When Edward Montague Nelson Woods - the son of the local Archdeacon Charles T. Woods - commissioned the construction of this residence, he had been recently married and inducted as a barrister. His new wife Emily Sophia Dickinson was the daughter of New Westminster Mayor Robert Dickinson whom the nearby Dickinson Street is named for.

The E. M. N. Woods House is important as an example of one of approximately two dozen buildings generated by the brief partnership between two prolific architects in 1890 and 1891 - Samuel Maclure

and Charles Clow. New Westminster-born architect Samuel Maclure, who is considered the leading residential architect in British Columbia in the early twentieth century, had just begun his distinguished career when the E. M. N. Woods House was designed in 1890. Shortly after the subject house construction, Maclure moved on to work in Victoria and then Vancouver where he left an invaluable built heritage legacy. Charles Clow began his practice in New Westminster in 1887 and remained active in the area for close to 30 years, especially while New Westminster was rebuilt after the fire of 1898.

The building's elaborate display of the Victorian Arts & Crafts style expresses an elite architectural trend of the late 1880s and early 1890s.

The flat-roofed apartment addition attached to the side of the house was constructed in 1958 during a time when the neighbourhood shifted towards rental units and the house was adapted as a multi-family rental property for working-class families - its continuous use for the last six decades. The survival of the 1890 residence, alongside only a handful of other early single-family homes, in a neighbourhood that has transformed through zoning changes to dominantly apartment buildings, is even more important as the oldest surviving building on this block of 1st Street.

Character-Defining Elements

- continuous residential use since 1890
- continuous multi-family residential rental use since 1958
- location on First Street at the corner of Royal Avenue, with views towards the Fraser River
- residential form and scale as expressed in its cross plan, and one and one-half storeys plus basement height
- wood-frame construction
- complex, intersecting gabled roof design with hip dormers on two sides
- projecting front porch with columns and brackets
- evidence of porch extending across the front and around the north side of the house, now enclosed
- half-timbered, stuccoed gables with decorative bargeboards
- gable ornaments
- original 6-panelled wood front door and decorative leaded sidelights with wood trim
- decorative leaded casement window with transom on the north side of the house, main floor
- divided-light wood windows in upper storey
- corbeled brick chimney shaft with decorative Victorian brickwork

Historic Brief

Although parks and public plazas were allocated in New Westminster's first plan drawn by the Royal Engineers in the early 1860s, there was almost no development beyond the Royal City's original northern boundary of Royal Avenue until the 1880s.

The announcement of the arrival of the CPR to Vancouver, with a branch line to New Westminster caused a huge building boom between 1887-1898, transforming the small town into a real city.

At the time this map (right) was drawn in 1892, New Westminster had not only a train station but a streetcar system, electric street lights, and expanded boundaries well beyond Royal Avenue to include suburbs such as Queen's Park, Sapperton and Queensborough. Queen's Park was refined and designed with public gardens, walkways and sports fields.

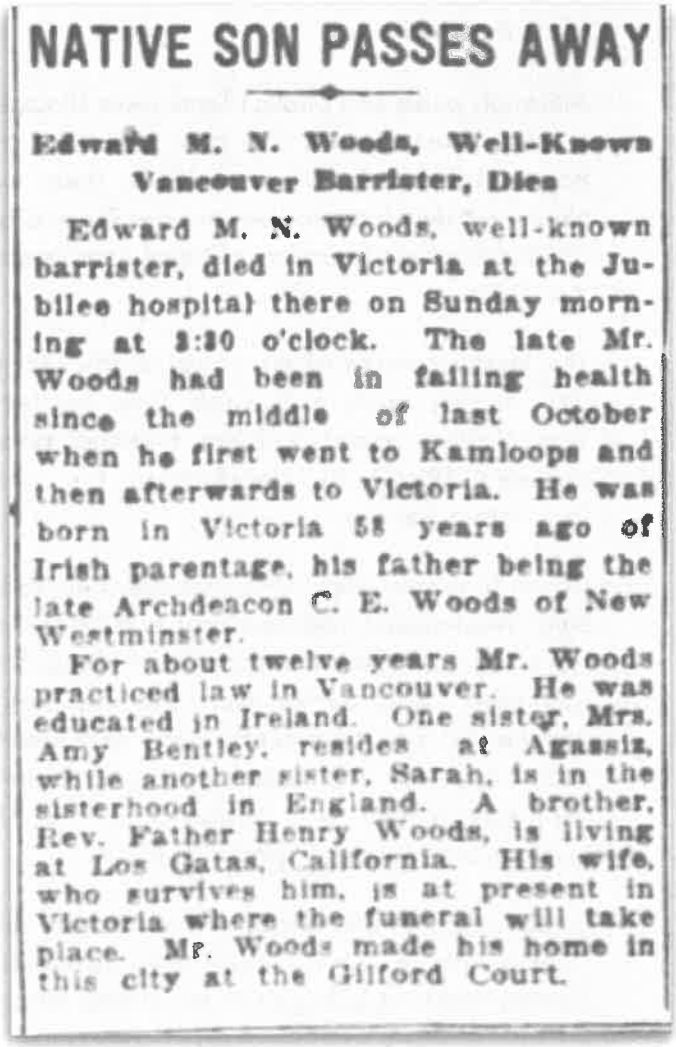
City of New Westminster map, by R.J. Williams, Ottawa. 1892. source: City of Vancouver Archives Map 617

It was during this Victorian-era growth and investments in infrastructure that residential development really began in the streets around Queen's Park which would become a neighbourhood named after the park. Numerous late 1880s and early 1890s grand homes were built in the Queen's Park neighbourhood, establishing its reputation as a prestigious area located at a commanding distance from the industrial riverfront and busy downtown core. The subject house is directly linked to this development period.

The blocks in the vicinity of the subject house (marked in red) were already subdivided at this time as they were located on to the streetcar line which came from downtown along Columbia, Leopold, Royal, Park Row, up 1st Street, 3rd Avenue, Pine Street, 4th Avenue and then out along 6th Street. Another high-end residence surviving on this block of First Street is that of Mayor Keary (72 First Street - 1902).

The developers of the subject property were newlyweds Edward M. N. Woods and Emily S. Dickinson. Woods was a lawyer, the son of Archdeacon Charles T. Woods, who came to British Columbia in 1860 to take charge of the collegiate schools of Victoria where Edward was born in 1862. As archdeacon of

BC, Woods was sent to New Westminster in 1868 where he served at St. Mary's Sapperton Parish until his death in 1895. Edward Woods passed the Bar in 1889 and set up practice as a barrister on McKenzie Street in 1890, the same year of his marriage and the construction of the subject house. His legal cases were regularly mentioned in the newspapers. The Woods were highly involved in the local community - Edward was politically involved in the Liberal party, played on the New Westminster Cricket Club and Emily served as a judge on various competitions at Queen's Park Royal City Fair and was an organist at Holy Trinity Cathedral. They were among the main donors for the construction of St. Mary's Hall in 1892. Together they were members of the Royal City Regatta Club where they won several sailing competitions. After 10 years at the subject house the Woods family relocated to Atlin, where Edward had invested in some mining claims and later settled in Vancouver where he reopened his legal practice in the Birks Building.



NATIVE SON PASSES AWAY

Edward M. N. Woods, Well-Known Vancouver Barrister, Dies

Edward M. N. Woods, well-known barrister, died in Victoria at the Jubilee hospital there on Sunday morning at 3:30 o'clock. The late Mr. Woods had been in failing health since the middle of last October when he first went to Kamloops and then afterwards to Victoria. He was born in Victoria 58 years ago of Irish parentage, his father being the late Archdeacon C. E. Woods of New Westminster.

For about twelve years Mr. Woods practiced law in Vancouver. He was educated in Ireland. One sister, Mrs. Amy Bentley, resides at Agassiz, while another sister, Sarah, is in the sisterhood in England. A brother, Rev. Father Henry Woods, is living at Los Gatas, California. His wife, who survives him, is at present in Victoria where the funeral will take place. Mr. Woods made his home in this city at the Gilford Court.

E.M.N. Woods death announcement in the Vancouver Sun newspaper, Nov 24, 1919. source: newspapers.com

After the devastating fire of 1898, which burned down much of downtown New Westminster between Tenth and Fourth Streets, another 12-year growth spurt commenced in the city. Specific improvements to Queen's Park were sparked by the 1905 Canadian National Exhibition held in the park, for which new exhibition buildings were constructed. Paving and concrete sidewalks introduced to the neighbourhood in 1906 and by 1913 the number of homes in Queen's Park had doubled.

The population of the city grew over the decades putting pressure on single-family dwellings in the downtown area. After World War II, a city-wide housing shortage brought expansion to new neighbourhoods, but also sparked the replacement of most downtown houses with low-rise apartment buildings in the 1950s. In the case of the subject property, mid-century development was introduced as an addition to the house in 1958 and a layer of stucco was applied to both buildings to join them aesthetically. Low-rise mid-century apartment buildings dominate the streetscape character of this eastern part of the downtown neighbourhood today, leaving early single-family dwellings as rare, often isolated scenario. The few surviving single-family homes on Royal Avenue have needed to adapt to the high-traffic, noisy context of what is now a major inter-city arterial and have responded by planting tall, dense hedges and using rear entrances. The subject block is unique in that is has several single-family homes surviving on it.

Research Findings

Civic address: 82 First Street, New Westminster BC (Originally St. Anne's Street/Park Lane)

Legal description: LOT C, BLOCK 32, PLAN NWP12722 GROUP 1

Date of construction: 1890 (New Westminster CityViews permit database)

Builder: W. D. Purdy (New Westminster Heritage Inventory for Albert Crescent)

Architects: Maclure & Clow (Daily Columbian newspaper, Dec 31 1890, pg 4)

Original owners and residents: Edward Montague Nelson Woods & Emily Sophia Dickinson

Residents at 82 First Street

1891 - 1899 - Edward Montague Nelson Woods (Barrister) & Emily Sophia Dickinson
1900 - 1906 - Robert Huntley Gordon (insurance Agent)
1908 - 1950 - Cliff J. W. (postmaster) & Jessie Duncan Lord
1951 - 1990 - George A. (Welder at Marathon Machinery) & Sylvia Levers*

*The Levers built the 1958 rental addition.

Archival Photographs

Barrister E.M.N. Woods House ca. 1970.

source: NWPL 723

82 First Street ca. 1982

source: NWMA IHP IHP14337

Current Photographs

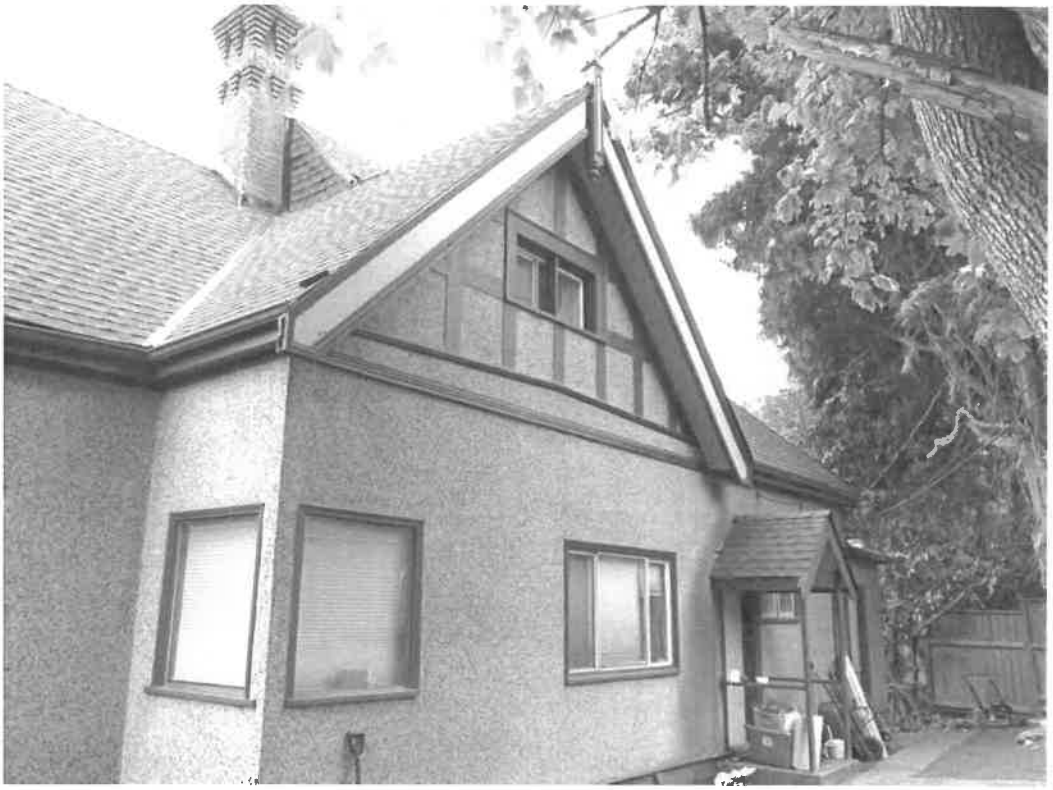
southeast corner view

front (east) view

northwest corner view

rear (west) view

northeast corner view



side (north) view

Conservation Objectives

Restoration is the overall conservation objective for the historic house.
Rehabilitation is the conservation objective for the property.

As the immediate context of the property has dramatically changed from a quiet, prestigious residential corner to a noisy, high-traffic arterial, the the subject house will be relocated to a more pedestrian-focused, quiet section of the block- to benefit the quality of life in the house and allow its restoration efforts to be intimately seen and appreciated. The historic house will be relocated from its corner location on First Street and Royal Avenue, and repositioned approximately 65 feet south on the same street, linking the old house with a grouping of early homes at the southern half of the block. This will also allow for a new L-shaped apartment complex to be constructed at the corner, creating an interior pedestrian-friendly plaza shielded from Royal Avenue. The subject building will retain its residential use, but be restored to a single-family massing and appearance with the removal of the 1958 addition. The proposed development does not negatively impact the exterior design of the historic house, nor significantly affect the property's Character Defining Elements and Heritage Values.

Preservation: *The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.*
Restoration: *The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*
Rehabilitation: *The action or process of making possible a continuing or compatible contemporary use of an historic place or of an individual component, through repair, alterations, and/or additions, while protecting its heritage value*[1].

Rendering of the proposed development showing the historic house in its new, adjusted location (circled) and the new apartment complex.

source: Iredale Architecture

[1] definitions from the Standards & Guidelines for the Conservation of Historic Places in Canada (2nd edition)

Condition Assessment

Overall the building is in ***good*** condition.

a. Structure

The exterior building lines are true to the eye, there is no visual evidence of structural distortion or obvious failures.

b. General Wood Elements

Exterior wood elements - window and door trim boards, tongue & groove soffits and gable finials are all in good condition. Facia boards, half timbering in gables and front porch railing cap are in fair condition as they appear to have lacked paint maintenance. There is no evidence of wood rot, damage or missing parts in any of the above mentioned elements.

The condition of the original wood cladding and other wood elements such as brackets or additional trim boards underneath the stucco, is unknown at this time.

1 window trim

2 soffit

3 gable finial

4 facia board

5 half timbering

6 railing cap

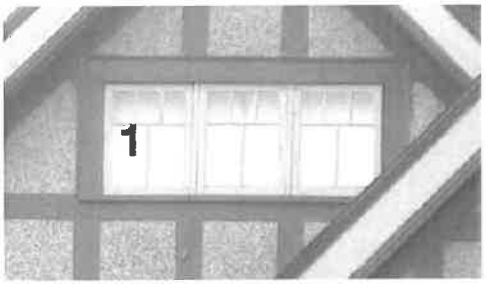
c. Roofing and waterworks

The asphalt shingle roof and aluminum gutters are in excellent condition and appear to have been installed within the last 5-10 years.

d. Windows and Doors

The 1890 portion of the building retains many original window and door openings as well as some original window sashes. The condition of the surviving windows and doors is good. See details below:

facade (east elevation)



1 gable triple-assembly window

2 & 3 front door leaded side lights

4 panelled front door

side (north elevation)

5 staircase leaded triple assembly with art glass transom

6 gable window opening, missing original sash

7 original side door opening, missing original door

rear (west elevation)

8 dormer double assembly windows

side (south elevation)

9 dormer double assembly windows. One sash is missing where an air conditioning unit was installed.

All original window sashes and doors require further assessment but in general are in good, repairable condition.

e. Finishes

The painted finish on the wood elements is in fair condition.

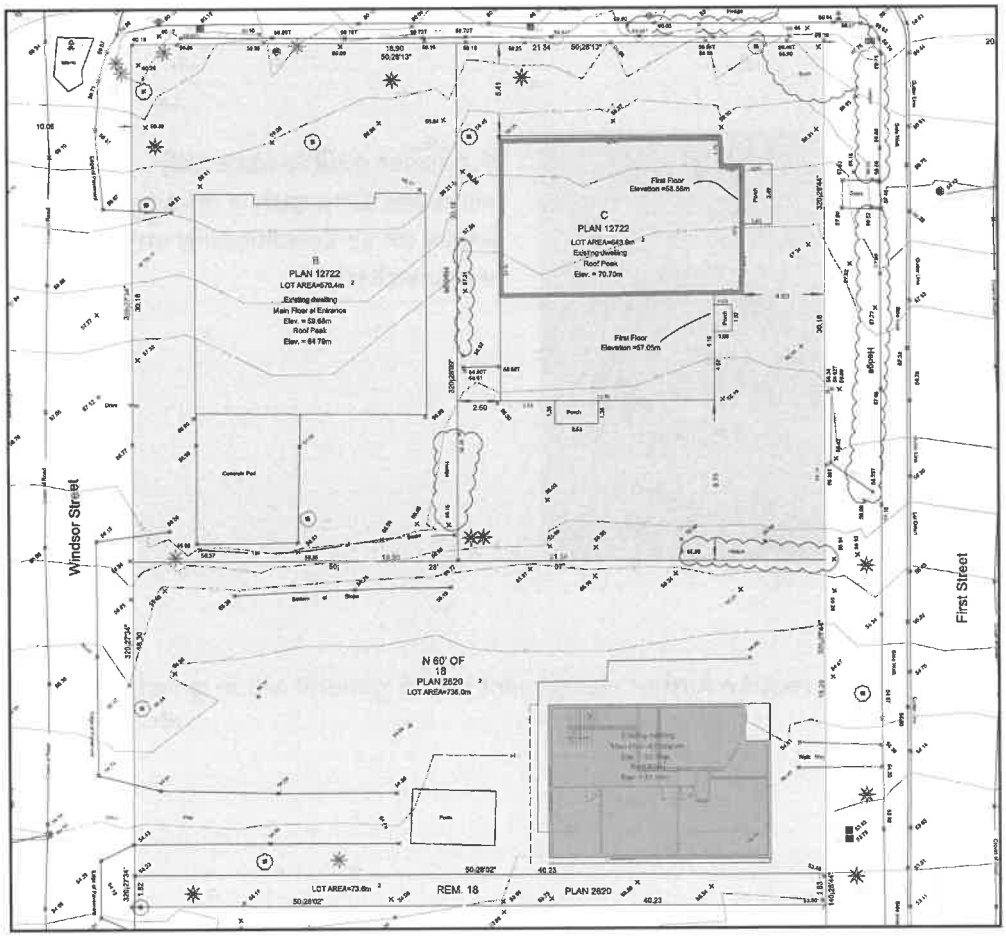
Recommended Conservation Procedures

a. Structure and site - Restoration and *Rehabilitation:*

Restore the historic house building structure in its new location, while introducing a new ground-level unit, thus converting the building into a two-family dwelling. Improve the functionality and liveability of the historic house through internal and mechanical alterations, not visible on the exterior. Remove 1958 additions - back porch and flat-roofed attachment to the south.

Rehabilitate the historic property by introducing a new multi-family development to significantly increase density at this site.

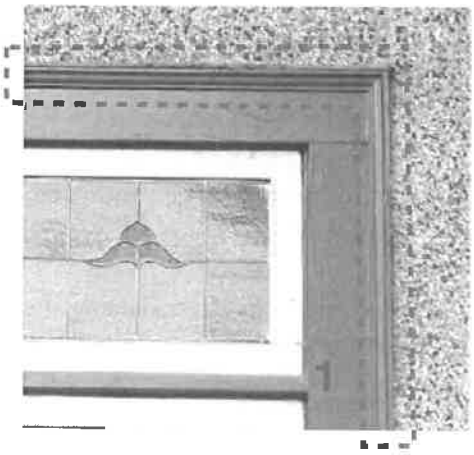
The below site plan shows the historic house in its current (red outline) and proposed (solid purple) locations:



source for site plan: Iredale Architecture

b. General Wood Elements - *Preservation and Restoration:*

Preserve the following visible, original exterior wood elements:



1 window trim - The original 5.5" window and door casings survive on the building around many original openings such as in the photographs below, however an additional back band moulding was added (outlined in red in photo - right), likely at the time the stucco was applied in 1958. This additional moulding should be removed where present.

2 soffits, 3 gable finials, 4 facia boards, 5 half timbering 6 railing caps.

Repair any of the above wood elements with a thorough paint preparation (sanding down to sound paint layer, caulking and priming).

Only replace (in-kind) any individual element or portion of element that is identified as damaged beyond repair - with like species, dimensions and profiles of wood. At this time no visible wood elements are observed to be damaged beyond repair.

At this time, we have no confirmed knowledge of the condition or design of the non-visible wood elements on the subject building - especially the cladding, the front porch columns and brackets and any trim boards that have all been covered in stucco.

The following restoration assumptions are based on two other Maclure & Clow houses of the same era and neighbourhood - the Hill Residence (400 block of Fourth St., now demolished) and the English Residence (survives at 119 Royal Avenue). The subject house scale is more in line with the Hill Residence, pictured below in an archival photograph, and for this reason the cladding, column and porch elements recommended here are similar to those of the 1891 Maclure & Clow designed Hill Residence.

When more invasive investigation of the elements below the stucco layer are possible, this plan can be amended if necessary to reflect the original wood elements and their condition.

"Idlewild," home of A.J. Hill photographed ca. 1905. source: New Westminster Museum & Archives IHP0058

Restore the following non-visible, original exterior wood elements:

1 gable boards - currently stuccoed, originally wood boards

2 altered window & door trim - where window openings were altered, the trim size was changed. Restore all window and door trim on historic house to original 1890 dimension as per front door and sidelights trim.

3 front porch columns - currently stuccoed, originally wood posts, likely turned.

4 porch brackets - currently stuccoed, originally wood brackets, likely ornamental cut outs like the image on the right.

5 cladding - currently stuccoed, originally wood. Likely 1890s drop siding, as per other Maclure & Clow houses of the same era.

6 trim boards - currently stuccoed, originally wood. Likely a 10" trim board below gable, a 10" after table at main floor and a 5.5" trim board capping the porch entry.

The below crop from the proposed elevation drawings illustrates some of the restored wood elements on the facade elevation:

source for elevation drawing:
CityState Consulting Group Ltd.

1 gable boards restored to wood
2 stucco removed and wood cladding repaired
3 window trim restored to historic dimensions and materials
4 window sash restored to historic dimensions and materials
5 turned wood columns exposed and restored

c. Roof and Rainwater Works - *Restoration:*

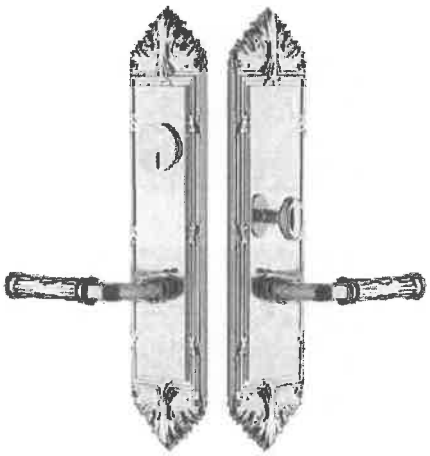
Restore roof to a traditional cedar shake roof installed in standard coursing.

Install new "Colonial" K-style gutters and 2"x2" square downspouts - in Edwardian Pewter VC-23. Do not install downspouts facing the street.

d. Windows and Doors - *Restoration:*

Systematically and thoroughly repair all the original wood windows as identified on pages 14-15 with the aid of a specialized wood window carpenter. Wood windows need to be individually assessed for putty and glass repair, and for hardware integrity and operability. All windows need thorough paint preparation and repainting.

Restore original front door by stripping it of paint, filling in mail slot and restoring a lacquered, high-gloss finish. Restore the door hardware to a Victorian style entry set such as the (right) pictured Fenwick set by Baldwin Hardware, either in bronze or black. Rehang and discreetly weather strip.



Replace non-original window sashes and window openings with vertically oriented replica wood casement windows, as per proposed elevation drawings (see pages 23 to 26). Restore trim around these 'new' window openings as per original trim size (5.5") and style (square).

Restore back door on north elevation to a Victorian style back door with an upper-glazed portion such as the below photo pf an 1890 salvaged door.

New basement level

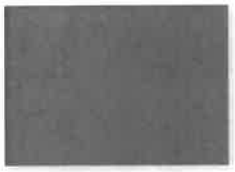
This proposed addition to the historic house will be subtle and discreet in its siting behind landscaping (planted and constructed) so that the historic portion of the house is the most visible portion of the building from the street. The finishes on this level will be contemporary (concrete finish) and the window and door openings will mimic the historic ones in size but the trim detail will be slimmer. The basement addition will thus be compatible with, subordinate to and distinguishable from the historic place, as required in the Conservation Standards & Guidelines for additions. See illustration of this level on the proposed elevation drawings on pages 23 to 26.

g. Finishes - *Restoration:*

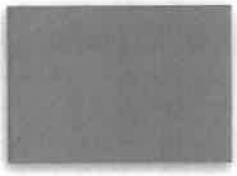
The current colour scheme is dominated by the 1958 bottle-dash stucco and texture which is in contrast to the dark, glossy and smooth painted finish an 1890s house would have featured.

The below proposed colour scheme is based on spot-scraping of original trim elements which revealed an almost black, dark green original paint layer. Inspired by the sepia archival photograph of the Hill Residence on page 18 and in line with 'drab' Victorian exterior colour schemes, the cladding too is proposed to be a deep, dark colour. The contrasting elements will be the light buff colour of the gable stucco and the window sashes, as per the same treatments on the Hill Residence.

Colour Scheme - all Benjamin Moore colours

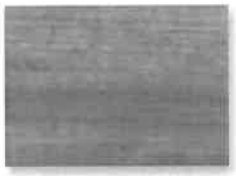


all trim boards including window and door trim, facia, brackets, columns and finials
Salamander 2050-10 (matched to original paint colour found on building)
semi-gloss finish



body wood siding
Edwardian Pewter VC-23
low luster finish

gable stucco and window sash
Edwardian Buff VC-6
window sash in high gloss finish



front door
clear lacquer/stain

new construction body and trim
concrete (or)
concrete colour

Proposed Elevations

East elevation (front):

source for elevation render: CityState Consulting Group Ltd.

West elevation (rear)

source for elevation drawing: CityState Consulting Group Ltd.

South elevation (side)

source for elevation drawing: CityState Consulting Group Ltd.

North elevation (side)

source for elevation drawing: CityState Consulting Group Ltd.

Future Changes

Changes to the building configuration, especially additions, should be carefully considered for minimal affect on the **Heritage Values** as embodied in the **Character-Defining Elements** (CDE) listed in the **Statement of Significance**.

Research Resources

Ancestry.ca - historic genealogical documents for Woods, Dickinson and Lord and families

BC and National Archives
Indexes to births (1854-1903), marriages (1872-1938), deaths (1872-1993), colonial marriages (1859-1872) and baptisms (1836-1888). Archival photographs. Government of Canada Censuses for BC

City of New Westminster
Building permit records - CityViews database, City of New Westminster. Barman, Burton & Cook. 2009. Queen's Park Historical Context Statement prepared for the City of New Westminster.

New Westminster Archives
Archival photographs

New Westminster Public Library
Historic directories, Fire insurance maps, Municipal Voters Lists
Columbian Daily newspaper - 1880s-1890s

Freund-Hainsworth, Katherine & Hainsworth, Gavin. 2005. A New Westminster Album: Glimpses of the City As It Was. Dundurn. pages 46-47

Gottfried, Herbert & Jennings, Jan. 1985. American Vernacular Building and Interiors 1870-1960. Norton & Co. New York.

Hayes, Derek. 2005. Historical Atlas of Vancouver and the Lower Fraser Valley. Douglas & McIntyre.

Roy, Patricia E. 1989. A White Man's Province: BC Politicians and Chinese and Japanese Immigrants 1858-1914. UBC Press. pages 111-112

Vancouver Daily World Newspaper. various archival editions 1888-1924

Vancouver Archives and Vancouver Public Library - archival photographs

Wolf, Jim. 2005. Royal City: A Photographic History of New Westminster. Heritage House.

APPENDIX 3

CONFIRMATION OF COMMITMENT BY REGISTERED PROFESSIONAL

Date: _____

City of New Westminster
511 Royal Avenue
New Westminster, BC
V3L 1H9
Attention: Director of Climate Action, Planning and Development

Re: Heritage Revitalization Agreement for 108-118 Royal Avenue and 74-82 First Street

The undersigned hereby undertakes to be responsible for field reviews of the construction carried out at the captioned address for compliance with the requirements of Appendix 2 (Conservation Plan) of the Heritage Revitalization Agreement applicable to the property, which the undersigned acknowledges having received and reviewed, and undertakes to notify the City of New Westminster in writing within one business day if the undersigned's contract for field review is terminated at any time during construction. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

_____
Registered Professional's Name

_____
Address

_____
Telephone No.

Signature or Seal

APPENDIX 4

CERTIFICATION OF REGISTERED PROFESSIONAL

Date: _____

City of New Westminster
511 Royal Avenue
New Westminster, BC
V3L 1H9
Attention: Director of Climate Action, Planning and Development

Re: Heritage Revitalization Agreement for 108-118 Royal Avenue and 74-82 First Street

I hereby give assurance that I have fulfilled my obligations for field review as indicated in my letter to the City of New Westminster dated _____ in relation to the captioned property, and that the architectural components of the work comply in all material respects with the requirements of Appendix 2 (Conservation Plan) of the Heritage Revitalization Agreement referred to in that letter. This letter is not being provided in connection with Part 2 of the British Columbia Building Code, but in connection only with the requirements of the Heritage Revitalization Agreement.

_____
Registered Professional's Name

_____
Address

_____
Telephone No. Signature or Seal

APPENDIX 5

APPROVED PLANS

First+Royal

74 - 82 First Street & 108 - 118 Royal Avenue, New Westminster, BC

Client

REDIC DEVELOPMENTS

TPL DEVELOPMENTS WINDSOR INC.

No	Date	Revision
07	Jan 26 2022	Re-issued for DP & Rezoning
06	Sept 28 2021	Re-issued for DP & Rezoning
05	July 19 2021	Re-issued for DP & Rezoning
04	Feb 05 2021	Re-issued for DP & Rezoning
03	May 21 2020	Re-issued for DP & Rezoning
02	Oct 22 2019	Re-issued for DP & Rezoning
01	Jan 30 2019	Issued for Rezoning

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REGISTERED ARCHITECT BRITISH COLUMBIA

2023-05-16

Consultant

TITLE
First+Royal

ADDRESS
**74 - 82 FIRST STREET &
108 - 118 ROYAL AVENUE
NEW WESTMINSTER
DOWNTOWN NW V3L 1H2**

Drawing Title

COVER SHEET

Scale

Drawn	Checked	Partner
PJH		PJH

Project No. **16077**

Issued No. | Sheet No.

Date 16 MARCH 2022

I:\RESOURCES\Templates-Drawings\TITLEBLOCKS\SMP-36 X 24.dwg

PROPOSED RESIDENTIAL DEVELOPMENT - DP / REZONING SUBMISSION. The Royals

108, 112, 114 and 118 Royal Ave. & 74, 82 First Street

Legal Address: Lots 13, 14 AND 15 PLan 2620, All of Block 32, New Wesminster Townsite Group 1 NWD

ZONING:

Designation	**Proposed**
Existing Zoning	Single Detached/RS-2
Porposed Zoning	CD - Multi-Family
Use	Residential Apartment Complex (Six Storeys)
Accessory Use	Residential parking, bike storage and storage room
Site Area	51,866 SF (4,800 m2)
Site Area after 30' Park Dedication	47,912 SF (4,451 m2)
Gross Residential Floor Area (GRFA)	157,846 SF (14,664 m2)
Floor Space Ratio FSR: Based on New Site Area	3.29 (Calculated on newly reduced site area)
Building Coverage (Over parking podium)	30,892 SF (1,199 m2) = 64.5 %
Site Coverage	35,247 SF (3,274 m2) = 73.5 %
Building Height from average grade	76'-6" (23.32 m)
Setback - To Main Building Face	North Property Line = 13'-0" (3.96 m)
	East Property Line = 13'-10' 3/4" Apartment (4.22 m)
	= 10'-4 5/8" Heritage House (3.17 m)
	South Property Line = 7'-7 5/8" Townhouses (2.33 m)
	(Along Cunningham) = 11'-4 7/8" Podium (3.48 m)
	South Property Line = 7'-7 5/8" Townhouses (2.33 m)
	= 11'-4 7/8" Podium (3.48 m)
	= 17'-9 3/4" Apartments at podium(3.48 m)
	West Property Line = 40'-0" Includes a 30' dedication (12.19 m)
	Note: Architectural features project into setbacks
Accessible Housing Units (40% required)	Required: of 189 Units = 76 Provided: 76

DRAWING LIST:

A0.00	Information Sheet
A0.01	Survey
A0.02	Area Diagrams-01
A0.03	Area Diagrams-02
A1.00	Plan - Level P3 & P2
A1.01	Plan - Level P1 & 01
A1.02	Plan - Level 02 & 03
A1.03	Plan - Level 04 & 05
A1.04	Plan - Level 06 & Roof
A2.01	Elevations
A2.02	Elevations
A3.01	Sections
A3.02	Sections
A4.01	Renderings
A4.02	Renderings
A5.01	Shadow Studies

Heritage House Drawings by Citystate - 7 Pages

Building Access provisions, adaptable dwelling unit doorways, adaptable dwelling unit bathrooms and kitchens have been designed in accordance with Section 3.8.5. Adaptable Dwelling Units in the latest edition of the BCBC. Outlets, switches and controls will be provided in accordance with these code requirements as well. Transparent red rectangles representing the required clearances infront and next to fixtures and inswinging doors have been provided in the plans for all accessible units.

RESPONSE TO ARCHITECTURAL GUIDELINES:

4.2 LIVABLE DENSITY

The concept is driven by the Incorporation of the existing heritage dwelling which is being relocated to the southern end of the site adjacent the other single-family character homes down First Street. The new building wraps around the house providing sufficient breathing room along one side for a generous outdoor patio and garden space for the heritage unit. The building's location on the northern end of the block and against the wide corridor of Royal Avenue prevents it from casting shadows over neighbouring residential spaces. The development provides a mix of one, two and three-bedroom family units along with some townhouses at grade. A 30' Multi-Use Pathway has been designated along the western edge of the property along with a pedestrian path connecting First Street to Cunningham. A common roof-top amenity space houses a community garden and a children's play area affording spectacular views to the south.

4.3 STREET RELATIONSHIP

The building presents a strong presence along Royal Avenue as this is a predominantly car-oriented street. The patio spaces and landscaping for the ground-oriented units help provide some softening at street level and privacy for the residents. To help mitigate the presence of the parkade walls, extensive landscaping treatment has been provided along First Street with stepped retaining walls, planters and public garden amenity. The upper two floors are set back to help reduce the mass of the building and utilize a different cladding material to further accentuate this change in plane.

4.4 COMFORTABLE AND ANIMATED PUBLIC REALM

Other than the small parkade entrance on Cunningham, the entire perimeter of the development is engaged with the public realm and lined with residential units and their patios. A 30' greenway dedication is provided along the west side to allow for the creation of a pedestrian and cycling path connecting Royal and Cunningham. The apartments are set back an additional 10' so as not to crowd this park space. A water feature at the building's main entrance on Cunningham provides an animated space at the south end of the green space with strong visual interest.

4.5 MANAGE PARKING, LOADING AND BLANK SIDEWALLS

The parking entrance is located at the Intersection of Cunningham and Windor Streets. Once inside the property, the loading bay is located adjacent the entrance to the parkade. Planter walls have been limited to roughly 2'-0" in height to mitigate unnecessary blank walls

4.6 CHARACTER

The building strives to present an understated elegance, paying homage to some of the traditional brick-clad structures in the downtown precincts. It's form language is restrained and simple, allowing the recessed decks to punctuate and add rhythm to the facade. The materials and colours are meant to be clean, durable and timeless without fanfare or extroversion. The building relies on a few simple gestures to create visual interest and avoid mundane repetition.

4.7 CONTEXTUAL RESPONSE

Focussing the building's mass towards Royal Avenue and then opening it up towards the low-scale residential buildings further down First Street helps mitigate the change in scale. The heritage house has been strategically placed to assist in this transition and help maintain the street character. As mentioned previously, the new building's form language has been kept simple and clean so as not to dominate the retained heritage house. The colours and materials have been chosen to compliment the house and provide and relaxed backdrop.

4.8 SAFETY

The building is oriented towards public frontages with the main entrance access for Royal East off the corner of Royal Avenue and First Street, the most visible part of the development, and the entrance to Royal West from Cunningham Street adjacent the newly created MUP.

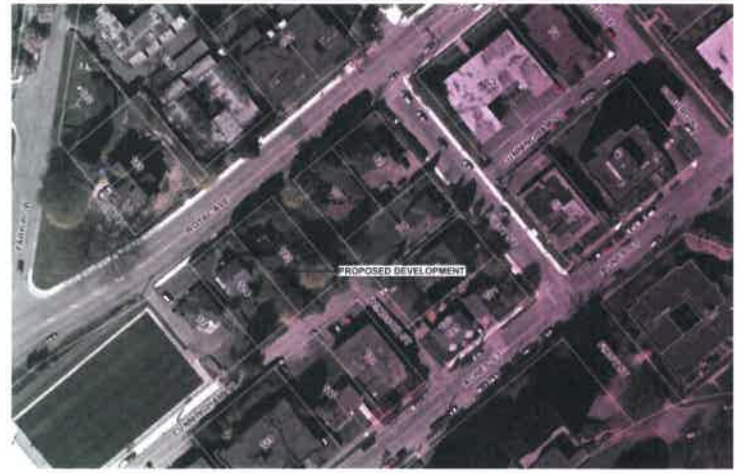
ACCESSIBLE HOUSING UNITS

Required (40% of 189 Units = 76), 76 Provided

Building Access provisions, adaptable dwelling unit doorways, adaptable dwelling unit bathrooms and kitchens have been designed in accordance with Section 3.8.5. Adaptable Dwelling Units in the latest edition of the BCBC. Outlets, switches and controls will be provided in accordance with these code requirements as well. Transparent red rectangles representing the required clearances in front and next to fixtures and inswinging doors have been provided in the plans for all accessible units.

ACCESSIBLE HOUSING UNIT FEATURES

- o Covered main entrances to building with doors that are power-operated, functioning for passage in both directions,
- o 5'-0" wide common corridors,
- o Enlarged areas within suites at suite entry doors,
- o Accessible entry to at least one bedroom and one bathroom,
- o Bathrooms are provided with blocking for future grab bars,
- o Clear dimension from the front edge of the toilet to the facing wall shall be a minimum of 800 mm,
- o Space from the front edge of the bathtub to the center of the toilet shall be a minimum of 508 mm (20"),
- o Clear floor area in front of the sink/lavatory shall be a minimum of 760 mm wide by 1220 mm deep centered on the sink/lavatory,
- o Kitchens to have continuous counter space between the stove and sink
- o Adaptable decks for use of the occupants of a dwelling unit



SITE CONTEXT PLAN

The Royals Statistics

Date: 22-01-26

Note: All areas taken to outside face of cladding

Royal East - Residential

Level	Net Salable	Amenity	Common	Gross Area
Level-P1	1,608	[illegible]	[illegible]	4,282
Level-P2	1,608			1,600
Level-01	10,019	180	[illegible]	12,018
Level-02	10,141	180	1,727	12,018
Level-03	10,141	155	1,717	12,018
Level-04	9,726	180	1,644	11,530
Level-05	9,122	180	[illegible]	10,822
Level-06	9,122	180	1,540	10,822
Heritage House	3,666			3,666
Total Royal East	[illegible]	2,225	[illegible]	[illegible]

Royal West - Residential

Level	Net Salable	Amenity	Common	Gross Area
Level-P1	2,164		154	2,318
Level-P2	2,742		[illegible]	3,234
Level-01	10,661	[illegible]	1,798	12,877
Level-02	11,360		1,517	12,877
Level-03	11,360		1,517	12,877
Level-04	11,360		1,517	12,877
Level-05	9,585		1,420	11,005
Level-06	9,585		1,420	11,005
Total Royal West	68,817	418	[illegible]	79,070

Royal - Both Sides

Level	Net Salable	Amenity	Common	Gross Area
Level-P1	[illegible]	[illegible]	[illegible]	[illegible]
Level-P2	4,350		[illegible]	4,834
Level-01	20,680	588	[illegible]	24,895
Level-02	21,501	160	[illegible]	24,895
Level-03	21,501	155	[illegible]	24,895
Level-04	21,086	160	[illegible]	24,407
Level-05	18,707	160	[illegible]	21,827
Level-06	18,707	160	[illegible]	21,827
Heritage House	3,666			3,666
TOTAL AREAS	133,970	[illegible]	[illegible]	157,846

Unit Type - Both Sides	# of Units	Percent of Total
1 BR Unit	65	34.39%
1 BR&Den	38	20.11%
2 BR Unit	59	31.22%
3 BR Unit	18	9.52%
2 BR Heritage House	1	0.53%
3 BR Heritage House	1	0.53%
1 BR TH	1	0.53%
3 BR TH	6	3.17%
TOTAL	189	100.00%

Parking Spaces Required - Royal East

Unit Type	# of Units	Factor	Spaces Req'd
1 BR Unit	37	1	37.00
1 BR&Den	22	1	22.00
2 BR Unit	20	1.35	27.00
3 BR Unit	8	1.35	10.80
2 BR Heritage House	1	1.35	1.35
3 BR Heritage House	1	1.35	1.35
1 BR TH	1	1	1.00
3 BR TH	2	1.35	2.70
0.1 Spaces / Unit for Visitor	92	0.1	9.10
Total Required Spaces - East			112

Parking Spaces Required - Royal West

Unit Type	# of Units	Factor	Spaces Req'd
1 BR Unit	28.00	1.00	28.00
1 BR&Den	16.00	1.00	16.00
2 BR Unit	39.00	1.35	52.65
2 BR&Den Unit	0.00	1.35	0.00
3 BR Unit	10.00	1.35	13.50
2 BR&Den TH	0.00	1.35	0.00
3 BR TH	4.00	1.35	5.40
0.1 Spaces / Unit for Visitor	97.00	0.10	9.70
Total Required Spaces - West			125

TOTAL SPACE REQUIRED - BOTH SIDES				237
Loading Bay (Shared)				1
TOTAL PARKING SPACE PROVIDED				253
	Regular	Small Cars	HC	Total
P1	57	24	0	81
P2	65	4	7	76
P3	70	24	2	96
	192	52	9	253

Bike Spaces Required

Long term Bike Spaces Required	1.25 x 189 Units	236
Bike Spaces Provided		236
Short Term Spaces Required and provided		12

Client

REDIC DEVELOPMENTS

TPL DEVELOPMENTS WINDSOR INC.

No	Date	Revision
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108 - 118 ROYAL AVENUE
NEW WESTMINSTER
DOWNTOWN NW V3L 1H2

Drawing Title
INFORMATION SHEET

Scale

Partner PJH

Project No 18077

Date 16 MARCH 2022 | Phase No. | Sheet No A0.00

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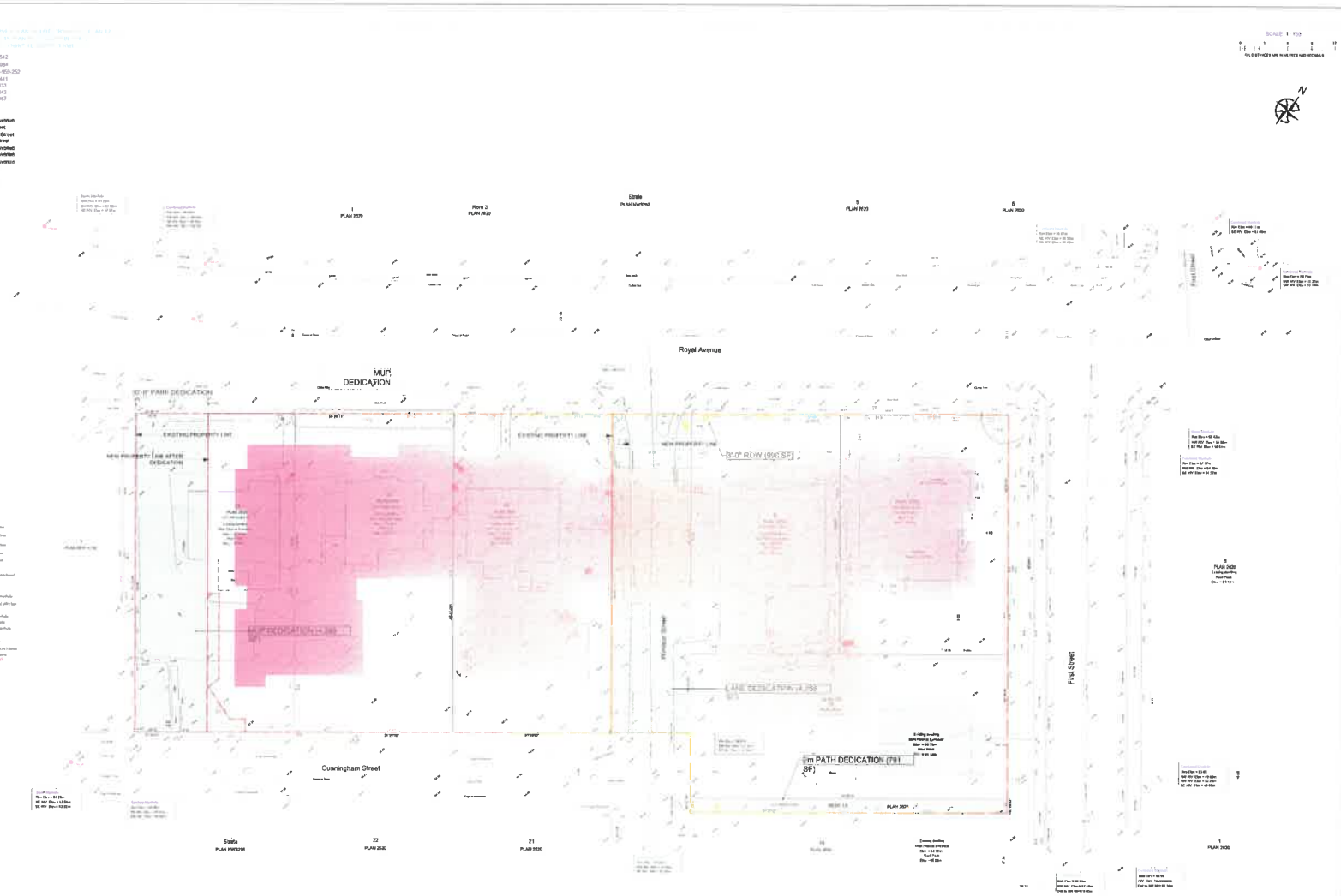

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Drawing Title

SURVEY

Scale

Drawn	Check	Partner
PJH		PJH

Project No. 18077

Date 16 MARCH 2022

Phase No. | Sheet No. A0.01

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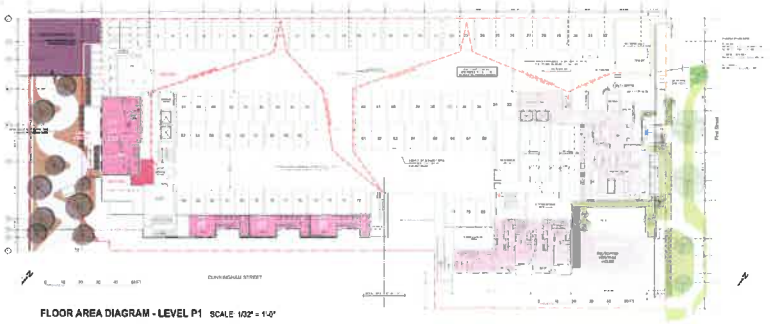
FLOOR AREA DIAGRAM - LEVEL P3 SCALE: 1/32" = 1'-0"

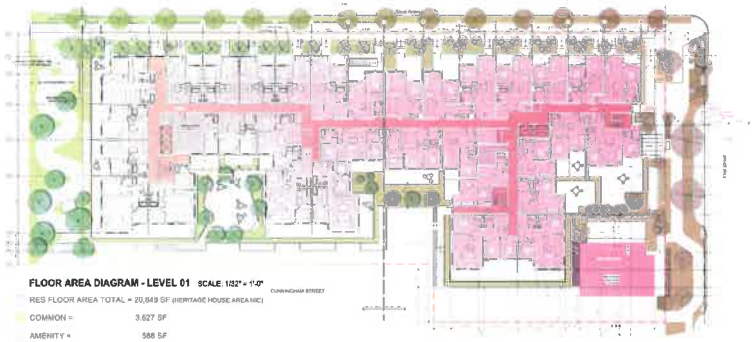
FLOOR AREA DIAGRAM - LEVEL P2 SCALE: 1/32" = 1'-0"

FLOOR AREA RESIDENTIAL =	4,350 SF (HERITAGE HOUSE AREA NIC)
CIRCULATION =	492 SF
TOTAL =	4,834 SF



FLOOR AREA DIAGRAM - LEVEL P1 SCALE: 1/32" = 1'-0"

FLOOR AREA RESIDENTIAL =	3,772 SF (HERITAGE HOUSE AREA NIC.)
CIRCULATION =	1,508 SF
AMENITY =	1,320 SF
TOTAL =	6,600 SF

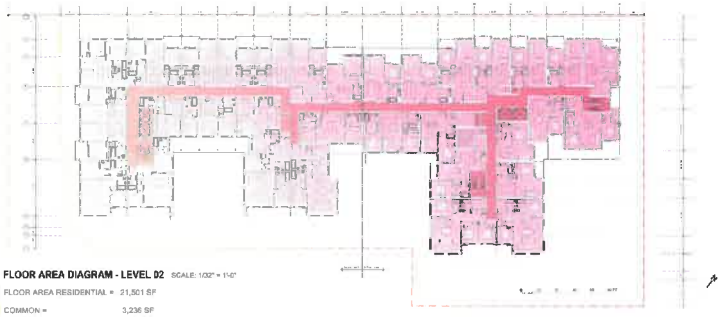


FLOOR AREA DIAGRAM - LEVEL 01 SCALE: 1/32" = 1'-0"

RES FLOOR AREA TOTAL = 20,849 SF (HERITAGE HOUSE AREA NIC)

COMMON =	3,627 SF
AMENITY =	588 SF
TOTAL AREA =	24,895 SF

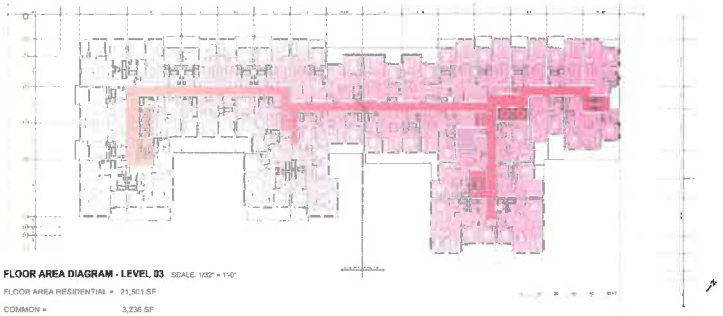
EFFICIENCY = 84%



FLOOR AREA DIAGRAM - LEVEL 02 SCALE: 1/32" = 1'-0"

FLOOR AREA RESIDENTIAL =	21,501 SF
COMMON =	3,236 SF
AMENITY =	160 SF
TOTAL =	24,895 SF

EFFICIENCY = 87%



FLOOR AREA DIAGRAM - LEVEL 03 SCALE: 1/32" = 1'-0"

FLOOR AREA RESIDENTIAL =	21,501 SF
COMMON =	3,236 SF
AMENITY =	160 SF
TOTAL =	24,895 SF

EFFICIENCY = 87%

Client

REDIC DEVELOPMENTS

TPL DEVELOPMENTS WINDSOR INC.

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NEW WESTMINSTER
DOWNTOWN NW V3L 1H2

Drawing Title
AREA DIAGRAMS

Scale

Drawn	Check	Partner
PJH		PJH

Project No. 18077

Date 16 MARCH 2022 | Phase No. | Sheet No. A0.09

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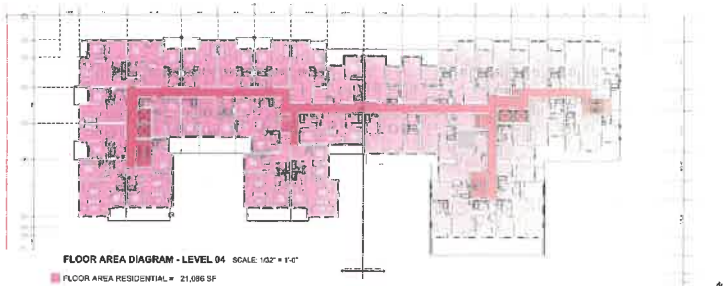
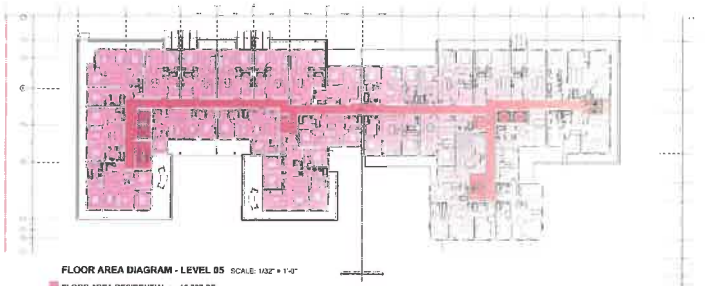


FLOOR AREA DIAGRAM - LEVEL 04 SCALE: 1/32" = 1'-0"

FLOOR AREA RESIDENTIAL =	21,086 SF
COMMON =	3,161 SF
AMENITY =	160 SF
TOTAL =	24,407 SF
EFFICIENCY = 89%	



FLOOR AREA DIAGRAM - LEVEL 05 SCALE: 1/32" = 1'-0"

FLOOR AREA RESIDENTIAL =	18,707 SF
COMMON =	2,703 SF
AMENITY =	160 SF
TOTAL =	21,827 SF
EFFICIENCY = 86%	

FLOOR AREA DIAGRAM - LEVEL 06 SCALE: 1/32" = 1'-0"

FLOOR AREA RESIDENTIAL =	18,707 SF
COMMON =	2,703 SF
AMENITY =	160 SF
TOTAL =	21,827 SF
EFFICIENCY = 86%	

Client

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Drawing Title
PLAN - LEVEL 02

Scale

Drawn: PJH	Check:	Partner: PJH
1/8" = 1'-0"		Project No. 18077
Date 16 MARCH 2022	Phase No.	Sheet No. A4.05

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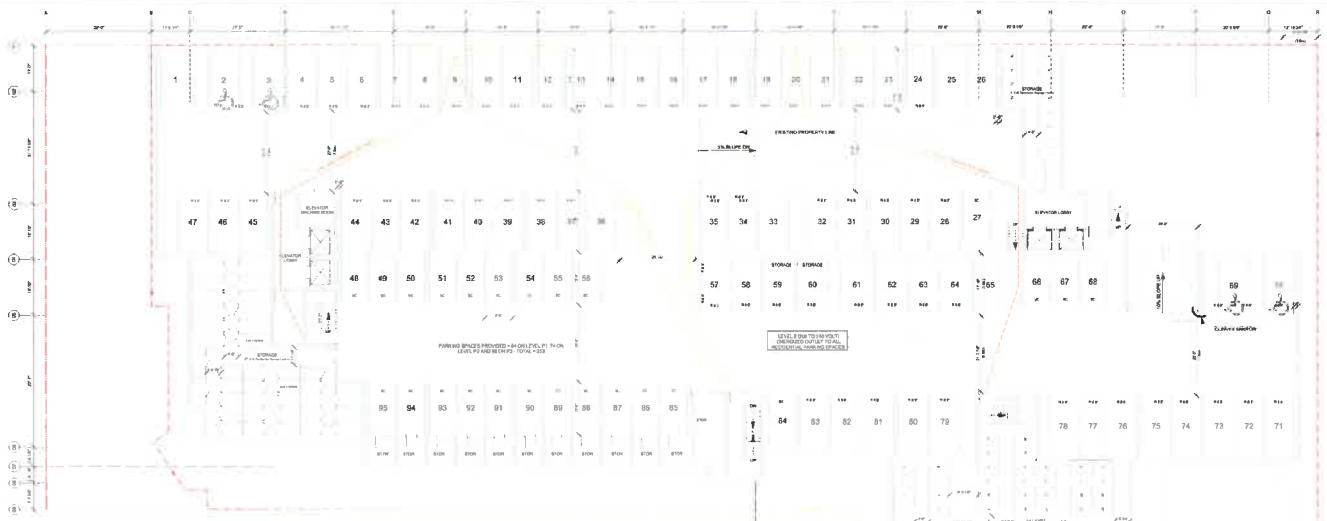
LEVEL P3



LEVEL P2

Client

REDIC DEVELOPMENTS

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07	Jan 28 2022	Re-Issued for DP & Rezoning
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DOWNTOWN NW V3L 1H2

Drawing Title

LEVEL P3 & P2
BOTH BUILDINGS

Scale

Drawn	Check	Partner
PJH		PJH

1/16" = 1'-0"

Project No: **18077**

Date: 18 MARCH 2022

Phase No | Sheet No: A1.08

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DOWNTOWN NW V3L 1H2

Drawing Title
LEVEL 01 (SITE PLAN) & P1 ROYAL EAST & WEST

Drawn PJH	Check	Partner PJH
1/16" = 1'-0"		Project No. 18077
Date 16 MARCH 2022	Phase No.	Sheet No. A-01.0

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Drawing Title
PLAN - LEVEL 02 & 03

Scale

Drawn	Checked	Partner
PJH		PJH

Scale	Project No
1/8" = 1'-0"	18077

Date	Phase No.	Sheet No.
16 MARCH 2022	A	A2.02

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UNIT LEGEND

- 1 BEDROOM UNIT
- 1 BEDROOM + DEN UNIT
- 2 BEDROOM UNIT
- 2 BEDROOM + DEN UNIT
- 3 BEDROOM UNIT

LEVEL 04

UNIT LEGEND

- 1 BEDROOM UNIT
- 1 BEDROOM + DEN UNIT
- 2 BEDROOM UNIT
- 2 BEDROOM + DEN UNIT
- 3 BEDROOM UNIT

LEVEL 05

Client

REDIC DEVELOPMENTS

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2022-01-16

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Drawing Title

PLAN - LEVEL 04 & 05

Scale

Drawn	Check	Partner
PJH		PJH

Scale	Project No.
1/8" = 1'-0"	18077

Date	Phase No.	Sheet No.
16 MARCH 2022		A4.05

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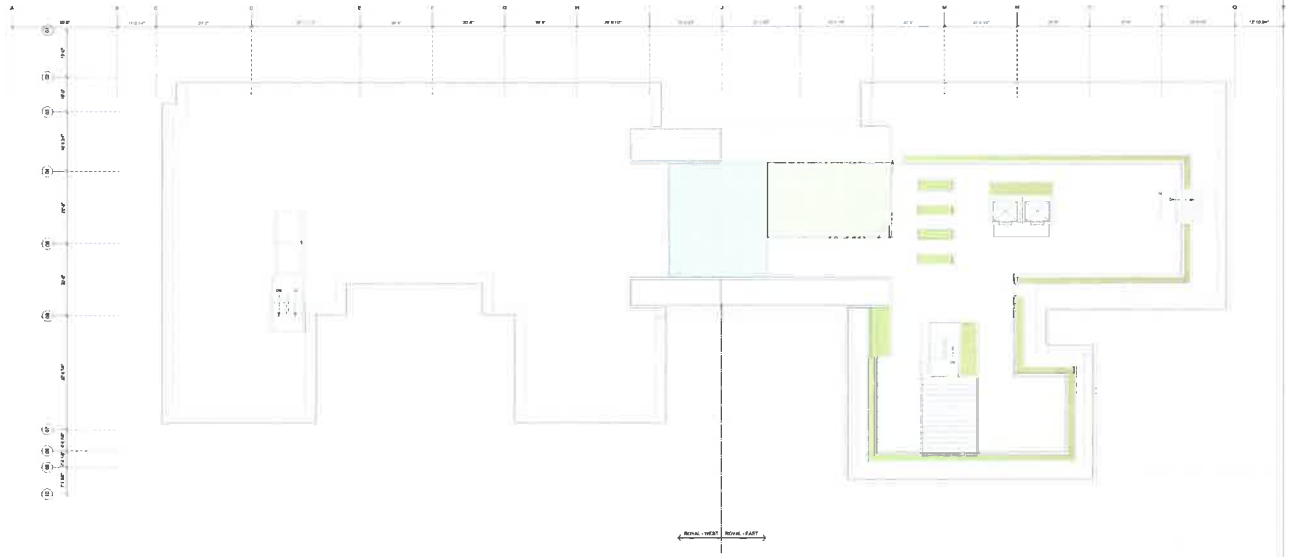
UNIT LEGEND

1 BEDROOM UNIT
1 BEDROOM + DEN UNIT
2 BEDROOM UNIT
2 BEDROOM + DEN UNIT
3 BEDROOM UNIT

LEVEL 06

LEVEL ROOF



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2019-05-16

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DOWNTOWN NW V3L 1H2

Drawing Title
PLAN - LEVEL 06 & ROOF

Scale

Drawn	Check	Partner
PJH		PJH

Scale	Project No.
1/8" = 1'-0"	18077

Date	Phase No.	Sheet No.
16 MARCH 2022		A-104

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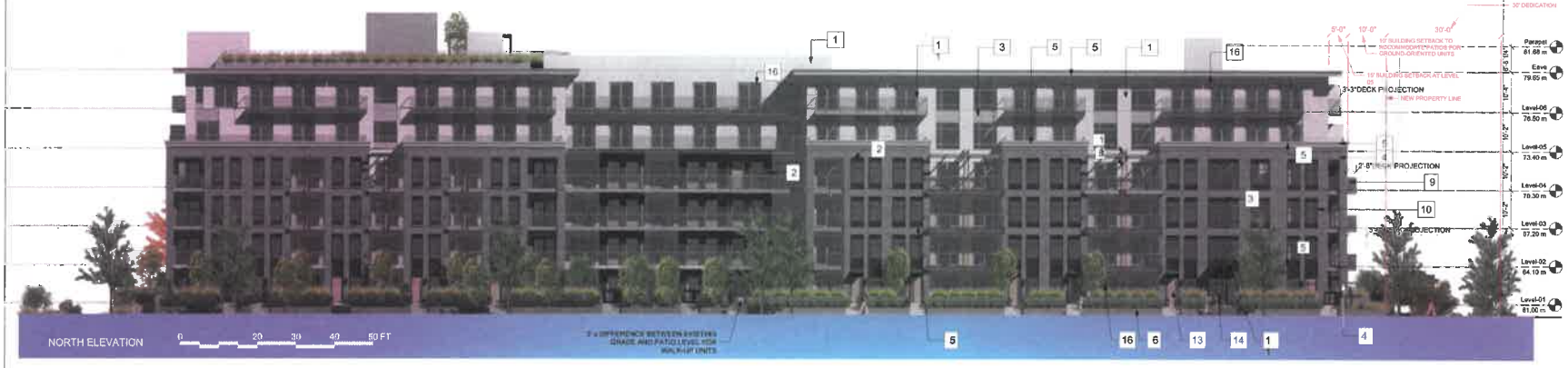
MATERIAL LEGEND



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REDIC DEVELOPMENTS

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DOWNTOWN NW V3L 1H2

Drawing Title

NORTH ELEVATION
SOUTH ELEVATION

Scale: SEE BAR SCALE

Drawn: PJH | Checked: | Partner: PJH

Project No. 18077

Date: 16 MARCH 2022 | Phase No. | Sheet No. A3.01

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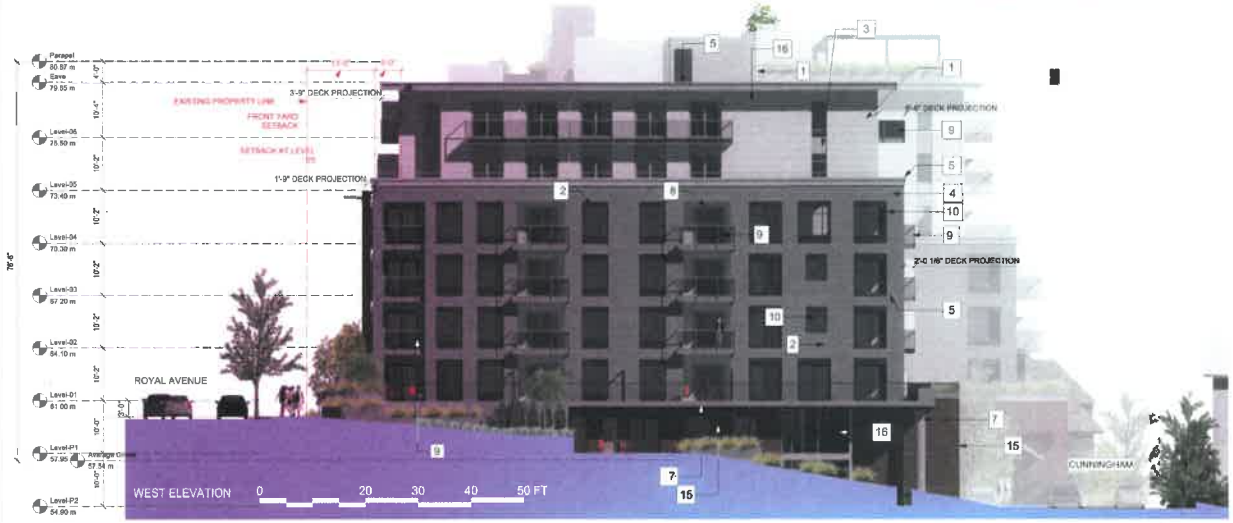
MATERIAL LEGEND



Client

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06	Sept 28 2021	Re-issued for DP & Rezoning
05	July 19 2021	Re-issued for DP & Rezoning
04	Feb 05 2021	Re-issued for DP & Rezoning
03	May 21 2020	Re-issued for DP & Rezoning
02	Oct 22 2019	Re-issued for DP & Rezoning
01	Jan 30 2019	Issued for Rezoning

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Consultant

TITLE
First+Royal

ADDRESS
74 - 82 FIRST STREET &
108 - 118 ROYAL AVENUE
NEW WESTMINSTER
DOWNTOWN NW V3L 1H2

Drawing Title

WEST ELEVATION
EAST ELEVATION

Drawn	Check	Father	
PJH		PJH	
3/32" = 1'-0"		Project No. 18077	
Date 16 MARCH 2022	Phase No.	Sheet No. A4.06	

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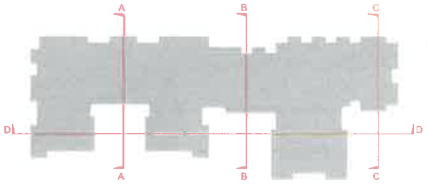
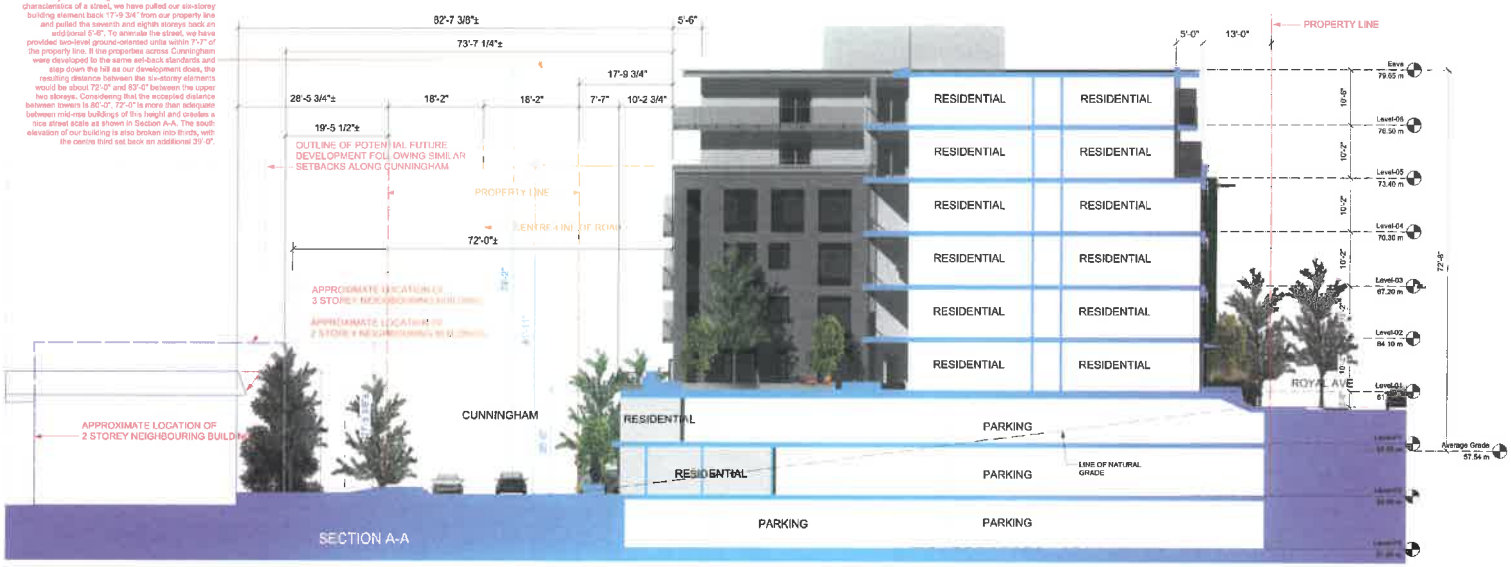


SECTION LEGEND

MATERIAL LEGEND

Design Rationale: A common setback for six to eight storey buildings is 12' - 15' from the property line of proper streets and 10' from the property line along laneways. As Cunningham is intended to take on the characteristics of a street, we have pulled our six-storey building element back 17'-9 3/4" from our property line and pulled the seventh and eighth storeys back an additional 5'-6". To animate the street, we have provided two-level ground-oriented units within 7'-7" of the property line. If the properties across Cunningham were developed to the same set-back standards and step down the hill as our development does, the resulting distance between the six-storey elements would be about 72'-0" and 63'-0" between the upper two storeys. Considering that the accepted distance between towers is 80'-0", 72'-0" is more than adequate between mid-rise buildings of this height and creates a nice street scale as shown in Section A-A. The south elevation of our building is also broken into thirds, with the centre third set back an additional 39'-9".



Client

REDIC DEVELOPMENTS

TPL DEVELOPMENTS WINDSOR INC.

No	Date	Revision
07	Jan 28 2022	Re-Issued for DP & Rezoning
06	Sept 28 2021	Re-Issued for DP & Rezoning
05	July 19 2021	Re-Issued for DP & Rezoning
04	Feb 05 2021	Re-Issued for DP & Rezoning
03	May 21 2020	Re-Issued for DP & Rezoning
02	Oct 22 2019	Re-Issued for DP & Rezoning
01	Jan 30 2019	Issued for Rezoning

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2021-03-19

Consultant

TITLE
First+Royal

ADDRESS
74 - 82 FIRST STREET &
108 - 118 ROYAL AVENUE
NEW WESTMINSTER
DOWNTOWN NW V3L 1H2

Drawing Title
SECTION

Drawn	Check	Planner
PJH		PJH

Scale	Project No.
3/32" = 1'-0"	18077

Date	Phase No.	Sheet No.
16 MARCH 2022		A2.06

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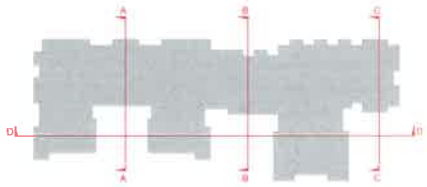
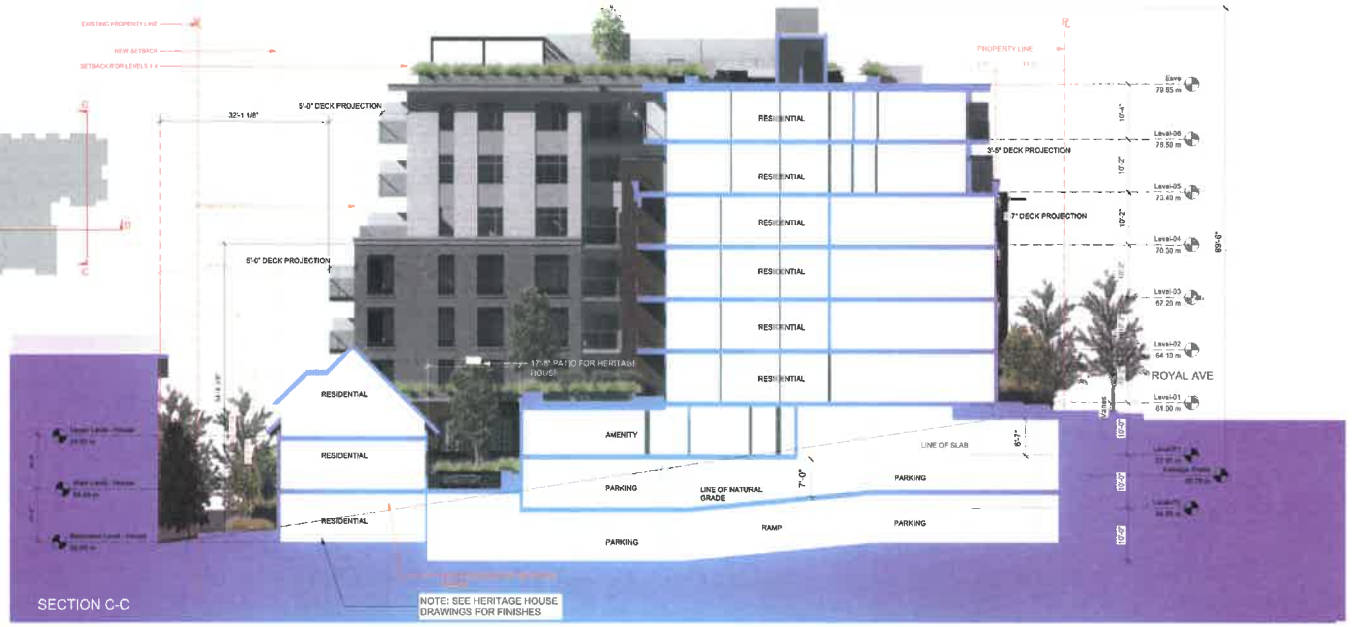
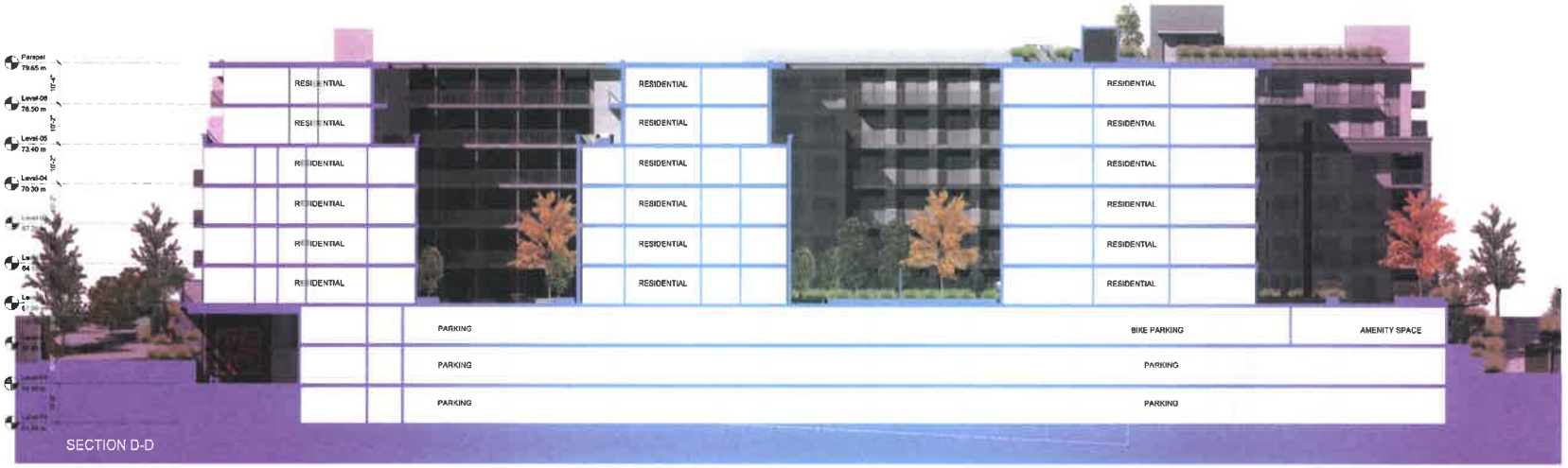


SECTION LEGEND



SECTION C-C

NOTE: SEE HERITAGE HOUSE DRAWINGS FOR FINISHES



SECTION D-D

Client

REDIC DEVELOPMENTS

TPL DEVELOPMENTS WINDSOR INC.

07	Jan 28 2022	Re-Issued for DP & Rezoning
06	Sept 28 2021	Re-Issued for DP & Rezoning
05	July 19 2021	Re-Issued for DP & Rezoning
04	Feb 05 2021	Re-Issued for DP & Rezoning
03	May 21 2020	Re-Issued for DP & Rezoning
02	Oct 23 2019	Re-Issued for DP & Rezoning
01	Jan 30 2018	Issued for Rezoning
No	Date	Revision

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Seal

REGISTERED ARCHITECT PROVINCE OF BRITISH COLUMBIA

Consultant

TITLE
First+Royal

ADDRESS
74 - 82 FIRST STREET &
108 - 116 ROYAL AVENUE
NEW WESTMINSTER
DOWNTOWN NW V3L 1M2

Drawing Title

SECTION

Scale

Drawn: PJH	Check	Partner: PJH
3/32" = 1'-0"		Project No: 18077
Date: 18 MARCH 2022	Phase No	Sheet No: A3.05

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View from First Street looking west

View from Royal Avenue looking south-west

Typical Town House entrance along Royal Ave

View from Windsor and Cunningham looking north-west

View from Cunningham looking north-east

Client

REDIC DEVELOPMENTS

TPL DEVELOPMENTS WINDSOR INC.

Rev	Date	Revision
07	Jan 26 2022	Re-Issued for DP & Rezoning
06	Sept 28 2021	Re-Issued for DP & Rezoning
05	July 19 2021	Re-Issued for DP & Rezoning
04	Feb 05 2021	Re-Issued for DP & Rezoning
03	Mar 31 2020	Re-Issued for DP & Rezoning
02	Oct 22 2019	Re-Issued for DP & Rezoning
01	Jan 30 2019	Issued for Rezoning

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REGISTERED ARCHITECT PROVINCE OF BRITISH COLUMBIA

2022-01-18

Consultant

TITLE

First+Royal

ADDRESS

74 - 82 FIRST STREET &
108 - 118 ROYAL AVENUE
NEW WESTMINSTER
DOWNTOWN NW V3L 1H2

Drawing Title

RENDERINGS

Scale

Drawn	Check	Partner
PJH		PJH

Scale	Drawing No
1/8" = 1'-0"	18077

Date	Phase No.	Sheet No.
16 MARCH 2022		A1.01

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View of parkade entrance at the intersection of Windsor and Cunningham

View from south east above

View of development from the south west

View of development from the north west

Client

REDIC DEVELOPMENTS

TPL DEVELOPMENTS WINDSOR INC.

No	Date	Revision
07	Jan 28 2022	Re-Issued for DP & Rezoning
06	Sept 28 2021	Re-Issued for DP & Rezoning
05	July 19 2021	Re-Issued for DP & Rezoning
04	Feb 05 2021	Re-Issued for DP & Rezoning
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TITLE
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ADDRESS
**74 - 82 FIRST STREET &'
108 - 118 ROYAL AVENUE
NEW WESTMINSTER
DOWNTOWN NW V3L 1H2**

Drawing Title

RENDERINGS

Scale

Dawn	Check	Partner
PJH		PJH

Project No. 18077

Date 16 MARCH 2022 | Phase No. | Sheet No. A-100

I:\RESOURCES\Templates-Drawings\TITLEBLOCKS\IMP-36 X 24.dwg

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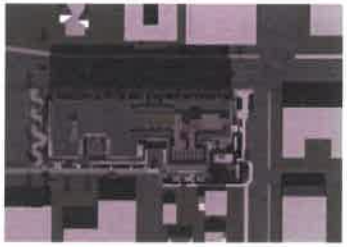

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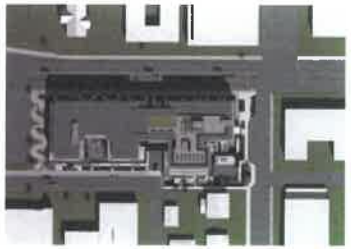

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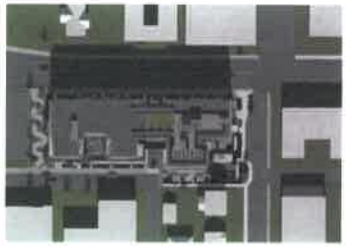

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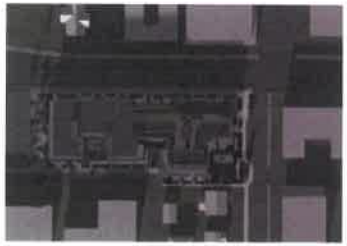

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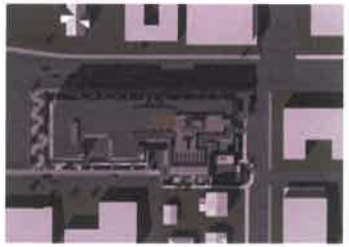

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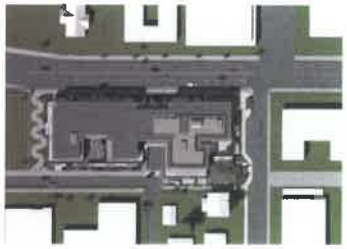

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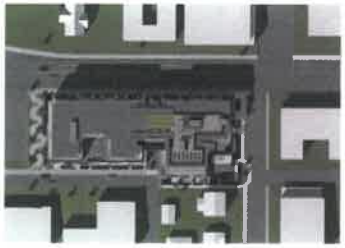

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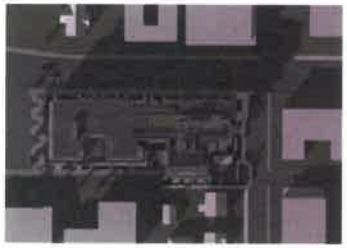

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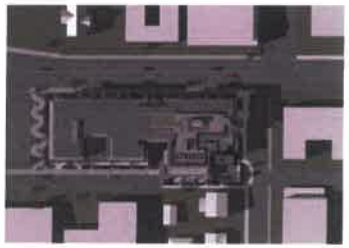

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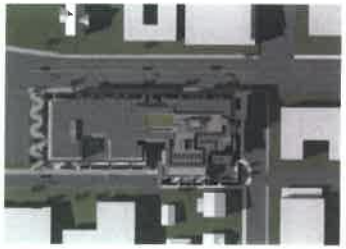

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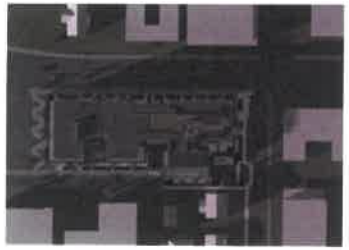

Client

REDIC DEVELOPMENTS

TPL DEVELOPMENTS WINDSOR INC.

No	Date	Revision
07	Jan 28 2022	Re-issued for DP & Rezoning
06	Sept 28 2021	Re-issued for DP & Rezoning
05	July 19 2021	Re-issued for DP & Rezoning
04	Feb 05 2021	Re-issued for DP & Rezoning
03	May 21 2020	Re-issued for DP & Rezoning
02	Oct 22 2019	Re-issued for DP & Rezoning
01	Jan 30 2019	Issued for Rezoning

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Consultant

TITLE
First+Royal

ADDRESS
**74 - 82 FIRST STREET &
108 - 118 ROYAL AVENUE
NEW WESTMINSTER
DOWNTOWN NW V3L 1H2**

Drawing Title

SHADOW STUDIES

Scale

Drawn	Check	Partner
PJH		PJH

Project No. **18077**

Date	Issue No.	Sheet No.
16 MARCH 2022		A0.00

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A 001 PARTIAL SITE PLAN
1:96(1/8'=1'-0")

DRAWING SYMBOLS

BUILDING SECTION

Main 16'-2 1/4"
ELEVATION

GROUND ELEVATION

DRAWING LIST

A01- SITE PLAN
A02- MAIN FLOOR PLAN
A03- SECOND FLOOR PLAN
A04- BASEMENT FLOOR PLAN
A05- ELEVATIONS EAST & WEST
A06- ELEVATION SOUTH
A07- ELEVATION NORTH

- PROJECT MANAGER
HAMIDREZA AHMADIAN, REDIC DEVELOPMENT

- HERITAGE BUILDING RE-DESIGN
GAETAN ROYER, CITYSTATE
778-355-5399

- HERITAGE CONSULTANT
ELANA ZYSBLAT
604-722-3074

- ARCHITECTURE
PETER HILDEBRAND, IREDALE ARCHITECTURE
604-736-5581

Drawings show the design intent for the landscaping.
For details refer to the Landscape drawings.

CITYSTATE	Gaëtan Royer – CityState Consulting Services 2419 Clarke Street, Port Moody, BC, Canada V3H 1Z2 gaetan@citystate.ca	Project: 82 FIRST STREET NEW WEST	Sheet: A01	Description: SITE PLAN	Scale: 1:96 (1/8'=1'-0")	Date: 13/12/2018 Revised: 17/12/2018 Revised: 20/12/2018 Revised: 07/01/2019 Revised: 24/01/2019	Revised: 8 AUG 2019 Revised: 15 SEP 2019 Revised: 11 OCT 2019 Revised: 16 JUN 2020 Revised:

SCOPE OF WORK

- OPEN ARCHWAYS (KITCHEN / DINING & LIVING)
- NEW PARTITIONS ON BOTH FLOORS.
- IMPROVE INSULATION IN NON- HERITAGE AREAS
- REWIRE / REPLUMB PER DESIGNER'S INSTRUCTIONS
- INSTALL NEW SPRINKLERS, ALARMS TO BCBC 2018
- INSTALL SHEAR WALL AND SEISMIC REINFORCEMENTS PER STRUCTURAL ENGINEER SPECS.
- INSTALL NEW DRYWALL, TAPE, SAND & PAINT

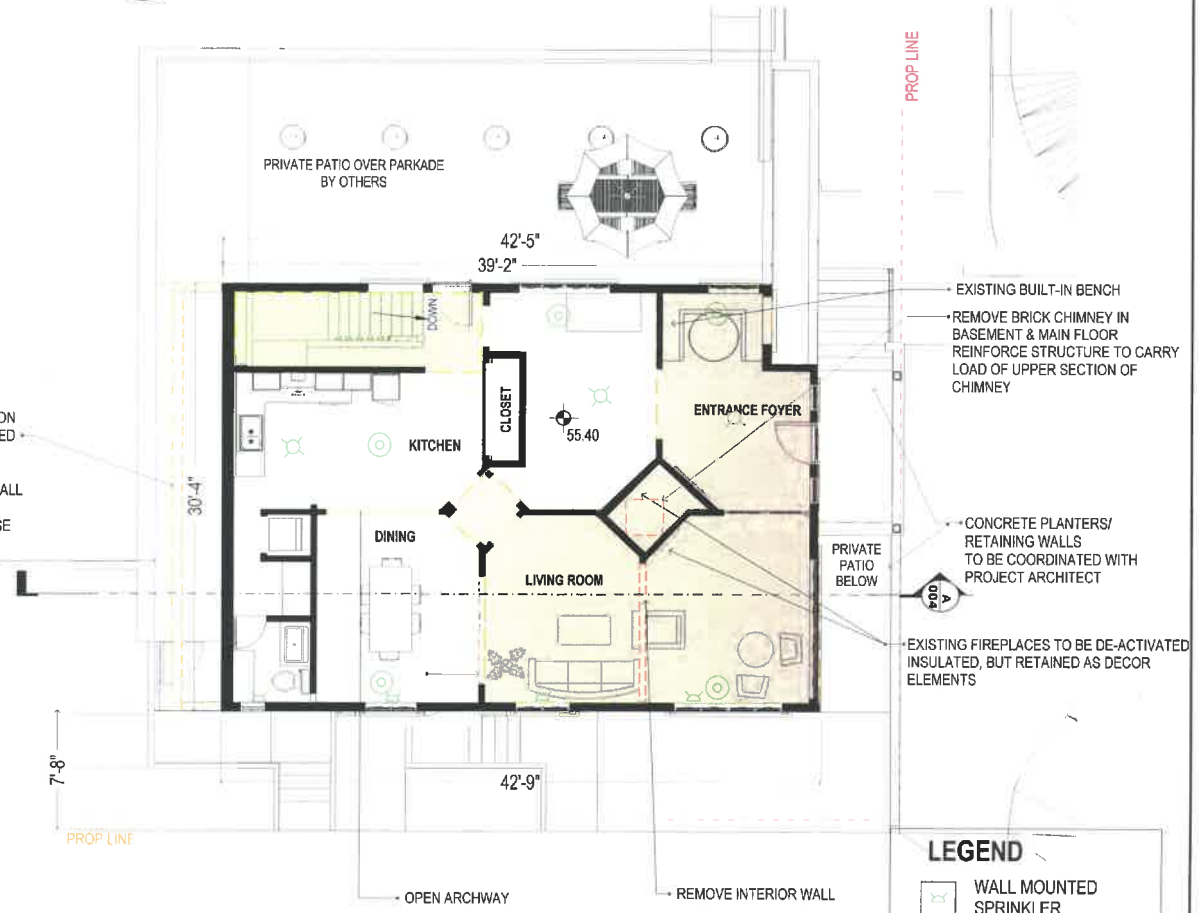
NEW ARCHWAYS CONECTING KITCHEN, DINING & LIVING ROOM

	Gross Floor Area	# of Bedrooms
Basement Unit	1,128 Sq.Ft.	2
Main Unit	2,538 Sq.Ft.	3
Total	3,666 Sq.Ft.	5

Unprotected Opening Exposure	(Unprotected Opening Total m² x100)/Exposed Building face m²	Unprotected Opening Exposure %	Distance From Lot Line (m)	Allowed UPO %
North	7.4 m² x 100 /78.7m²	9.40%	38.7m	N/A
South	15.1m²x100/110.8m²	13.60%	2.2m	N/A
East	12.0m²x100/73.79m²	16.30%	24m	N/A
West	1.99m²x 100/23.4m²	8.50%	3.65m	N/A

A 002 MAIN FLOOR PLAN

SCALE 1:48(1/4"=1'-0")



AREA OF SIGNIFICANT HERITAGE VALUE

- MAINTAIN / RESTORE COFFERED CEILINGS WAINSCOTTING, CROWN MOULDINGS, DOOR TRIMS AND ALL EXISTING WOOD SURFACES. PROTECT ALL SURFACES DURING CONSTRUCTION
- DO NOT ADD ANY SURFACE WIRING / EXPOSED DUCTWORK, PIPES OR CONSTRUCTION ELEMENTS THAT MAY DETRACT.

LEGEND

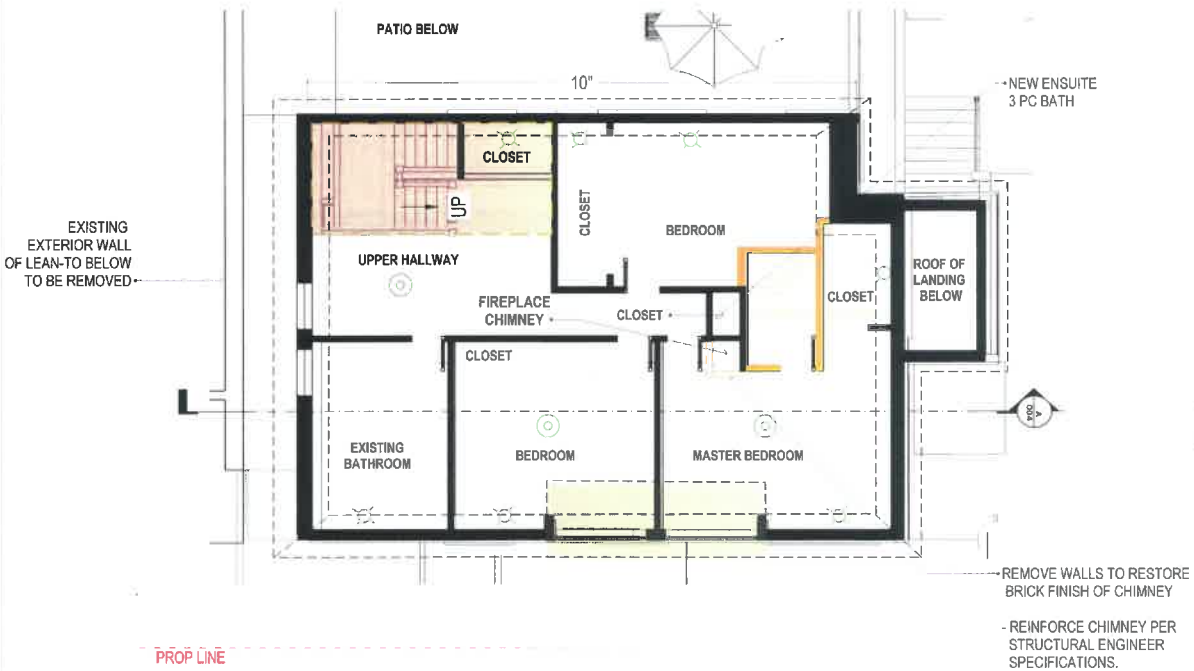
- WALL MOUNTED SPRINKLER
- SPRINKLER
- SMOKE ALARM
- DEMO ORIGINAL WALLS
- NEW CONSTRUCTION OF WALLS

CITYSTATE
Gaëtan Royer – CityState Consulting Services
2419 Clarke Street, Port Moody, BC, Canada V3H 1Z2
gaetan@citystate.ca

Project:	Sheet:	Description:	Scale:	Date: 13/12/2018	Revised: 8 AUG 2019
82 FIRST STREET NEW WEST	A02	MAIN FLOOR PLAN	1:48 (1/4"=1'-0")	Revised: 17/12/2018 Revised: 20/12/2018 Revised: 07/01/2019 Revised: 24/01/2019	Revised: 15 SEP 2019 Revised: 11 OCT 2019 Revised: 15 JUN 2020 Revised:

A 003 SECOND FLOOR PLAN

SCALE 1:48(1/4"=1'-0")



PRIOR TO RELOCATION

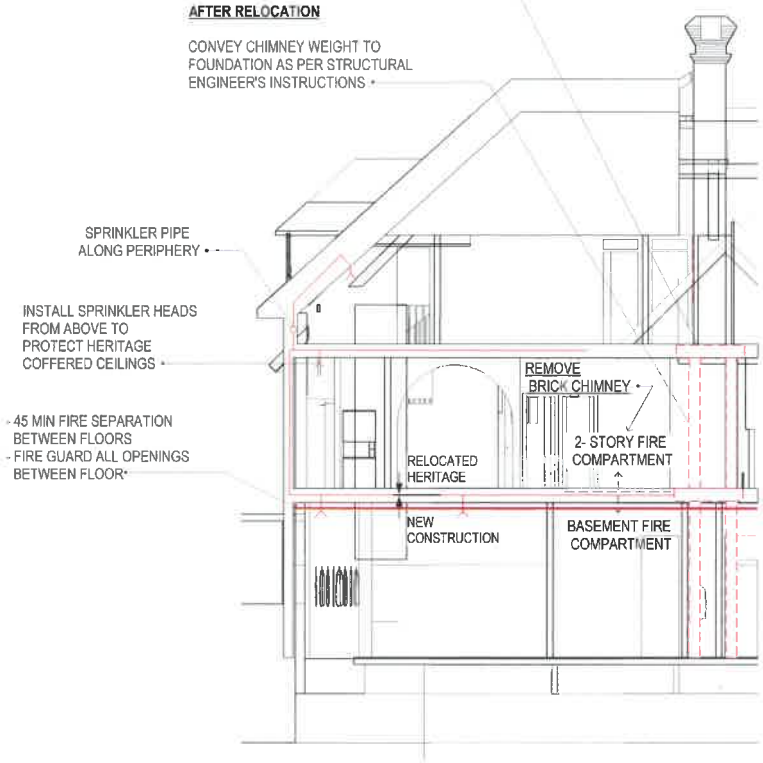
- EXPOSE BRICK CHIMNEY
- ANCHOR TO EXISTING & NEW / REINFORCED FLOOR JOISTS
- BRACE & CONVEY LOAD TO SUB-FLOOR / FUTURE BASEMENT PER STRUCTURAL ENGINEER'S INSTRUCTION

B 003 SECTION A

SCALE 1:48(1/4"=1'-0")

AFTER RELOCATION

CONVEY CHIMNEY WEIGHT TO FOUNDATION AS PER STRUCTURAL ENGINEER'S INSTRUCTIONS



	Gross Floor Area	# of Bedrooms
Basement Unit	1,128 Sq.Ft.	2
Main Unit	2,538 Sq.Ft.	3
Total	3,666 Sq.Ft.	5

Unprotected Opening Exposure	(Unprotected Opening Total m² x100)/Exposed Building face m²	Unprotected Opening Exposure %	Distance From Lot Line (m)	Allowed UPO %
North	7.4 m² x 100 /78.7m²	9.40%	38.7m	N/A
South	15.1m²x100/110.8m²	13.60%	2.2m	N/A
East	12.0m²x100/73.79m²	16.30%	24m	N/A
West	1.99m²x 100/23.4m²	8.50%	3.65m	N/A

LEGEND

- WALL MOUNTED SPRINKLER
- SPRINKLER
- SMOKE ALARM
- ORIGNAL WALLS
- NEW CONSTRUCTION OF WALLS

AREA OF SIGNIFICANT HERITAGE VALUE

- MAINTAIN / RESTORE ANGLED CEILING, WAINSCOTTING, CROWN MOULDINGS, DOOR TRIMS AND ALL EXISTING WOOD SURFACES. PROTECT ALL SURFACES DURING CONSTRUCTION
- DO NOT ADD ANY SURFACE WIRING / EXPOSED DUCTWORK, PIPES OR CONSTRUCTION ELEMENTS THAT MAY DETRACT.

NOTES

- ALL SMOKE DETECTORS & SPRINKLER SYSTEM TO BE ALARMED WITH MAIN BUILDING ANNUNCIATOR PANEL
- SPRINKLER SYSTEM TO BE DESIGNED & INSTALLED BY CERTIFIED PROFESSIONALS; LOCATIONS ARE INDICATIVE ONLY TO ASSIST IN SCHEDULING ROUGH-INS

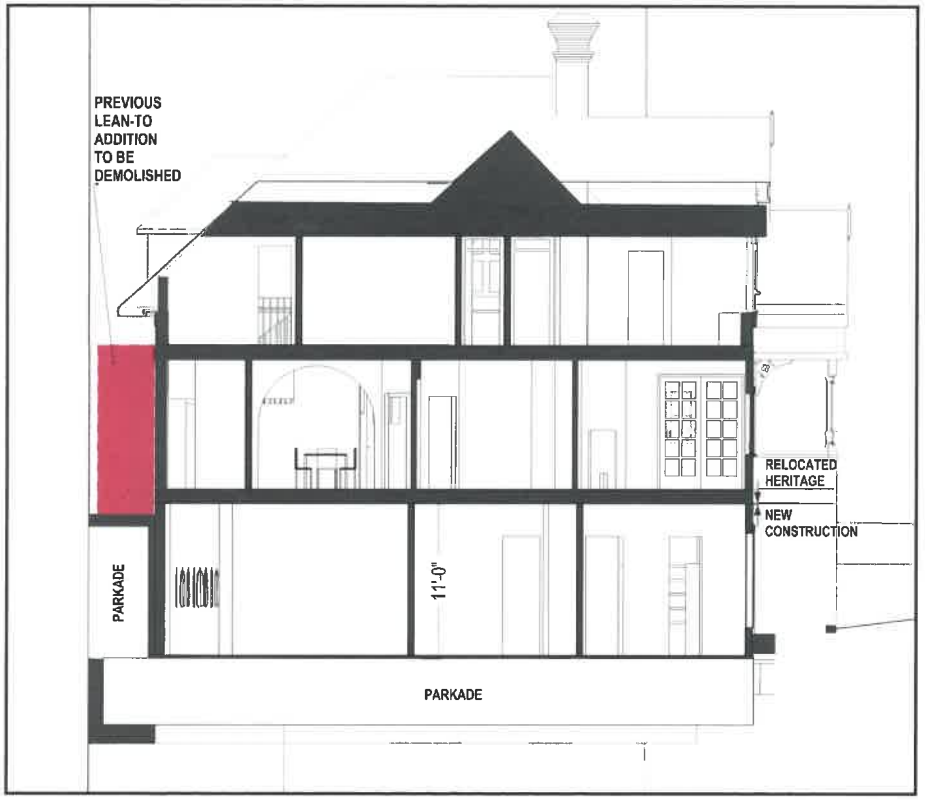
CITYSTATE

Gaëtan Royer – CityState Consulting Services
2419 Clarke Street, Port Moody, BC, Canada V3H 1Z2
gaetan@citystate.ca

Project:	Sheet:	Description:	Scale:	Date: 13/12/2018	Revised: 8 AUG 2019
82 FIRST STREET NEW WEST	A03	SECOND FLOOR PLAN	1:48 (1/4"=1'-0")	Revised: 17/12/2018 Revised: 20/12/2018 Revised: 07/01/2019 Revised: 24/01/2019	Revised: 15 SEP 2019 Revised: 11 OCT 2019 Revised: 15 JUN 2020 Revised:

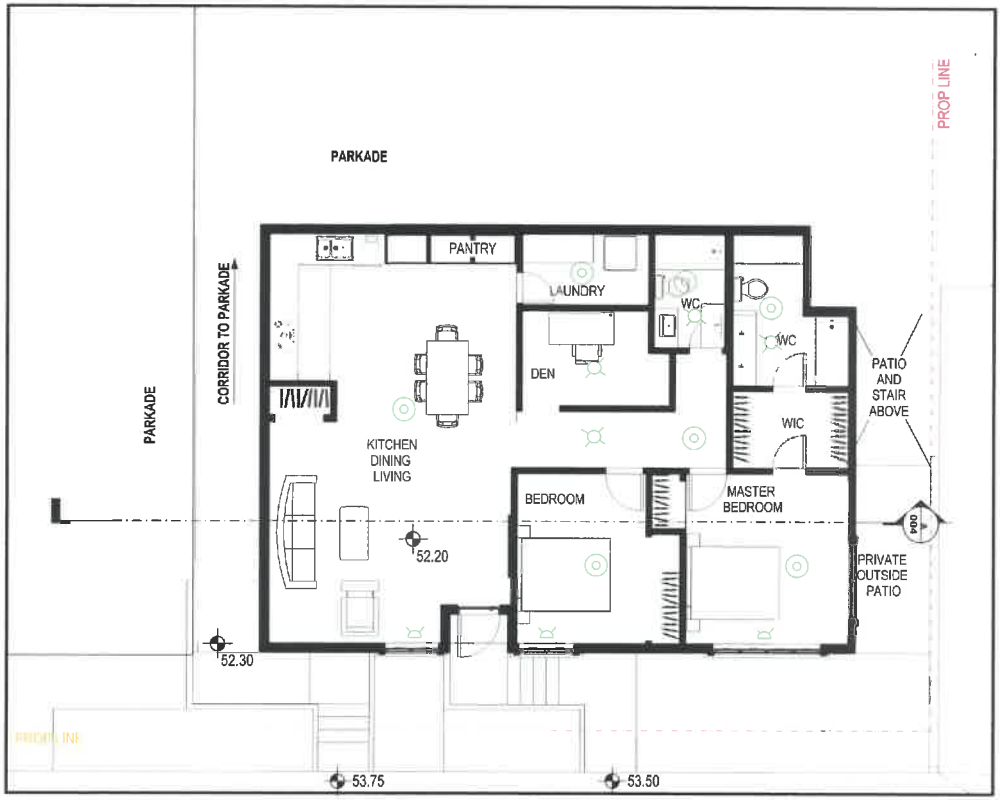
A 004 SECTION

SCALE 1:48 (1/4"=1'-0")



B 004 BASEMENT FLOOR PLAN

SCALE 1:48(1/4"=1'-0")



	Gross Floor Area	# of Bedrooms
Basement Unit	1,176 Sq.Ft.	2
Main Unit	2,538 Sq.Ft.	3
Total	3,666 Sq.Ft.	5

Unprotected Opening Exposure	(Unprotected Opening Total m² x100)/Exposed Building face m²	Unprotected Opening Exposure %	Distance From Lot Line (m)	Allowed UPO %
North	7.4 m² x 100 /78.7m²	9.40%	38.7m	N/A
South	15.1m²x100/110.8m²	13.60%	2.2m	N/A
East	12.0m²x100/73.79m²	16.30%	24m	N/A
West	1.99m²x 100/23.4m²	8.50%	3.65m	N/A

NOTES

- ALL SMOKE DETECTORS & SPRINKLER SYSTEM TO BE ALARMED WITH MAIN BUILDING ANNUNCIATOR PANEL
- SPRINKLER SYSTEM TO BE DESIGNED & INSTALLED BY CERTIFIED PROFESSIONALS AND INTEGRATED IN MAIN ANNUNCIATOR PANEL
- BASEMENT UNIT WILL SERVE AS FOUNDATION FOR THE RELOCATED HERITAGE HOME ABOVE COORDINATE WALL OPENINGS FOR PLACEMENT OF TEMPORARY BEAMS WITH HOUSE MOVING COMPANY
- COORDINATE BASEMENT UNIT CONSTRUCTION WITH STRUCTURAL ENGINEER FOR HERITAGE HOME

LEGEND

- WALL MOUNTED SPRINKLER
- SPRINKLER
- SMOKE ALARM
- ORIGNAL WALLS
- NEW CONSTRUCTION OF WALLS

CITYSTATE

Gaëtan Royer – CityState Consulting Services
2419 Clarke Street, Port Moody, BC, Canada V3H 1Z2
gaetan@citystate.ca

Project: 82 FIRST STREET NEW WEST

Sheet: A04

Description: BASEMENT FLOOR PLAN

Scale: 1:48 (1/4"=1'-0")

Date: 13/12/2018
Revised: 17/12/2018
Revised: 20/12/2018
Revised: 07/01/2019
Revised: 24/01/2019

Revised: 8 AUG 2019
Revised: 15 SEP 2019
Revised: 11 OCT 2019
Revised: 15 JUN 2020
Revised:

A 005 EAST ELEVATION
1:32(3/8"=1'-0")

B 005 WEST ELEVATION
1:32(3/8"=1'-0")

SEE MATERIALS / COLORS LEGEND NEXT PAGE

Drawings show the design intent for the landscaping.
For details refer to the Landscape drawings.

CITYSTATE	Gaëtan Royer – CityState Consulting Services 2419 Clarke Street, Port Moody, BC, Canada V3H 1Z2 gaetan@citystate.ca	Project: 82 FIRST STREET NEW WEST	Sheet: A05	Description: EAST & WEST ELEVATIONS	Scale: 1:32 (3/8"=1'-0")	Date: 13/12/2018 Revised: 17/12/2018 Revised: 20/12/2018 Revised: 07/01/2019 Revised: 24/01/2019	Revised: 8 AUG 2019 Revised: 15 SEP 2019 Revised: 11 OCT 2019 Revised: 15 JUN 2020 Revised:

A 006 SOUTH ELEVATION

1:32 (3/8"=1'-0")

Colour Scheme - all Benjamin Moore colours

1 — **all trim boards including window and door trim, facia, brackets, columns and finials**
Salamander 2050-10 (matched to original paint colour found on building)
semi-gloss finish

2 — **body wood siding**
Edwardian Pewter VC-23
low luster finish

3 — **gable stucco and window sash**
Edwardian Buff VC-6
window sash in high gloss finish

4 — **front door**
clear lacquer/stain

5 — **new construction body and trim**
concrete (or)
concrete colour

Drawings show the design intent for the landscaping.
For details refer to the Landscape drawings.

CITYSTATE	Gaëtan Royer – CityState Consulting Services 2419 Clarke Street, Port Moody, BC, Canada V3H 1Z2 gaetan@citystate.ca	Project: 82 FIRST STREET NEW WEST	Sheet: A06	Description: SOUTH ELEVATIONS	Scale: 1:32 (3/8"=1'-0")	Date: 13/12/2018 Revised: 17/12/2018 Revised: 20/12/2018 Revised: 07/01/2019 Revised: 24/01/2019	Revised: 8 AUG 2019 Revised: 15 SEP 2019 Revised: 11 OCT 2019 Revised: 16 JUN 2020 Revised:

A
006

NORTH ELEVATION

1:32 (3/8"=1'-0")

Drawings show the design intent for the landscaping.
For details refer to the Landscape drawings.

CITYSTATE	Gaëtan Royer – CityState Consulting Services 2419 Clarke Street, Port Moody, BC, Canada V3H 1Z2 gaetan@citystate.ca	Project: 82 FIRST STREET NEW WEST	Sheet: A07	Description: NORTH ELEVATIONS	Scale: 1:32 (3/8"=1'-0")	Date: 13/12/2018 Revised: 17/12/2018 Revised: 20/12/2018 Revised: 07/01/2019 Revised: 24/01/2019	Revised: 8 AUG 2019 Revised: 15 SEP 2019 Revised: 11 OCT 2019 Revised: 15 JUN 2020 Revised:

eta landscape architecture

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ROYAL I

for TPL Developments Royal 1 Inc

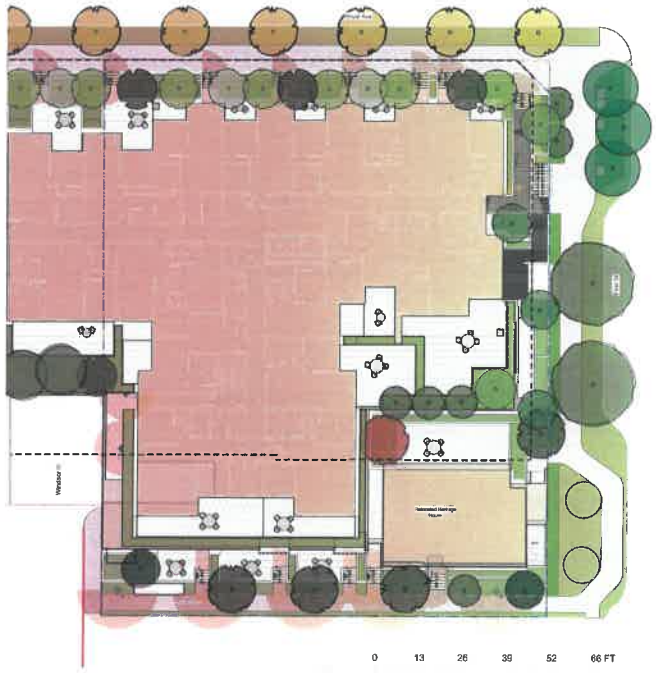
Civic Address: 108 Royal Ave., 82 First St., 74 (N 60' of 18) First St., 74 (REM) First St. New Westminster

Legal Address: Lots "B" and "C" Block 32 Plan 12722 & Lot 18 Block 32 PLan 2620 New Wesminster Townsite Group 1 NWD

CONSULTANT TEAM

OWNER:	TPL Developments Royal Inc
ARCHITECT:	Iredale Architecture
LANDSCAPE:	eta landscape architecture

ISSUED FOR DP - MARCH 14, 2022



DRAWING LIST

L0.0	Cover Page	
L0.1	Notes and Schedules	
L0.2	Submission Plan	
L0.3	Illustrative Plan	
L0.4	Precedent Images	
L0.5	Amenity Area Plan	
L1.1	Tree Management Plan	*TO BE INCLUDED PENDING UPDATE FROM ARBORIST*
L2.1	Offsite Plan	
L3.1	P2 - Materials Plan	
L3.2	P1 - Materials Plan	
L3.3	L1 - Materials Plan	
L3.4	Roof - Materials Plan	
L4.1	P2 - Grading and Drainage Plan	
L4.2	P1 - Grading and Drainage Plan	
L4.3	L1 - Grading and Drainage Plan	
L4.4	Roof - Grading and Drainage Plan	
L5.1	P2 - Planting Plan	
L5.2	P1 - Planting Plan	
L5.3	L1 - Planting Plan	
L5.4	Roof - Planting Plan	
L6.1	Soil Depth Plan	
L7.1	Irrigated Areas Plan	
L8.1	Landscape Sections	
L8.2	Landscape Sections	
L8.3	Landscape Sections	
L9.1	Softscape Details	
L9.2	Softscape Details	
L10.1	Hardscape Details	
L10.2	Hardscape Details	
L11.1	Site Furnishings Details	
L11.2	Site Furnishings Details	
L11.3	Site Furnishings Details	
L11.4	Site Furnishings Details	
L11.5	Site Furnishings Details	
L12.1	Lighting Details	

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
	2019-02-05	Issue for Reporting
	2019-09-11	Issued for Review
	2019-09-13	Issued for Review
	2019-10-01	Issued for Review
	2019-10-18	Issued for Review
	2019-10-25	Issued for RZ / DP
	2021-02-05	Re-Issued for RZ/DP
	2021-07-19	Issue for DP
	2022-03-14	Issue for DP

Professional Seal

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

Cover Sheet

Legal

Lots "B" and "C" Block Plan
12722 & Lot 18 Block 32 Plan
2620 New Westminster Townsite

Project Manager: DT	Project ID: 21643
Drawn By: MR	Scale:
Reviewed By: DT	Drawing No: L0.0
Date: 2019.02.05	

34

Plot Date:

ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM TO THE CURRENT EDITION OF THE CSLA/CLNA STANDARDS.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.

IMPORTED GROWING MEDIA SHALL BE A SANDY LOAM OR LOAMY SAND TEXTURE (NO LESS THAN 50% SAND BY WEIGHT) CONTAINING 4 AND 15% ORGANIC MATTER (DRY WEIGHT BASIS).

GROWING MEDIA SHALL BE FREE FROM SUBSOIL, WOOD INCLUDING WOODY PLANT PARTS, INVASIVE AND NOXIOUS PLANT AND THEIR REPRODUCIBLE PARTS, PLANT PATHOGENIC ORGANISMS, ORGANIC OR INORGANIC MATERIALS, TOXINS, STONES OVER 30mm (1.2"), ANY DEBRIS AND FOREIGN OBJECTS.

IMPORTED GROWING MEDIA SHALL CONFORM TO AND BE TREATED AS PER SECTION 6.2.3 TO 6.2.7 INCLUSIVE OF THE CURRENT EDITION BCLNA STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 "WELL-GROOMED" AREAS: LOW TRAFFIC LAWN AREAS, TREES AND LARGE SHRUBS (1L IN TABLE T-6.3.5.1 OF THE CURRENT EDITION OF THE CSLA/BLNA STANDARDS). IT SHALL POSSESS THE FOLLOWING QUALITIES.

TEXTURE:
*COARSE GRAVEL (LARGER THAN 19mm AND SMALLER THAN 40mm): 0-1%
*ALL GRAVEL (LARGER THAN 2mm AND SMALLER THAN 40mm): 0-5%
*SAND (LARGER THAN 0.05mm AND SMALLER THAN 2mm): 50-70%
*SILT (LARGER THAN 0.002mm AND SMALLER THAN 0.05mm): 10-25%
*CLAY (SMALLER THAN 0.002mm): 0-20%
*CLAY AND SILT COMBINED: MAXIMUM 25%

ORGANIC CONTENT: 3-10%

Acidity (pH): 6.0-7.0

DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER TABLE T 6.3.5.5 OF THE CURRENT EDITION BCLNA STANDARDS.

	Over prepared subgrade where the subsoil drains rapidly	Over structures or where the subsoil drains poorly
TREES (10m2 PER TREE)	610 MM (24")	910 MM (30")
LARGE SHRUBS	610 MM (24")	610 MM (24")
GROUNDCOVERS	300 MM (12")	225 MM (9")
LAWN-IRRIGATED	150 MM (6")	150 MM (6")
LAWN-NOT IRRIGATED	150MM (6")	225 MM (9")

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW.

SOIL FOR URBAN AGRICULTURE PLOTS IS TO BE URBAN GRO PROVIDED BY VERATEC, OR APPROVED ALTERNATIVE. SOIL FOR URBAN AGRICULTURE AREAS IS TO MEET OR EXCEED THE GUIDELINES FOR COMPOST QUALITY UNDER CANADIAN COUNCIL OF MINISTERS OF THE ENVIRONMENT (CCME).

COMPOST IS TO BE TESTED AND RESULTS SUBMITTED TO CONSULTANT PRIOR TO DELIVERY TO SITE.

BEDS TO HAVE 50MM (2") MULCH LAYER (after settling) CONSISTING OF ORGANIC COMPOSTED BARK APPLIED.

PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM - SHOP DRAWINGS ARE TO BE PREPARED BY AN IABC CERTIFIED DESIGNER AND APPROVED BY LANDSCAPE ARCHITECT.

CONTRACTOR TO PROVIDE MAINTENANCE FOR 1 YEAR FOLLOWING SUBSTANTIAL COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS PRIOR TO DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDENT LAB AND IS TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.

CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE THE CONSULTANT FROM PERFORMING AN INDEPENDENT SOIL ANALYSIS AT TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS.

AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT.

SITE INSPECTION
EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO THE CONSULTANT.

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES PRIOR TO THE WORK.

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS AT NO COST TO THE OWNER.

ALL PRUNING TO BE IN ACCORDANCE WITH THE BCLNA/BCSLA STANDARDS CURRENT EDITION.

PLANT COUNTS
IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

BIRD FRIENDLY PLANTING
PLANTS THAT ENABLE BIRD-FRIENDLY HABITAT CONSERVATION AND PROMOTION HAVE BEEN SELECTED AND CAN BE FOUND THROUGHOUT THE LANDSCAPE. PLANTING IS GROUPED IN NATURALIZED LAYERS OF TREES, TALL SHRUBS, LOW SHRUBS AND GROUNDCOVERS, MIMICKING THE IDEAL ENVIRONMENTAL CONDITIONS FOR BIRDS. THESE LAYERS WILL BE VARIED WITH A DIVERSITY OF TEXTURES AND DENSITIES THAT ATTRACTS AND PROTECTS MANY BIRD SPECIES. SPECIFIC LOCAL AND NON-INVASIVE PLANT SPECIES HAVE BEEN SELECTED BASED ON THEIR ABILITY TO PROVIDE YEAR-ROUND FOOD FOR BIRDS AND/OR YEAR-ROUND NESTING OPPORTUNITIES.

PLANT LIST - OFFSITE

ID	QTY	LATIN NAME	COMMON NAME	MATURE	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES - OFF-SITE								
Ar	3	Acer rubrum	red maple	6.854	as shown	6cm cal/B&B	full/ bushy canopy	B
Far	2	Fraxinus angustifolia 'Raywood'	Raywood ash	7.62	as shown	6cm cal/B&B	full/ bushy canopy	
Gb	7	Ginkgo biloba	maidenhair tree	4.556	as shown	6cm cal/ B&B	male only	
Ntt	2	Nyssa sylvatica 'Tupelo Tower'	Tower tupelo	3.023	as shown	6cm cal/B&B	full/ bushy canopy	
SHRUBS / GROUNDCOVERS / PERENNIALS - OFFSITE								
Ct	2	Choisya ternata	Mexican mock orange	1.219	1.07	#3 cont.	full/ bushy plants	E, P
Epw	89	Epimedium x warleyense	barrenwort	0.305	0.3	#2 cont.	full/ bushy plants	E
Gem	30	Geranium macrorrhizum 'Bevan's Variety'	bigroot cranesbill	0.406	0.3	#1 cont.	full/ bushy plants	P
La	3	Lavandula angustifolia	English lavender	0.448	0.36	#2 cont.	full/ bushy plants	E, B, P, Ed
Lsd	39	Liriope spicata 'Silver Dragon'	Silver Dragon lilyturf	0.508	0.46	#1 cont.	full/ bushy plants	E, P, B
Pm	35	Polystichum munitum	sword fern	0.914	0.61	#3 cont.	full bushy plants	N, E
Rak	3	Rhododendron 'Anah Kruschke'	pink rhododendron	1.524	1.07	#5 cont.	full/ bushy plants	E, P
Sh	19	Sarcococca hookeriana var. Humilis	sweet box	0.607	0.46	#2 cont.	full/ bushy plants	E, P, B
Tmh	40	Taxus media 'Hicksii'	Anglojap yew	0.61	0.46	1.2m/B&B	full/ bushy plants	E, B
Vot	24	Vaccinium ovatum 'Thunderbird'	evergreen huckleberry	0.759	0.61	#2 cont.	full/ bushy plants	N, E, P, B
LAWN								
		Non-Netted, grown on sand						

NOTES:
1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 2 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.
2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST

PLANT LIST - ONSITE

ID	QTY	LATIN NAME	COMMON NAME	MATURE HEIGHT	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES								
Ab	4	Acer buergerianum	trident maple	4.556	as shown	6cm cal/B&B	full/ bushy canopy	B
Ag	2	Acer griseum	paperbark maple	4.454	as shown	6cm cal/B&B	full/ bushy canopy	W, P
Cc	1	Cercis canadensis 'Forest Pansy'	eastern redbud	4.535	as shown	6cm cal/B&B	full/ bushy canopy	B, W, P
Cca	7	Carpinus caroliniana	American hornbeam	3.828	as shown	6cm cal. B&B	full/ bushy canopy	
Cff	3	Carpinus betulus 'Frans Fontaine'	Frans Fontaine hornbeam	6.046	as shown	6cm cal/B&B	full/ bushy canopy	
Cje	2	Cryptomeria japonica 'Elegans'	plume Japanese cedar	2.402	as shown	6cm cal/B&B	full/ bushy plant	E
Cl	3	Crataegus laevigata 'Crimson Cloud'	Crimson Cloud hawthorn	3.828	as shown	6cm cal/B&B	full/ bushy canopy	B, P
Ntt	1	Nyssa sylvatica 'Tupelo Tower'	Tower tupelo	3.023	as shown	6cm cal/B&B	full/ bushy canopy	
Pch	2	Pistacia chinensis	Chinese pistache	[illegible]	as shown	6cm cal/B&B	full/ bushy canopy	B, P
Sp	4	Stewartia pseudocamellia	Japanese stewartia	3.658	as shown	6cm cal/B&B	full/ bushy canopy; multi	W, P
Sj	3	Styrax japonicus	Japanese snowbell	3.712	as shown	6cm cal/B&B	full/ bushy canopy	P
SHRUBS / GROUNDCOVERS / PERENNIALS								
Aa	46	Aucuba japonica 'Serratifolia'	Japanese aucuba	1.219	0.75	#5 cont.	full/ bushy plants	E, B, P
Bmj	44	Brunnera macrophylla 'Jack Frost'	Siberean bugloss	0.295	0.28	#1 cont.	full/ bushy plants	P
Co	21	Carex obnupta	slough sedge	0.5	0.3	SP4	full/ bushy plants	N, E
Cod	19	Cotoneaster dammeri	bearberry cotoneaster	0.858	0.76	#2 cont.	full/ bushy plants	E, B, P
Ct	24	Choisya ternata	Mexican mock orange	1.219	1.07	#3 cont.	full/ bushy plants	E, P
Ef	31	Euonymus fortunei	wintercreeper	0.61	0.76	#2 cont.	full/ bushy plants	E
Ep	26	Echinacea purpurea	purple coneflower	0.457	0.46	#2 cont.	full/ bushy plants	B, P, Ed, W
Fa	38	Fragaris x ananassa	strawberry	0.305	0.25	SP4	full/ bushy plants	Ed, P, B
Gem	128	Geranium macrorrhizum 'Bevan's Variety'	bigroot cranesbill	0.406	0.36	#1 cont.	full/ bushy plants	P
Go	137	Galium odoratum	sweet woodruff	0.305	0.3	#1 cont.	full/ bushy plants	P
La	151	Lavandula angustifolia	English lavender	0.448	0.36	#2 cont.	full/ bushy plants	E, B, P, Ed
Mp	61	Miscanthus sinensis 'Purpurascens'	flame grass	0.901	0.91	#3 cont.	full/ bushy plants	B, W
Pah	110	Pennisetum alopecuroides 'Hameln'	dwarf fountain grass	0.597	0.46	#2 cont.	full/ bushy plants	B, W
Pm	88	Polystichum munitum	sword fern	0.914	0.61	#3 cont.	full bushy plants	N, E
Rak	4	Rhododendron 'Anah Kruschke'	pink rhododendron	1.524	1.07	#5 cont.	full/ bushy plants	E, P
Rc	58	Rubus calycinoides	creeping bramble	0.435	0.6	#1 cont.	full/ bushy plants	E, B, P, Ed
Rmf	67	Rhododendron 'Mary Fleming'	dwarf yellow rhododendron	0.61	0.46	#5 cont.	full/ bushy plants	E, P
Ro	11	Rosmarinus officinalis	rosemary	0.61	0.51	#2 cont.	full/ bushy plants	E, P, Ed
Rra	28	Rhododendron 'Ramapo'	purple rhododendron	0.897	0.76	#3 cont.	full/ bushy plants	E, P
Sah	54	Sarcococca hookeriana var. Humilis	dwarf sweet box	0.607	0.46	#2 cont.	full/ bushy plants	E, P, B
Sr	111	Sarcococca ruscifolia	sweet box	0.76	0.46	#2 cont.	full/ bushy plants	E, P, B
Tmh	228	Taxus media 'Hicksii'	Anglojap yew	0.61	0.46	1.2m/B&B	full/ bushy plants	E, B
Vc	6	Vaccinium corymbosum	blueberry	0.784	0.75	#5 cont	full/ bushy plants	B, P, Ed
Vd	20	Viburnum davidii	viburnum	0.911	0.76	#2 cont.	full/ bushy plants	
Vh	25	Vancouveria hexandra	American barrenwort	0.305	0.36	SP4	full/ bushy plants	N, E
Vlc	2	Vitis labrusca 'Concord'	Concord grape	0.762	4.57	#2 cont./ staked	full/ bushy plants	P, B, Ed
Vot	9	Vaccinium ovatum 'Thunderbird'	evergreen huckleberry	0.759	0.46	#2cont.	full/ bushy plants	N, E, P, B
	0				0			
LAWN								
		Non-Netted, grown on sand						

NOTES:
1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR ALL LEVELS 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.
2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST

MATERIALS AND FURNISHINGS - OFFSITE

PAVERS

ID	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COMMENT	COLOUR	QTY

SITE FURNISHINGS

ID	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COMMENT	COLOUR	QTY
S18	GRANITE SEATING BLOCKS	-	CUSTOM	-	See 1/L11.3	-	4

HARDSCAPE

ID	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
P3	CIP CONC PED PAVING	-	-	-	CUSTOM	-	-

FENCING

ID	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY

LIGHTING

ID	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE SITE FURNISHINGS, MATERIALS, AND LIGHTING SCHEDULE QUANTITIES AND THE LANDSCAPE PLANS, THE LANDSCAPE PLANS TAKE PRECEDENCE.

MATERIALS AND FURNISHINGS - ONSITE

PAVING

ID	REFERENCE	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COMMENT	COLOUR	QTY
P1	3,4/L10.1	PAVER TYPE 1	2x2'	Custom	Custom	-	Gray	-
P2	3,4/L10.1	PAVER TYPE 2	2x2'	Texada	Abbotsford Concr		Charcoal	-
P3	1,2/L10.1	CIP CONC PED PAVING	-	Custom	-	-	Broom finish	-
P4	7/L10.1	PAVER ON PEDESTAL	2x2'	Texada	Abbotsford Concr	-	Charcoal	-

HARDSCAPE

ID	REFERENCE	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
H1	1/L10.2	CIP CONC PLANTER	-	Custom	-	Board form along Royal Ave	-	-
H2	5/L10.1	DRIP STRIP	-	Custom	-	-	-	-
H3	9/L9.1	ARTIFICIAL TURF		Custom	Custom	-	-	-
H4	3/L10.2	PIP RUBBER SURFACE		-	Marathon Surface	-	Rainbow Blue	-
H5	4/L11.5	CIP CONC STAIRS W HANDRAI	-	Custom	-	-	Powdercoat Gray	-

SITE FURNISHINGS

ID	REFERENCE	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COMMENT	COLOUR	QTY
S1	1/L11.4	ARBOUR	5.5x6.5x2.5m	Custom	-	-	-	1
S2	1/L11.1	BENCH	19.5x72"	Palisade	Landscape Forms	-	-	2
S3	2/L11.1	ROUND TABLE	36"Round	Maglin Foro FRT 1700-RD-M1-FS-36	Maglin		TBD	2
S4	6/L11.2	GARDEN WORK TABLE	62x30"	AL-T62	Ioll Designs	-	-	1
S5	1/L11.2	METAL CHAIR	33"H X 19.5"W	Maglin Foro FRT 1700 MSF M2-A Foro	Maglin	-	silver 14 gloss powd	8
S6	7/L11.2	COMPOST BIN	-	Hungry Bin	Greentools	-	-	1
S7	2/L10.2	METAL PLANTER	Varies	Custom	-	-	-	-
S8	3/L11.1	BIKE RACKS	34" x 5"	Twist Bike Rack	Forms + Surfaces	-	TBD	5
S9	3/L11.3	CHILDREN'S PLAY FRAME	-	Custom	-	-	Green	1
S10	2/L11.3	TOOL STORAGE BENCH	1.8' X 6.5'	Custom	-			1
S11	2/L11.2	BAG DISPENSER	58" HT	DL-EDS100-POLY	Gyms for Dogs	-	-	1
S12	4/L11.1	HARVEST TABLE	94" x 88" x 30"	Harvest	Landscape Forms		Green	1
S13	2/L10.2	URBAN AG PLANTERS	Refer to Plan	Custom			Green	4
S14	3/L11.2	WASTE BIN	25" Round	MLWR200-20-ST	Maglin	-	-	1
S15	4/L11.2	DECORATIVE FIRE HYDRANT	12x24"	DL-FHR-AG	Gyms for Dogs	-	-	1
S16	7/L11.2	BBQ COUNTER	-	Custom	Sherwood Kitchen	-	-	1
S17	4/L10.2	TIMBER PLANTER	Refer to Plan	Custom	-	-	-	-
S18	5/L11.1	FIREPIT	72x24x15"	Linea	Dreamcast	-	Charcoal	3
S19	8/L11.2	OUTDOOR SOFA	-	Marbella	Restoration Hard	-	-	6
S20	9/L11.2	OUTDOOR ARMCHAIR	-	Marbella	Restoration Hard	-	-	6

FENCING

ID	REFERENCE	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
F1	1/L11.5	METAL FENCE	3'6" ht	Custom	-	Guardrail height	Powdercoat Gray	-
F2	2/L11.5	ENTRY GATE- ROYAL AVE	1m ht	Custom		-	Powdercoat Gray	-
F3	3/L11.5	METAL PRIVACY SCREEN	6' ht	Custom		-	Powdercoat Gray	-
F4	5/L11.5	ENTRY GATE- LANE	3'6" ht	Custom		-	Powdercoat Gray	
F5	2/L11.4	TIMBER PRIVACY SCREEN	6' ht	Custom				

LIGHTING

ID	REFERENCE	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
L1	1/L12.1	STEP/WALL LIGHT	190x74x6.5mm	Illuminazione 5454	Goccia		grey	-
L2	2/L12.1	BOLLARD LIGHT	45" x 5" x 5"	Light Column	Forms+Surfaces	Solid 180 Shield	Aluminum	5

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE SITE FURNISHINGS, MATERIALS, AND LIGHTING SCHEDULE QUANTITIES AND THE LANDSCAPE PLANS, THE LANDSCAPE PLANS TAKE PRECEDENCE.

Revision
No. Date Revision Notes

Issue No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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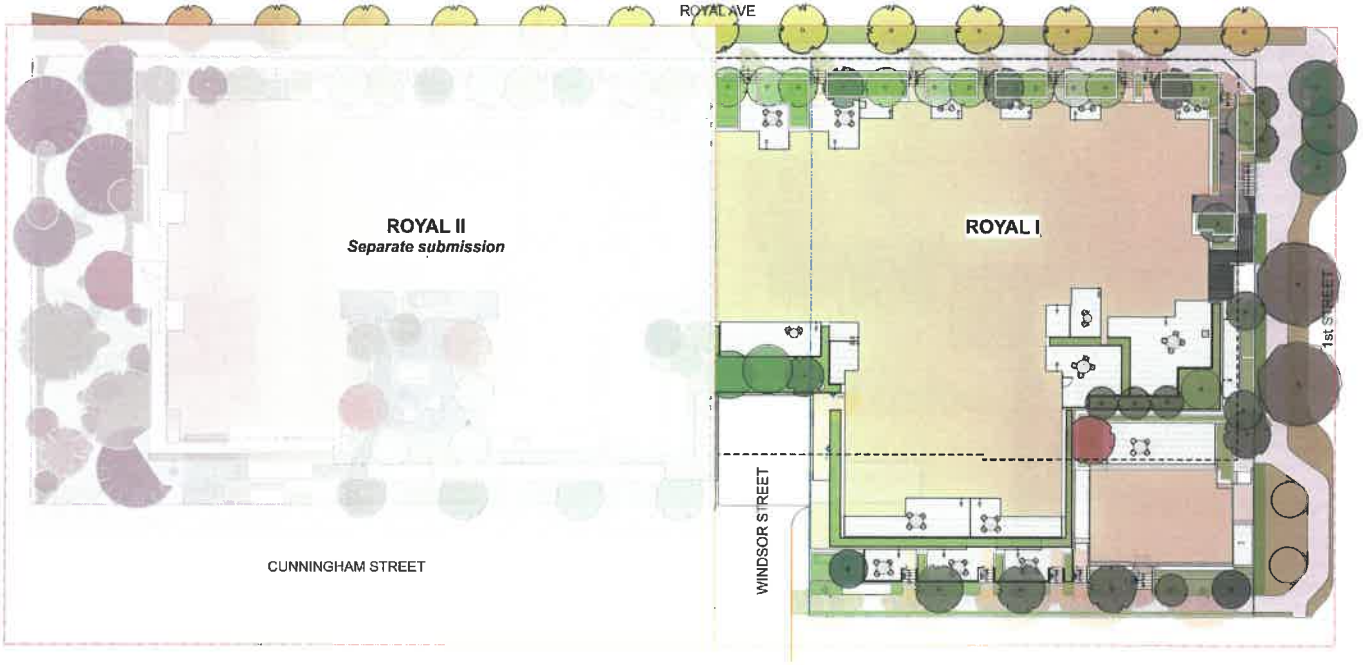
Project
Royal I
Royal Ave & 1st Street
108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title
Notes and Schedules

Legal
Lots "B" and "C" Block Plan 12722 & Lot 18 Block 3P Plan 2620 New Westminster Townsite

Project Manager: DT
Project ID: 21843
Drawn By: MR
Scale
Reviewed By: DT
Drawing No.: L0.1
Date: 2019.02.05
34



1 Royal I and Royal II
Scale: 1:200

0 4 8 12 16 20 m

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
A	2019.02.05	Issue for Rezoning
B	2019-08-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

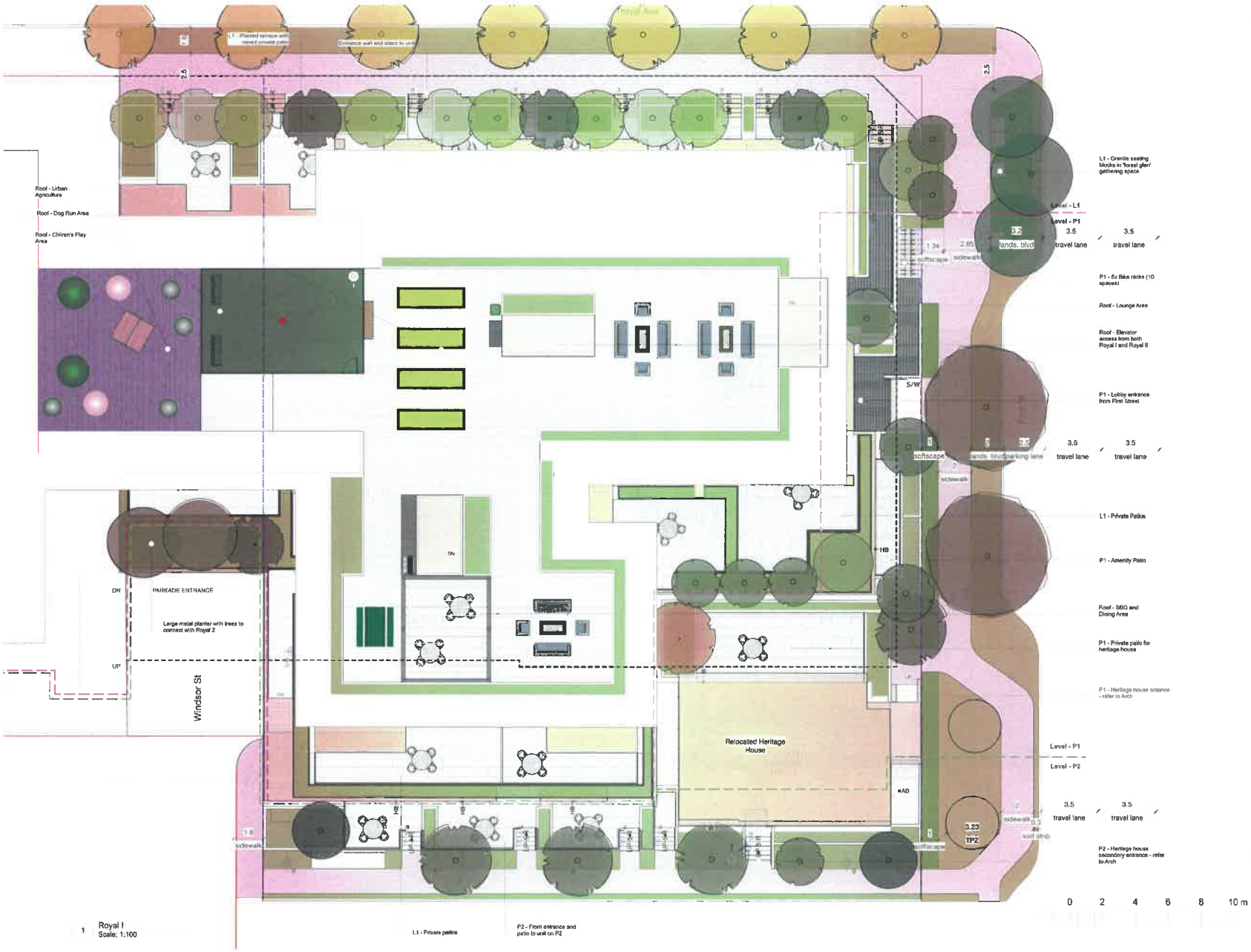
Submission Plan

Legal
Lots "B" and "C" Block Plan
12722 & Lot 18 Block 32 Plan
3620 New Westminster Township

Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing no: L0.2
Date: 2019.02.05	

34

Plot Date:



Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
A	2019.02.05	Issue for Rezoning
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
G	2021-02-05	Re-Issued for RZ/DP
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

Landscape

Illustrative Plan

Legal
Lots "B" and "C" Block Plan
12732 & Lot 18 Block 20 Plan
2620 New Westminster Townsite

Project Manager	Project ID
DT	21849
Drawn By	Scale
MR	As noted
Reviewed By	Drawing No
DT	L0.3
Date	
2019.02.05	

34

Plot Date

Western walkway planting and path treatment

Frontage and planting example

Amenity area wall and light example

Planting and retaining wall example

Children's Play

Firepit and lounges

Metal planters

Ground floor materials / pavers

Ground floor materials / pavers

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
A	2019.02.05	Issue for Rezoning
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
H	2021-02-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

Landscape

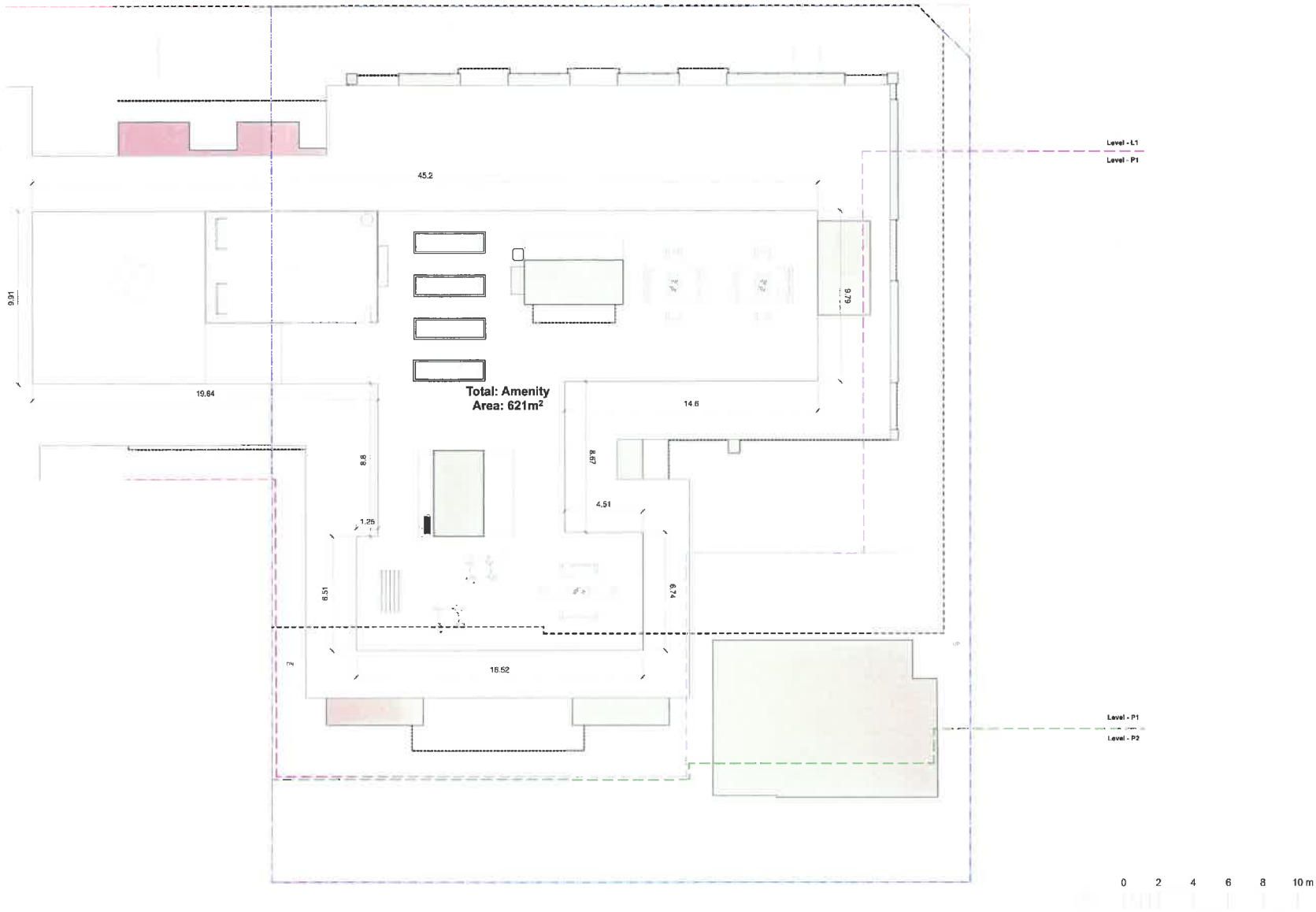
Precedent Images

Legal
Lots "B" and "C" Block Plan
19722 & Lot 16 Block 32 Plan
3520 New Westminster Township

Project Manager: CT	Project No: 21643
Drawn By: MR	Scale: NTS
Reviewed By: CT	Drawing No: L0.4
Date: 2019.02.05	

34

Plot Date



Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
A	2018.02.08	Issue for Rezoning
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
H	2021-01-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

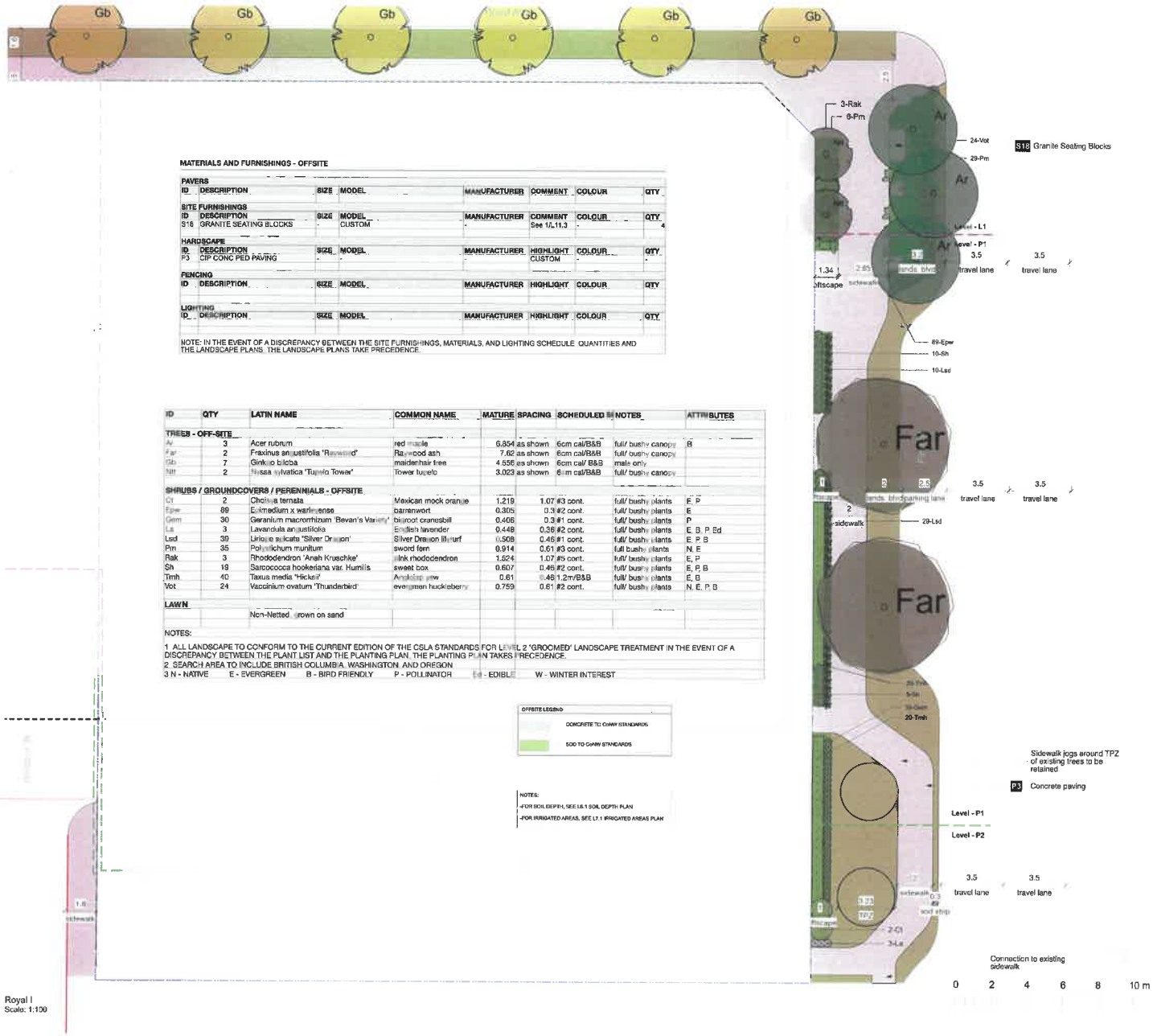
Landscape

Amenity Area Plan

Legal
Lots "B" and "C" Block Plan
19722 & Lot 18 Block 32 Plan
2620 New Westminster Townsite

Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L0.5
Date: 2019.02.05	

Plot Date:



1 Royal I
Scale: 1:100

MATERIALS AND FURNISHINGS - OFFSITE

ID	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COMMENT	COLOUR	QTY
PAVERS							
SITE FURNISHINGS							
S18	GRANITE SEATING BLOCKS	-	CUSTOM	-	See 1/L.11.3	-	4
HARDSCAPE							
P3	CIP CONC PED PAVING	-	-	-	CUSTOM	-	-
FENCING							
LIGHTING							

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE SITE FURNISHINGS, MATERIALS, AND LIGHTING SCHEDULE QUANTITIES AND THE LANDSCAPE PLANS, THE LANDSCAPE PLANS TAKE PRECEDENCE.

ID	QTY	LATIN NAME	COMMON NAME	MATURE	SPACING	SCHEDULED	NOTES	ATTRIBUTES
TREES - OFF-SITE								
Ar	3	Acer rubrum	red maple	6.854	as shown	6cm cal/B&B	full/ bushy canopy	B
Far	2	Fraxinus angustifolia 'Raywood'	Raywood ash	7.62	as shown	6cm cal/B&B	full/ bushy canopy	
Gb	7	Ginkgo biloba	maidenhair tree	4.556	as shown	6cm cal/ B&B	male only	
Nsl	2	Nyssa sylvatica 'Tupelo Tower'	Tower tupelo	3.023	as shown	6cm cal/B&B	full/ bushy canopy	
SHRUBS / GROUNDCOVERS / PERENNIALS - OFFSITE								
Ct	2	Choisya ternata	Mexican mock orange	1.219	1.07	#3 cont.	full/ bushy plants	E, P
Epw	89	Epimedium x warleyense	barrenwort	0.305	0.3	#2 cont.	full/ bushy plants	E
Gem	30	Geranium macrorrhizum 'Bevan's Variety'	bigroot cranesbill	0.406	0.3	#1 cont.	full/ bushy plants	P
La	3	Lavandula angustifolia	English lavender	0.448	0.36	#2 cont.	full/ bushy plants	E, B, P, Ed
Lsd	39	Liriope spicata 'Silver Dragon'	Silver Dragon lilyturf	0.508	0.46	#1 cont.	full/ bushy plants	E, P, B
Pm	35	Polystichum munitum	sword fern	0.914	0.61	#3 cont.	full bushy plants	N, E
Rak	3	Rhododendron 'Anah Kruschke'	pink rhododendron	1.524	1.07	#5 cont.	full/ bushy plants	E, P
Sh	19	Sarcococca hookeriana var. Humilis	sweet box	0.607	0.46	#2 cont.	full/ bushy plants	E, P, B
Tmh	40	Taxus media 'Hicksii'	Anglojap yew	0.61	0.46	1.2m/B&B	full/ bushy plants	E, B
Vot	24	Vaccinium ovatum 'Thunderbird'	evergreen huckleberry	0.759	0.61	#2 cont.	full/ bushy plants	N, E, P, B
LAWN								
		Non-Netted, grown on sand						

NOTES:

1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 2 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.
2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST

OFFSITE LEGEND
CONCRETE TO CoNW STANDARDS
SOD TO CoNW STANDARDS

NOTES:
-FOR SOIL DEPTH, SEE L6.1 SOIL DEPTH PLAN
-FOR IRRIGATED AREAS, SEE L7.1 IRRIGATED AREAS PLAN

Revision
No.	Date	Revision Notes

Issued
No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
G	2021-02-05	Re-Issued for RZ/DP
H	2021-05-16	Issue for DP
I	2022-03-14	Issue for DP

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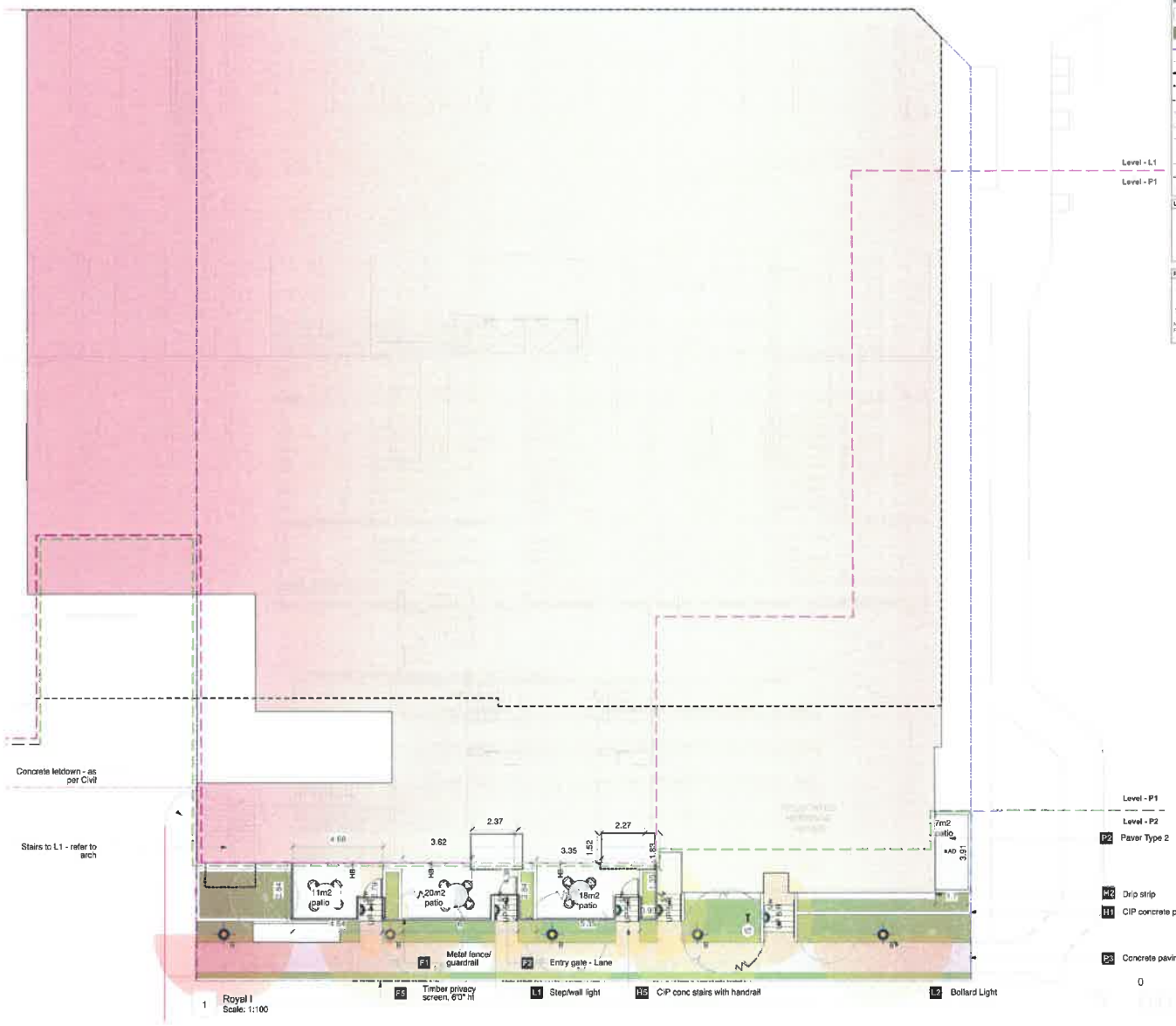
Project
Royal I
Royal Ave & 1st Street
106 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title
Offsite Plan

Legal
Lots "B" and "C" Block Plan
12722 & Lot 16 Block 27 Plan
2620 New Westminster Township

Project Manager: DT	Project ID: 21843
Drawn By: MT	Scale: As noted
Reviewed By: DT	Drawing No: L2.1
Date: 2019.02.05	of 34

Plot Date:



P2 Paver Type 2

M2 Drip strip

H1 CIP concrete planter

P3 Concrete paving

0 2 4 6 8 10 m

ONSITE - HARDSCAPE
(Note: Refer to materials schedule for site furnishings)

- SRCOM FINISH CONCRETE
- FEATURE PAVER — Refer to P1 on Materials Schedule LD 1
- STANDARD PAVER — Refer to P2 on Materials Schedule LD 1
- PLANTED AREA — Refer to Planting Plan LS 1 - LS 4
- PL
- SETBACK
- BUILDING OUTLINE
- BUILDING OVERHANG
- EXTENT OF SLAB
- WALLS 8"
- DRIP STRIP
- METAL FENCE/GUARDRAIL
- PRIVACY SCREEN
- HANDRAIL
- METAL PLANTER WALL
- TIMBER PRIVACY SCREEN 6'0" HT

LIGHTING LEGEND

- STEP/WALL LIGHT
- BOLLARD LIGHT

IRRIGATION LEGEND

- HOSEBIB
- IRRIGATION STUB-OUT

Note
Refer to Canadian landscape standards, typ

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-03-11	Issued for Review
C*	2019-08-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-16	Issued for Review
F	2019-10-25	Issued for R2 / DP
G	2021-07-19	Issue for DP
H	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

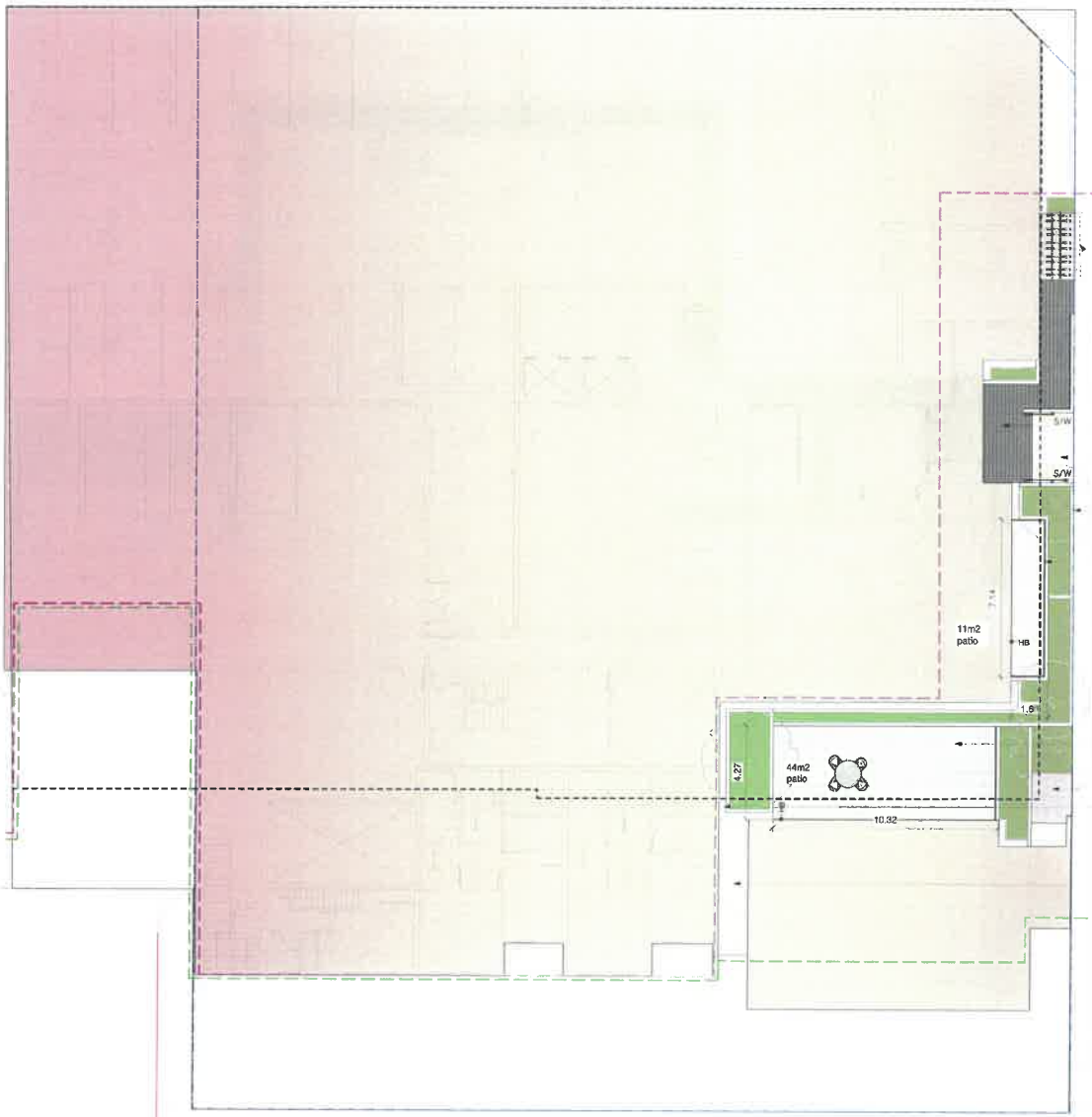
Drawing Title

P2 - Materials Plan

Legal
Lots "B" and "C" Block Plan
12722 & Lot 18 Block 32 Plan
2620 New Westminster Township

Project Manager: DT	Project ID: 21543
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L3.1
Date: 2019.02.05	

Plot Date:



1 Royal I
Scale: 1:100

ONSITE - HARDSCAPE
(Note: Refer to materials schedule for site furnishings)

- BROOM FINISH CONCRETE
- FEATURE PAVER — Refer to P1 on Materials Schedule - LD 1
- STANDARD PAVER — Refer to P2 on Materials Schedule - LD 1
- PLANTED AREA — Refer to Planting Plan - L5.1 L5.4
- PL
- SETBACK
- BUILDING OUTLINE
- BUILDING OVERHANG
- EXTENT OF SLAB
- WALLS 6"
- DRIP STRIP
- METAL FENCE/GUARDRAIL
- PRIVACY SCREEN
- HANDRAIL
- METAL PLANTER WALL
- TIMBER PRIVACY SCREEN 6'0" AFF

LIGHTING LEGEND

- S/W — STEP/WALL LIGHT
- B — BOLLARD LIGHT

IRRIGATION LEGEND

- HB-4 — HOSEBIB
- IS-4 — IRRIGATION STUB-OUT

Note:
Refer to Canadian landscape standards, typ.

Level - L1

Level - P1

S6	5 x bike racks (10 spaces)
P1	Paver Type 1
H5	CIP conc stairs with handrail
L1	Step/wall light
H1	CIP Conc Planter
F1	Metal fence/guardrail
P2	Paver Type 2
P3	Concrete paving
H2	Drip strip

Gravel strip between heritage house and L1 landing

Level - P1

Level - P2

0 2 4 6 8 10 m

Revision No. | Date | Revision Notes

Issue No. | Date | Issue Notes

B	2019-03-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

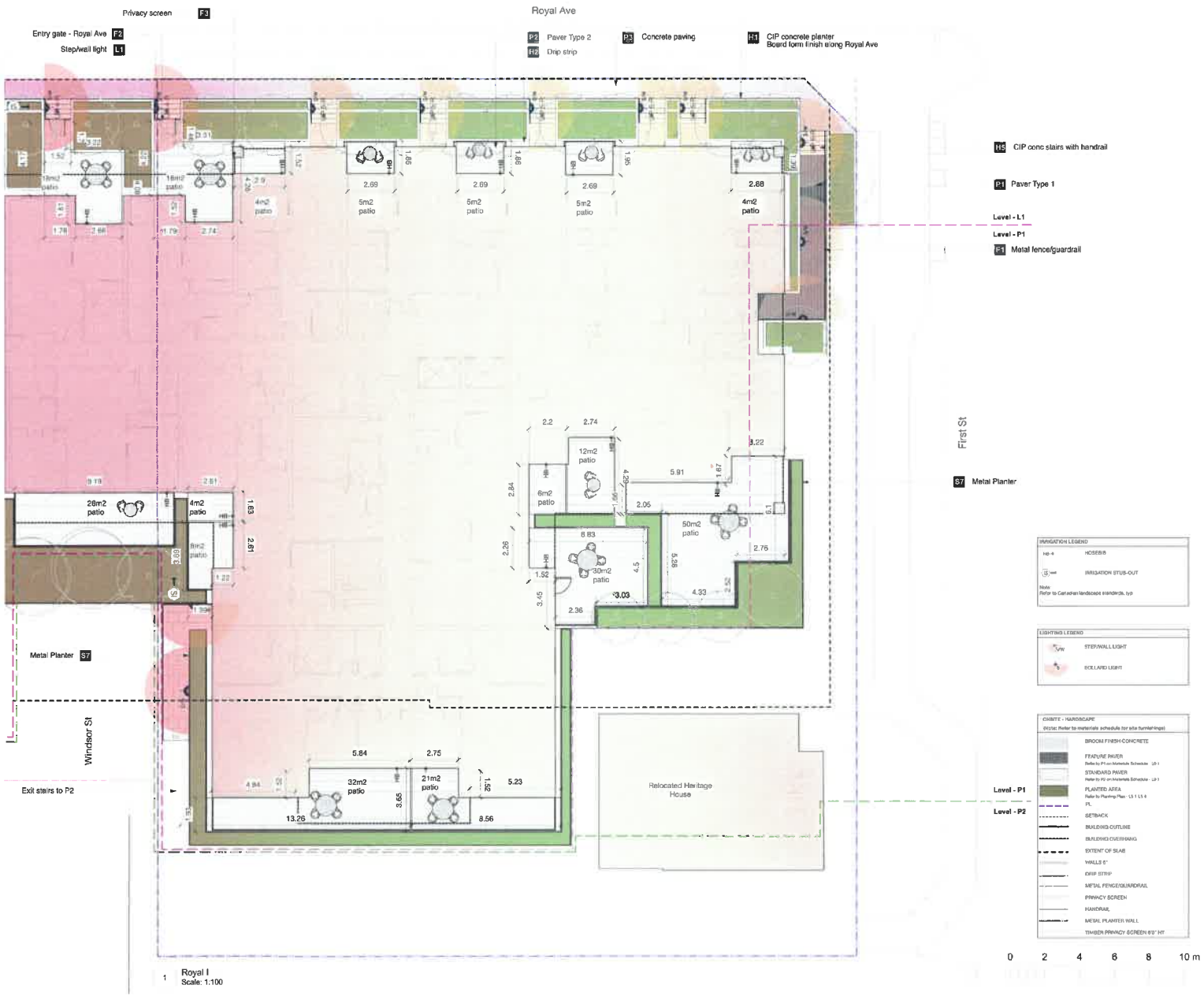
Drawing Title

P1 - Materials Plan

Legal
Lots "B" and "C" Block Plan
12122 & Lot 16 Block D2 Plan
192G New Westminster Townsite

Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L3.2
Date: 2019.02.05	

Plot Date:



1 Royal I
Scale: 1:100

Revision No.	Date	Revision Notes

Issue No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

Professional Seal

IRRIGATION LEGEND

HB-4	HOSEBIB
IS-wet	IRRIGATION STUB-OUT

Note
Refer to Canadian landscape standards, typ

LIGHTING LEGEND

SW	STEP/WALL LIGHT
	BOLLARD LIGHT

EXHIBIT - HARDSCAPE
(Note: Refer to materials schedule for site turnishings)

	BROOM FINISH CONCRETE
	FEATURE PAVER Refer to P1 on Materials Schedule - L0.1
	STANDARD PAVER Refer to P2 on Materials Schedule - L0.1
	PLANTED AREA Refer to Planting Plan - L3.1 L3.4
	PL
	SETBACK
	BUILDING OUTLINE
	BUILDING OVERHANG
	EXTENT OF SLAB
	WALLS 6"
	DRIP STRIP
	METAL FENCE/GUARDRAIL
	PRIVACY SCREEN
	HANDRAIL
	METAL PLANTER WALL
	TIMBER PRIVACY SCREEN 6'0" HT

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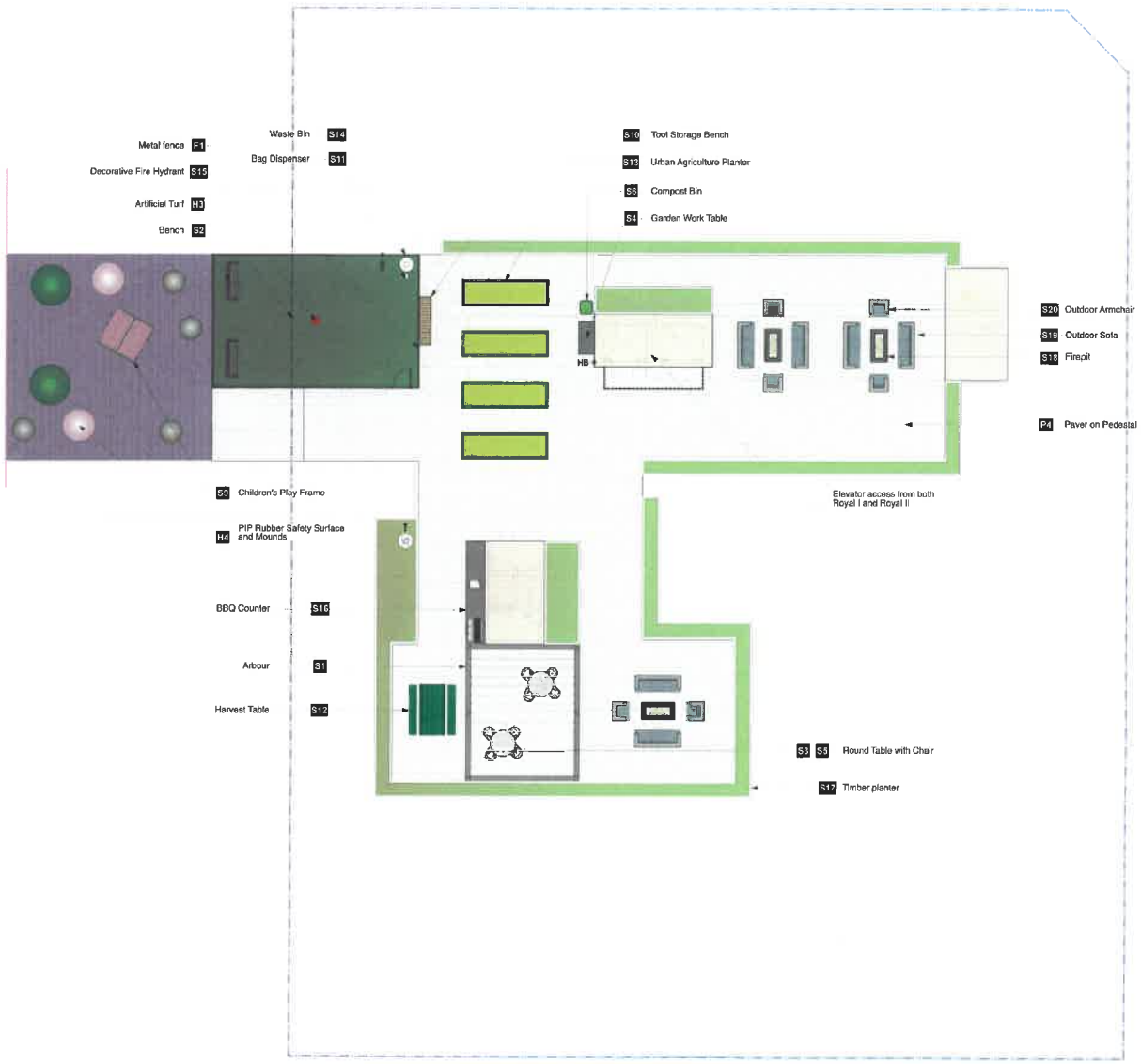
Project
Royal I
Royal Ave & 1st Street
108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title
L1 - Materials Plan

Legal
Lots "B" and "C" Block Plan
10729 & Lot 16 Block 32 Plan
2620 New Westminster Townsite

Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L3.3
Date: 2019.02.06	

Plot Date:



1 Royal I
Scale: 1:100

0 2 4 6 8 10 m

ONSITE - HARDSCAPE
(Note: refer to materials schedule for site furnishings)

- BROOM FINISH CONCRETE
- FEATURE PAVER — Refer to P1 on Materials Schedule - L0.1
- STANDARD PAVER — Refer to P2 on Materials Schedule - L0.1
- PLANTED AREA — Refer to Planting Plan - L3.1-L3.4
- PL
- SETBACK
- BUILDING OUTLINE
- BUILDING OVERHANG
- EXTENT OF SLAB
- WALLS 5"
- DRIP STRIP
- METAL FENCE/GUARDRAIL
- PRIVACY SCREEN
- HANDRAIL
- METAL PLANTER WALL

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2015-09-11	Issued for Review
C	2016-09-13	Issued for Review
D	2016-10-01	Issued for Review
E	2019-10-18	Issued for Review
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

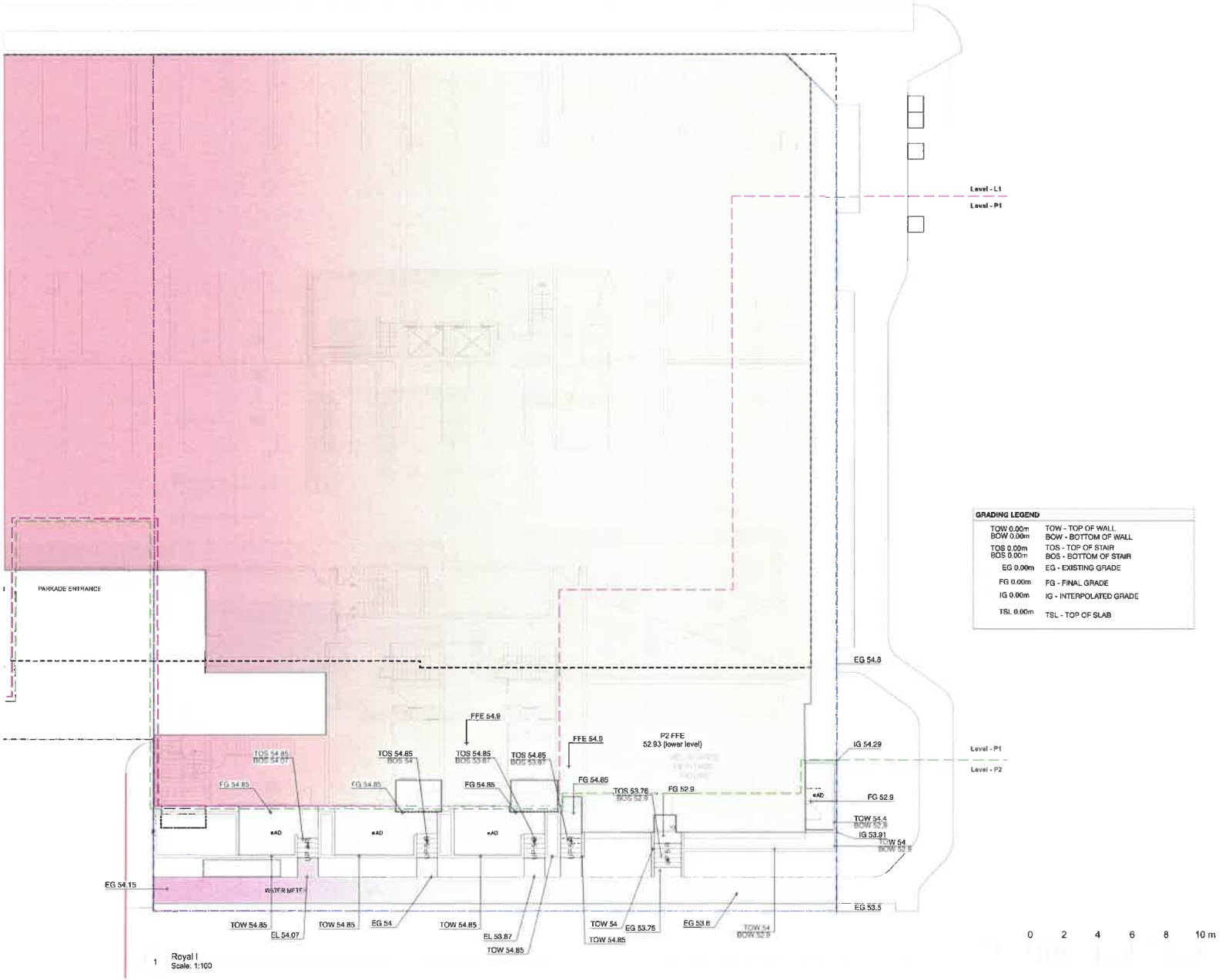
Drawing Title

Roof - Materials Plan

Legal
Lots "G" and "Z" Block Plan
12722 & Lot 19 Block 32 Plan
2520 New Westminster Townsite

Project Manager	Project ID
DT	21843
Drawn By	Scale
MR	As noted
Reviewed By	Drawing No.
DT	L3.4
Date	
2019.02.05	

Plot Date



1 Royal I
Scale: 1:100

GRADING LEGEND

TOW 0.00m BOW 0.00m	TOW - TOP OF WALL BOW - BOTTOM OF WALL
TOS 0.00m BOS 0.00m	TOS - TOP OF STAIR BOS - BOTTOM OF STAIR
EG 0.00m	EG - EXISTING GRADE
FG 0.00m	FG - FINAL GRADE
IG 0.00m	IG - INTERPOLATED GRADE
TSL 0.00m	TSL - TOP OF SLAB

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for R2 / DP
H	2021-07-18	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 62-74 1st Street
New Westminster

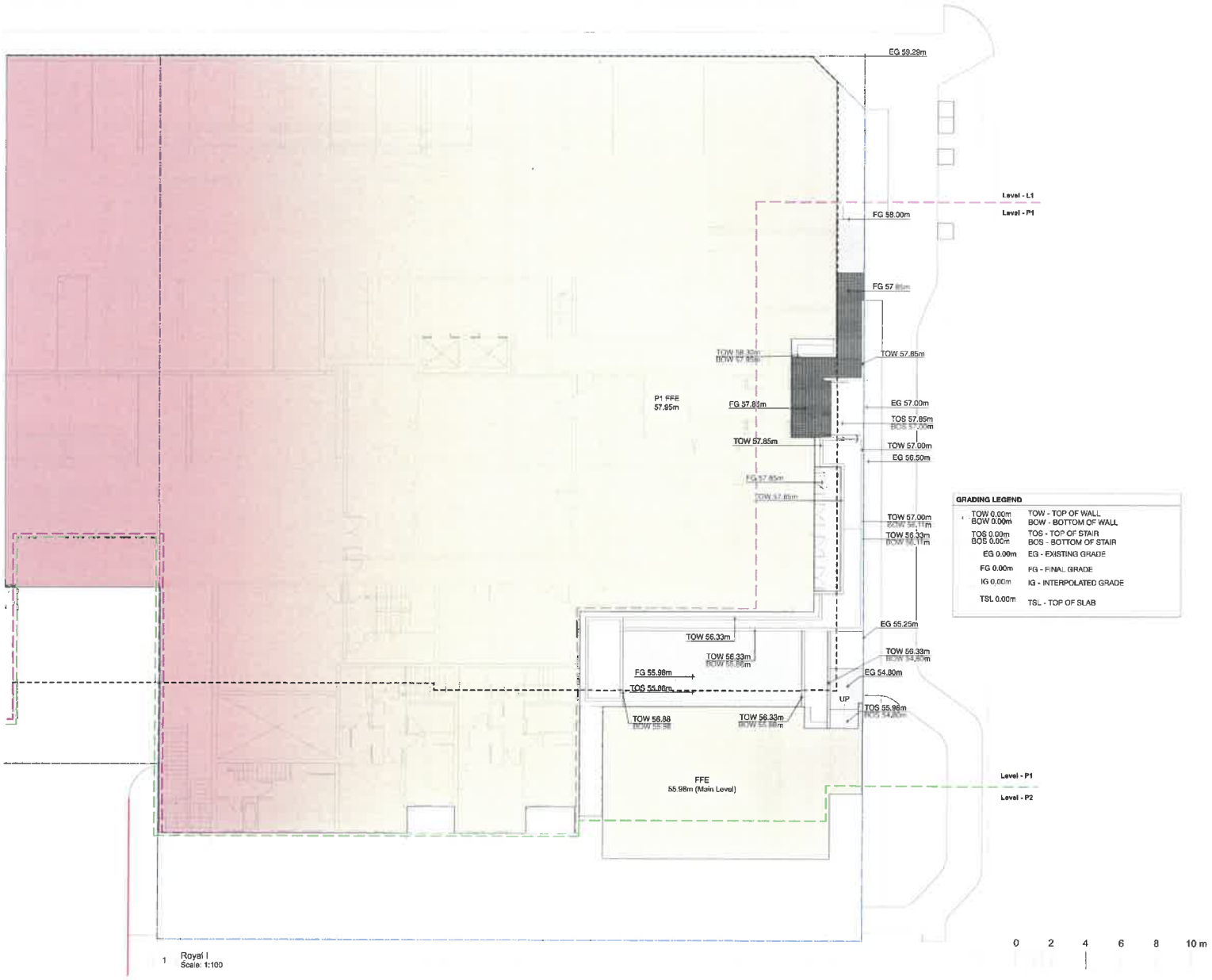
Drawing Title

Landscape

P2 - Grading and Drainage Plan

Legal
Lots "B" and "C" Block Plan
12702 & Lot 16 Block 52 Plan
2570 New Westminster Township

Project Manager DT	Project ID 21843
Drawn By MH	Scale As noted
Reviewed By DT	Drawing No L4.1
Date 2019.02.05	-
Plot Date	34



1 Royal I
Scale: 1:100

GRADING LEGEND

TOW 0.00m BOW 0.00m	TOW - TOP OF WALL BOW - BOTTOM OF WALL
TOS 0.00m BOS 0.00m	TOS - TOP OF STAIR BOS - BOTTOM OF STAIR
EG 0.00m	EG - EXISTING GRADE
FG 0.00m	FG - FINAL GRADE
IG 0.00m	IG - INTERPOLATED GRADE
TSL 0.00m	TSL - TOP OF SLAB

Revision
No. Date Revision Notes

Issue
No. Date Issue Notes
B 2019-08-13 Issued for Review
C 2019-09-13 Issued for Review
D 2019-10-01 Issued for Review
E 2019-10-18 Issued for Review
F 2019-10-25 Issued for RZ / DP
G 2021-01-18 Issue for DP
H 2022-03-14 Issue for DP

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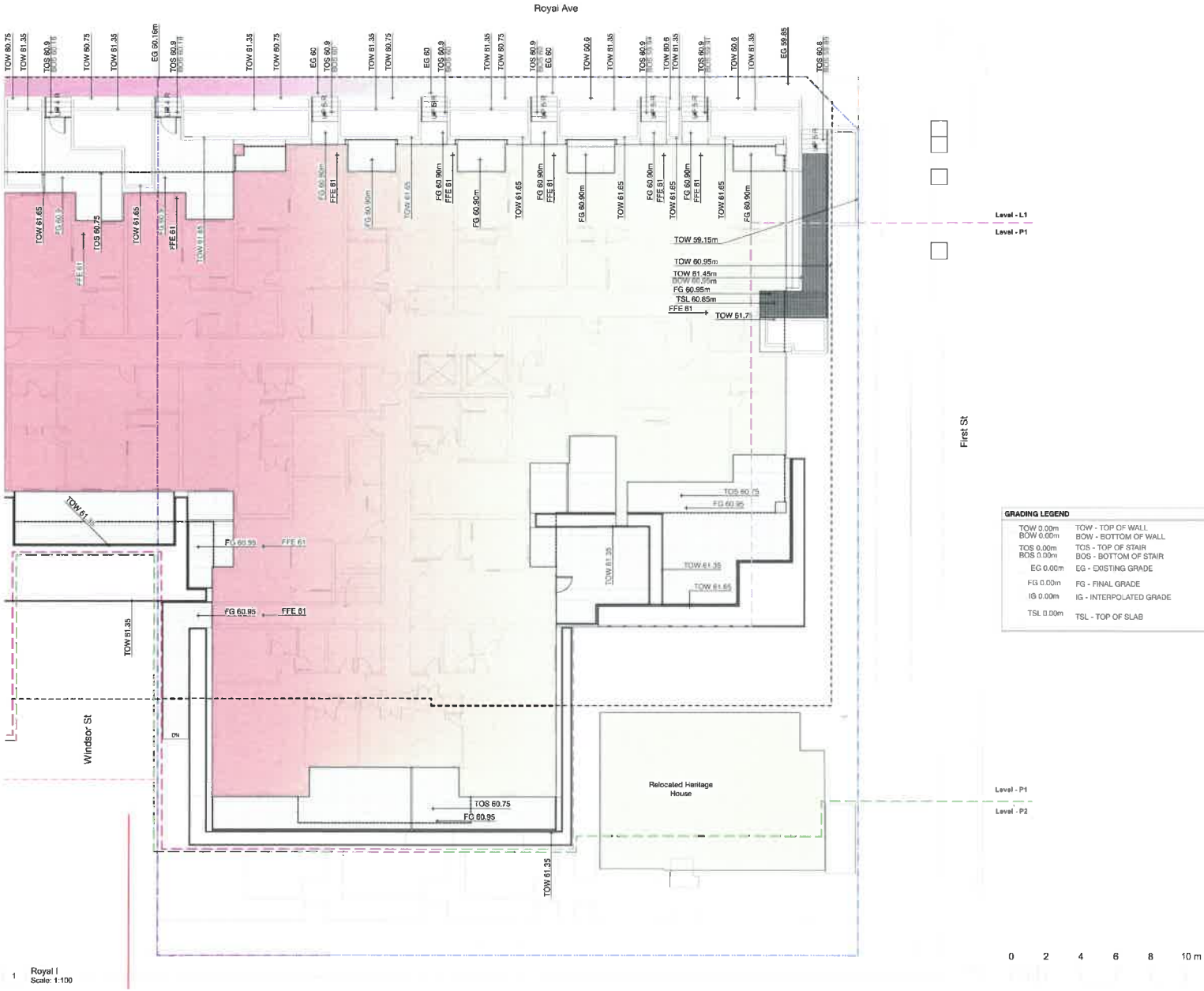
Project
Royal I
Royal Ave & 1st Street
108 Royal Ave & 92-74 1st Street
New Westminster

Drawing Title
Landscape
P1 - Grading and Drainage Plan

Legal
Lots "B" and "C" Block Plan
13722 & Lot 18 Block 39 Plan
2820 New Westminster Township

Project Manager DT	Project ID 21843
Drawn By AIR	Scale As noted
Reviewed By DT	Drawing No L4.2
Date 2019.02.06	
Plot Date	



1 Royal I
Scale: 1:100

GRADING LEGEND

TOW 0.00m	TOW - TOP OF WALL
BOW 0.00m	BOW - BOTTOM OF WALL
TOS 0.00m	TOS - TOP OF STAIR
BOS 0.00m	BOS - BOTTOM OF STAIR
EG 0.00m	EG - EXISTING GRADE
FG 0.00m	FG - FINAL GRADE
IG 0.00m	IG - INTERPOLATED GRADE
TSL 0.00m	TSL - TOP OF SLAB

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for R2 / DP
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

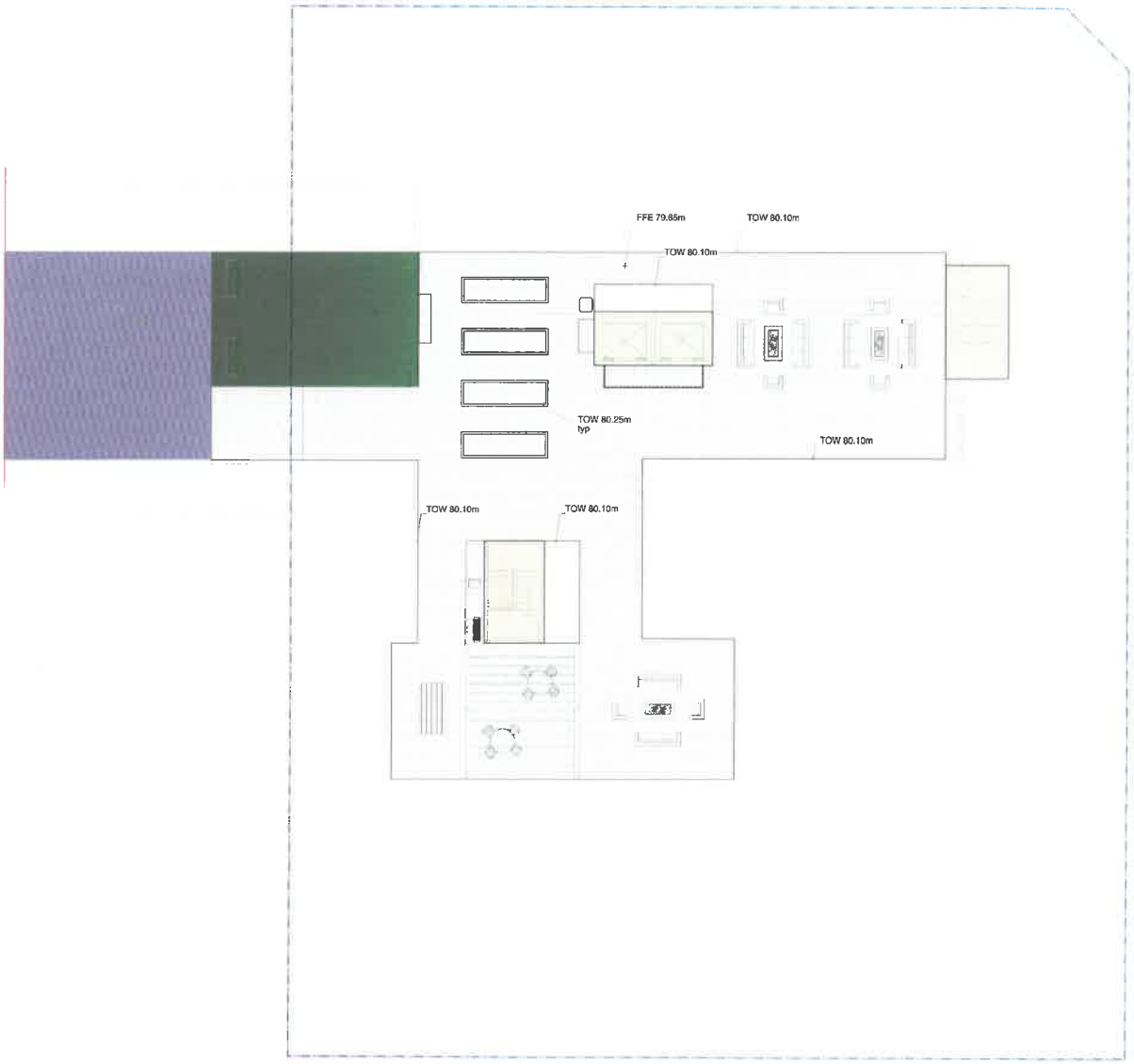
Grading

L1 - Grading and Drainage Plan

Legal
Lots "B" and "C" Block Run
12729 & Lot 16 Block 29 Plan
3520 New Westminster Townsite

Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L4.3
Date: 2019.02.05	

Plot Date



1 Royal I
Scale: 1:100

0 2 4 6 8 10 m

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
H	2021-07-19	Issue for DP
I	2022-06-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

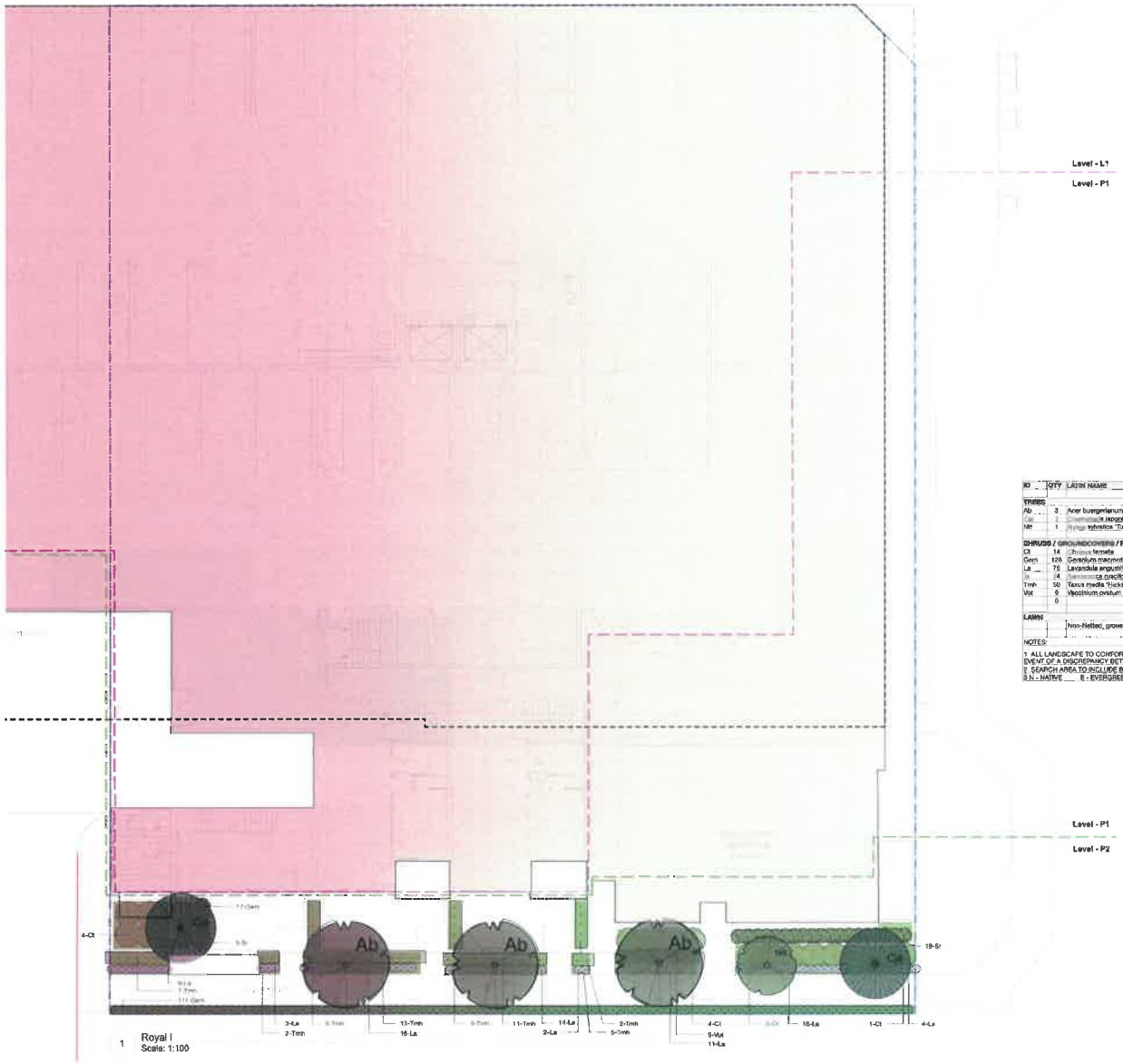
108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

Roof - Grading and Drainage Plan

Legal
Lots "B" and "C" Block Plan
12722 & Lot 18 Block 32 Plan
3630 New Westminster Township

Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L4.4
Date: 2019.02.05	
Plot Date:	



1 Royal I
Scale: 1:100

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES							
Ab	3	Acer buergerianum	trident maple	as shown	6cm cal/B&B	full/ bushy canopy	B
Cjo	1	Cryptomeria japonica 'Elegans'	Japanese cedar	as shown	6cm cal/B&B	full/ bushy plant	E
Nrt	1	Nyssa sylvatica 'Tupelo Tower'	Tower tupelo	as shown	6cm cal/B&B	full/ bushy canopy	
SHRUBS / GROUNDCOVERS / PERENNIALS							
Ct	14	Choisya ternata	Mexican mock orange	1.0m	#3 cont.	full/ bushy plants	E, P
Cen	128	Ceanothus roanoke/blum 'Bevan's Variety'	lilacnol ceanothus	0.9m	#1 cont.	full/ bushy plants	P
La	75	Lavandula angustifolia	English lavender	0.9m	#2 cont.	full/ bushy plants	E, B, P, Ed
Sr	4	Sarcococca ruscifolia	sweet box	0.45	#2 cont.	full/ bushy plants	E, P, B
Trnh	50	Taxus media 'Hicksii'	Anglejap yew	0.45	1.2m/B&B	full/ bushy plants	E, B
Vot	9	Vaccinium ovatum 'Thunderbird'	evergreen huckleberry	0.45	#2cont.	full/ bushy plants	N, E, P, B
	6				6		
LAWN							
		Non-Netted, grown on sand					

NOTES:

1. ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR ALL LEVELS 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.
2. SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON AND OREGON

3. N - NATIVE ___ E - EVERGREEN ___ B - BIRD FRIENDLY ___ P - POLLINATOR ___ Ed - EDIBLE ___ W - WINTER INTEREST ___

0 2 4 6 8 10 m

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
A	2019.02.05	Issue for Planning
B	2019-06-11	Issued for Review
C	2019-06-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
G	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

Landscape

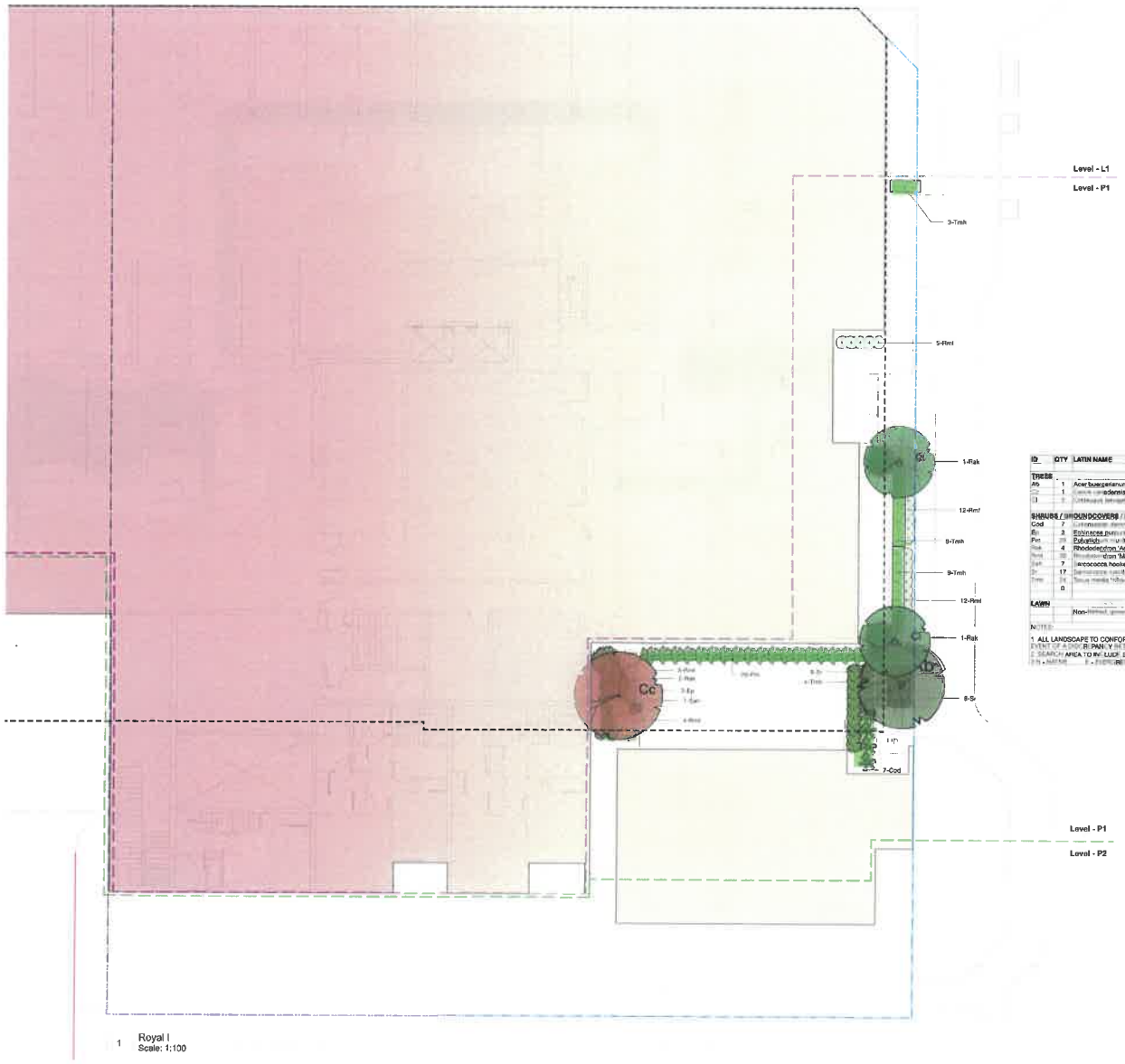
P2 - Planting Plan

Legal
Lots "P" and "C" Block Plan
12122 & Lot 15 Block 32 Plan
2890 New Westminster Townsite

Project Manager	Project ID
DT	21543
Drawn By	Scale
MR	As noted
Reviewed By	Drawing No
DT	L5.1
Date	
2019.02.05	

34

Plot Date



1 Royal I
Scale: 1:100

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES							
Ab	1	Acer buergerianum	trident maple	as shown	6cm cal/B&B	full/ bushy canopy	B
Cc	1	Cercis canadensis 'Forest Pansy'	eastern redbud	as shown	6cm cal/B&B	full/ bushy canopy	B, EL, P
Cl	3	Chitalpa tashkenta 'Pink Cloud'	Pink Cloud hybrid catalpa	as shown	6cm cal/B&B	full/ bushy canopy	B, P
SHRUBS / GROUNDCOVERS / PERENNIALS							
Cod	7	Cotoneaster dammeri	bearberry cotoneaster		0.76 #2 cont.	full/ bushy plants	F, B, P
Ec	3	Echinacea purpurea	purple coneflower		0.61 #2 cont.	full/ bushy plants	B, P, Ed, W
Pm	25	Polystichum munitum	sword fern		0.61 #3 cont.	full/ bushy plants	N, E
Rak	4	Rhododendron 'Anah Kruschke'	pink rhododendron		1.07 #5 cont.	full/ bushy plants	E, P
Rmt	22	Rhododendron 'Mac's Primrose'	dwarf yellow rhododendron		0.46 #5 cont.	full/ bushy plants	E, P
Sah	7	Sarcococca hookeriana var. humilis	dwarf sweet box		0.46 #2 cont.	full/ bushy plants	E, P, B
Sr	17	Sarcococca ruscifolia	sweet box		0.46 #2 cont.	full/ bushy plants	F, E, B
Tmh	24	Taxus media 'Hillii'	American yew		0.46 / 1.2m/B&B	full/ bushy plants	F, B
	0						
LAWN							
		Non-flowering grass sod					

NOTES:

1. ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR ALL LEVELS 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A CONFLICT BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.
2. SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON AND OREGON

FN - NATIVE E - FRAGRANT B - BEE FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST

0 2 4 6 8 10 m

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
A	2019.02.05	Issue for Rezoning
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

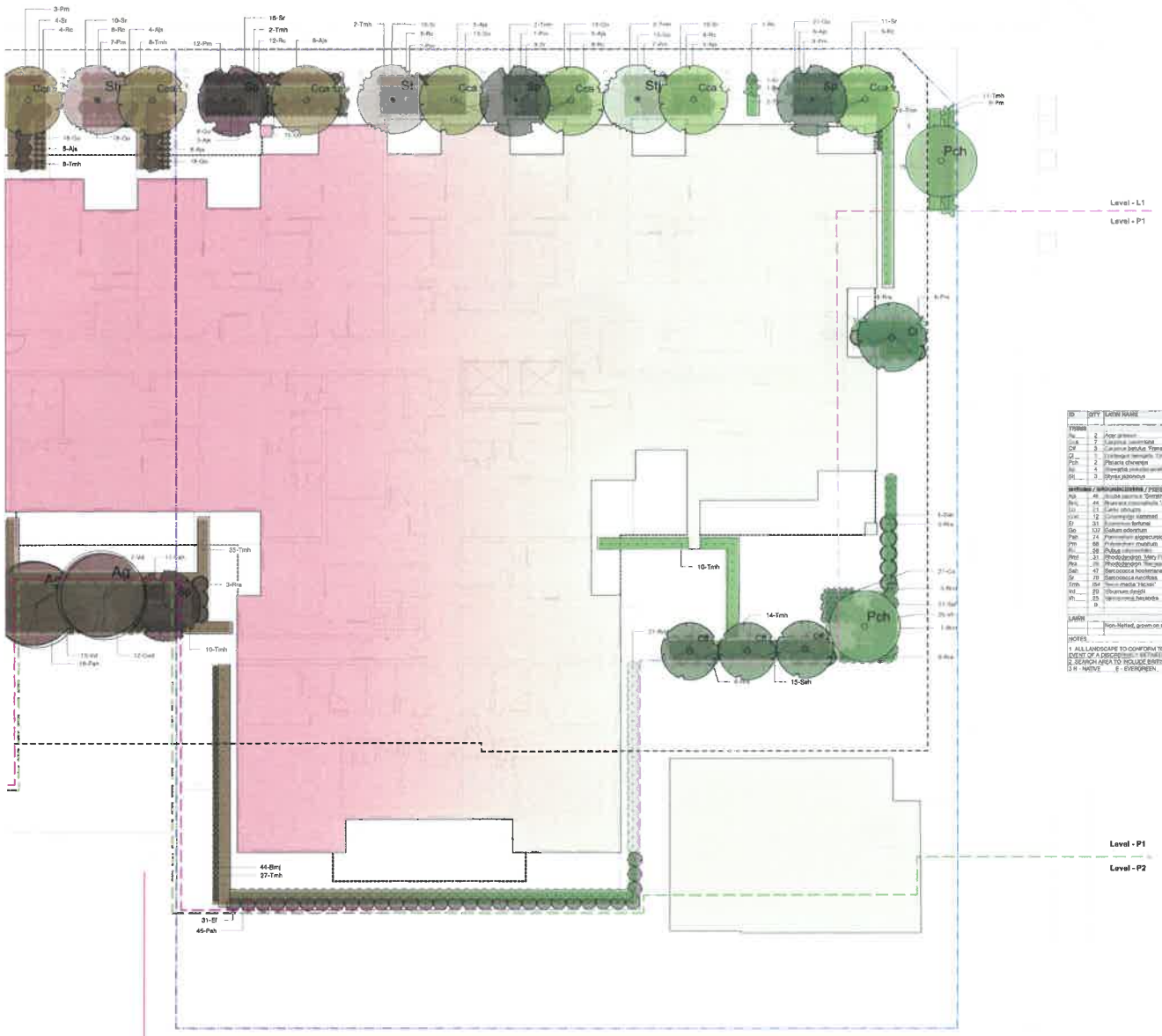
Landscape

P1 - Planting Plan

Legal
Lots "B" and "C" Block Plan
12732 & Lot 16 Block 32 Plan
2620 New Westminster Townsite

Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L5.2
Date: 2019.02.05	
Plot Date:	

34



1 Royal I
Scale: 1:100

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES							
Ag	2	Acer grosseri	pacificmaple	as shown	/form cal/B&B	full/ healthy canopy	m,P
Cca	7	Carpinus caroliniana	American hornbeam	as shown	/form cal /B&B	full/ healthy canopy	
Cef	3	Carpinus betulus 'Frans Fontaine'	Frans Fontaine hornbeam	as shown	/form cal/B&B	full/healthy canopy	
Cr	1	Cornus kousa 'Venus'	Venus dogwood	as shown	/form cal/B&B	full/healthy canopy	B, P
Pch	2	Picea chinensis	Chinese spruce	as shown	/form cal/B&B	full/healthy canopy	B, P
Ap	4	Prunus padus 'grandiflora'	Japanese bird cherry	as shown	/form cal/B&B	full/healthy canopy, multi	B, P
Rd	3	Rhododendron	Japanese snowbell	as shown	/form cal/B&B	full/healthy canopy	P
SHRUBS / GROUNDCOVERS / PERENNIALS							
Aja	46	Ajuga reptans 'Smokey'	carpet bugle	0.75 #3 cont		full/healthy plants	E, B, P
Bmj	44	Brunnera macrophylla 'Jack Frost'	Siberian bugloss	0.75 #1 cont		full/healthy plants	P
Cs	11	Carex obnupta	slough sedge	0.5 SP4		full/healthy plants	N, E
Ccr	12	Cornus sericea 'cardinal'	kelseyi dogwood	0.75 #2 cont		full/healthy plants	E, B, P
Ef	31	Euonymus fortunei	wintercreeper	0.75 #2 cont.		full/healthy plants	E
Go	132	Galium odoratum	sweet woodruff	0.3 #1 cont		full/healthy plants	P
Pah	24	Pennisetum alopecuroides 'Hamelin'	dwarf fountain grass	0.45 #2 cont		full/healthy plants	B, W
Pm	68	Polystichum munitum	western fern	0.75 #2 cont		full/healthy plants	H, E
Rr	58	Rubus ursinus/ribis	trailing blackberry	0.6 #1 cont		full/healthy plants	E, B, P, Ed
Rmd	31	Rhododendron 'Mary Fleming'	dwarf yellow rhododendron	0.75 #5 cont.		full/healthy plants	E, P
Rca	26	Rhododendron 'Recapo'	purple rhododendron	0.75 #3 cont		full/healthy plants	E, P
Sch	47	Sarcococca hookeriana var. humilis	dwarf sweet box	0.45 #2 cont.		full/healthy plants	E, B, P
Sr	70	Sarcococca ruscifolia	sweet box	0.75 #2 cont		full/healthy plants	E, P, B
Tmh	154	Taxus media 'Hicksii'	Hicksii yew	0.75 1.2m/B&B		full/healthy plants	E, P
Vd	79	Viburnum davidii	viburnum	0.75 #2 cont		full/healthy plants	
Vh	25	Vancouveria hexandra	American barrenwort	0.75 SP4		full/healthy plants	H, E
LAWN							
		Non-Native, grown on sod					
NOTES							

1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR ALL LEVELS OF LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE
2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
3 H - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR EG - EDIBLE W - WINTER INTEREST

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
A	2018-02-05	Issue for Rezoning
B	2019-03-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 62-74 1st Street
New Westminster

Drawing Title

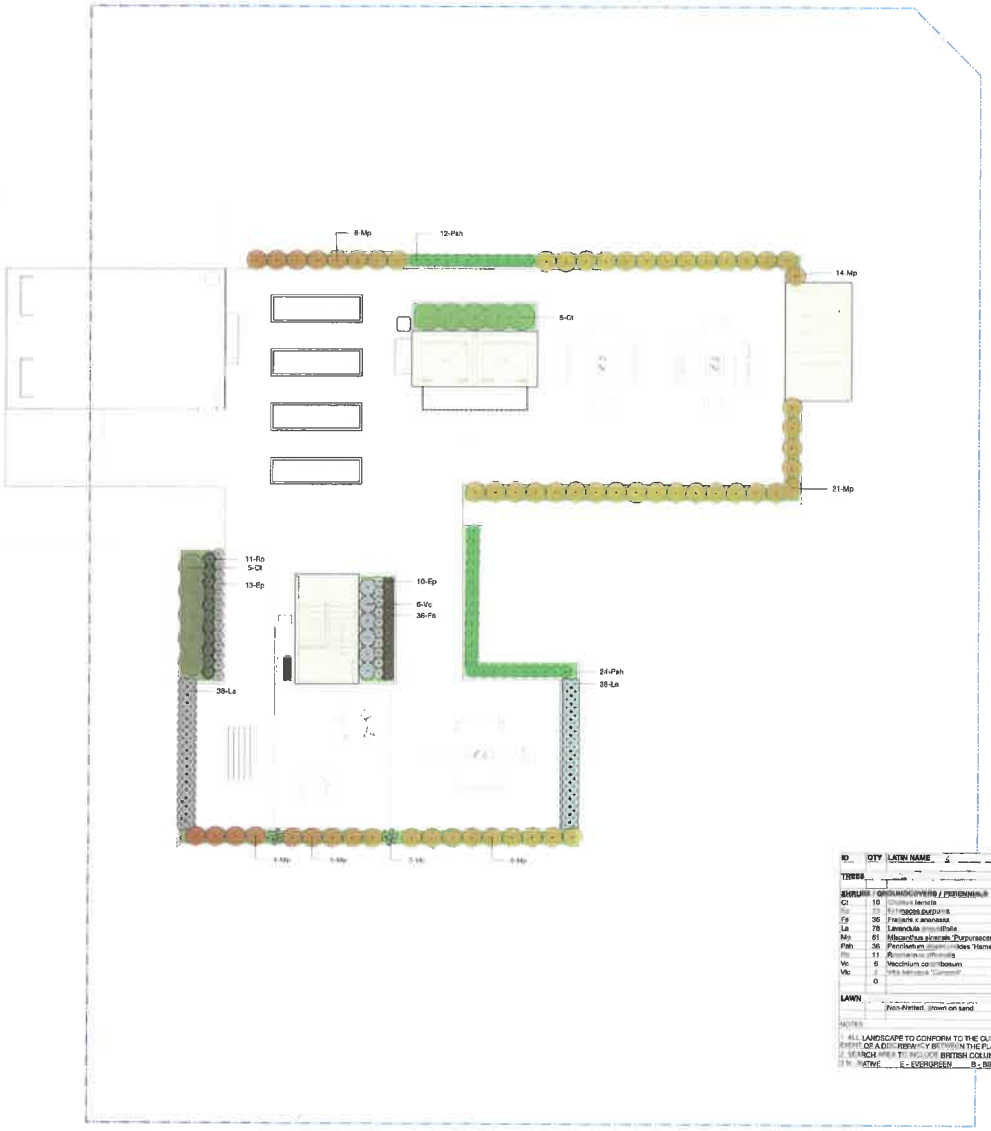
Landscape

L1 - Planting Plan

Legal
Lots "B" and "C" Block Plan
12739 & Lot 16 Block 30 Plan
2620 New Westminster Townsite

Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L5.3
Date: 2018.02.05	

Plot Date: 34



ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES							
SHRUBS / GROUNDCOVERS / PERENNIALS							
Ct	10	Cistus laciniatus	Montpelier rock rose	1.07 #3 cont.	full/ bushy plants	E, P	
Ro	11	Rosmarinus officinalis	rosemary	0.48 #2 cont.	full/ bushy plants	B, P, Ed, W	
Fa	36	Fragaria x ananassa	strawberry	0.25/SPM	full/ bushy plants	E, P, B	
La	78	Lavandula angustifolia	English lavender	0.35 #1 cont.	full/ bushy plants	E, B, P, Ed	
Mo	61	Miscanthus sinensis 'Purpurascens'	flame grass	0.91 #3 cont.	full/ bushy plants	B, W	
Pah	36	Pennisetum alopecuroides 'Hamelin'	dwarf fountain grass	0.61 #2 cont.	full/ bushy plants	B, W	
Ro	11	Rosmarinus officinalis	rosemary	0.51 #2 cont.	full/ bushy plants	E, P, Fd	
Vc	6	Vaccinium corymbosum	blueberry	0.75 #3 cont.	full/ bushy plants	B, P, Ed	
Vc	2	Vitis vinifera 'Concord'	Concord grape	4.57 #7 cont./ trellised	full/ bushy plants	P, B, Ed	
	0			0			
LAWN							
		Non-Nitrated, grown on sand					

NOTES

1. ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR ALL LEVELS 'GROOMED' LANDSCAPE TREATMENT. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.
2. SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON.

N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST

1 Royal I
Scale: 1:100

0 2 4 6 8 10 m

Revision
No. Date Revision Notes

Issue
No. Date Issue Notes
A 2019.02.05 Issue for Rezoning
B 2019-06-11 Issued for Review
C 2019-09-13 Issued for Review
D 2019-10-01 Issued for Review
E 2019-10-18 Issued for Review
F 2019-10-25 Issued for RZ / DP
H 2021-07-19 Issue for DP
I 2022-03-14 Issue for DP

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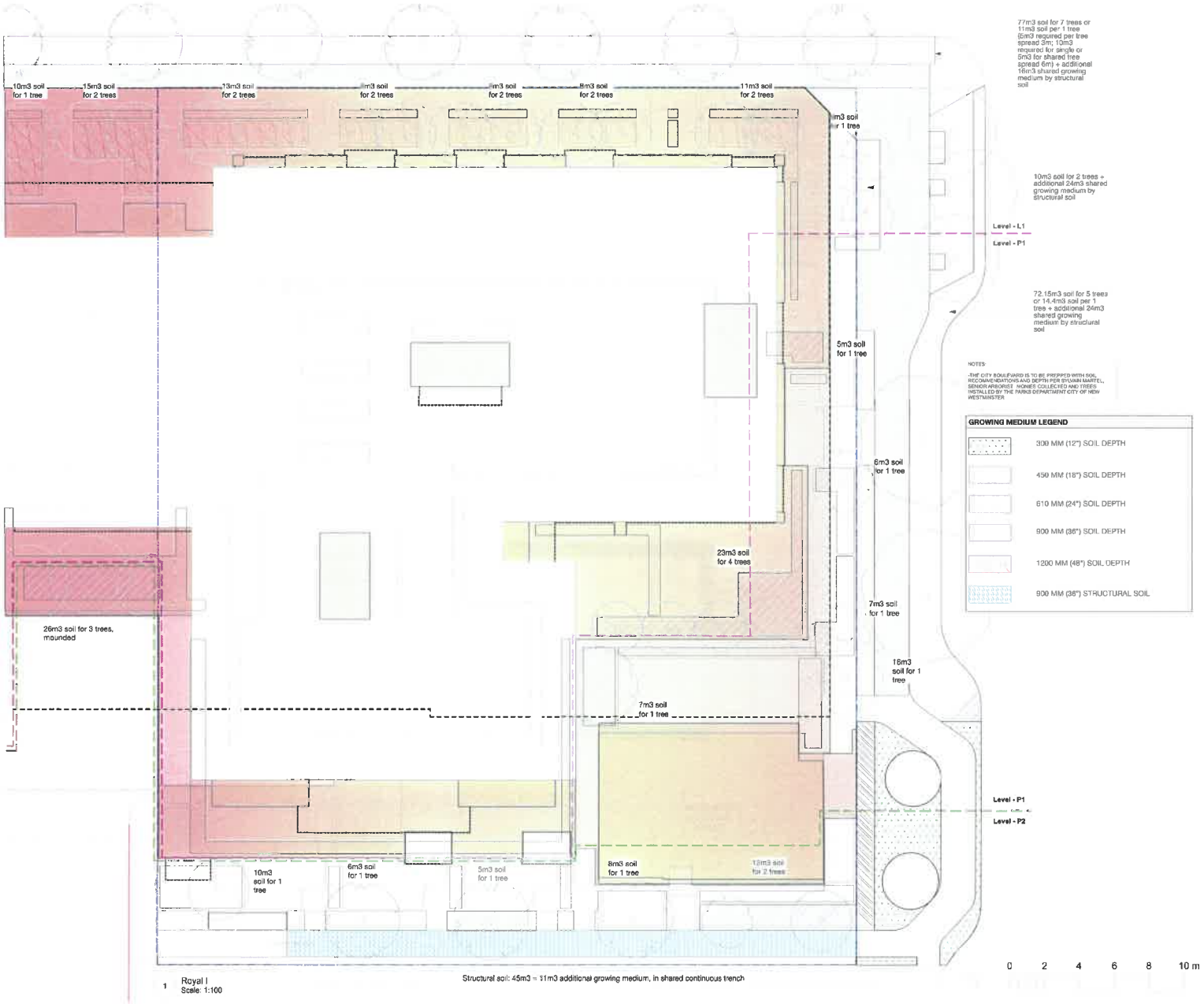
Project
Royal I
Royal Ave & 1st Street
108 Royal Ave & 62-74 1st Street
New Westminster

Drawing Title
Landscape
Roof - Planting Plan

Legal
Lots "B" and "C" Block Plan
12732 & Lot 19 Block 32 Plan
2620 New Westminster Townsite

Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewer By: DT	Drawing No: L5.4
Date: 2019.02.05	
Plot Date:	

34



NOTES:

-THE CITY BOULEVARD IS TO BE PREPPED WITH SOIL RECOMMENDATIONS AND DEPTH PER SYLVAIN MARTEL, SENIOR ARBORIST MONIES COLLECTED AND TREES INSTALLED BY THE PARKS DEPARTMENT CITY OF NEW WESTMINSTER

GROWING MEDIUM LEGEND

- 300 MM (12") SOIL DEPTH
- 450 MM (18") SOIL DEPTH
- 610 MM (24") SOIL DEPTH
- 900 MM (36") SOIL DEPTH
- 1200 MM (48") SOIL DEPTH
- 900 MM (36") STRUCTURAL SOIL

1 Royal I
Scale: 1:100

Structural soil: 45m3 = 11m3 additional growing medium, in shared continuous trench

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for R2 / DP
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

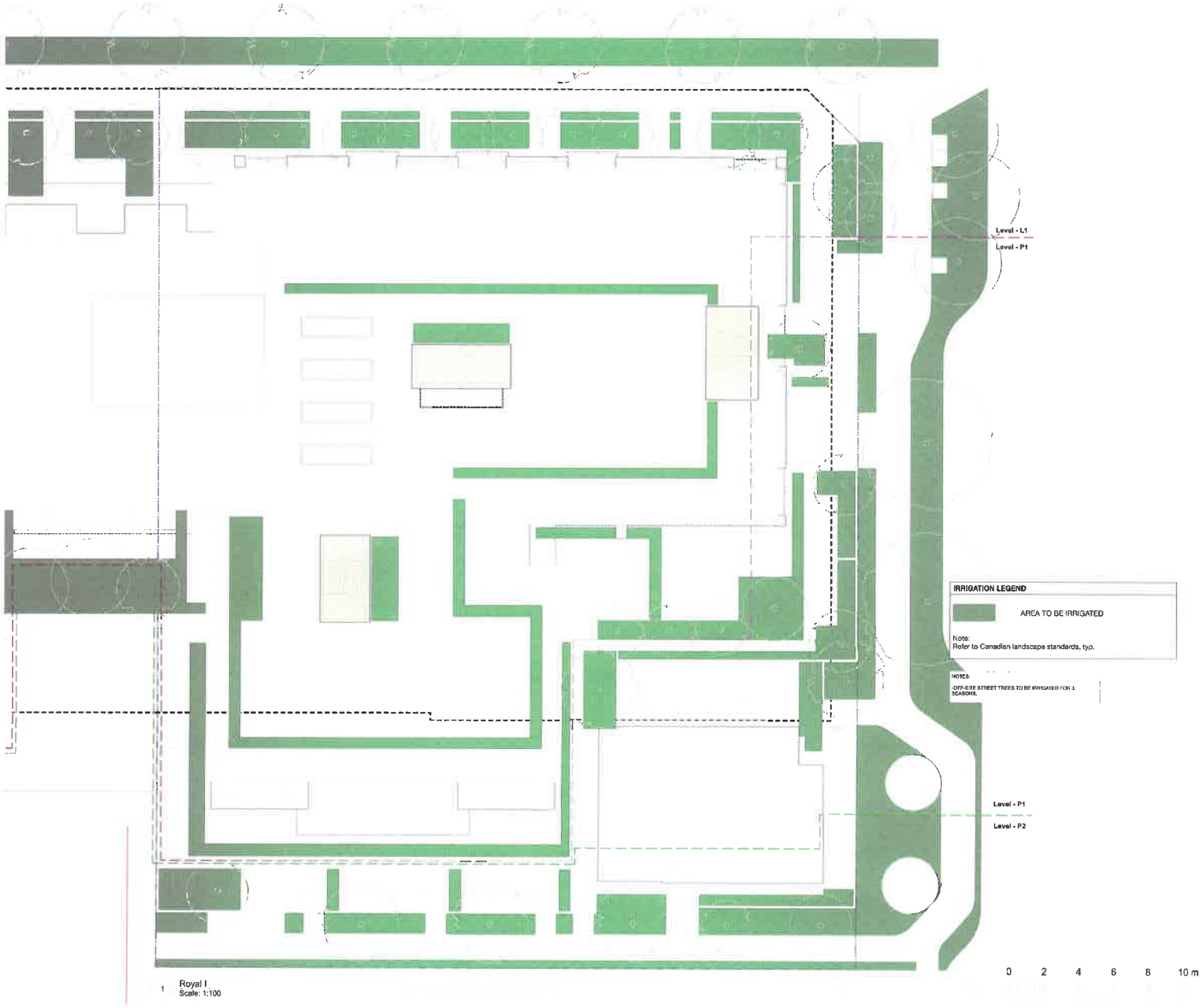
Drawing Title

Soil Depth Plan

Legal
Lots "B" and "C" Block Plan
12772 & Lot 18 Block 32 Plan
DL20 New Westminster Township

Project Manager: DT	Project ID: 21843
Drawn by: MR	Scale: As noted
Reviewed By: DT	Drawing No: L6.1
Date: 2019.02.05	

Plot Date:



1 Royal I
Scale: 1:100

IRRIGATION LEGEND

AREA TO BE IRRIGATED

Note:
Refer to Canadian landscape standards, typ.

NOTES:

- OFF-SITE STREET TREES TO BE IRRIGATED FOR 3 SEASONS.

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
H	2021-07-12	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

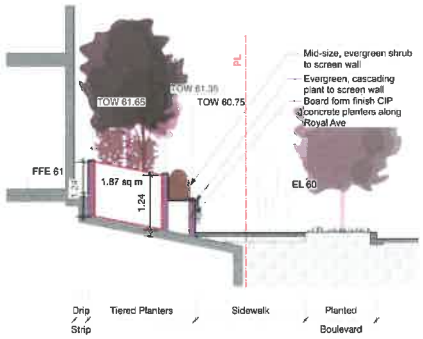
Drawing Title

Irrigated Areas Plan

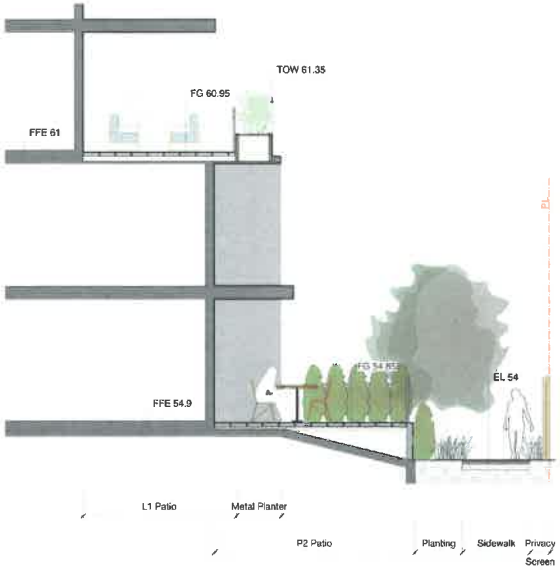
Legal
Lots "B" and "C" Block Plan
12722 & Lot 18 Block 32 Plan
2620 New Westminster Townsite

Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L7.1
Date: 2019.02.05	of 34

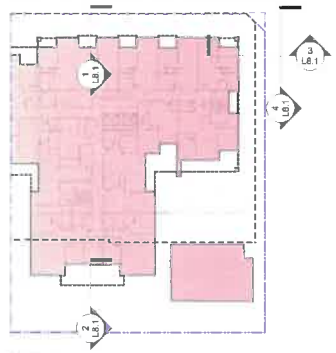
Plot Date:



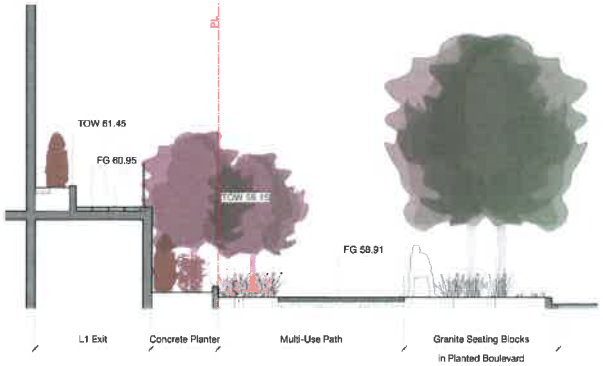
1 SECTION: L1 Royal Avenue Frontage
Scale: 1:50



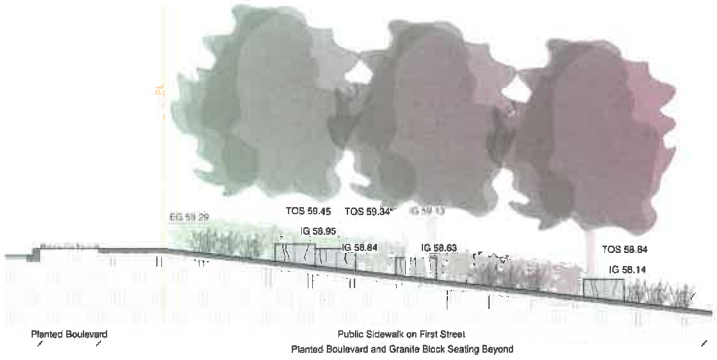
2 SECTION: L1 and P2 South Frontage
Scale: 1:50



KEY PLAN:



3 SECTION: L1 Entry and Public Node
Scale: 1:50



4 SECTION: L1 Public Node at Royal Ave and First Street
Scale: 1:50

Revision

No.	Date	Revision Notes

Issue No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
H	2021-02-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

Landscape Sections

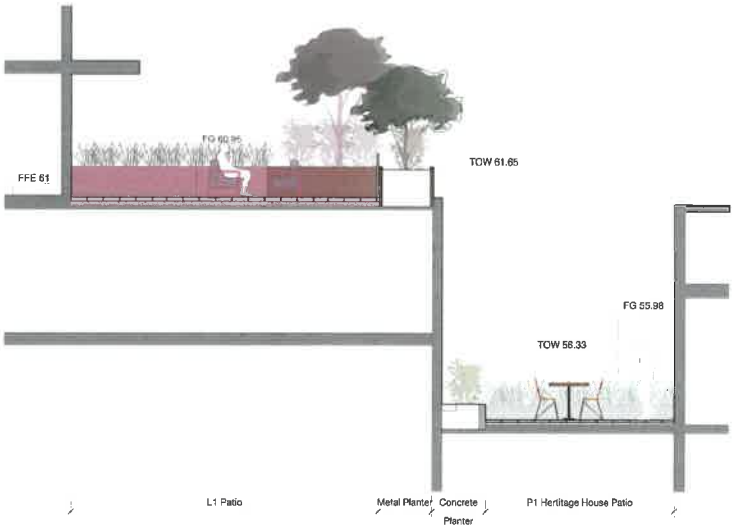
Landscape Sections

Legal
Lots "B" and "C" Block Plan
12732 & Lot 18 Block 32 Plan
2520 New Westminster Townsite

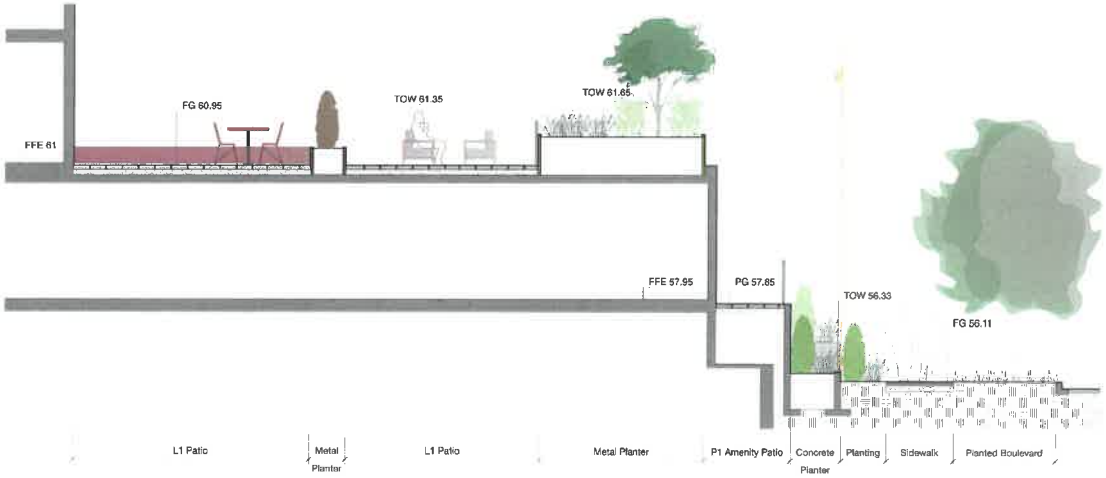
Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewer By: DT	Drawing No: L8.1
Date: 2019.02.05	

34

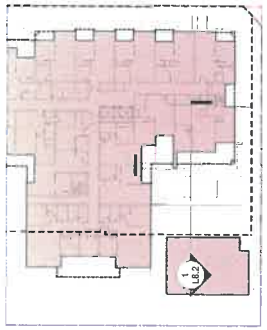
Plot Date



1 SECTION: L1 Private Patio and P1 Heritage House Patio
Scale: 1:50



2 SECTION: L1 Private Patios and P1 First Street Frontage
Scale: 1:50



KEY PLAN:

Revision

No.	Date	Revision Notes

Issue No.	Date	Issue Notes
B	2019-03-11	Issued for Review
C	2019-06-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for JC / DP
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

Landscape Sections

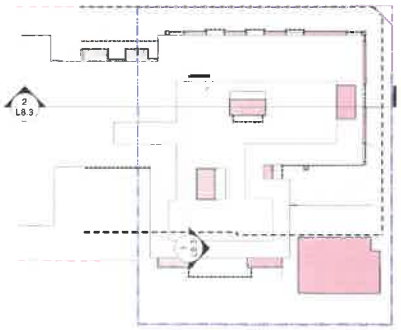
Landscape Sections

Legal
Lots "B" and "C" Block Plan
12722 & Lot 18 Block 32 Plan
2520 New Westminster Townsite

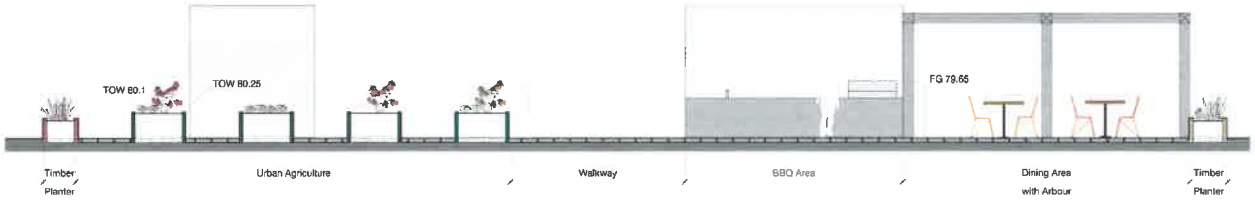
Project Manager: DT	Project ID: 21643
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L8.2
Date: 2019.02.05	

34

Plot Date:

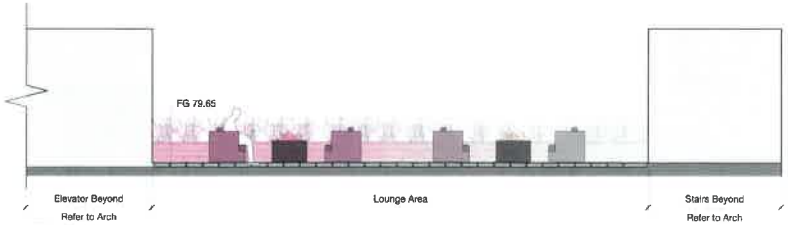


KEY PLAN:



1 SECTION: Roof Amenity North to South
Scale: 1:50

2 SECTION: Roof Amenity East to West
Scale: 1:50



3 SECTION: Roof Amenity East to West (Continued)
Scale: 1:50

Revision

No.	Date	Revision Notes

Issue No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 62-74 1st Street
New Westminster

Drawing Title

Landscape Sections

Landscape Sections

Legal
Lots "B" and "C" Block Plan
12722 & I of 18 Block 32 Plan
2520 New Westminster Townsite

Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L8.3
Date: 2019.02.05	

Plot Date:

Sod, non-netted grown on sand

300mm (12") min. growing medium

Compacted sub-grade

1 DETAIL: Sod on Grade
Scale: 1:10

Sod, non-netted grown on sand

300mm (12") min. growing medium

Non-woven filter fabric

75mm (3") thick layer of drainage rock

Rigid insulation, refer to arch

Drain mat c/w filter fabric, refer to arch

Rigid insulation, refer to arch

Protection board on waterproof membrane, refer to arch

Structural slab, refer to arch and structural

2 DETAIL: Sod on Slab
Scale: 1:10

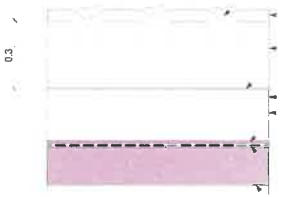
Groundcover

50mm (2") thick mulch, refer to specifications - do not put mulch against the base of the plants

300mm (12") min. growing medium

Compacted sub-grade

3 DETAIL: Groundcover at Grade
Scale: 1:10



Groundcover

50mm (2") thick mulch, refer to specifications - do not put mulch against the base of the plants

300mm (12") min. growing medium

Non-woven filter fabric

75mm (3") thick layer of drainage rock

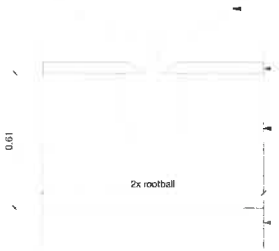
Rigid insulation, refer to arch

Drain mat c/w filter fabric, refer to arch

Protection board on waterproof membrane, refer to arch

Structural slab, refer to arch and structural

4 DETAIL: Groundcover on Slab
Scale: 1:10



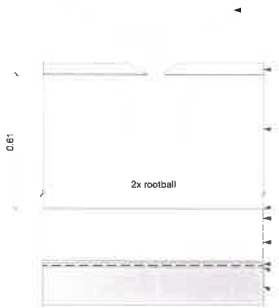
Shrub

50mm (2") thick mulch, refer to specifications - do not put mulch against the base of the plants

600mm (24") min. growing medium, planting pit to be 2x rootball size

Compacted sub-grade

5 DETAIL: Shrub at Grade
Scale: 1:10



Shrub

50mm (2") thick mulch, refer to specifications - do not put mulch against the base of the plants

600mm (24") min. growing medium, planting pit to be 2x rootball size

Non-woven filter fabric

75mm (3") thick layer of drainage rock

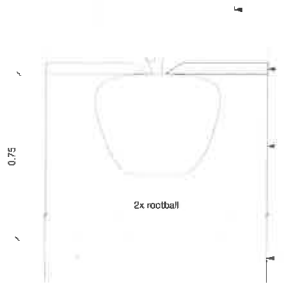
Rigid insulation, refer to arch

Drain mat c/w filter fabric, refer to arch

Protection board on waterproof membrane, refer to arch

Structural slab, refer to arch and structural

6 DETAIL:Shrubs on Slab
Scale: 1:10



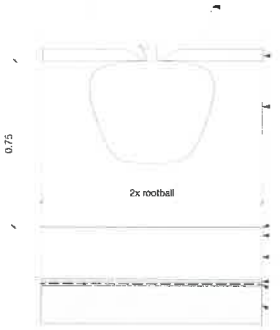
Hedge

50mm (2") thick mulch, refer to specifications - do not put mulch against the base of the plants

750mm (32") min. growing medium, planting pit to be 2x rootball size

Compacted sub-grade

7 DETAIL: Hedge at Grade
Scale: 1:10



Hedge

50mm (2") thick mulch, refer to specifications - do not put mulch against the base of the plants

750mm (32") min. growing medium, planting pit to be 2x rootball size

Non-woven filter fabric

75mm (3") thick layer of drainage rock

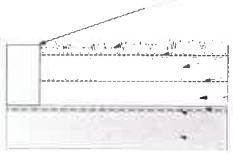
Rigid insulation, refer to arch

Drain mat c/w filter fabric, refer to arch

Protection board on waterproof membrane, refer to arch

Structural slab, refer to arch and structural

8 DETAIL: Hedge on Slab
Scale: 1:10



150mm wide CIP curb at edges sit on drain mat

Pet Pro artificial lawn with PureZeo Pro infill and Turf Cloud Flow by Bella Turf, or approved equivalent

Non woven root barrier

76mm (3") of 13mm (1/2") clear crush drain rock

Non woven root barrier

Structural void form as required, refer to architecture

Drain mat c/w filter fabric, refer to arch

Protection board on waterproof membrane, refer to arch

Rooftop slab, refer to architecture

9 DETAIL: Artificial Turf on Slab
Scale: 1:10

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
G	2021-07-19	Issue for DP
H	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

Landscape

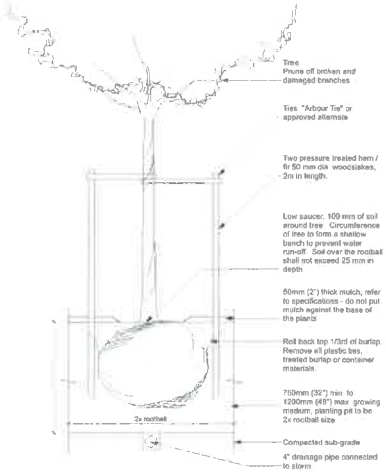
Softscape Details

Legal
Lots "B" and "C" Block Plan
12732 & Lot 16 Block 32 Plan
3820 New Westminster Townsite

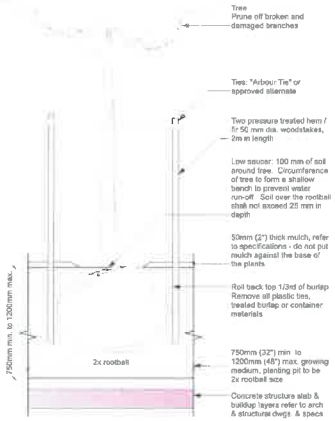
Project Manager	Project ID
DT	21843
Drawn By	Scale
MR	As noted
Reviewed By	Drawing No
DT	L9.1
Date	
2019.02.05	

34

Plot Date



1 DETAIL: Tree at Grade
Scale: 1:20



2 DETAIL: Tree on Slab
Scale: 1:20

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2018-09-11	Issued for Review
C	2018-09-13	Issued for Review
D	2018-10-01	Issued for Review
E	2018-10-18	Issued for Review
F	2018-10-25	Issued for RZ / DP
H	2021-07-19	Issue for DP
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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

Landscape

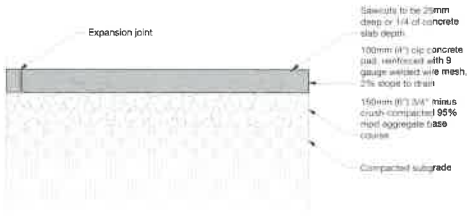
Softscape Details

Legal
Lots "B" and "C" Block Plan
12722 & Lot 18 Block 32 Plan
3620 New Westminster Townsite

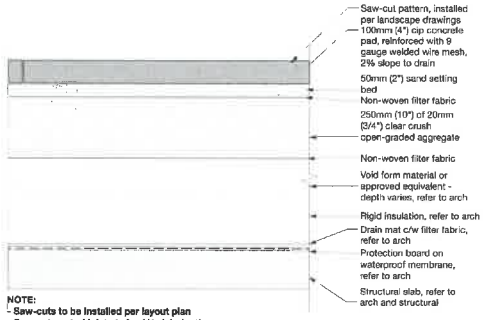
Project Manager: CT	Project #: 21843
Drawn By: MH	Scale: As noted
Reviewed By: CT	Drawing No: L9.2.
Date: 2019.02.05	

34

Plot Date:

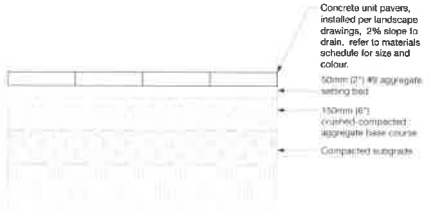


1 DETAIL: Pedestrian Concrete at Grade
Scale: 1:10

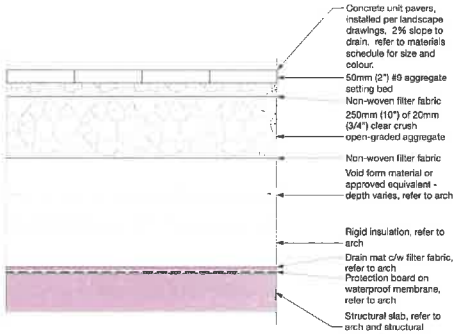


NOTE:
- Saw-cuts to be installed per layout plan
- Saw-cut control joints to be 1/4 slab depth
- To be completed within 24hrs of pouring the slab

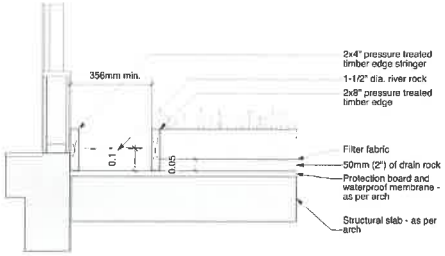
2 DETAIL: Pedestrian Concrete on Slab with Insulation
Scale: 1:10



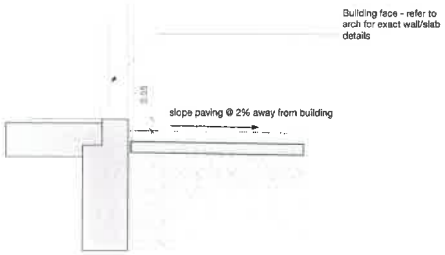
3 DETAIL: Pedestrian Concretre Unit Pavers at Grade
Scale: 1:10



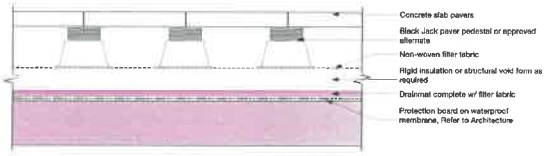
4 DETAIL: Pedestrian Concrete Unit Paver on Slab with Insulation
Scale: 1:10



5 DETAIL: Drip Strip on Slab
Scale: 1:10



6 DETAIL: Threshold at Building
Scale: 1:10



7 DETAIL: Concrete Paver on Pedestal
Scale: 1:10

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
G	2021-07-19	Issue for DP
I	2022-05-14	Issue for DP

Professional Seal

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Project

Royal I

Royal Ave & 1st Street

106 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

Landscape

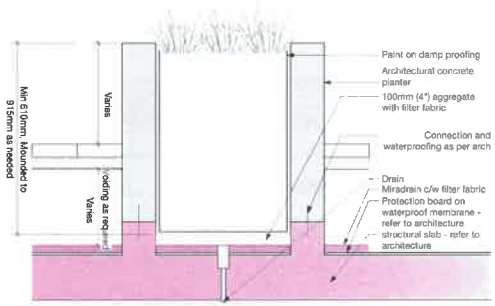
Hardscape Details

Legal
Lots "B" and "C" Block Plan
12722 & Lot 18 Block 32 Plan
2820 New Westminster Townsite

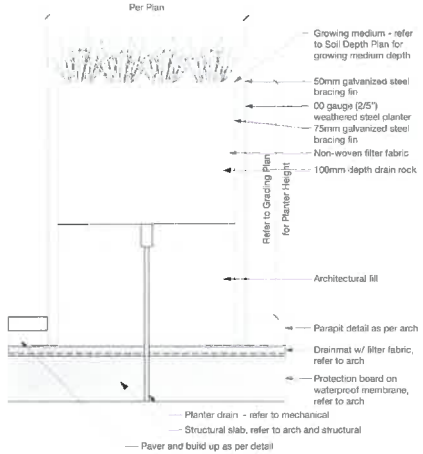
Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L10.1
Date: 2019.02.05	

34

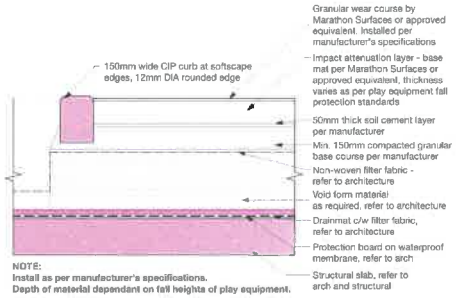
Plot Date:

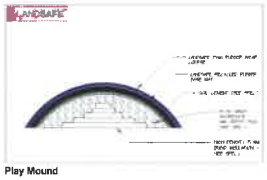


1 DETAIL: Concrete Planter on Slab
Scale: 1:10



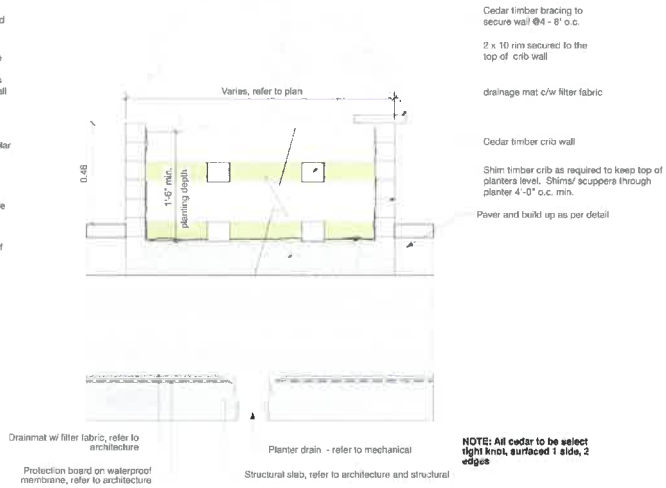
2 DETAIL: Metal Planter
Scale: 1:10





Play Mound

3 DETAIL: PIP Rubber Surface
Scale: 1:10



4 DETAIL: Timber Planter
Scale: 1:10

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
[illegible]	2021-07-19	Issue for DP
[illegible]	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

Landscape

Hardscape Details

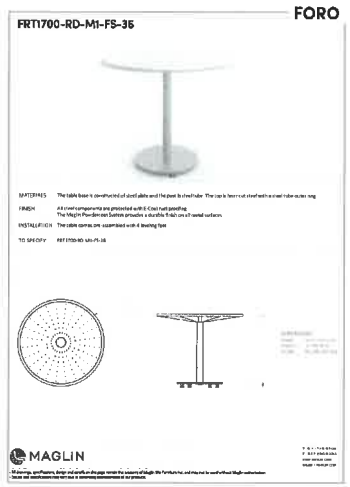
Legal
Lots "B" and "C" Block Plan
12702 & Lot 16 Block 30 Plan
2520 New Westminster Townsite

Project Manager: DT	Project No: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L10.2
Date: 2019.02.05	

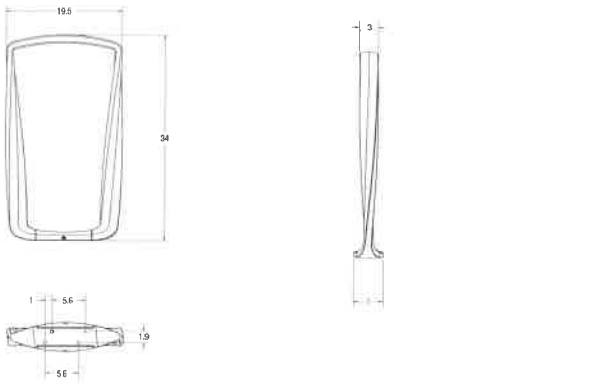
34

Plot Date:

1 DETAIL: Bench
NTS

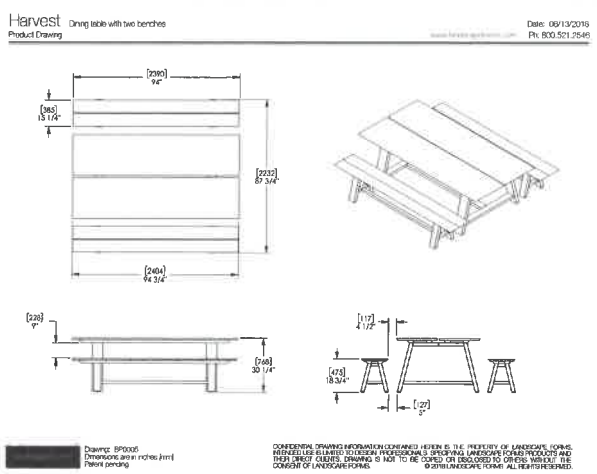


2 DETAIL: Round Table
NTS

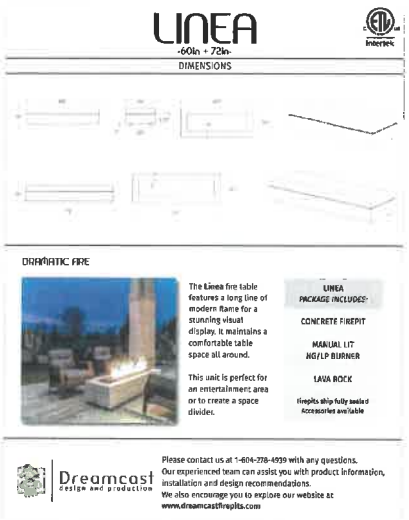


NOTE:
Install as per manufacturer's specifications.

3 DETAIL: Bike Rack
NTS



4 DETAIL: Harvest Table
NTS



5 DETAIL: Firepit
Scale: 1:10

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
	2019-02-11	Issued for Review
	2019-05-10	Issued for Review
	2019-10-01	Issued for Review
	2019-10-18	Issued for Review
	2019-10-25	Issued for RZ / DP
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

Professional Seal

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Project
Royal I
Royal Ave & 1st Street
108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title
Landscape
Site Furnishings Details

Legal
Lots "B" and "C" Block Plan
12122 & Lot 18 Block 32 Plan
2620 New Westminster Township

Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L11.1
Date: 2019.02.05	

Plot Date:

1 DETAIL: Chair
NTS

2 DETAIL: Bag Dispenser
NTS

3 DETAIL: Waste Bin
NTS

4 DETAIL: Decorative Fire Hydrant
NTS

5 DETAIL: Garden Work Table
NTS

8 DETAIL: Marbella Customizable Sectional Sofa
NTS

Hungry Bin
By: Green Tools

6 DETAIL: Compost Bin
NTS

BBQ and counter by Sherwood Outdoor Kitchens.
Dimension and materials to be coordinated by Redic.
Shop drawings to be provided to Landscape Architect for review prior to ordering.

7 DETAIL: BBQ Counter
NTS

9 DETAIL: Marbella Luxe Armchair
NTS

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-08-11	Issued for Review
C	2019-08-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for R2 / DP
H	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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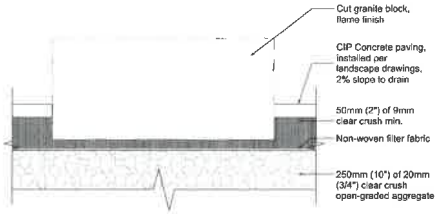
Project
Royal I
Royal Ave & 1st Street
108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title
Landscape
Site Furnishings Details

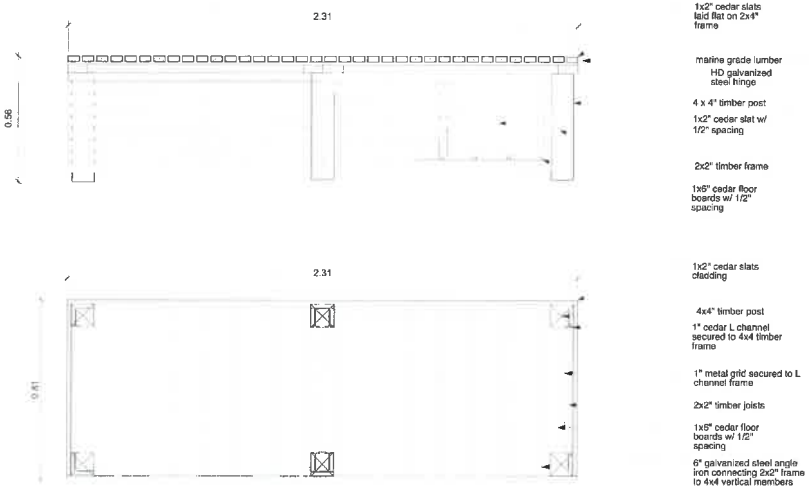
Legal
Lots "B" and "C" Block Plan
19222 & Lot 18 Block 32 Plan
2620 New Westminster Townsite

Project Manager: DT	Project No.: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No.: L11.2
Date: 2019.02.05	

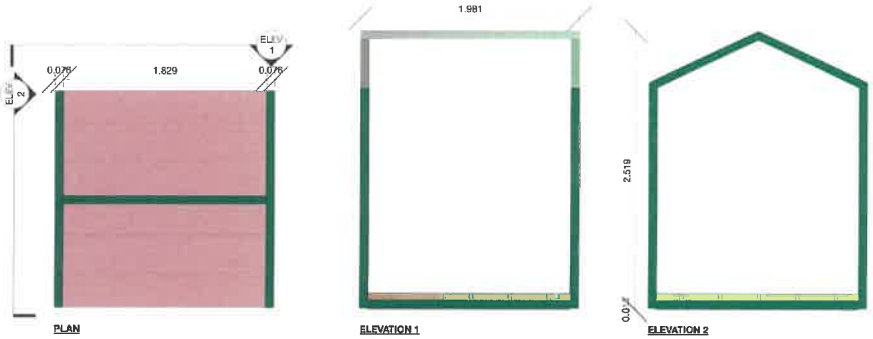
Plot Date:



1 DETAIL: Granite Seating Block
NTS



2 DETAIL: Tool Storage Bench w/ Wooden Seat
Scale: 1:10



3 DETAIL: Children's Play Frame
Scale: 1:20

Revision No.	Date	Revision Notes

Issue No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for R2 / DP
G	2021-07-19	Issue for DP
I	2022-03-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 62-74 1st Street
New Westminster

Drawing Title

Landscape

Site Furnishings Details

Legal
Lots "G" and "C" Block Plan
12722 & Lot 18 Block 32 Plan
2620 New Westminster Townsite

Project Manager: DT	Project ID: 21643
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L11.3
Date: 2019.02.05	

34

Plot Date:

6.52

5.477

PLAN

0.438

1.66 3

ELEVATION

ENGINEERED SHOP DRAWINGS TO BE PROVIDED

1 DETAIL: Rooftop Arbour
Scale: 1:20

ENGINEERED SHOP DRAWINGS TO BE PROVIDED

1.8m o.c. min., 2.4m o.c. max.

1.81
min.

0.05

2x6 cedar top cap

1x6 cedar rail outside, 2x6 cedar inside, sandwich vert 1x8

6x6 p.t. hem/fir posts bury min. 2'-6" below grade backfill with concrete or compacted crushed gravel; footings as per Structural

solid 4" wood picket screen

2x6 cedar rail outside, 1x6 cedar inside sandwich vert. 1x8. Bevel top at 45degrees. Install bottom rails on slope to ensure no gaps greater than 20mm below rail when installing fence on sloping ground.

finished grade

2 DETAIL: TIMBER PRIVACY FENCE
Scale: 1:10

3" x 8" joists, western red cedar, #2 tight knot
Attached with Simpson-tie CJT2L hidden beam ties and SDS structural screws.

10"x10" beams and posts, western red cedar, #2 tight knot

Footings as per Structural

Revision:

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for R2 / DP
H	2021-07-19	Issue for DP
I	2022-05-14	Issue for DP

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 62-74 1st Street
New Westminster

Drawing Title

Landscape

Site Furnishings Details

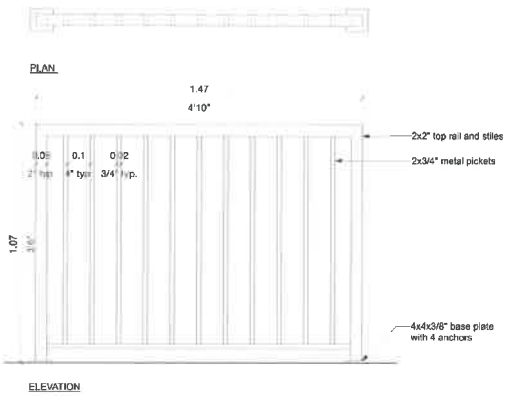
Legal
Lots "B" and "C" Block Plan
12722 & I of 18 Block 32 Plan
2629 New Westminster Townsite

Project Manager: DT	Project ID: 21843
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L11.4
Date: 2019.02.05	

34

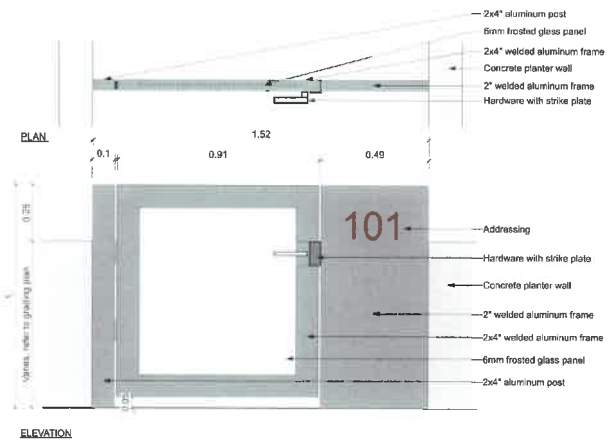
Plot Date:

ENGINEERED SHOP DRAWINGS TO BE PROVIDED

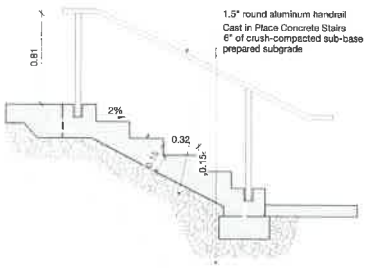


1 DETAIL: Metal Fence
Scale: 1:10

ENGINEERED SHOP DRAWINGS TO BE PROVIDED

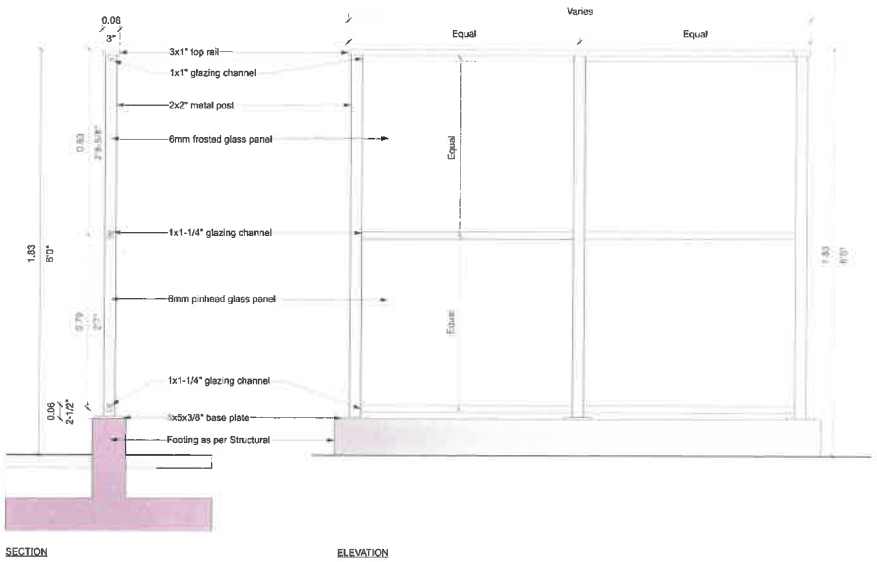


2 DETAIL: Entry Gate - Royal Ave
Scale: 1:10



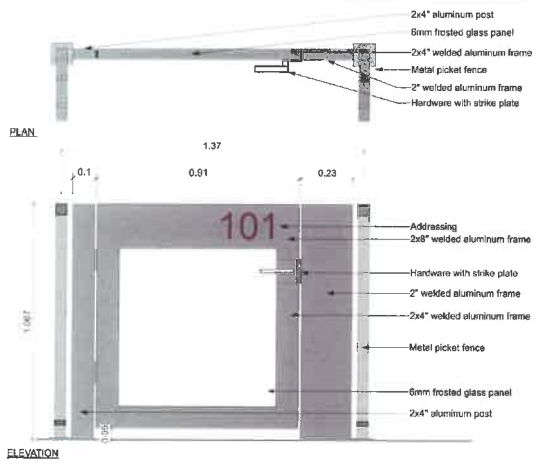
4 DETAIL: CIP Concrete Steps with Handrail
Scale: 1:20

ENGINEERED SHOP DRAWINGS TO BE PROVIDED



3 DETAIL: Privacy Screen
Scale: 1:10

ENGINEERED SHOP DRAWINGS TO BE PROVIDED



5 DETAIL: Entry Gate - Lane
Scale: 1:10

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-09-11	Issued for Review
C	2019-09-13	Issued for Review
D	2019-10-01	Issued for Review
E	2019-10-18	Issued for Review
F	2019-10-25	Issued for RZ / DP
H	2021-01-19	Issue for DP
I	2022-03-14	Issue for DP

Professional Seal

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Project

Royal I

Royal Ave & 1st Street

108 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

Landscape

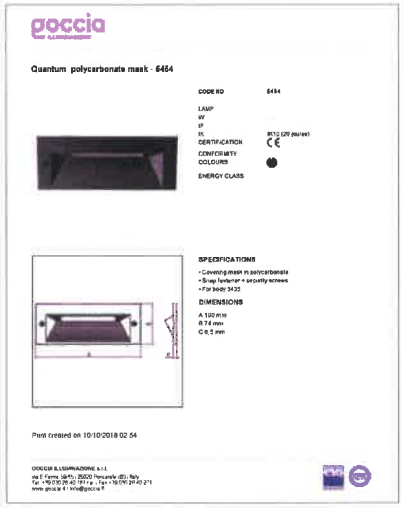
Site Furnishings Details

Legal
Lots "B" and "C" Block Plan
12722 & Lot 18 Block 32 Plan
2520 New Westminster Townsite

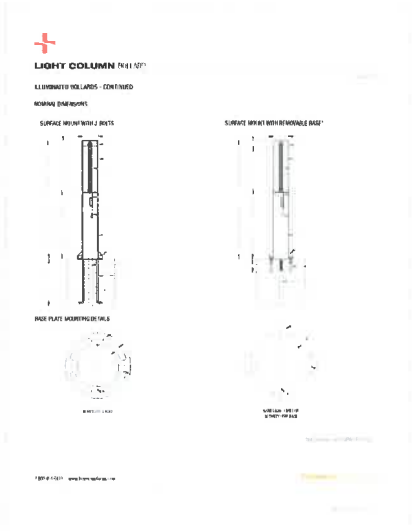
Project Manager: DT	Project ID: 21643
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L11.5
Date: 2019.02.05	

34

Plot Date:



1 DETAIL: Light Fixture - Wall Light
NTS



Solid 180° shield to be included

2 DETAIL: Light Fixture - Bollard Light
NTS

Revision
No. Date Revision Notes

Issue
No. Date Issue Notes
B 2013-09-11 Issued for Review
C 2013-09-13 Issued for Review
D 2013-10-01 Issued for Review
E 2013-10-18 Issued for Review
F 2013-10-25 Issued for RZ / DP
H 2021-07-19 Issue for DP
I 2022-05-14 Issue for DP

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Project 1

Royal I

Royal Ave & 1st Street

106 Royal Ave & 82-74 1st Street
New Westminster

Drawing Title

Landscape

Lighting Details

Legal
Lots "B" and "C" Block Plan
12/22 & 1 Lot 18 Block 32 Plan
2630 New Westminster Townsite

Project Manager: CT	Project I.D.: 21843
Drawn By: MR	Scale: As noted
Reviewed By: CT	Drawing No: L12.1
Date: 2019.02.05	

34

Plot Date

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ROYAL II

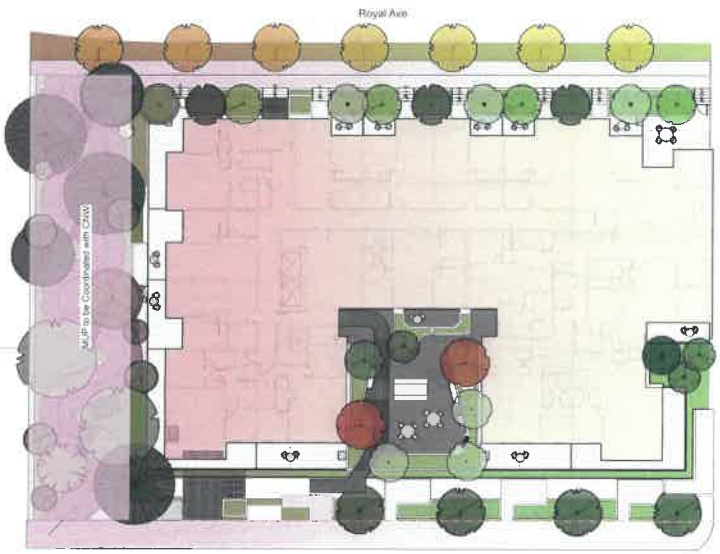
for TPL Developments Royal 2 Inc

Civic Address: 112, 114 and 118 Royal Ave, New Westminster, BC
Legal Address: Lots 13, 14 AND 15 PLan 2620, All of Block 32, New Wesminster Townsite Group 1 NWD

CONSULTANT TEAM

OWNER:	TPL Developments Windsor Inc
ARCHITECT:	IREDALE Architecture
LANDSCAPE:	eta landscape architecture

ISSUED FOR DP: MARCH 14, 2022



DRAWING LIST

L0.0	Cover Page	
L0.1	Notes and Schedules	
L0.2	Context Plan	
L0.3	Illustrative Plan	
L0.4	Precedent Images	
L0.5	Amenity Plan	
L1.1	Tree Management Plan	*TO BE INCLUDED PENDING UPDATE FROM ARBORIST*
L2.1	Offsite Materials Plan	
L2.2	Offsite Tree Plan	
L2.3	Offsite Planting Plan	
L2.4	Offsite Irrigation Plan	
L3.1	P2 - Materials Plan	
L3.2	P1 - Materials Plan	
L3.3	L1 - Materials Plan	
L4.1	P2 - Grading and Drainage Plan	
L4.2	P1 - Grading and Drainage Plan	
L4.3	L1 - Grading and Drainage Plan	
L5.1	P2 - Planting Plan	
L5.2	P1 - Planting Plan	
L5.3	L1 - Planting Plan	
L6.1	Soil Depth Plan	
L7.1	Irrigated Areas Plan	
L8.1	Landscape Sections	
L9.1	Softscape Details	
L9.2	Softscape Details	
L10.1	Hardscape Details	
L10.2	Hardscape Details	
L11.1	Site Furnishings Details	
L11.2	Site Furnishings Details	
L11.3	Site Furnishings Details	
L12.1	Lighting Details	

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
	2019-02-06	Issue for Rezoning Permit
	2019-09-06	Issued for Review
	2019-09-13	Issued for Review
	2019-10-03	Issued for Review
	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
H	2021-02-05	Re-Issued for RZ/DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-03-14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

Drawing Title

Cover Sheet

Legal
Lots 13, 14 AND 15 Plan 2620,
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager: DT	Project ID: 21844
Drawn By: MR	Area:
Reviewed By: DT	Drawing No.:
Date: 2019.01.06	L0.0

Plot Date: 30

ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM TO THE CURRENT EDITION OF THE CSLA/CLNA STANDARDS.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.

IMPORTED GROWING MEDIA SHALL BE A SANDY LOAM OR LOAMY SAND TEXTURE (NO LESS THAN 50% SAND BY WEIGHT) CONTAINING 4 AND 15% ORGANIC MATTER (DRY WEIGHT BASIS).

GROWING MEDIA SHALL BE FREE FROM SUBSOIL, WOOD INCLUDING WOODY PLANT PARTS, INVASIVE AND NOXIOUS PLANT AND THEIR REPRODUCIBLE PARTS, PLANT PATHOGENIC ORGANISMS, ORGANIC OR INORGANIC MATERIALS, TOXINS, STONES OVER 30mm (1.2"), ANY DEBRIS AND FOREIGN OBJECTS.

IMPORTED GROWING MEDIA SHALL CONFORM TO AND BE TREATED AS PER SECTION 6.2.3 TO 6.2.7 INCLUSIVE OF THE CURRENT EDITION BCLNA STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 "WELL-GROOMED" AREAS: LOW TRAFFIC LAWN AREAS, TREES AND LARGE SHRUBS (1L IN TABLE T-6.3.5.1 OF THE CURRENT EDITION OF THE CSLA/BLNA STANDARDS)
IT SHALL POSSESS THE FOLLOWING QUALITIES:

TEXTURE-
*COARSE GRAVEL (LARGER THAN 19mm AND SMALLER THAN 40mm): 0-1%
*ALL GRAVEL (LARGER THAN 2mm AND SMALLER THAN 40mm): 0-5%
*SAND (LARGER THAN 0.05mm AND SMALLER THAN 2mm): 50-70%
*SILT (LARGER THAN 0.002mm AND SMALLER THAN 0.05mm): 10-25%
*CLAY (SMALLER THAN 0.002mm): 0-20%
*CLAY AND SILT COMBINED: MAXIMUM 25%

ORGANIC CONTENT: 3-10%

Acidity (pH): 6.0-7.0

DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER TABLE T 6.3.5.5 OF THE CURRENT EDITION BCLNA STANDARDS:

	Over prepared subgrade where the subsoil drains rapidly	Over structures or where the subsoil drains poorly
TREES (10m2 PER TREE)	610 MM (24")	900 MM (36")
LARGE SHRUBS	610 MM (24")	610 MM (24")
GROUNDCOVERS	300 MM (12")	225 MM (9")
LAWN-IRRIGATED	150 MM (6")	150 MM (6")
LAWN-NOT IRRIGATED	150MM (6")	225 MM (9")

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

SOIL FOR URBAN AGRICULTURE PLOTS IS TO BE URBAN GRO PROVIDED BY VERATEC, OR APPROVED ALTERNATIVE. SOIL FOR URBAN AGRICULTURE AREAS IS TO MEET OR EXCEED THE GUIDELINES FOR COMPOST QUALITY UNDER CANADIAN COUNCIL OF MINISTERS OF THE ENVIRONMENT (CCME).

COMPOST IS TO BE TESTED AND RESULTS SUBMITTED TO CONSULTANT PRIOR TO DELIVERY TO SITE.

BEDS TO HAVE 50MM (2") MULCH LAYER (after settling) CONSISTING OF ORGANIC COMPOSTED BARK APPLIED.

PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM - SHOP DRAWINGS ARE TO BE PREPARED BY AN IABC CERTIFIED DESIGNER AND APPROVED BY LANDSCAPE ARCHITECT.

CONTRACTOR TO PROVIDE MAINTENANCE FOR 1 YEAR FOLLOWING SUBSTANTIAL COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS PRIOR TO DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDENT LAB AND IS TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.

CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE THE CONSULTANT FROM PERFORMING AN INDEPENDENT SOIL ANALYSIS AT TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS.

AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT

SITE INSPECTION
EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO THE CONSULTANT.

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES PRIOR TO THE WORK.

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS AT NO COST TO THE OWNER.

ALL PRUNING TO BE IN ACCORDANCE WITH THE BCLNA/BCSLA STANDARDS CURRENT EDITION.

PLANT COUNTS
IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

BIRD FRIENDLY PLANTING
PLANTS THAT ENABLE BIRD-FRIENDLY HABITAT CONSERVATION AND PROMOTION HAVE BEEN SELECTED AND CAN BE FOUND THROUGHOUT THE LANDSCAPE. PLANTING IS GROUPED IN NATURALIZED LAYERS OF TREES, TALL SHRUBS, LOW SHRUBS AND GROUNDCOVERS, MIMICKING THE IDEAL ENVIRONMENTAL CONDITIONS FOR BIRDS. THESE LAYERS WILL BE VARIED WITH A DIVERSITY OF TEXTURES AND DENSITIES THAT ATTRACTS AND PROTECTS MANY BIRD SPECIES. SPECIFIC LOCAL AND NON-INVASIVE PLANT SPECIES HAVE BEEN SELECTED BASED ON THEIR ABILITY TO PROVIDE YEAR-ROUND FOOD FOR BIRDS AND/OR YEAR-ROUND NESTING OPPORTUNITIES.

PLANT LIST - ONSITE

ID	QTY	LATIN NAME	COMMON NAME	MATURE HEIGHT	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES								
Ab	4	Acer buergerianum	trident maple	4.556	as shown	6cm cal/B&B	full/ bushy canopy	B
Cc	2	Cercis canadensis 'Forest Pansy'	eastern redbud	4.535	as shown	6cm cal/B&B	full/ bushy canopy	P
Cca	4	Carpinus caroliniana	American hornbean	3.628	as shown	6cm cal/B&B	full/bushy canopy	
Cff	3	Carpinus betulus 'Frans Fontaine'	Frans Fontaine hornbeam	6.046	as shown	6cm cal/B&B	full/ bushy canopy	
Cje	1	Cryptomeria japonica 'Elegans'	plume Japanese cedar	2.402	as shown	6cm cal/B&B	full/ bushy canopy	E
Cl	1	Crateugus laevigata 'Crimson Cloud'	Crimson Cloud hawthorn	3.628	as shown	6cm cal/B&B	full/ bushy canopy	B, P
Pch	1	Pistacia chinensis	Chinese pistache	3.658	as shown	6cm cal/B&B	full/ bushy canopy	B, P
Sp	3	Stewartia pseudocamellia	Japanese stewartia	3.658	as shown	6cm cal/B&B	full/ bushy canopy; multi	W, P
Sj	6	Styrax japonicus	Japanese snowbell	3.712	as shown	6cm cal/B&B	full/ bushy canopy	P
SHRUBS / GROUNDCOVERS / PERENNIALS								
Cod	11	Cotoneaster dammeri	bearberry cotoneaster	0.858	0.7	#2 cont.	full/ bushy plants	E, B, P
Ct	2	Choisya ternata	Mexican mock orange	1.219	1.07	#3 cont.	full/ bushy plants	E, P
Do	45	Daphne odora	fragrant daphne	0.914	0.7	#2 cont.	full/ bushy plants	E, W, P
Ef	38	Euonymus fortunei	wintercreeper	0.61	0.7	#2 cont.	full/ bushy plants	E
Ep	27	Echinacea purpurea	purple coneflower	0.457	0.4	#2 cont.	full/ bushy plants	B, P, Ed, W
Gem	59	Geranium macrorrhizum 'Bevan's Vari	bigroot cranesbill	0.406	0.3	#1 cont.	full/ bushy plants	P
Go	112	Galium odoratum	sweet woodruff	0.305	0.3	#1 cont.	full/ bushy plants	P
La	108	Lavendula angustifolia	English lavender	0.448	0.3	#2 cont.	full/ bushy plants	E, B, P, Ed
Mr	16	Mahonia repens	creeping Oregon grape	0.303	0.3	#1 cont.	full/ bushy plants	N, E, B, P, Ed
Pah	77	Pennisetum alopecuroides 'Hameln'	dwarf fountain grass	0.597	0.4	#2 cont.	full/ bushy plants	B, W
Pm	60	Polystichum munitum	sword fern	0.914	0.61	#3 cont.	full bushy plants	N, E
Rc	57	Rubus calycinoides	creeping bramble	0.435	0.6	#1 cont.	full/ bushy plants	E, B, P, Ed
Rmf	34	Rhododendron 'Mary Fleming'	dwarf yellow rhododendron	0.61	0.4	#3 cont.	full/ bushy plants	E, P
Rra	8	Rhododendron 'Ramapo'	rhododendron (purple)	0.914	0.7	#3 cont.	full/ bushy plants	
Sah	35	Sarcococca hookeriana var. Humilis	sweet box	0.607	0.4	#2 cont.	full/ bushy plants	E, W, B, P
Sr	81	Sarcococca ruscifolia	fragrant sarcococca	0.76	0.4	#3 cont.	full/ bushy plants	
Tmh	237	Taxus media 'Hicksii'	Anglojap Yew	0.61	0.4	1.2m/B&B	full/ bushy plants	E, W, B
Vd	32	Viburnum davidii	viburnum	1.215	0.7	#5 cont.	full/ bushy plants	E, P
Vh	37	Vancouveria hexandra	American barrenwort	0.305	0.3	SP4	full/ bushy plants	N, E, B
Vot	12	Vaccinium ovatum 'Thunderbird'	evergreen huckleberry	0.759	0.4	#2 cont.	full/ bushy plants	N, E, B, P
LAWN								
		Non-Netted, grown on sand						

Notes:
1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 1 'GROOMED' LANDSCAPE TREATMENT. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLAN
2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST

PLANT LIST - OFFSITE

ID	QTY	LATIN NAME	COMMON NAME	MATURE HEIGHTm	SPACINGm	SCHEDULED SIZE	NOTES	ATTRIBUTES
Gb	7	Ginkgo biloba	maidenhair tree	4.556m	4.57m	6cm cal/ B&B	2m standard	
	0			--	0m			
SHRUBS / GROUNDCOVERS / PERENNIALS - OFFSITE								
	0			--	0m			

MATERIALS AND FURNISHINGS

PAVING

ID	REFERENCE	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COMMENT	COLOUR	QTY
P1	3,4/L10.1	PAVER TYPE 1	2x2'	Custom	Custom		Light Grey	-
P2	3,4/L10.1	PAVER TYPE 2	2x2'	Custom	Custom		Medium Grey	-
P3	3,4/L10.1	PAVER TYPE 3	2x2'	Texada	Abbotsford Concrete	-	Charcoal	-
P4	1,2/L10.1	CIP CONC PED PAVING	-	Custom	-	-	-	-

HARDSCAPE

ID	REFERENCE	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
H1	1/L10.2	RAISED CIP CONCRETE PLANTER	-	-	-	-	-	
H2	5/L10.1	DRIP STRIP	-	-	-	-	-	
H3	2/L11.2	WATER FEATURE	-	Custom			-	1
H4	3/L11.2	CIP CONC STAIRS W HANDRAIL	-	Custom			Powdercoat Gray	

SITE FURNISHINGS

ID	REFERENCE	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COMMENT	COLOUR	QTY
S1	4/L11.1	ROUND TABLE	36" Round	Maglin Foro FRT 1700-RD-M1-FS-36	Maglin		silver 14 gloss powdercoat	2
S2	5/L11.1	CHAIR	33"H X 19.5"W	Maglin Foro FRT 1700 MSF M2-A Foro	Maglin		silver 14 gloss powdercoat	8
S3	2/L10.2	METAL PLANTER	1.1mH x 9mW	Custom	-		TBD	
S4	1/L11.2	BBQ	40"Lx25"Hx31"D	36" Built-In Grill	Crown Verity	-	-	1
S5	2/L11.1	BIKE RACKS	34" x 5"	Twist Bike Rack	Forms + Surfaces	-	TBD	5
S6	3/L11.1	HARVEST TABLE	94" x 88" x 30"	Harvest	Landscape Forms	-	-	1
S7	1/L11.1	BENCH	19.5"x72"x16"	Palisade	Landscape Forms	Custom	unfinished	2

FENCING

ID	REFERENCE	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
F1	1/L11.3	METAL FENCE	3'6" ht	Custom	-	-	Powdercoat Gray	-
F2	2/L11.3	ENTRY GATE - ROYAL AVE	1m ht	Custom	-	-	Powdercoat Gray	-
F3	3/L11.3	PRIVACY SCREEN	6' ht	Custom	-	-	Powdercoat Gray	-
F4	4/L11.3	ENTRY GATE - CUNNINGHAM ST	1m ht	Custom	-	-	Powdercoat Gray	-

LIGHTING

ID	REFERENCE	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
							LSA-GIN, LSA-ANG, LSA-KAT	
L1	1/L12.1	DOWN LIGHT	standard	Litesphere Adapt	Tiroli			
L2	2/L12.1	STEP/WALL LIGHT	190x74x6.5mm	Illuminazione 5454	Goccia		grey	
L3	3/L12.1	UNDER WATER LIGHT	5"x8"x4"	SS6-RGB-3R Adjustable flood/spot underwater	Color Nix		grey	

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE SITE FURNISHINGS, MATERIALS AND LIGHTING SCHEDULE AND THE PLANS, THE PLANS TAKE PRECEDENCE.

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019 02 05	Issue for Rezoning Permit
C	2019-09-06	Issued for Review
D	2019-09-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-03-14	Issue for DP

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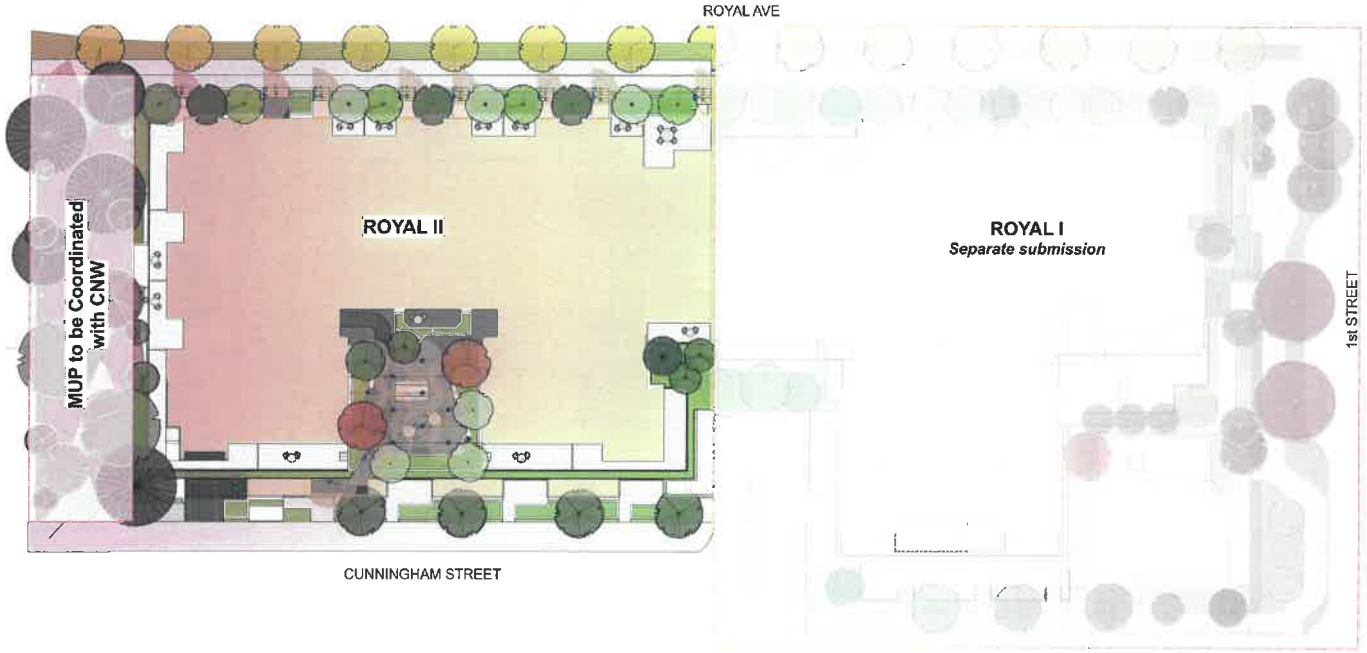
Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title
Notes and Schedules

Legal
Lots 13, 14 AND 15 Plan 2620.
All of Block 32. New Westminster
Township Group 1 NWD

Project Manager: DT
Project ID: 21844
Drawn By: MR
Scale:
Reviewed By: DT
Drawing No: **L0.1**
Date: 2019.01.03
Plot Date



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Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
	2019-02-05	Issue for Rezoning Permit
	2019-03-06	Issued for Review
	2019-09-13	Issued for Review
	2019-10-03	Issued for Review
	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
	2021-04-22	Issued ADP
	2021-07-19	Issue for DP
	2022-03-14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

Drawing Title

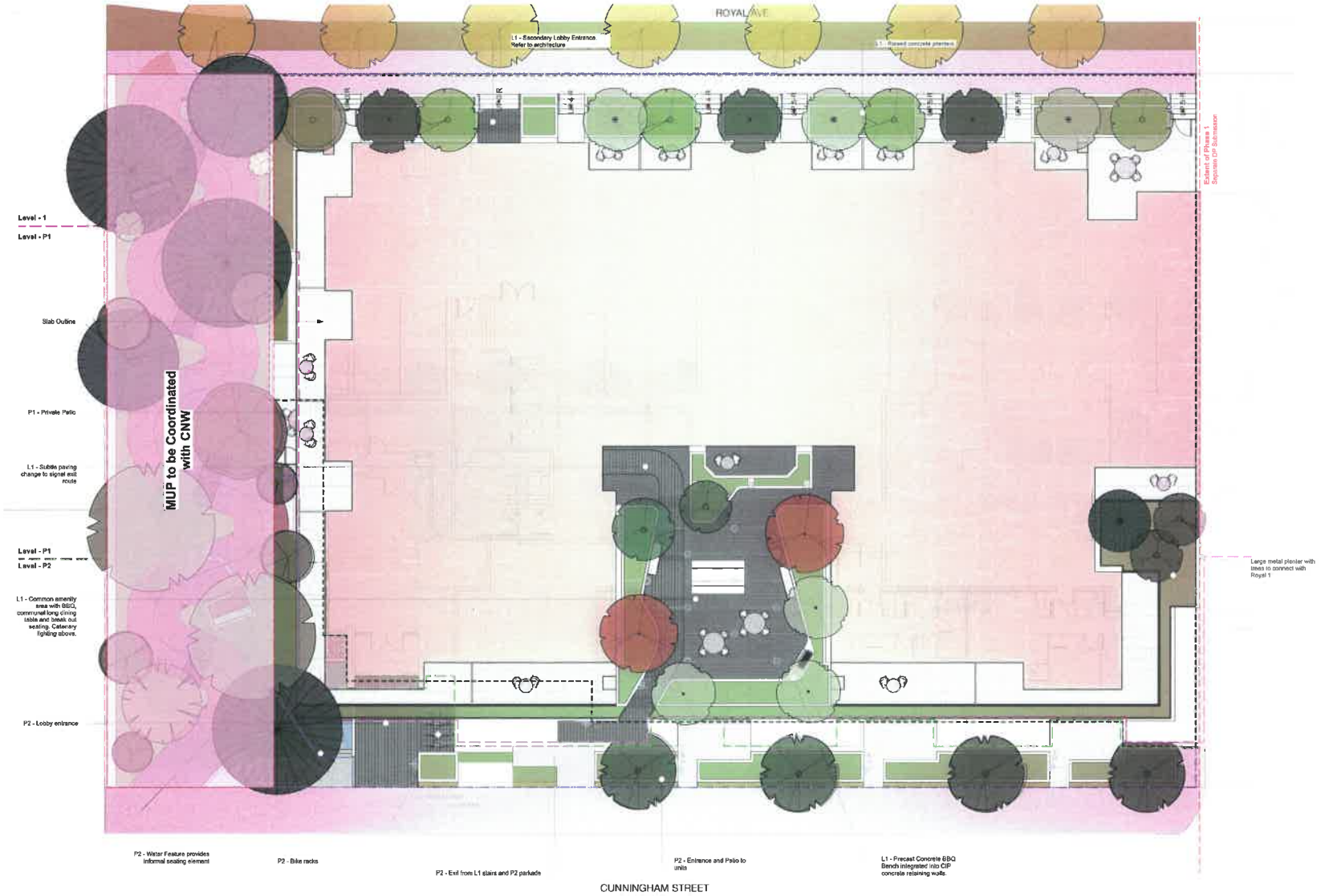
Context Plan

Legal

Lots 13, 14 AND 15 Plan 2620,
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager	Project ID
DT	21844
Drawn By	Scale
MR	As noted
Reviewed By	Drawing No
DT	L0.2
Date	
2019.01.05	

Plot Date



1 Royal II
Scale: 1:100

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Revision
No. Date Revision Notes

Issue
No. Date Issue Notes
A 2018.02.01 Issue for Coordination
B 2018.02.05 Issue for Rezoning Permit
C 2019.03.09 Issued for Review
D 2019.09.13 Issued for Review
E 2019.10.03 Issued for Review
F 2019.10.18 Issued for Review
G 2019.10.25 Issued for RZ / DP
H 2021.02.05 Re-Issued for RZ/DP
I 2021.04.22 Issued ADP
J 2021.07.19 Issue for DP
K 2022.05.14 Issue for DP

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Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title
Illustrative Plan

Legal
Lots 13, 14 AND 15 Plan 2605
All of Block 32 New Westminster
Township Group 1 NWD

Project Manager: DT	Project ID: 21644
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L0.3
Date: 2018.02.04	

Rev: 0.0

Western walkway planting and path treatment

Frontage and planting example

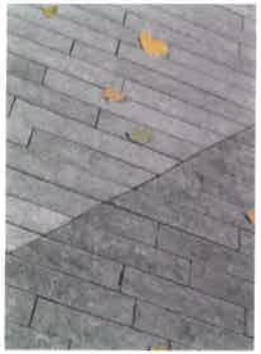
Amenity area wall and light example

Planting and retaining wall example

Feature landscape wall example

Metal planters

Ground floor materials / pavers



Ground floor materials / pavers

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2018.02.05	Issue for Rezoning Permit
C	2019-06-06	Issued for Review
D	2019-06-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-03-14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

Drawing Title

Precedent Images

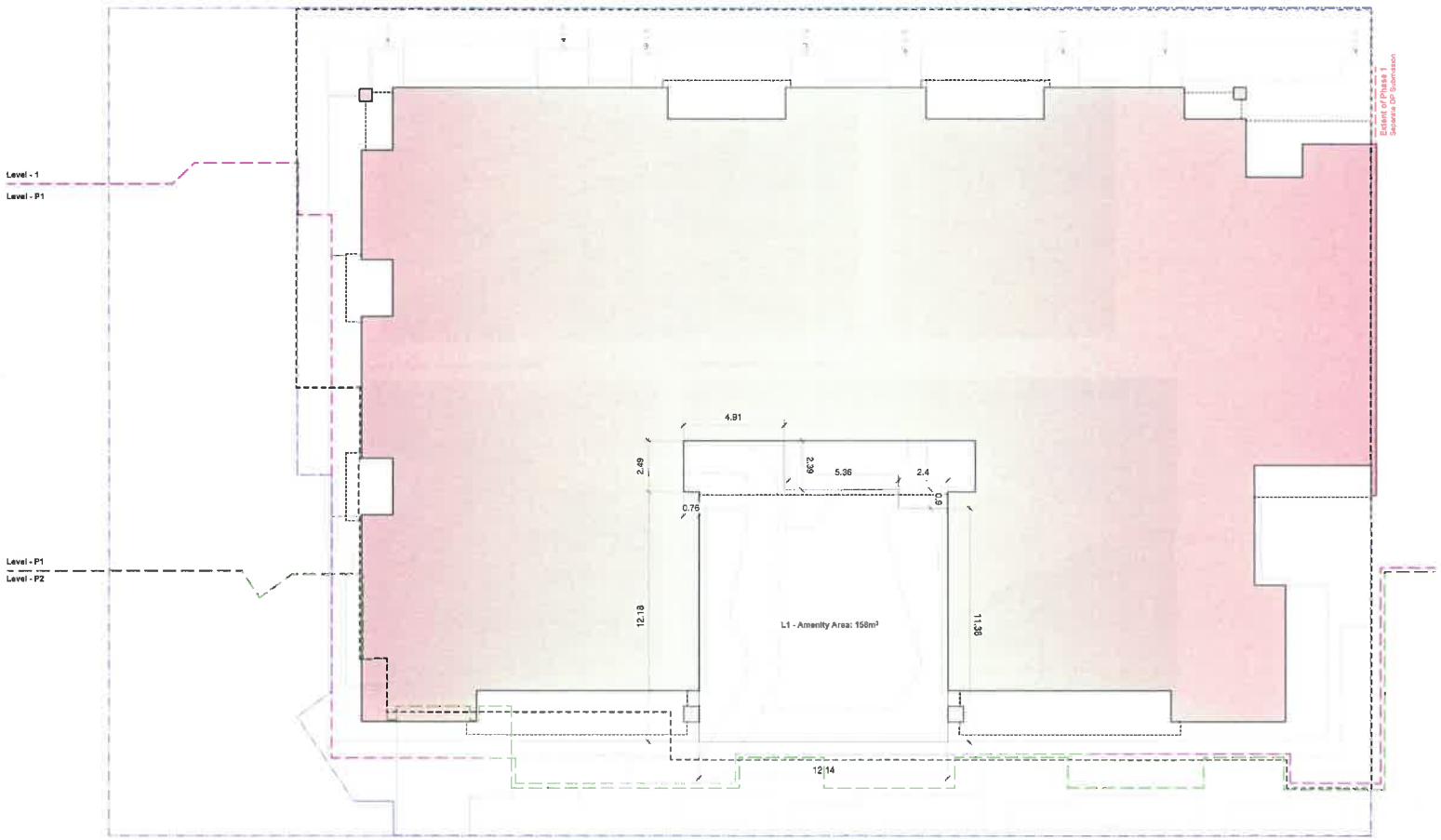
Legal

Lots 13, 14 AND 15 Plan 2820,
All in Block 32, New Westminster
Township Group 1 NWD

Project Manager: DT	Project ID: 21844
Drawn By: MR	Scale: NTS
Reviewed By: DT	Drawing No: L0.4
Date: 2019.01.05	

Plot Date:

ROYAL AVE



CUNNINGHAM STREET

1 Royal II
Scale. 1:100

0 2 4 6 8 10 m

Revision
No. Date Revision Notes

Issue
No. Date Issue Notes
A 2019.02.01 Issue for Coordination
B 2019.02.05 Issue for Rezoning Permit
C 2019.09.06 Issued for Review
D 2019.09.13 Issued for Review
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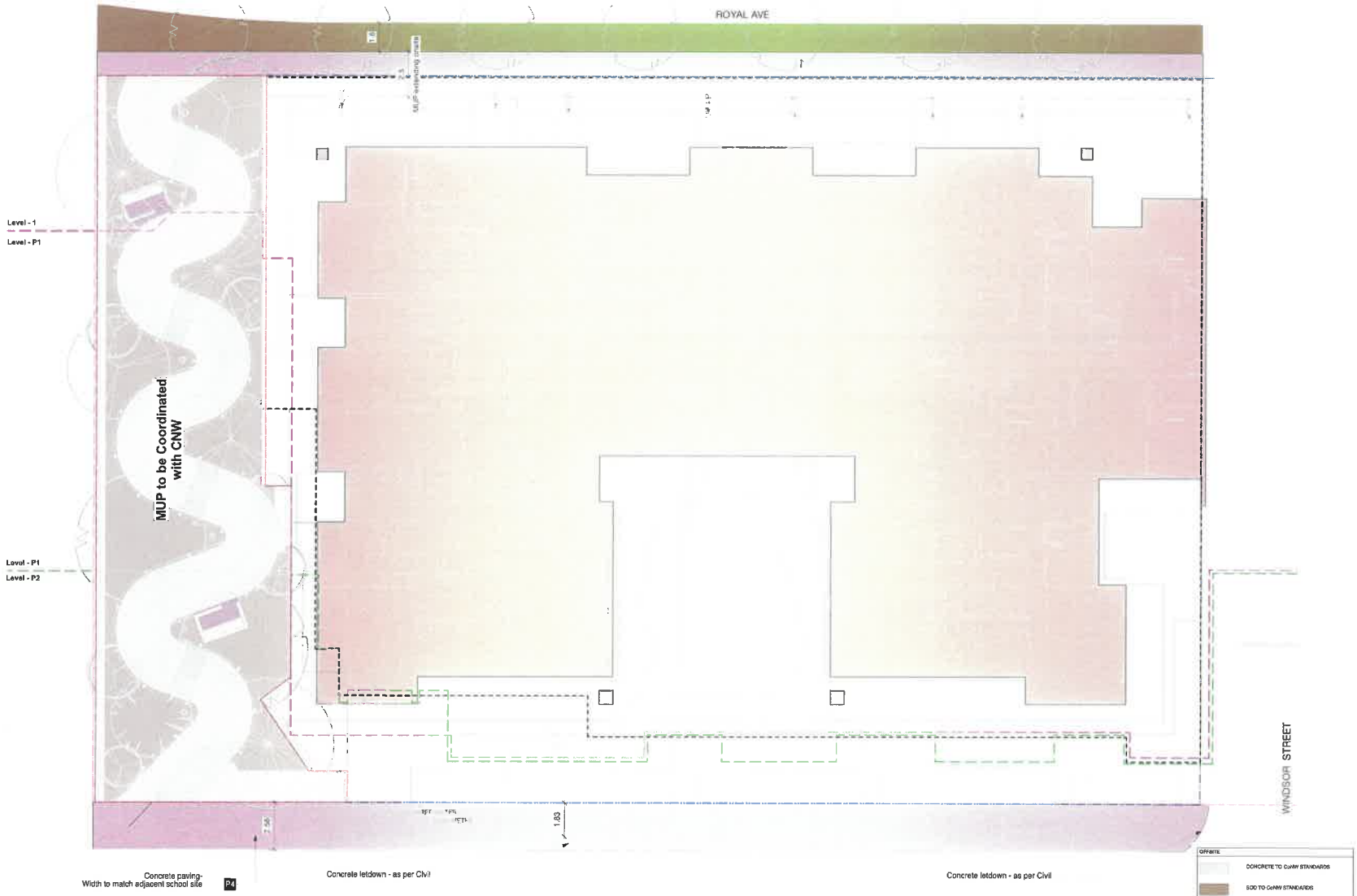
Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title
Amenity Area Plan

Legal
Lots 13, 14 AND 15 Plan 2620,
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager: CT	Project ID: 21844
Drawn By: MR	Scale: As noted
Reviewed By: CT	Drawing No: L0.5
Date: 2019.02.04	



1 Royal II
Scale: 1:100

0 2 4 6 8 10 m

OFFSITE

CONCRETE TO CoNW STANDARDS

SOD TO CoNW STANDARDS

NOTES:

-FOR IRRIGATED AREAS, SEE L2.4 OFFSITE IRRIGATED AREAS PLAN

-THE CITY BOULEVARD IS TO BE PREPPED WITH SOIL RECOMMENDATIONS AND DEPTHS PER SYLVIA HARTEL, SENIOR ARBORIST. SAMPLES COLLECTED AND TREES INSTALLED BY THE PARKS DEPARTMENT CITY OF NEW WESTMINSTER.

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2018-02-05	Issue for Rezoning Permit
C	2019-03-08	Issued for Review
D	2019-09-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
H	2021-02-05	Re-Issued for RZ/DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-03-14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

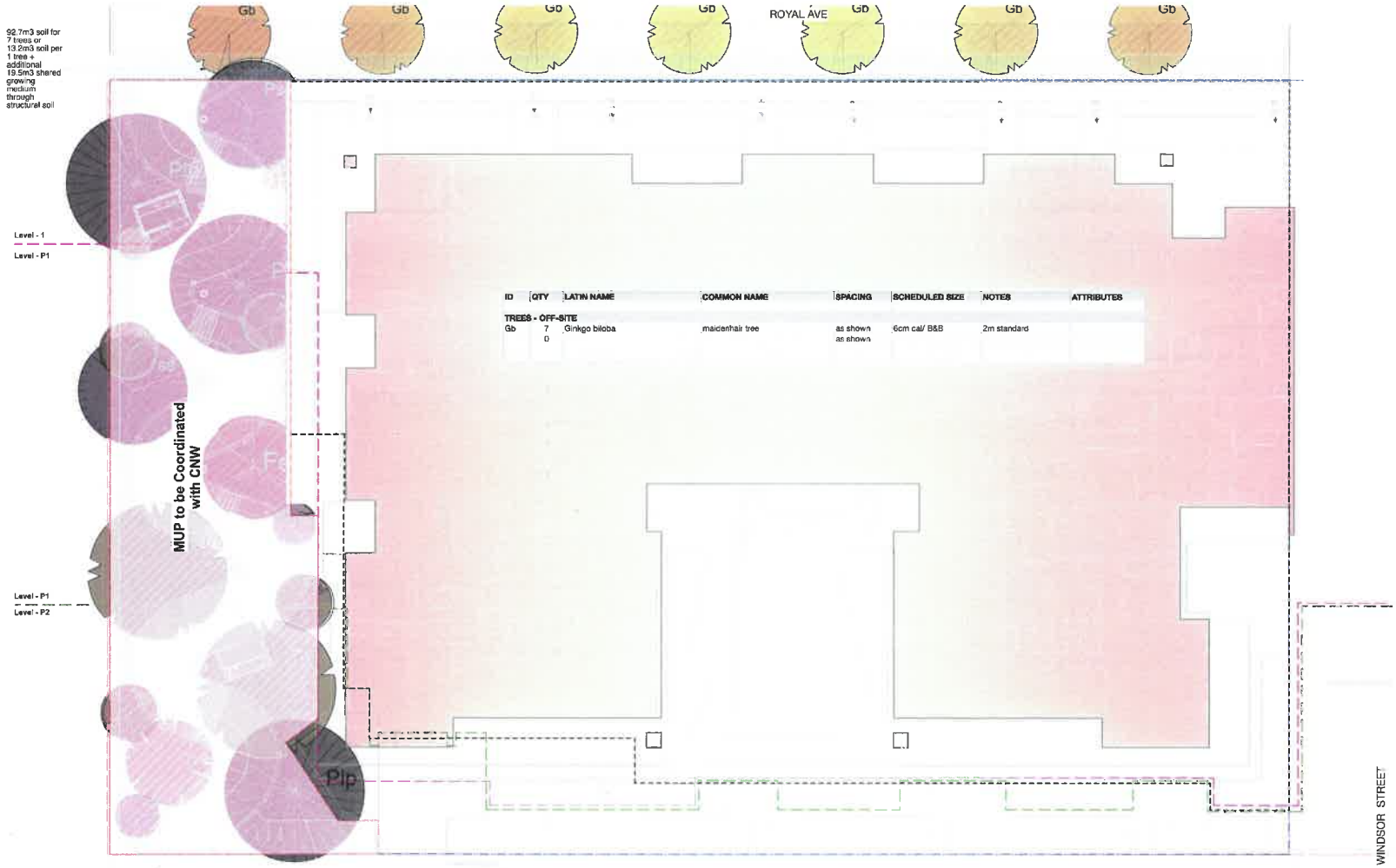
Drawing Title

Offsite Materials Plan

Legal

Lots 13, 14 AND 15 Plan 21870,
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager	Project ID
DT	21844
Drawn By	Scale
MR	1:100
Reviewed By	Drawing No.
DT	L2.1
Date	
2019.01.03	



ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES - OFF-SITE							
Gb	7 0	Ginkgo biloba	maidenhair tree	as shown as shown	6cm cal/ B&B	2m standard	

NOTES:

-FOR IRRIGATED AREAS, SEE L2.4 OFFSITE IRRIGATED AREAS PLAN

-THE CITY BOULEVARD IS TO BE PREPPED WITH SOIL RECOMMENDATIONS AND DEPTH PER SYLVAIN MARTEL, SENIOR ARBORIST. MORE SOIL LISTED AND TREES INSTALLED BY THE PARKS DEPARTMENT CITY OF NEW WESTMINSTER.

GROWING MEDIUM LEGEND

- 300 MM (12") SOIL DEPTH
- 450 MM (18") SOIL DEPTH
- 610 MM (24") SOIL DEPTH
- 900 MM (36") SOIL DEPTH
- 1200 MM (48") SOIL DEPTH
- 900 MM (36") STRUCTURAL SOIL

0 2 4 6 8 10 m

1 Royal II
Scale: 1:100

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-02-05	Issue for Rezoning Permit
C	2019-08-06	Issued for Review
D	2019-09-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
H	2021-02-05	Re-Issued for RZ/DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-05-14	Issue for DP

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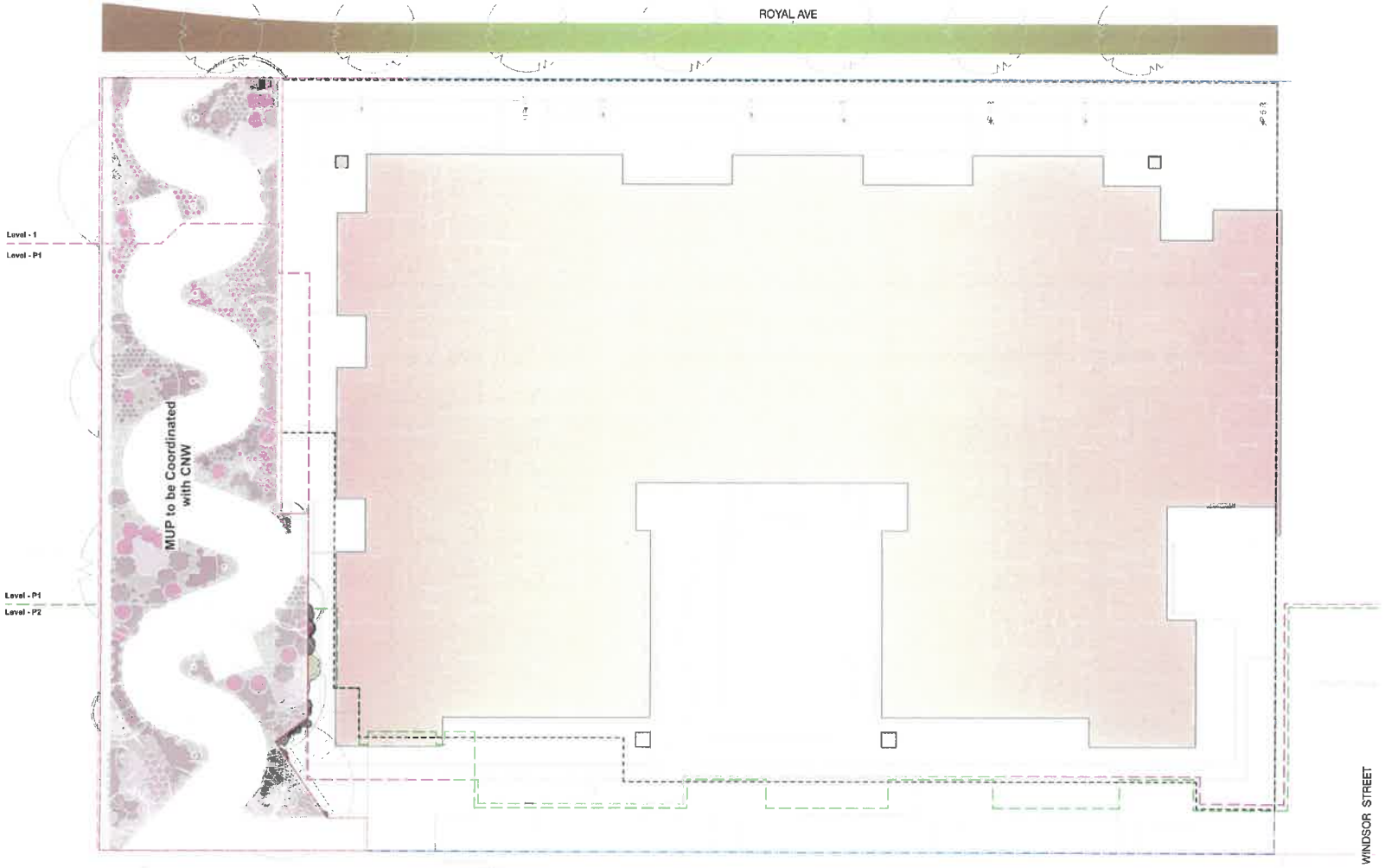
Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title
Offsite Tree Plan

Legal
Lots 13, 14 AND 15 Plan 2629
All of Block 32 New Westminster
Township Group 1 NWD

Project Manager DT	Project ID 21844
Drawn By MR	Scale 1:100
Reviewed By DT	Drawing No. L2.2
Date 2019.01.03	



1 Royal II
Scale: 1:100

OFFSITE	
	CONCRETE TO CoNW STANDARDS
	SOD TO CoNW STANDARDS

NOTES:

-FOR IRRIGATED AREAS, SEE L2.4 OFFSITE IRRIGATED AREAS PLAN

-THE CITY BOULEVARD IS TO BE PREPPED WITH SOIL RECOMMENDATIONS AND DEPTH PER SYLVAN HARTEL, SENIOR ARBORIST. MOHRS COLLECTED AND TREES INSTALLED BY THE PARKS DEPARTMENT CITY OF NEW WESTMINSTER.

0 2 4 6 8 10 m

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-02-05	Issue for Rezoning Permit
C	2019-09-06	Issued for Review
D	2019-09-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
H	2021-03-05	Re-Issued for RZ/DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-03-14	Issue for DP

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Project

Royal II

112, 114 and 116 Royal Ave.

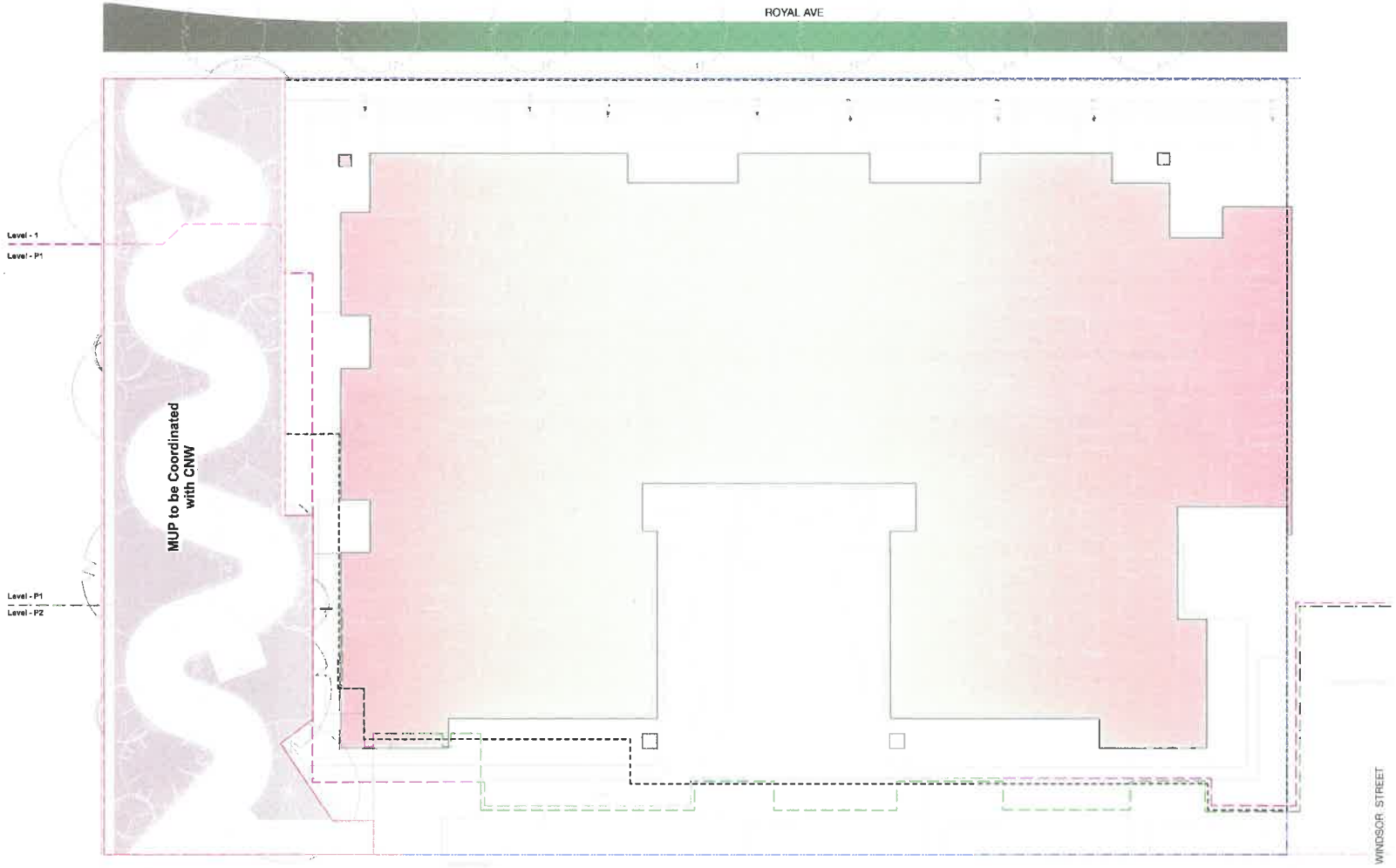
Drawing Title

Offsite Planting Plan

Legal

Lots 13, 14 AND 15 Plan 2520,
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager: DT	Project ID: 21844
Drawn By: MR	Scale: 1:100
Reviewed By: DT	Drawing no: L2.3
Date: 2019.01.03	



1 Royal II
Scale: 1:100

IRRIGATION LEGEND

	AREA TO BE IRRIGATED
HB	HOSEBIB
IS	IRRIGATION STUB-OUT

Note:
Refer to canadian landscape standards, typ.

0 2 4 6 8 10 m

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-02-05	Issue for Rezoning Permit
C	2019-03-06	Issued for Review
D	2019-06-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
H	2021-02-05	Re-Issued for RZ/DP
I	2021-04-30	Issued ADP
J	2021-07-16	Issue for DP
K	2022-03-14	Issue for DP

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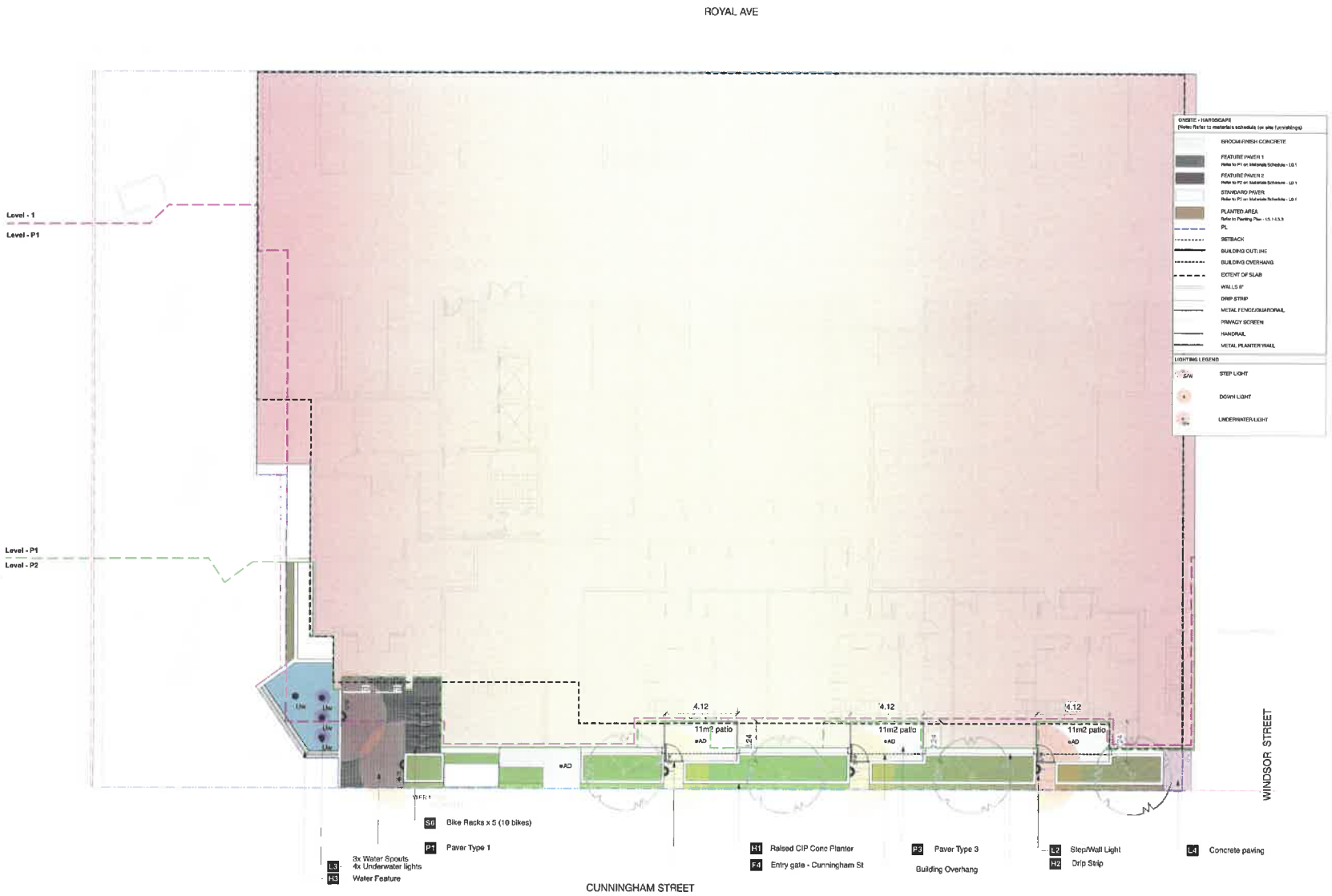
Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title
Offsite Irrigation Plan

Legal
Lots 13, 14 AND 15 Plan 2820;
All of Block 32 New Westminster
Township Group 1 NWD

Project Manager: DT	Project No.: 21844
Drawn By: MR	Scale: 1:100
Reviewed By: DT	Drawing No.: L2.4
Date: 2018.01.03	



ONSITE - HARDSCAPE
(Note: Refer to materials schedule for site furnishings)

- BROOM FINISH CONCRETE
- FEATURE PAVER 1 — Refer to P1 on Materials Schedule - L0.1
- FEATURE PAVER 2 — Refer to P2 on Materials Schedule - L0.1
- STANDARD PAVER — Refer to P3 on Materials Schedule - L0.1
- PLANTED AREA — Refer to Planting Plan - L1.1-L1.3
- PL
- SETBACK
- BUILDING OUTLINE
- BUILDING OVERHANG
- EXTENT OF SLAB
- WALLS 8"
- DRIP STRIP
- METAL FENCE/GUARDRAIL
- PRIVACY SCREEN
- HANDRAIL
- METAL PLANTER WALL

LIGHTING LEGEND

- SW STEP LIGHT
- DOWN LIGHT
- UW UNDERWATER LIGHT

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2018-02-05	Issue for Rezoning Panel
C	2019-02-06	Issued for Review
D	2019-02-15	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-03-14	Issue for DP

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Project

Royal II

112, 114 and 116 Royal Ave.

Drawing Title

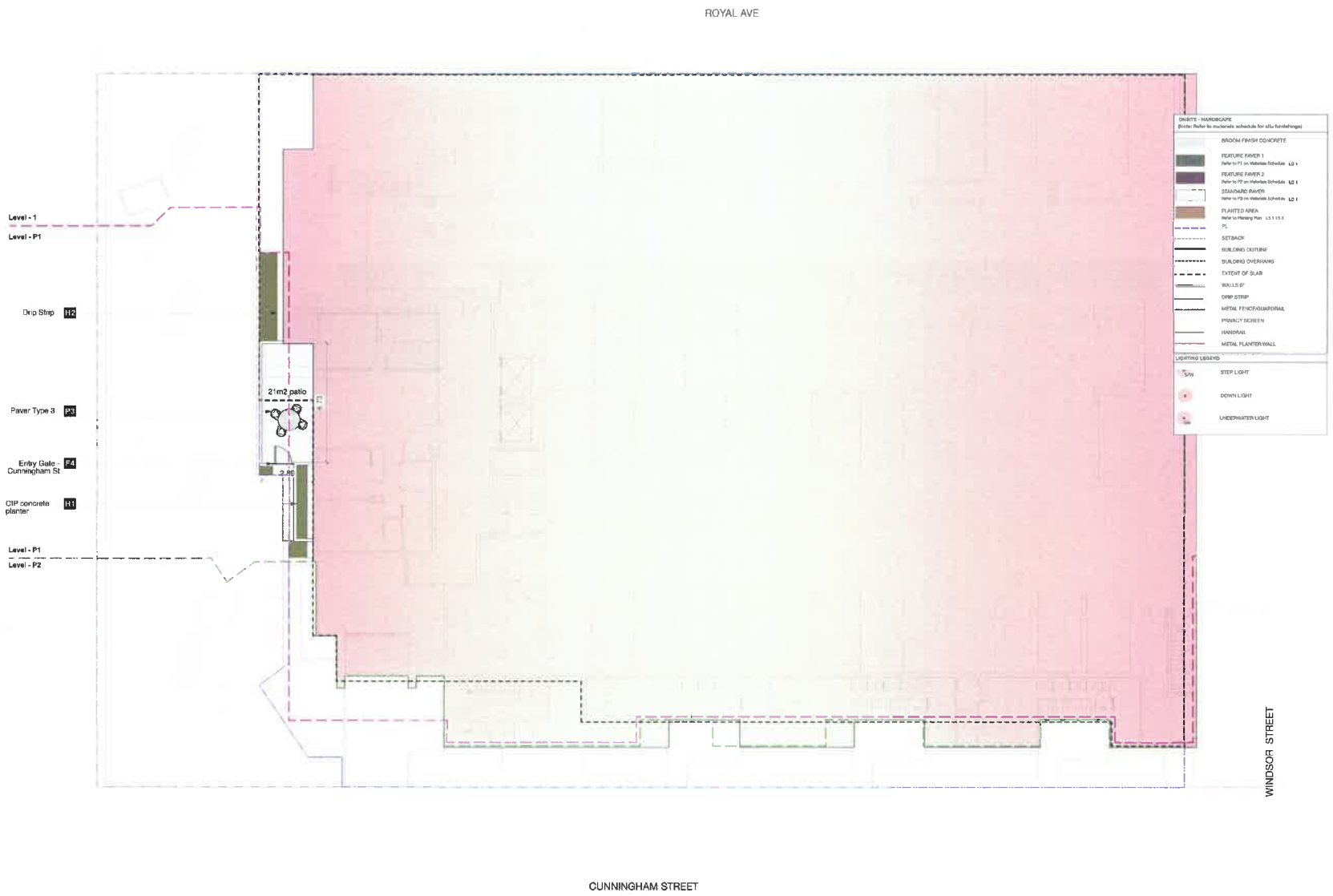
P2 - Materials Plan

Legal
Lots 13, 14 AND 15 Plan 2533,
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager: DT	Project ID: 21844
Drawn By: MR	Scale: 1:100
Reviewed By: DT	Drawing No: L3.1
Date: 2019.01.03	

1 Royal II
Scale: 1:100

0 2 4 6 8 10 m



1 Royal II
Scale: 1:100

0 2 4 6 8 10 m

Revision
No. Date Revision Notes

Issued
No. Date Issue Notes
B 2019.02.05 Issue for Rezoning Permit
C 2019-09-06 Issued for Review
D 2019-09-13 Issued for Review
E 2019-18-03 Issued for Review
F 2019-10-11 Issued for Review
G 2019-10-25 Issued for RZ / DP
I 2021-04-22 Issued ADP
J 2021-07-19 Issue for DP
K 2022-03-14 Issue for DP

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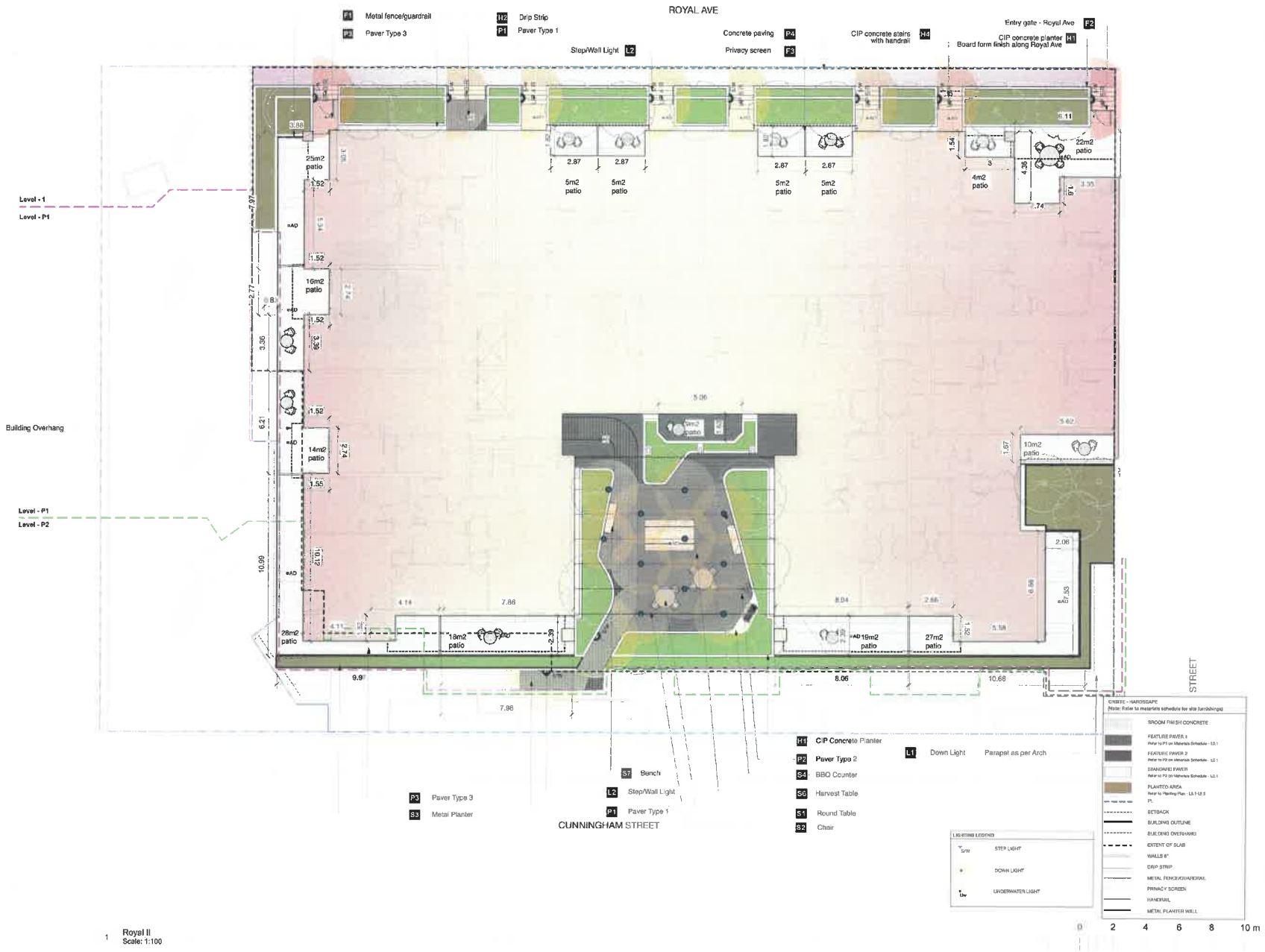
Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title
P1 - Materials Plan

Legal
Lots 13, 14 AND 15 Plan 2620
All of Block 32 New Westminster
Township Group 1 NWD

Design Manager DT	Project ID 21844
Drawn By MR	Scale 1:100
Reviewed By DT	Drawing No. L3.2
Date 2019.01.03	



1 Royal II
Scale: 1:100

Revision No. | Date | Revision Notes

Issue No.	Date	Issue Notes
B	2019-02-05	Issue for Rezoning Permit
C	2019-09-09	Issued for Review
D	2019-09-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-03-14	Issue for DP

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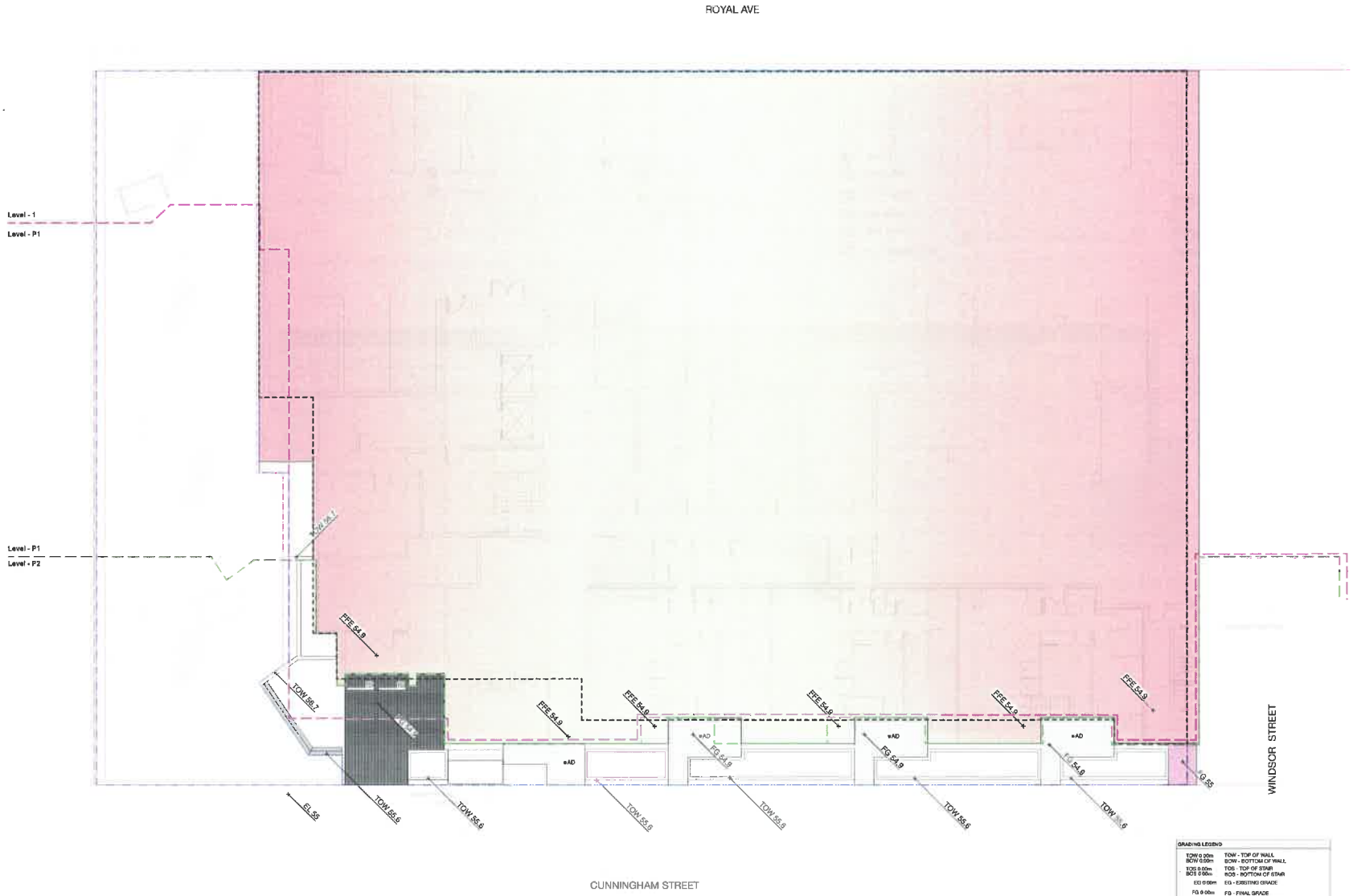
Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title
L1 - Materials Plan

Legal
Lots 13, 14 AND 15 Plan 2620,
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager: DT	Project ID: 21844
Drawn By: MR	Scale: 1:100
Reviewed By: DT	Drawing No: L3.3
Date: 2019.01.03	



GRADING LEGEND	
TOW 0.00m	TOW - TOP OF WALL
BOW 0.00m	BOW - BOTTOM OF WALL
TOS 0.00m	TOS - TOP OF STAIR
BOS 0.00m	BOS - BOTTOM OF STAIR
EG 0.00m	EG - EXISTING GRADE
FG 0.00m	FG - FINAL GRADE
IG 0.00m	IG - INTERPOLATED GRADE
ESL 0.00m	TSL - TOP OF SLAB

1 Royal II
Scale: 1:100

0 2 4 6 8 10 m

Revision
No. Date Revision Notes

Issue
No. Date Issue Notes
B 2019.02.05 Issue for Rezoning Permit
C 2019-09-06 Issued for Review
D 2019-09-13 Issued for Review
E 2019-10-03 Issued for Review
F 2019-10-18 Issued for Review
G 2019-10-25 Issued for RZ / DP
I 2021-04-22 Issued ADP
J 2021-07-19 Issue for DP
K 2022-03-14 Issue for DP

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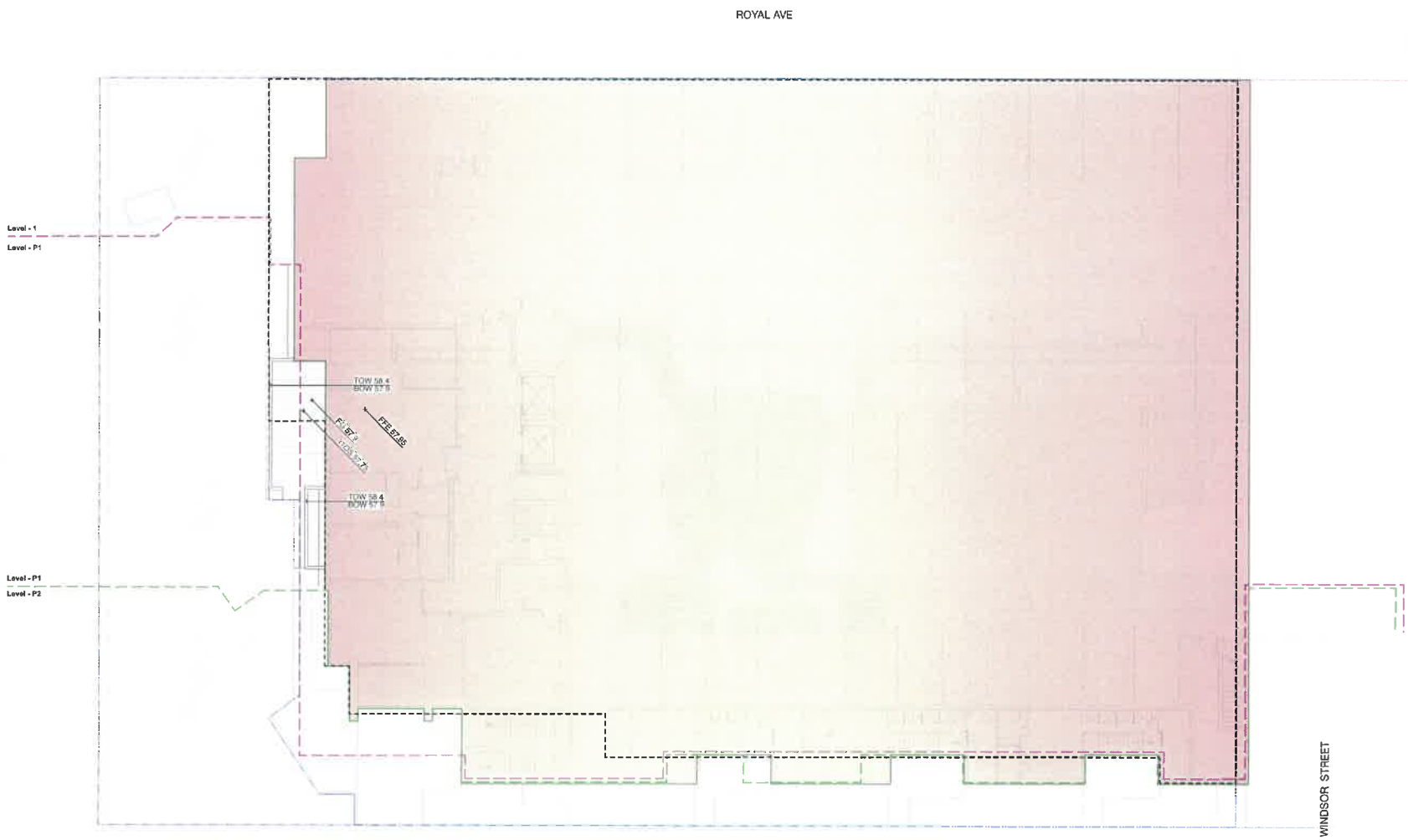
Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title
P2 - Grading and Drainage Plan

Legal
Lots 13, 14 AND 15 Plan 2610
All of Block 32, New Westminster
Township Group: 1 NWD

Project Manager: DT	Project ID: 21844
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L4.1
Date: 2019.01.03	



GRADING LEGEND	
TOW 0.00m BOW 0.00m	TOW - TOP OF WALL BOW - BOTTOM OF WALL
TOS 0.00m BOS 0.00m	TOS - TOP OF STAIR BOS - BOTTOM OF STAIR
EG 0.00m	EG - EXISTING GRADE
FG 0.00m	FG - FINAL GRADE
IG 0.00m	IG - INTERPOLATED GRADE
TSL 0.00m	TSL - TOP OF SLAB

1 Royal II
Scale: 1:100

0 2 4 6 8 10 m

Revision
No. Date Revision Notes

Issue
No. Date Issue Notes
B 2019.02.05 Issue for Rezoning Permit
C 2019-03-05 Issued for Review
D 2019-03-13 Issued for Review
E 2019-10-05 Issued for Review
F 2019-10-18 Issued for Review
G 2019-10-25 Issued for RZ / DP
H 2021-04-22 Issued ADP
I 2021-07-19 Issue for DP
J 2022-03-14 Issue for DP

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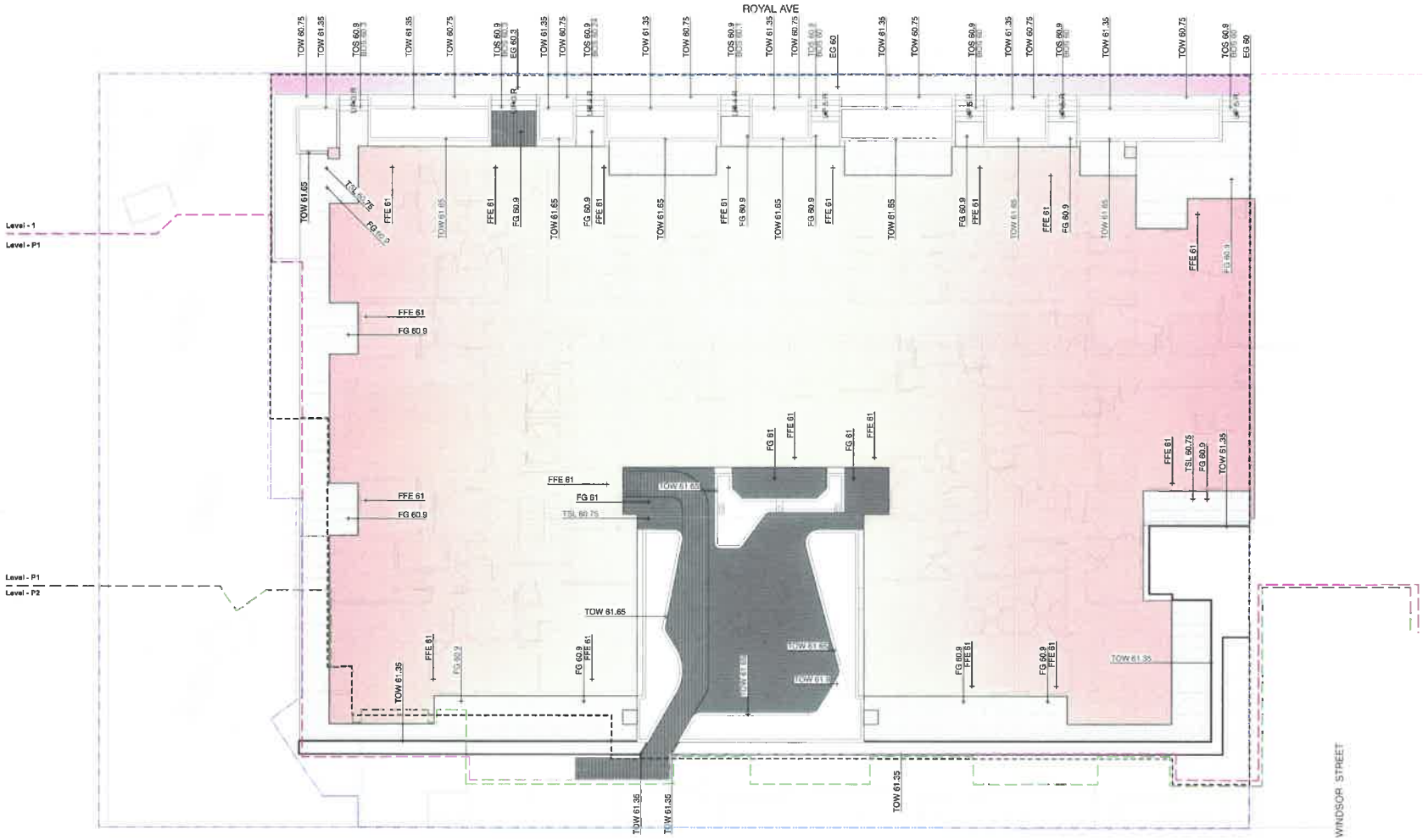
Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title
P1 - Grading and Drainage Plan

Legal
Lots 13, 14 AND 15 Plan 2620,
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager DT	Project ID 21844
Drawn By MR	Scale As noted
Reviewed By DT	Drawing No L4.2
Date 2019.01.03	



GRADING LEGEND	
TOW 0.00m BOW 0.00m	TOW - TOP OF WALL BOW - BOTTOM OF WALL
TOS 0.00m BOS 0.00m	TOS - TOP OF STAIR BOS - BOTTOM OF STAIR
EG 0.00m	EG - EXISTING GRADE
FG 0.00m	FG FINAL GRADE
IG 0.00m	IG - INTERPOLATED GRADE
TSL 0.00m	TSL - TOP OF SLAB

1 Royal II
Scale: 1:100

0 2 4 6 8 10 m

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-02-05	Issue for Rezoning Permit
C	2019-02-06	Issued for Review
D	2019-09-13	Issued for Review
E	2019-12-06	Issued for Review
F	2019-12-18	Issued for Review
G	2019-12-23	Issued for RZ / DP
I	2021-04-23	Issued ADP
J	2021-07-16	Issue for DP
K	2022-03-14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

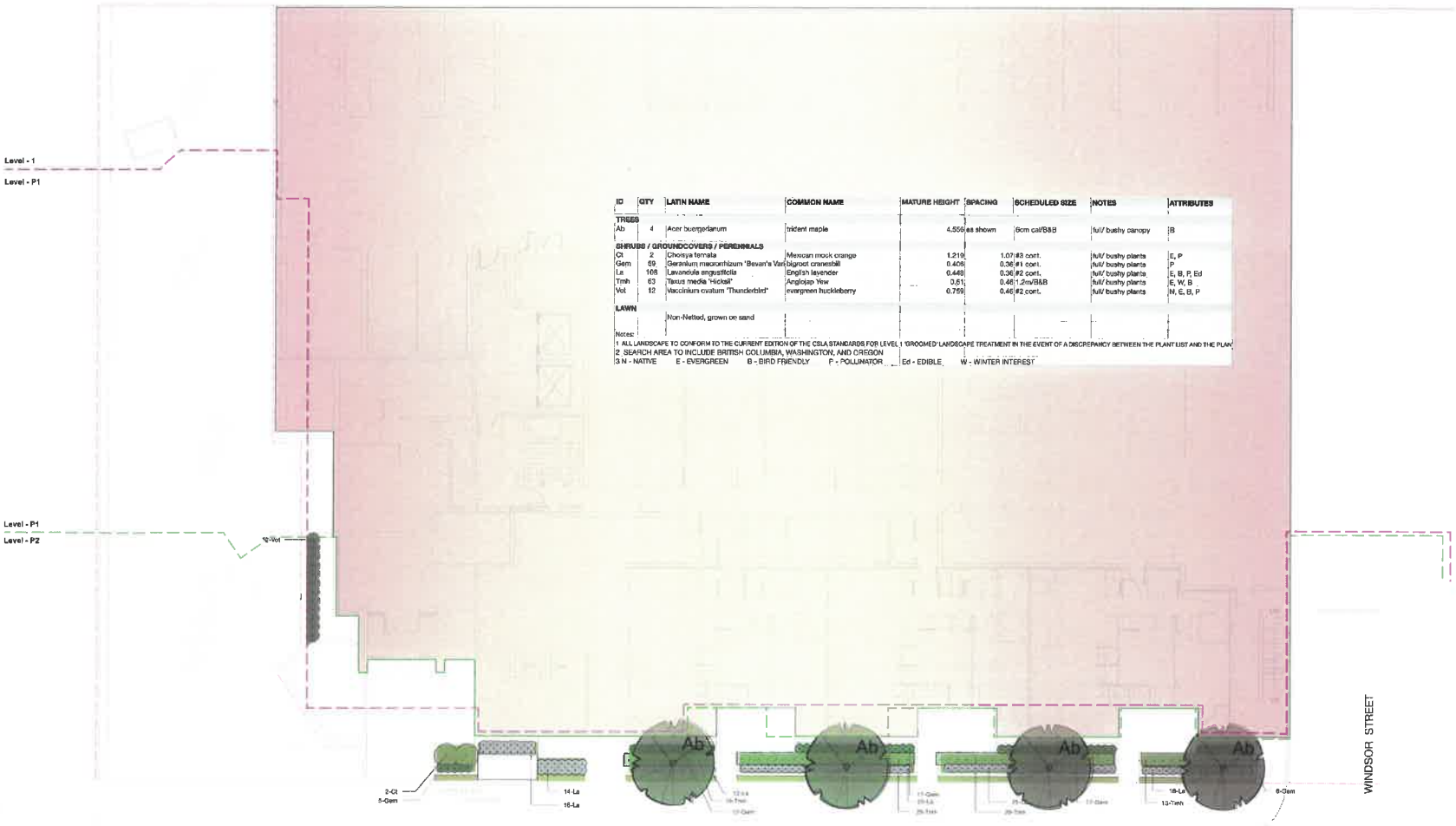
Drawing Title

L1 - Grading and Drainage Plan

Legal
Lots 13, 14 AND 15 Plan 2620;
All of Block 31, New Westminster
Township Group 1 NWD

Project Manager: DT	Project #: 21844
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L4.3
Date: 2019.01.03	

ROYAL AVE



ID	QTY	LATIN NAME	COMMON NAME	MATURE HEIGHT	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES								
Ab	4	Acer buergerianum	trident maple	4.556	as shown	6cm cal/B&B	full/ bushy canopy	B
SHRUBS / GROUNDCOVERS / PERENNIALS								
Ct	2	Choisya ternata	Mexican mock orange	1.219	1.07	#3 cont.	full/ bushy plants	E, P
Gem	69	Geranium macrorrhizum 'Bevan's Vari	bigroot cranesbill	0.406	0.36	#1 cont.	full/ bushy plants	P
La	108	Lavandula angustifolia	English lavender	0.448	0.36	#2 cont.	full/ bushy plants	E, B, P, Ed
Tmh	63	Taxus media 'Hicksii'	Anglojap Yew	0.51	0.46	1.2m/B&B	full/ bushy plants	E, W, B
Vot	12	Vaccinium ovatum 'Thunderbird'	evergreen huckleberry	0.759	0.46	#2 cont.	full/ bushy plants	N, E, B, P
LAWN								
		Non-Netted, grown on sand						

Notes:
1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 1 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLAN
2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST

CUNNINGHAM STREET

1 Royal II
Scale: 1:100

0 2 4 6 8 10 m

Revision
No. Date Revision Notes

Issue
No. Date Issue Notes
B 2019.03.05 Issue for Rezoning Permit
C 2019-09-06 Issued for Review
D 2019-09-13 Issued for Review
E 2019-10-03 Issued for Review
F 2019-10-18 Issued for Review
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J 2021-07-19 Issue for DP
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Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title
P2 - Planting Plan

Legal
Lots 13, 14 AND 15 Plan 2820,
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager: DT	Project ID: 21844
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L5.1
Date: 2019.01.05	

ROYAL AVE

Level - 1

Level - P1

7-Vd

8-Mr

9-Tmh

10-Mr

Level - P1

Level - P2

ID	QTY	LATIN NAME	COMMON NAME	MATURE HEIGHT	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES								
SHRUBS / GROUNDCOVERS / PERENNIALS								
Mr	16	Mahonia nervosa	creeping Oregon grape	0.303	0.3 #1 cont.	full/ bushy plants	N, E, B, P, Ed	
Tmh	9	Taxus media 'Hicksii'	Anglojap Yew	0.61	0.48 1.2m/B&B	full/ bushy plants	E, W, B	
Vd	7	Viburnum davidii	viburnum	1.215	0.75 #5 cont.	full/ bushy plants	E, P	
LAWN								
		Non-Netted, grown on sand						

Notes:

1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 1 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLAN

2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON

3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST

WINDSOR STREET

CUNNINGHAM STREET

1 Royal II
Scale: 1:100

0 2 4 6 8 10 m

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2018-02-05	Issued for Rezoning Permit
C	2018-09-06	Issued for Review
D	2018-09-13	Issued for Review
E	2018-10-02	Issued for Review
F	2018-10-18	Issued for Review
G	2018-10-25	Issued for RZ / DP
I	2021-04-22	Issued ADP
J	2021-06-19	Issue for DP
K	2022-03-14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

Drawing Title

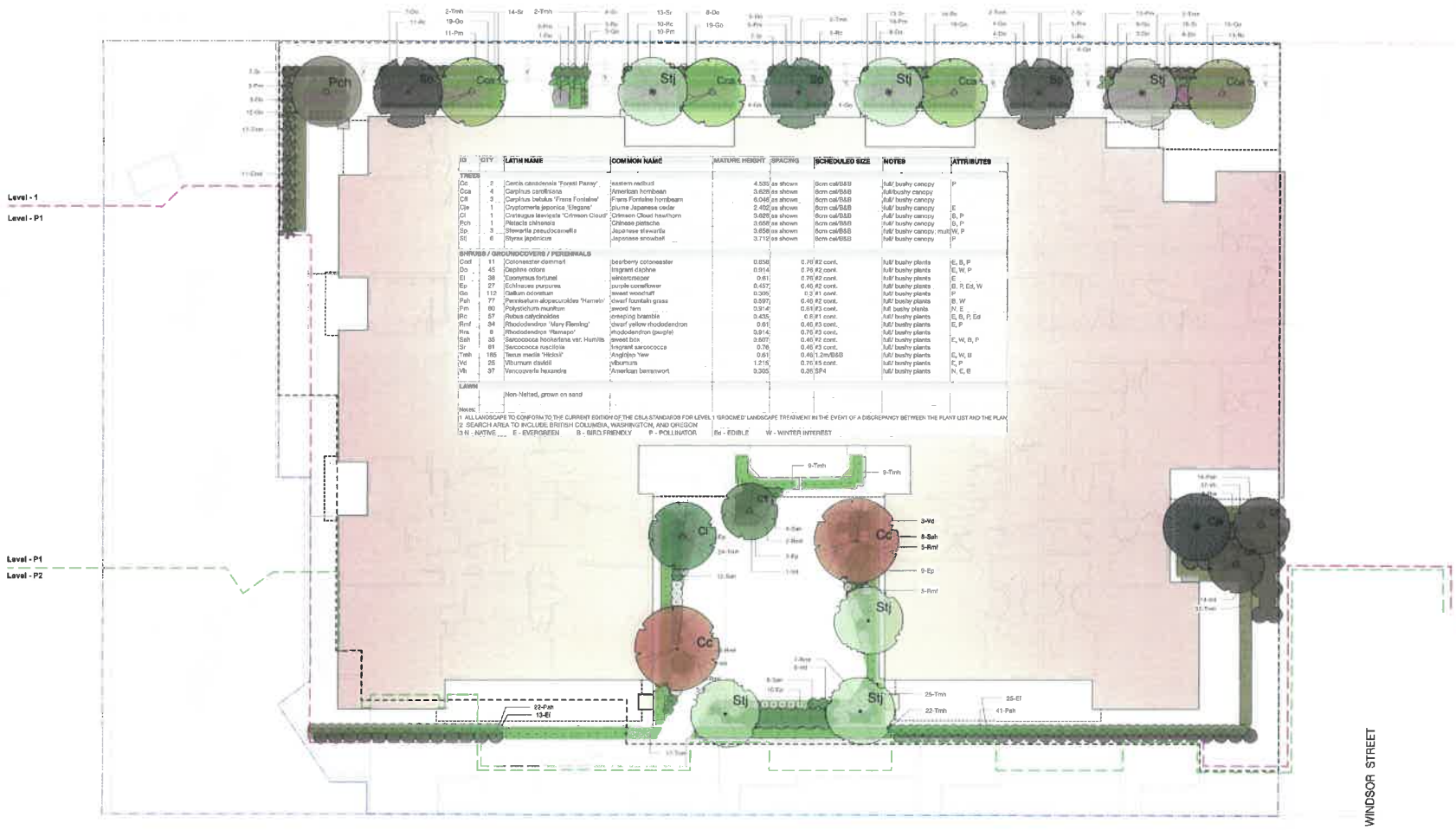
P1 - Planting Plan

Legal

Lots 13, 14 AND 15 Plan 2620
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager: DT	Project ID: 21844
Drawn By: MH	Scale: As noted
Reviewed By: DT	Drawing No: L5.2
Date: 2019.01.05	

ROYAL AVE



ID	QTY	LATIN NAME	COMMON NAME	MATURE HEIGHT	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES								
Cc	2	Cercis canadensis 'Forest Pansy'	eastern redbud	4.539	as shown	6cm cal/B&B	full/ bushy canopy	P
Cca	4	Carpinus caroliniana	American hornbeam	3.628	as shown	6cm cal/B&B	full/bushy canopy	
Cfl	3	Carpinus betulus 'Frans Fontaine'	Frans Fontaine hornbeam	6.046	as shown	6cm cal/B&B	full/ bushy canopy	
Cje	1	Cryptomeria japonica 'Elegans'	plume Japanese cedar	2.402	as shown	6cm cal/B&B	full/ bushy canopy	E
Cl	1	Crataegus lavallei 'Crimson Cloud'	Crimson Cloud hawthorn	3.628	as shown	6cm cal/B&B	full/ bushy canopy	B, P
Pch	1	Pistacia chinensis	Chinese pistache	3.658	as shown	6cm cal/B&B	full/ bushy canopy	B, P
Sp	3	Stewartia pseudocamellia	Japanese stewartia	3.658	as shown	6cm cal/B&B	full/ bushy canopy; multi	W, P
Stj	6	Styrax japonicus	Japanese snowbell	3.713	as shown	6cm cal/B&B	full/ bushy canopy	P
SHRUBS / GROUNDCOVERS / PERENNIALS								
Cod	11	Cotoneaster dielsianus	bearberry cotoneaster	0.858	0.76	#2 cont.	full/ bushy plants	E, B, P
Do	45	Daphne odora	fragrant daphne	0.914	0.76	#2 cont.	full/ bushy plants	E, W, P
El	38	Euonymus fortunei	wintercreeper	0.61	0.76	#2 cont.	full/ bushy plants	E
Ep	27	Echinacea purpurea	purple coneflower	0.457	0.46	#2 cont.	full/ bushy plants	B, P, Ed, W
Go	112	Galium odoratum	sweet woodruff	0.305	0.3	#1 cont.	full/ bushy plants	P
Pah	77	Pennisetum alopecuroides 'Hamelin'	dwarf fountain grass	0.597	0.46	#2 cont.	full/ bushy plants	B, W
Pm	80	Polystichum munitum	sword fern	0.914	0.61	#3 cont.	full/ bushy plants	N, E
Rc	57	Rubus calycinoides	creeping bramble	0.435	0.6	#1 cont.	full/ bushy plants	E, B, P, Ed
Rmf	34	Rhododendron 'Mary Fleming'	dwarf yellow rhododendron	0.61	0.46	#3 cont.	full/ bushy plants	E, P
Rra	8	Rhododendron 'Ramapo'	rhododendron (purple)	0.914	0.76	#3 cont.	full/ bushy plants	
Sah	35	Sarcococca hookeriana var. Humilis	sweet box	0.607	0.46	#2 cont.	full/ bushy plants	E, W, B, P
Sr	81	Sarcococca ruscifolia	fragrant sarcococca	0.76	0.46	#3 cont.	full/ bushy plants	
Tmh	165	Taxus media 'Hicksii'	Anglojap Yew	0.61	0.46	1.2m/B&B	full/ bushy plants	E, W, B
Vd	25	Viburnum davidii	viburnum	1.215	0.76	#5 cont.	full/ bushy plants	E, P
Vh	37	Vancouveria hexandra	American barrenwort	0.305	0.36	SP4	full/ bushy plants	N, E, B
LAWN								
		Non-Netted, grown on sand						

Notes:
1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 1 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLAN
2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST

CUNNINGHAM STREET

1 Royal II
Scale: 1:100

0 2 4 6 8 10 m

Revision No. | Date | Revision Notes

Issue No. | Date | Issue Notes
B | 2019.02.05 | Issue for Rezoning Permit
C | 2019-09-06 | Issued for Review
D | 2019-09-13 | Issued for Review
E | 2019-10-03 | Issued for Review
F | 2019-10-15 | Issued for Review
G | 2019-10-25 | Issued for RZ / DP
I | 2021-04-22 | Issued ADP
J | 2021-07-19 | Issue for DP
K | 2022-03-14 | Issue for DP

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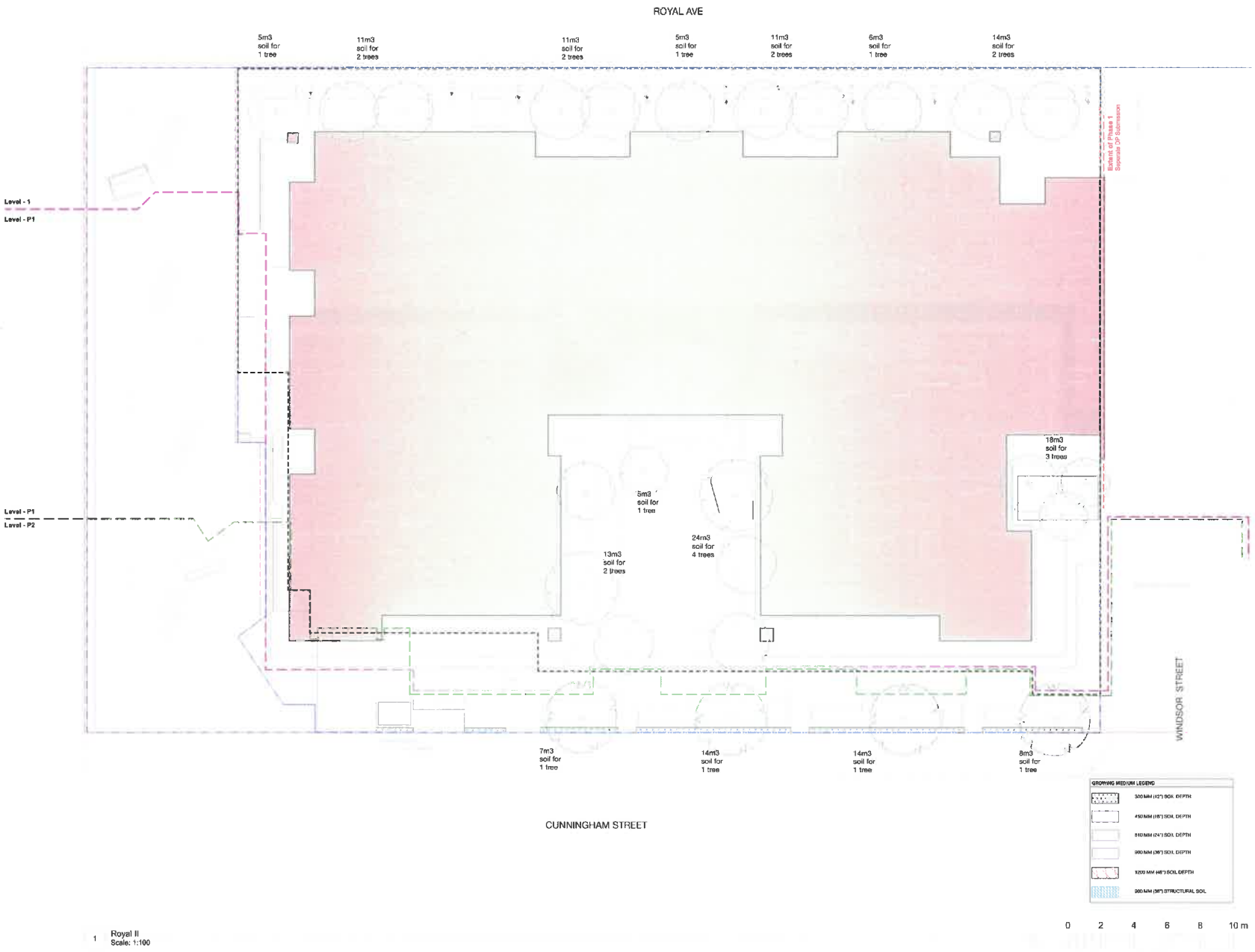
Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title
L1 - Planting Plan

Legal
Lots 13, 14 AND 15 Plan 2620
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager: DT	Project ID: 21844
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L5.3
Date: 2019.01.05	



1 Royal II
Scale: 1:100

Revision No.	Date	Revision Notes

Issue No.	Date	Issue Notes
B	2019.02.06	Issue for Rezoning Permit
C	2019-09-06	Issued for Review
D	2019-09-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
I	2021-04-22	Issued AHP
J	2021-07-19	Issue for DP
R	2022-02-14	Issue for DP

Project/Konel Steel

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Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title
Soil Depth Plan

Legal
Lots 13, 14 AND 15 Plan 2570,
All of Block 37, New Westminster
Township Group 1 NWD

Project Manager: DT	Project No: 21844
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L6.1
Date: 2019.01.03	

ROYAL AVE

Level - 1

Level - P1

Level - P1

Level - P2

Extent of Phase 1
Separate DP Submission

WINDSOR STREET

CUNNINGHAM STREET

1 Royal II
Scale: 1:100

0 2 4 6 8 10 m

Revision No.	Date	Revision Notes

Issue No.	Date	Issue Notes
B	2019.02.05	Issue for Rezoning Permit
C	2019-03-05	Issued for Review
D	2019-09-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-05-14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

Drawing Title

Irrigated Areas Plan

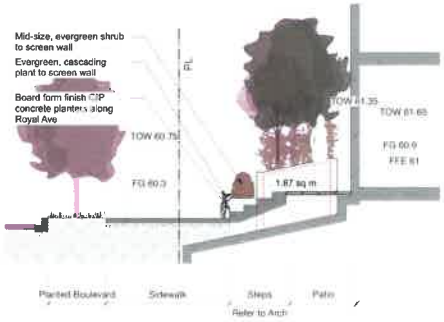
IRRIGATION LEGEND

	AREA TO BE IRRIGATED
HB-#	HOSEBIB
15	IRRIGATION STUB-OUT

Note:
Refer to canadian landscape standards, typ.

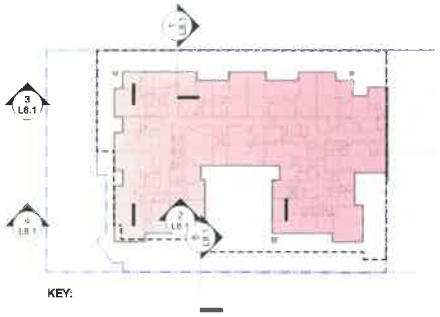
Legal
Lots 13, 14 AND 15 Plan 2620,
All of Block 92, New Westminster
Township Group 1 NWD

Project Manager: OT	Project ID: 21844
Drawn By: MR	Scale: As noted
Reviewed By: OT	Drawing No: L7.1
Date: 2019.01.03	



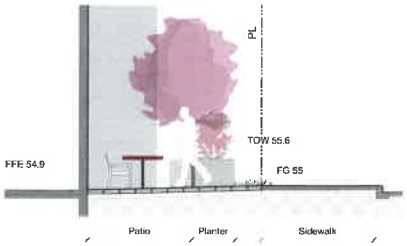
1 SECTION 1: L1 Patio Fronting Royal Avenue
Scale: 1:50

2 SECTION 2: L1 Outdoor Amenity Area
Scale: 1:50



3 SECTION 3: Western MUP & P1 Patio
Scale: 1:50

4 SECTION 4: Western MUP Retaining Walls & P2 Lobby
Scale: 1:50



5 SECTION 5: P2 Patio & Cunningham Street
Scale: 1:50

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019.02.05	Issue for Rezoning Permit
C	2019.09.06	Issued for Review
D	2019.09.13	Issued for Review
E	2019.10.03	Issued for Review
F	2019.10.18	Issued for Review
G	2019.10.25	Issued for RZ / DP
H	2021.02.05	Re-Issued for RZ/DP
I	2021.04.22	Issued ADP
J	2021.07.19	Issue for DP
K	2021.08.14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

Drawing Title

Landscape Sections

Legal
Lots 13, 14 AND 15 Plan 2520
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager: DT	Project No.: 21844
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No.: L8.1
Date: 2019.01.08	

Sod, non-netted grown on sand

300mm (12") min. growing medium

Compacted sub-grade

1 DETAIL: Sod on Grade
Scale: 1:10

Sod, non-netted grown on sand

300mm (12") min. growing medium

Non-woven filter fabric

75mm (3") thick layer of drainage rock

Rigid insulation, refer to arch

Drain mat c/w filter fabric, refer to arch

Rigid insulation, refer to arch

Protection board on waterproof membrane, refer to arch

Structural slab, refer to arch and structural

2 DETAIL: Sod on Slab
Scale: 1:10

Groundcover

50mm (2") thick mulch, refer to specifications - do not put mulch against the base of the plants

300mm (12") min. growing medium

Compacted sub-grade

3 DETAIL: Groundcover at Grade
Scale: 1:10

Groundcover

50mm (2") thick mulch, refer to specifications - do not put mulch against the base of the plants

300mm (12") min. growing medium

Non-woven filter fabric

75mm (3") thick layer of drainage rock

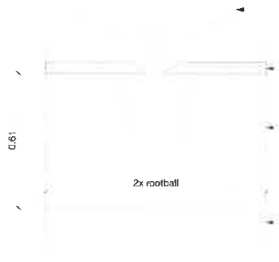
Rigid insulation, refer to arch

Drain mat c/w filter fabric, refer to arch

Protection board on waterproof membrane, refer to arch

Structural slab, refer to arch and structural

4 DETAIL: Groundcover on Slab
Scale: 1:10



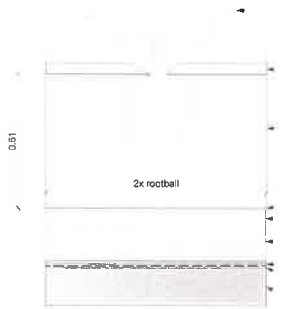
Shrub

50mm (2") thick mulch, refer to specifications - do not put mulch against the base of the plants

600mm (24") min. growing medium, planting pit to be 2x rootball size

Compacted sub-grade

5 DETAIL: Shrub at Grade
Scale: 1:10



Shrub

50mm (2") thick mulch, refer to specifications - do not put mulch against the base of the plants

600mm (24") min. growing medium, planting pit to be 2x rootball size

Non-woven filter fabric

75mm (3") thick layer of drainage rock

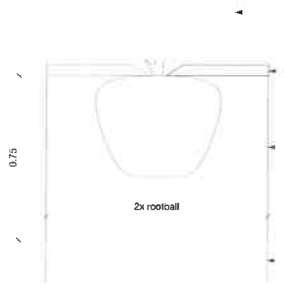
Rigid insulation, refer to arch

Drain mat c/w filter fabric, refer to arch

Protection board on waterproof membrane, refer to arch

Structural slab, refer to arch and structural

6 DETAIL:Shrubs on Slab
Scale: 1:10



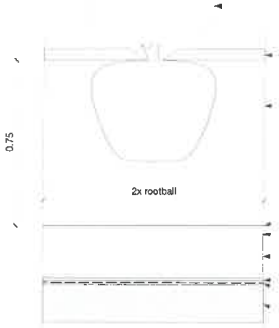
Hedge

50mm (2") thick mulch, refer to specifications - do not put mulch against the base of the plants

750mm (32") min. growing medium, planting pit to be 2x rootball size

Compacted sub-grade

7 DETAIL: Hedge at Grade
Scale: 1:10



Hedge

50mm (2") thick mulch, refer to specifications - do not put mulch against the base of the plants

750mm (32") min. growing medium, planting pit to be 2x rootball size

Non-woven filter fabric

75mm (3") thick layer of drainage rock

Rigid insulation, refer to arch

Drain mat c/w filter fabric, refer to arch

Protection board on waterproof membrane, refer to arch

Structural slab, refer to arch and structural

8 DETAIL: Hedge on Slab
Scale: 1:10

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-02-05	Issue for Reporting Permit
C	2019-02-06	Issued for Review
D	2019-05-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
H	2021-04-23	Issued ADP
J	2021-07-16	Issue for DP
K	2022-05-14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

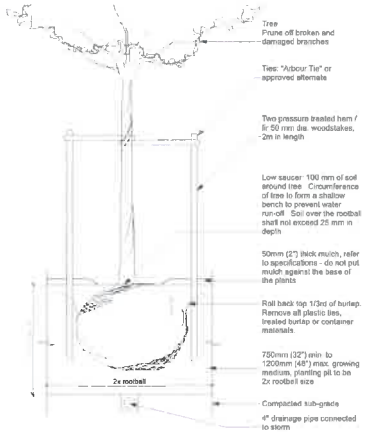
Drawing Title

Softscape Details

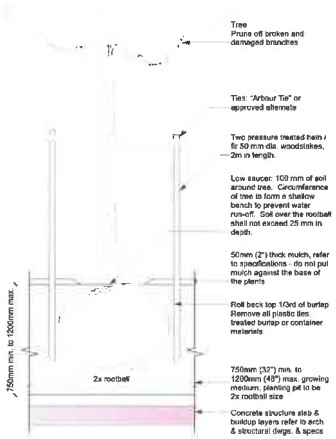
Legal

Lots 13, 14 AND 15 Plan 2620,
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager: DT	Project ID: 218144
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L9.1
Date: 2019.01.03	of 30
Plot Date:	



1 DETAIL: Tree at Grade
Scale: 1:20



2 DETAIL: Tree on Slab
Scale: 1:20

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-07-05	Issued for Rezoning Permit
C	2019-09-06	Issued for Review
D	2019-09-10	Issued for Re-view
E	2019-10-30	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-28	Issued for RZ / DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-03-14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

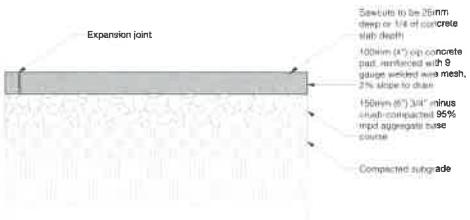
Drawing Title

Softscape Details

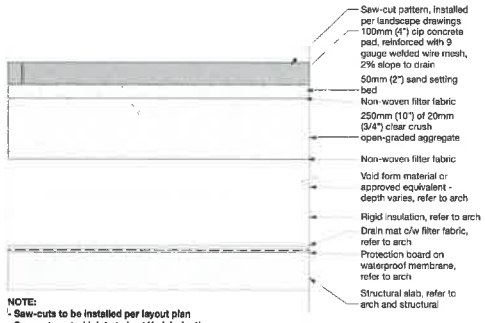
Legal

Lots 13, 14 AND 15 Plan 2570
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager: CT	Project ID: 21844
Drawn By: MR	Scale: As noted
Reviewed By: CT	Drawing No: L9.2
Date: 2019.01.03	

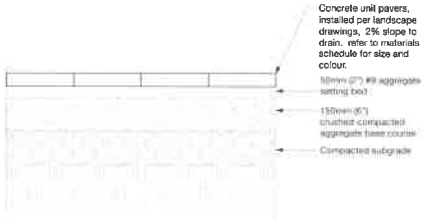


1 DETAIL: Pedestrian Concrete at Grade
Scale: 1:10

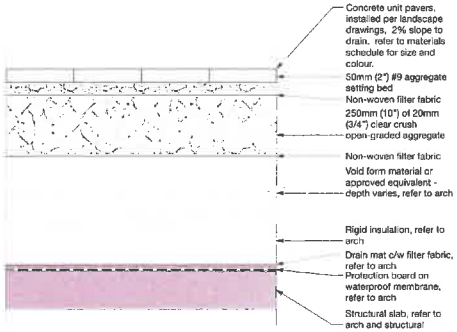


NOTE:
- Saw-cuts to be installed per layout plan
- Saw-cut control joints to be 1/4 slab depth
- To be completed within 24hrs of pouring the slab

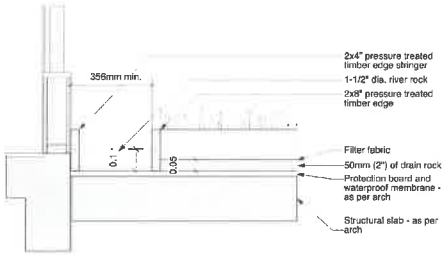
2 DETAIL: Pedestrian Concrete on Slab with Insulation
Scale: 1:10



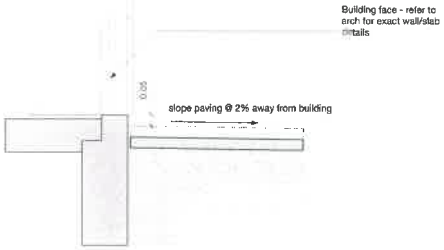
3 DETAIL: Pedestrian Concretre Unit Pavers at Grade
Scale: 1:10



4 DETAIL: Pedestrian Concrete Unit Paver on Slab with Insulation
Scale: 1:10



5 DETAIL: Drip Strip on Slab
Scale: 1:10



6 DETAIL: Threshold at Building
Scale: 1:10

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019-02-05	Issue for Rezoning Permit
C	2019-08-06	Issued for Review
D	2019-09-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-03-14	Issue for DP

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Project

Royal II

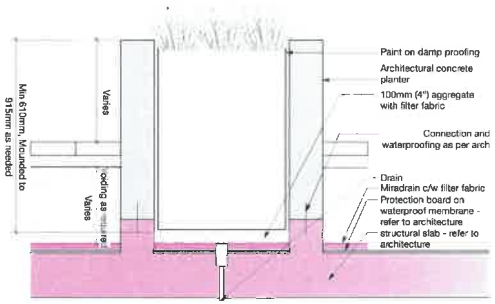
112, 114 and 118 Royal Ave.

Drawing Title

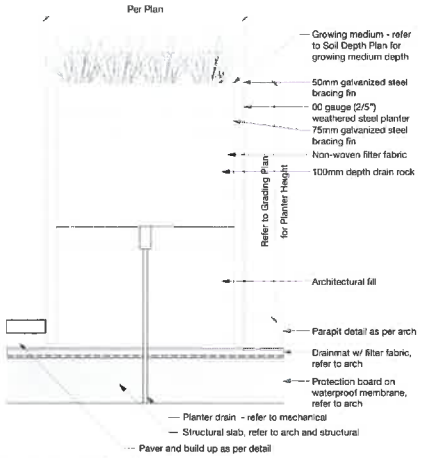
Hardscape Details

Legal
Lots 13, 14 AND 15 Plan 2620,
All of Block 32, New Westminster
District Group 1 NWD

Project Manager	Project ID
DT	21844
Drawn By	Scale
MR	As noted
Reviewed By	Drawing No
DT	L10.1
Date	
2019.01.03	



1 DETAIL: Concrete Planter on Slab
Scale: 1:10



2 DETAIL: Metal Planter
Scale: 1:10

Revision

No.	Date	Revision Notes

Issue

No	Date	Issue Notes
B	2019-07-05	Issued for Rezoning Permit
C	2019-09-06	Issued for Review
D	2019-09-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-26	Issued for RZ / DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-03-14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

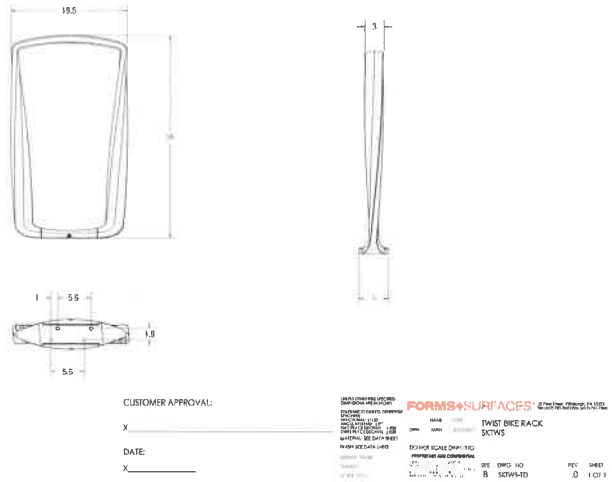
Drawing Title

Hardscape Details

Legal
Lots 13, 14 AND 15 Plan 2520
All of Block 32, New Westminster
Township Group 1 NWD

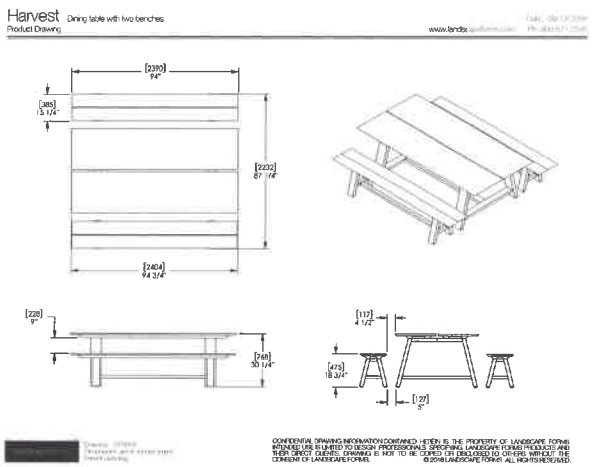
Project Manager: DT	Project ID: 218844
Drawn By: MR	Scale: As noted
Reviewed By: DT	L10.2
Date: 2019.01.03	
Plot Date:	

1 DETAIL: Bench
NTS

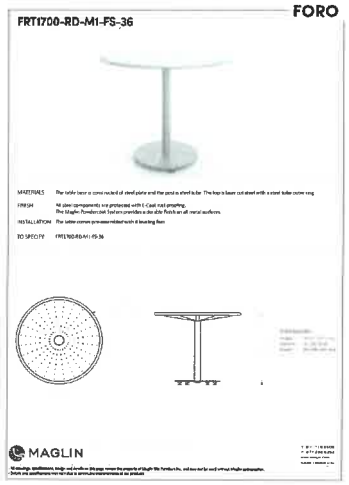


NOTE:
Install as per manufacturer's specifications.

2 DETAIL: Bike Rack
NTS



3 DETAIL: Harvest Table
NTS



4 DETAIL: Round Table
NTS

5 DETAIL: Chair
NTS

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2019.02.05	Issue for Rezoning Permit
C	2019-05-06	Issued for Review
D	2019-09-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-03-14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

Drawing Title

Site Furnishings Details

Legal
Lots 13, 14 AND 15 Plan 2620
All of Block 32, New Westminster
Township Group 1 NWD

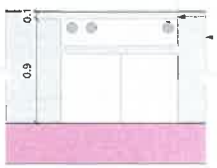
Project Manager: DT	Project ID: 21844
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No.: L11.1
Date: 2019.01.03	

Plan

Crown Verity 36" Built-In Grill Package

Counter lip / overhang

CIP Concrete wall



Elevation

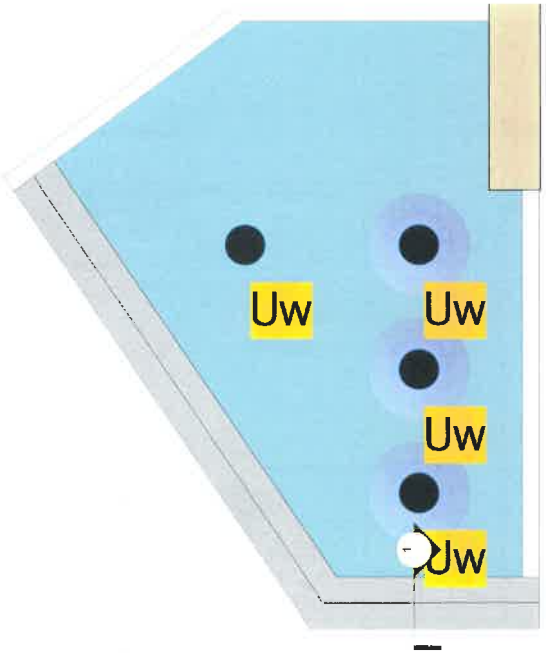
Crown Verity 36" Built-In Grill Package

Counter lip / overhang

CIP Concrete wall

Image: Crown Verity 36" Built-In Grill

1 DETAIL: BBQ at Concrete Planter on Slab
Scale: 1:20



Plan

Feature landscape wall

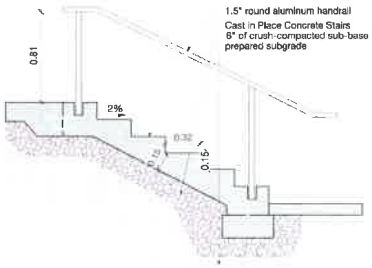
Protection board and waterproof membrane. Refer to arch.

Paving on slab

Concrete structure slab & buildup layers. Refer to arch.

Section 1

2 DETAIL: Water Feature
Scale: 1:20



1.5" round aluminum handrail

Cast in Place Concrete Stairs
6" of crush-compacted sub-base prepared subgrade

3 DETAIL: CIP Concrete Steps with Handrail
Scale: 1:20

Revision
No. Date Revision Notes

Issue
No. Date Issue Notes

No.	Date	Issue Notes
B	2019 02 05	Issue for Rezoning Permit
C	2019 09 06	Issued for Review
D	2019 09 13	Issued for Review
E	2019 10 03	Issued for Review
F	2019 10 18	Issued for Review
G	2019 10 25	Issued for RZ / DP
I	2021 04 27	Issued ADP
J	2021 07 19	Issue for DP
K	2022 03 14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

Drawing Title

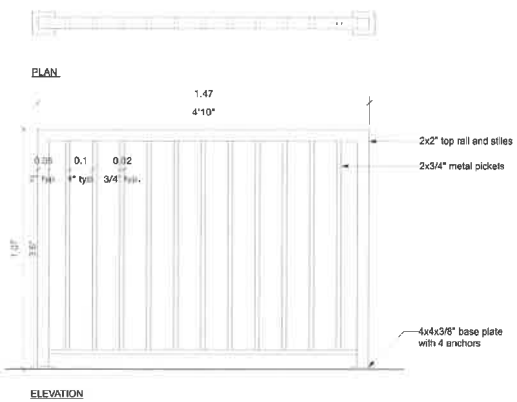
Site Furnishings Details

Legal
Lots 13, 14 AND 15 Plan 2920
All of Block 32 New Westminster
Township Group 1 NWD

Origin Manager: DT	Project ID: 21844
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L11.2
Date: 2019 01 03	30

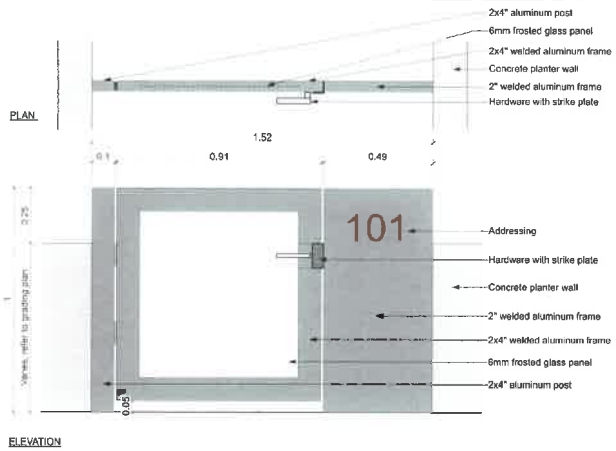
Print Date

ENGINEERED SHOP DRAWINGS TO BE PROVIDED



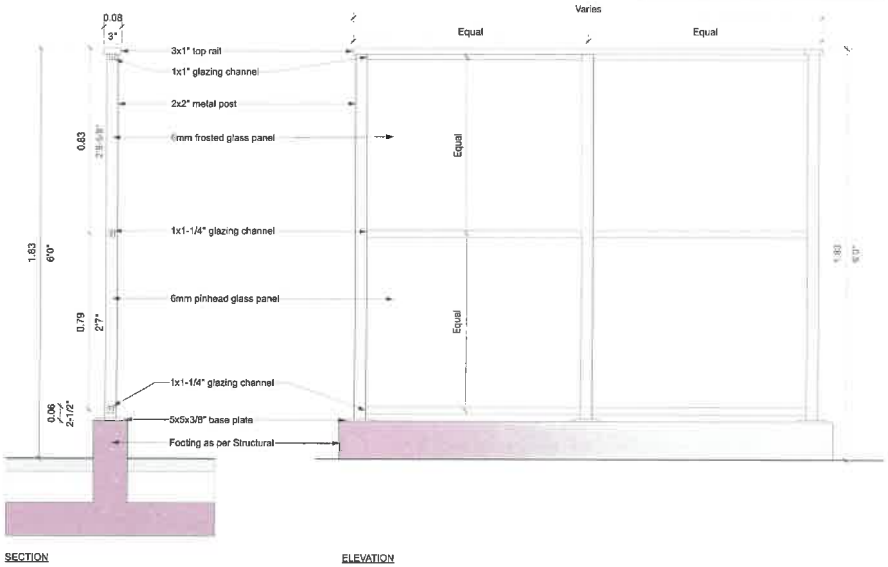
1 DETAIL: Metal Fence
Scale: 1:10

ENGINEERED SHOP DRAWINGS TO BE PROVIDED



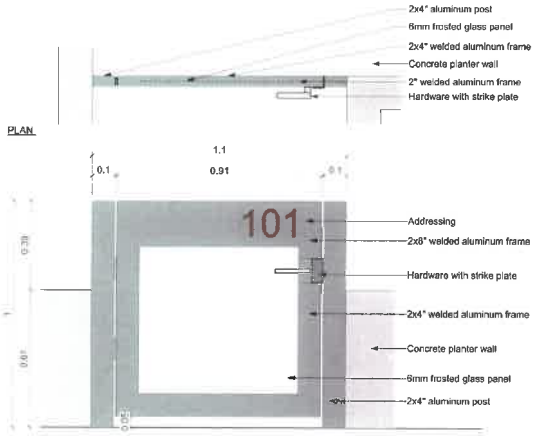
2 DETAIL: Entry Gate - Royal Ave
Scale: 1:10

ENGINEERED SHOP DRAWINGS TO BE PROVIDED



3 DETAIL: Privacy Screen
Scale: 1:10

ENGINEERED SHOP DRAWINGS TO BE PROVIDED



4 DETAIL: Entry Gate - Cunningham Street
Scale: 1:10

Revision

No.	Date	Revision Notes

Issue

No.	Date	Issue Notes
B	2018-02-05	Issue for Rezoning Permit
C	2018-09-06	Issued for Review
D	2018-09-13	Issued for Review
E	2018-10-03	Issued for Review
F	2018-10-18	Issued for Review
G	2018-10-25	Issued for RZ / DP
I	2021-04-22	Issued ADP
J	2021-07-19	Issue for DP
K	2022-03-14	Issue for DP

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Project

Royal II

112, 114 and 118 Royal Ave.

Drawing Title

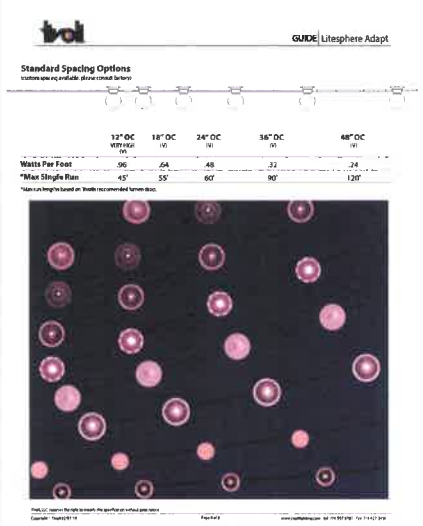
Site Furnishings Details

Legal
Lots 13, 14 AND 15 Plan 2620,
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager: DT	Project ID: 21044
Drawn By: MR	Scale: As noted
Reviewed By: DT	Drawing No: L11.3
Date: 2019.01.03	

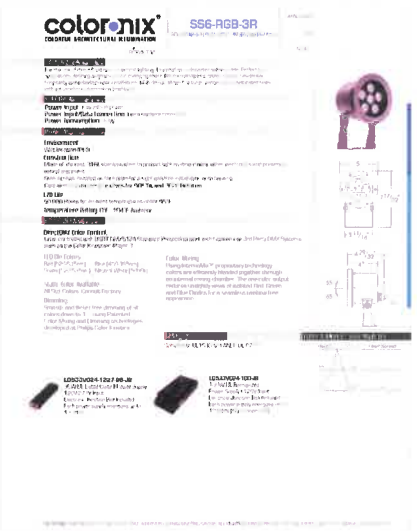
30

Plot Date



1 DETAIL: Light Fixture - Catenary
NTS

2 DETAIL: Light Fixture - Wall Light
NTS



3 DETAIL: Light Fixture - Underwater light
NTS

Revision

No.	Date	Revision Notes

Issue

No	Date	Issue Notes
B	2018-02-06	Issue for Rezoning Permit
C	2019-09-06	Issued for Review
D	2019-09-13	Issued for Review
E	2019-10-03	Issued for Review
F	2019-10-18	Issued for Review
G	2019-10-25	Issued for RZ / DP
I	2021-04-22	Issued ADP
J	2021-07-18	Issue for DP
K	2022-03-14	Issue for DP

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Project
Royal II

112, 114 and 118 Royal Ave.

Drawing Title
Lighting Details

Legal
Lots 13, 14 AND 15 Plan 2826,
All of Block 32, New Westminster
Township Group 1 NWD

Project Manager: CT	Project #: 21844
Drawn By: MR	Scale: As noted
Reviewed By: CT	Drawing No: L12.1
Date: 2019.01.03	of 30

Plot Date