

## Appendix B

### *Architectural and Landscape Drawings*



# HOLY EUCHARIST CATHEDRAL

## MIXED - USE DEVELOPMENT

501 FOURTH AVENUE, NEW WESTMINSTER, BC V4B 2K9



501 FOURTH AVENUE  
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VANCOUVER, BC, V6H 3X8  
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#610 EAST TOWER - 221 ESPLANADE WEST  
NORTH VANCOUVER, BC, V7M 3J3  
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PORT COQUITLAM, BC, V3C 6C2  
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739 CAMPBELL AVENUE  
VANCOUVER, BC, V6A 3K7  
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CONTACT: ELANA ZYSBLAT  
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OWNER

ARCHITECTURAL

STRUCTURAL

LANDSCAPE ARCHITECT

CIVIL ENGINEERING

TRAFFIC ENGINEERING

HERITAGE CONSULTANT

- COVER SHEET
- AR1 RENDERING
- AR2 RENDERING
- AR3 RENDERING
- AR4 RENDERING
- AR5 RENDERING
- AR6 RENDERING
- AR7 RENDERING
- AR8 RENDERING
- AR9 RENDERING
- SSA1 SUN SHADOW ANALYSIS
- SSA2 SUN SHADOW ANALYSIS
- PSA1 PROJECT STATISTICS
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- A1.1 SURVEY PLAN
- A1.2 SITE PHOTOS
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- A2.1 LEVEL 1 PLAN
- A2.2 LEVEL 2 PLAN
- A2.3 LEVEL 3 PLAN
- A2.4 LEVEL 4 PLAN
- A2.5 LEVEL 5 PLAN
- A2.6 ROOF DECK PLAN
- A3.0 BUILDING SECTION
- A3.1 BUILDING SECTION
- A4.0 BUILDING ELEVATION
- A4.1 BUILDING ELEVATION
- A4.2 BUILDING ELEVATION
- A5.1 MATERIAL SAMPLE BOARD 1 WEST WING
- A5.2 MATERIAL SAMPLE BOARD 2 EXISTING CATHEDRAL
- A5.3 MATERIAL SAMPLE BOARD 3 MANOR

- L1 LANDSCAPE MATERIALS & LAYOUT PLAN GROUND LEVEL
- L1.4 LANDSCAPE MATERIALS & LAYOUT PLAN LEVEL 2
- L1.5 LANDSCAPE MATERIALS & LAYOUT PLAN ROOF

SERV PRELIMINARY SERVICING PLAN

PARKING STUDY



Development Permit Area Calculations

JUNE 28, 2022

Interior Area Summary

Floor Plan Colour Key	Parking Level	SM	SQ FT
	Below Grade Parking (P1)	720.49	7,755
	Circulation	23.42	252
	Sub total	743.92	8,007
	36 stalls		
Level 1	SQM	SQ FT	
	Community Assembly Room	36.22	390
	Building Lobby	26.40	284
	Circulation	24.96	269
	New Parish Hall lobby	75.97	818
	Parking	422.42	4,547
	Residential (Manor)	202.78	2,183
	Residential (Rental)	168.55	1,814
	Sub total	957.31	10,304
Level 2	SQM	SQ FT	
	Daycare	354.30	3,814
	Circulation	153.97	1,657
	Residential (Manor)	223.66	2,408
	Sub total	731.93	7,878
Level 3	SQM	SQ FT	
	Daycare	338.22	3,641
	Circulation	124.09	1,336
	Sub total	462.31	4,976
Level 4	SQM	SQ FT	
	Circulation	107.73	1,160
	Residential (Rental)	228.95	2,464
	Sub total	336.68	3,624
Level 5	SQM	SQ FT	
	Circulation	107.73	1,160
	Residential (Rental)	228.95	2,464
	Sub total	336.68	3,624
	SQM	SQ FT	
	Existing Cathedral Footprint	386.89	4,164

Total Square Footage of Development

Above Grade	3,211.80	34,572
Below Grade (Parking)	743.92	8,007
Below Grade (Parish Hall)	386.89	4,164

Overall Site Area 2,242.61 24,139

FSR +/- 1.43

New Construction 3,568.82 38,415  
(Below-Grade + Above Grade)

Note:  
Spatial areas provided on this table are  
gross floor areas unless stated otherwise.

Total Square Footage of Buildings

Cathedral	452.76	4,873.44
Cathedral below grade	465.70	5,012.73
West Wing	2336.23	25,147
West Wing below grade	773.71	8,328.12
Manor	426.45	4,590.24

Vehicular Parking

Level 1			
0.4		1 per	993 sq ft
	n/a		
	n/a		
	not included due to concurrent use per 150.13		
	n/a		
1.5		1.5 per d/u	one-4 BR Suite
2.0		1.0 per d/u	two-2 BR Secured rent
0.2	Visitor	0.2 per d/u	one-4 BR Secured rent
0.2	Visitor	0.1 per d/u	two-2 BR Secured rent

Level 2			
7.1		1 per	538 sq ft
	n/a		
2		1.0 per d/u	two-3 BR Secured rent
0.2	Visitor	0.1 per d/u	two-3 BR Secured rent

Level 3			
6.8		1 per	538 sq ft
	n/a		

Level 4			
	n/a		
1		1.0 /	one-2 BR Secured rent
1		1.0 /	one-1 BR Secured rent
3		1.0 /	three Bach. Secured rent
0.5	Visitor	0.1 per d/u	5 units (Secured rent)

Level 5			
	n/a		
1		1.0 /	one-2 BR Secured rent
1		1.0 /	one-1 BR Secured rent
3		1.0 /	three Bach. Secured rent
0.5	Visitor	0.1 per d/u	5 units (Secured rent)

2.9 \*(Nave + choir loft only) 2,908 1 per 993.4 sq ft

\*(Hall + new lobby only) 3,298 sq. Ft.  
area not included for parking calc. due to concurrent use per 150.13

\*Net floor area of primary assembly area for religious assembly

34.3	Total parking stall calculation required:
2	(Accessible Parking required)
2	(Visitor's parking required)

34	Total proposed parking provided: (U/G)
	21 Standard (EV Ready w/ EL2 outlets)
	11 Compact (EV Ready w/ EL2 outlets)
	2 Accessible
	2 Visitor

16	Residential Parking Provided
14	Daycare Parking Provided
3	Church Parking Provided
1	Community Assembly Parking Provided

	Bicycle parking required
18.75	Long term 1.25 per d/u 15 units Secured rent
4.5	Short term 6 w/ 20 units or more
	Bicycle parking provided
	Long term Bike Lockers 21
	Short term Bike Rack 8

Exterior Area Summary

	SQ.M.	SQ. FT.
Site Area	2,242.61	24,139
Impermeable Building Area	1,344.21	14,468.92
Existing Church Stair	61.57	662.701
Hard Landscaping	377.05	4,058.51
Permeable Soft Landscaping	459.79	4,949.17
TOTAL	2,242.61	24,139.30

Site Coverage %	59.94%
Permeable Construction %	20.50%
Hard Landscaping %	16.81%
Existing Church Stair %	2.75%
	100%

Total Residential Units		15 Units
	SQ.M.	SQ. FT.
Level 1 (3 units)		
M101 4-brm Unit	203	2183
Unit 102 2-brm Rental unit	72	771
Unit 103 3-brm Rental unit	97	1043

Level 2 (2 units)		
M201 3-brm Rental unit	112	1204
M202 3-brm Rental unit	112	1204

Level 3		
n/a		

Level 4 (5 units)		
401 1-brm Rental unit	45	480
402 Bach. Rental unit	39	420

403 Bach. Rental unit	39	421
404 Bach. Rental unit	39	422
405 2-brm Rental unit	67	721

Level 5 (5 units)		
501 1-brm Rental unit	45	480
502 Bach. Rental unit	39	420
503 Bach. Rental unit	39	421
504 Bach. Rental unit	39	422
505 2-brm Rental unit	67	721

Total floor area: 1,053 11,333

Summary of units	No. of unit
Bachelor unit	6
1-brm unit	2
2-brm unit	3
3-brm unit	3
4-brm unit	1
Total Units	15

Total Daycare		2
Level 2	354	3,814
Level 3	338	3,641
Total floor area:	693	7,454

Adaptable Housing Requirements	
40% of total dwelling units	
Required: 15 d/u x 0.4 =	6

Provided:		
Level 4		
Bachelor	unit 504	1
1-brm unit	unit 501	1
2-brm unit	unit 505	1

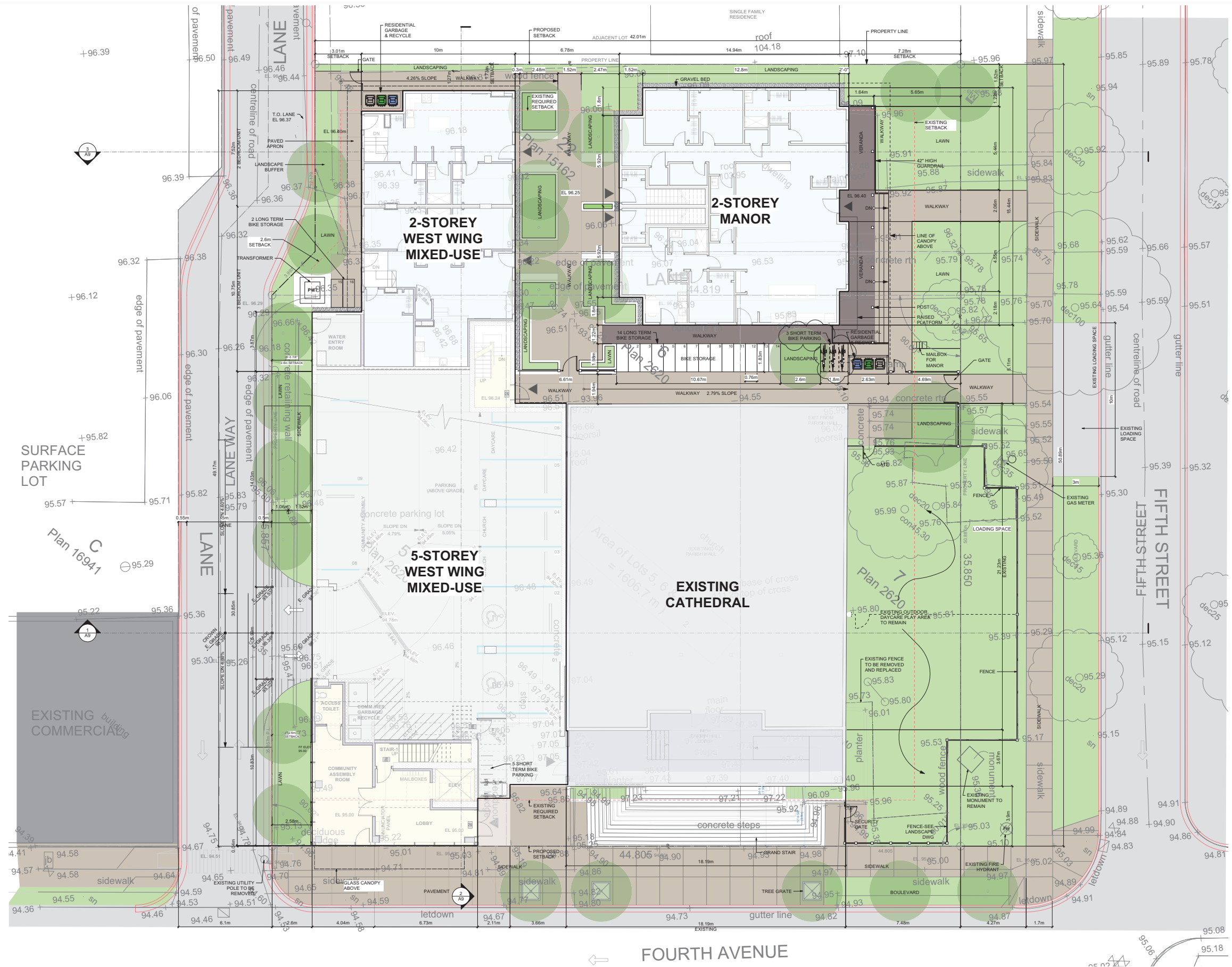
Level 4		
Bachelor	unit 404	1
1-brm unit	unit 401	1
2-brm unit	unit 405	1

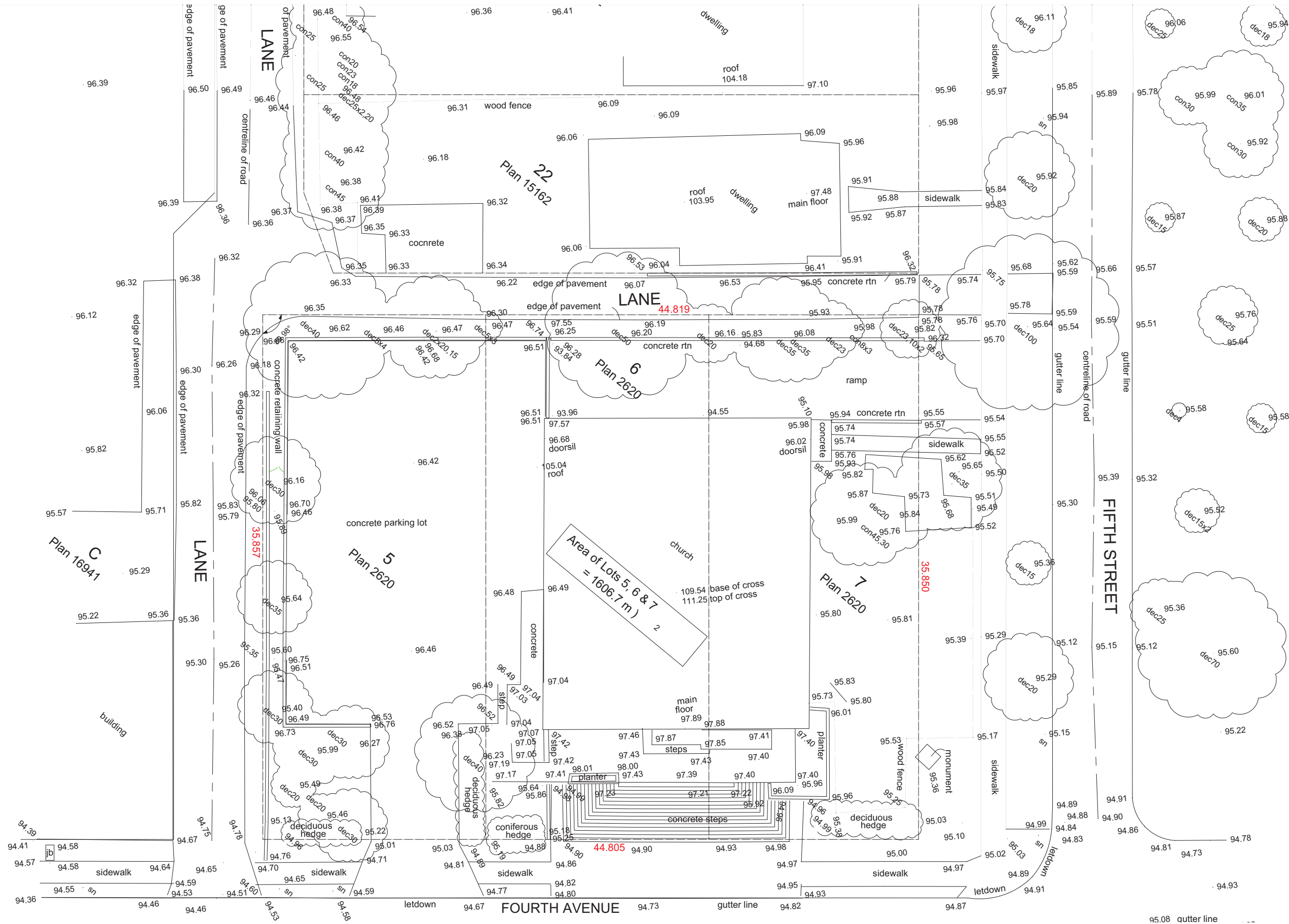
Total Provided: 6

Setbacks and Stepbacks

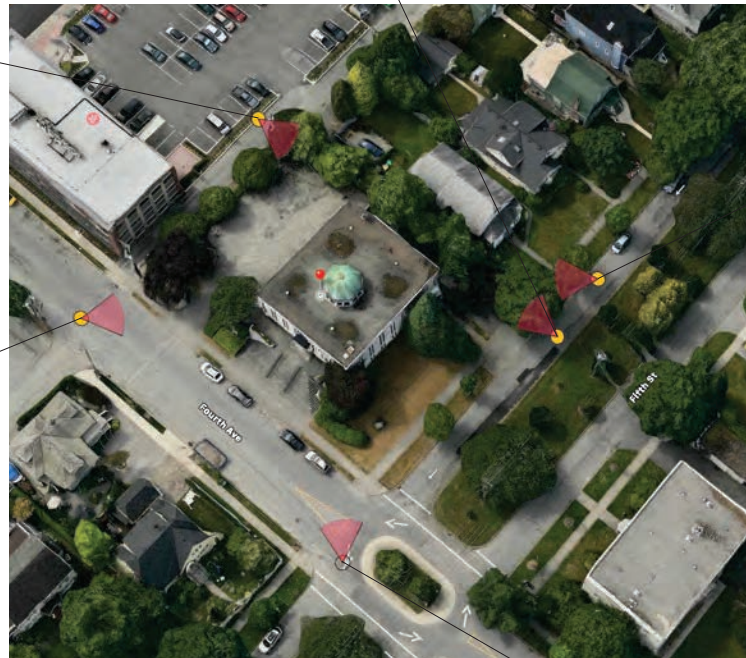
Building	Building Elevation	Floor / Bldg Level	Ht. above sidewalk*	Distance from PL	Type	Notes
Cathedral	South	Parish Hall	90.98m (Existing)	7.55m (24.78ft)	Setback	stairs at property line
Cathedral	South	Sanctuary	97.89m (Existing)	3.9m (12.80ft)	Stepback	Existing to remain
Cathedral	West	Parish Hall & Sanctuary	N.A.	3.65m (11.97ft)	Internal Adjacency	Distance from (Level 2-3)
Cathedral	North	"	N.A.	5.11m (16.78ft)	Internal Adjacency	Distance from Manor
Cathedral	East	"	N.A.	7.48m (24.55ft)	Setback	Existing to remain
Cathedral		Top of Cornice	105.04m (Existing)	N.A.	Projection	Beyond building face
Cathedral		Top of Dome	107.08m (Existing)	N.A.	Elevation	
Cathedral		Top of Cross	111.25m (Existing)	N.A.	Elevation	
West Wing	South	Level 1	95.0m	0.0m (0.0ft)	Setback	
West Wing	South	Levels 2-3	98.96m	2.51m (8.22ft)	Stepback	Elevator Core
West Wing	South	Levels 4-5	105.66m	3.71m (12.19ft)	Stepback	Partial length of Elevation
West Wing	South	Roof Vestibule	111.45m	2.2m (7.22ft)	Stepback	
West Wing	West	Parking Level - Level 3	Varies	2.61m (8.56ft)	Setback	
West Wing	West	Level 1 (north res.)	95.0m	3.01m (9.87ft)	Setback	Varies
West Wing	West	Levels 2-3 (north daycare)	98.96m-102.31m	4.55m (14.93ft)	Setback	Varies
West Wing	West	Levels 2-3 (daycare)	98.96m-102.31m	2.61m (8.56ft)	Setback	Varies
West Wing	West	Levels 4-5 (res)	105.66m-108.56m	3.25m (10.66ft)	Stepback	
West Wing	West	Roof Vestibule	111.45m	6.26m (20.54ft)	Stepback	
West Wing	North	Level 1 (north res.)	96.25m/96.4m	1.73m (5.67ft)	Setback	Varies
West Wing	North	Level 2	98.96m	3.32m (10.91ft)	Stepback	
West Wing	North	Level 3	102.31m	9.09m (29.83ft)	Stepback	
West Wing	North	Levels 4-5	105.66m-108.56m	16.69m (54.76ft)	Stepback	
West Wing	East	Parking Level	Varies	0.10m (4in)	Internal Adjacency	Distance from Cathedral
West Wing	East	Levels 2-3	98.96m-102.31m	3.66m (12ft)	Internal Adjacency	Distance from Cathedral
West Wing	East	Levels 4-5	105.66m-108.56m	5.62m (18.44ft)	Internal Adjacency	Distance from Cathedral
West Wing	East	North Stair Core	96.25m	8.31m (27.25ft)	Internal Adjacency	Distance from Manor
West Wing	East	Level 1 (north res.)	95.0m	6.76m (22.17ft)	Internal Adjacency	Distance from Manor
West Wing	East	Level 2-3 (north daycare)	98.96m-102.31m	8.31m (27.26ft)	Internal Adjacency	Distance from Manor
Manor	South	Levels 1-2	96.40m-99.44m	5.11m (16.78ft)	Internal Adjacency	Distance from Cathedral
Manor	West	Levels 1	96.40m-99.44m	6.78m (22.25ft)	Internal Adjacency	Dist. from west wing(Res)
Manor	West	Levels 2	96.40m-99.44m	8.31m (27.26ft)	Stepback	Dist. from west wing (DC)
Manor	North	Levels 1-2	96.40m-99.44m	1.52m (5.0ft)	Setback	Varies
Manor	East	Levels 1-2	96.40m-99.44m	7.28m (23.89ft)	Setback	Varies

\* ELEVATION OF SOUTH SIDEWALK @ 94.9m (AVERAGE) ASL

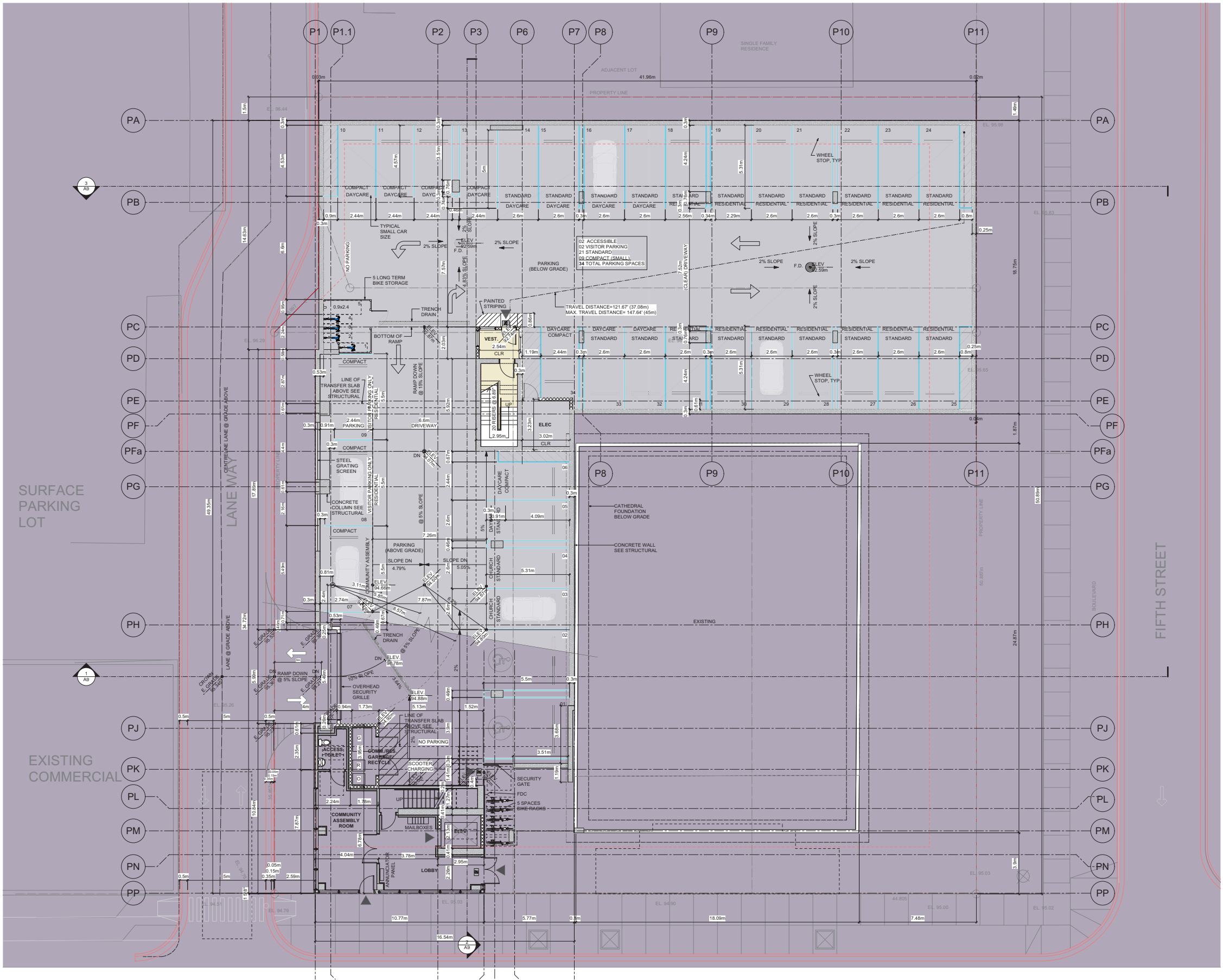




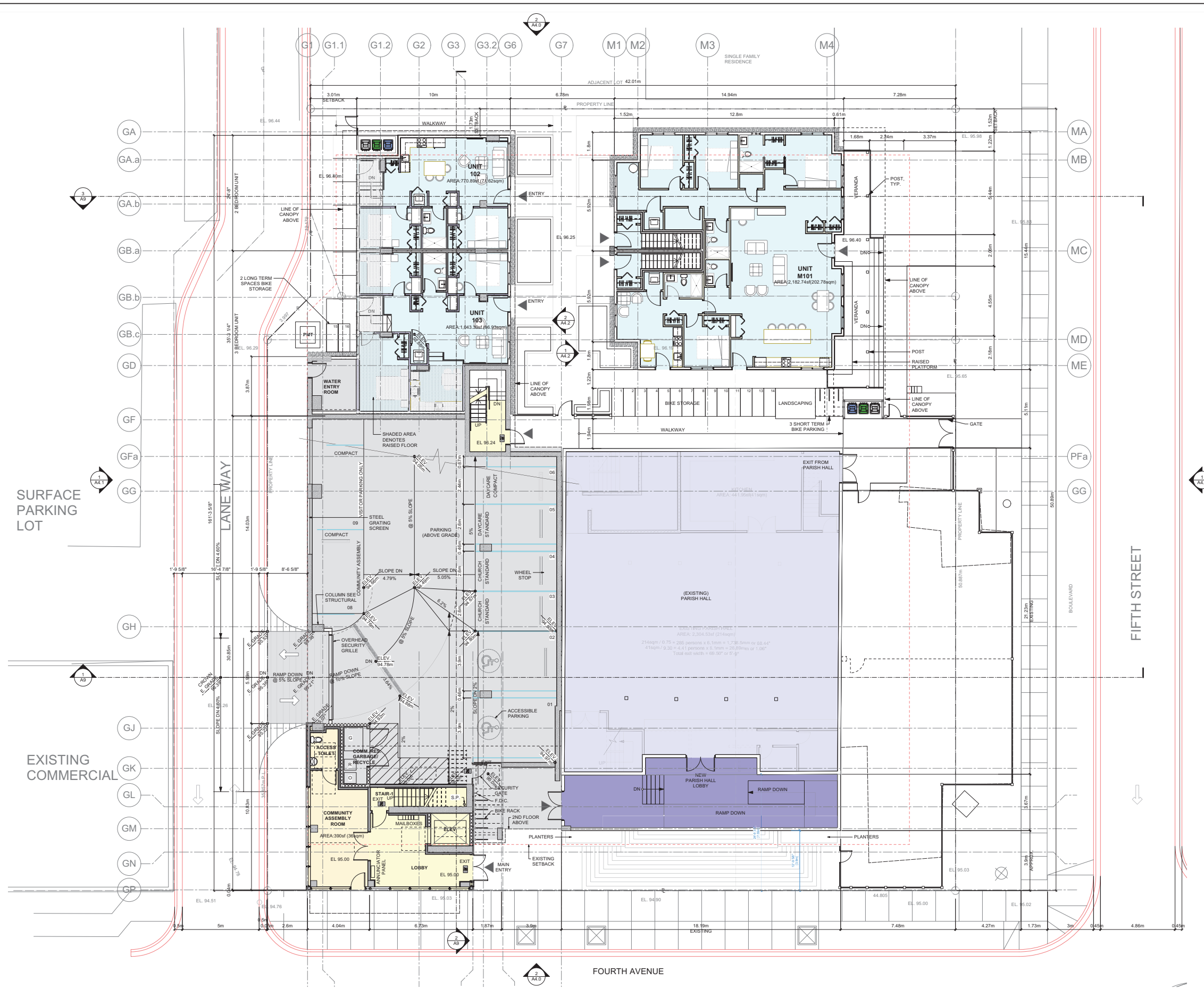


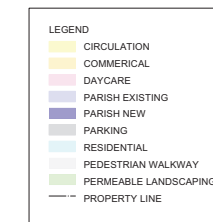






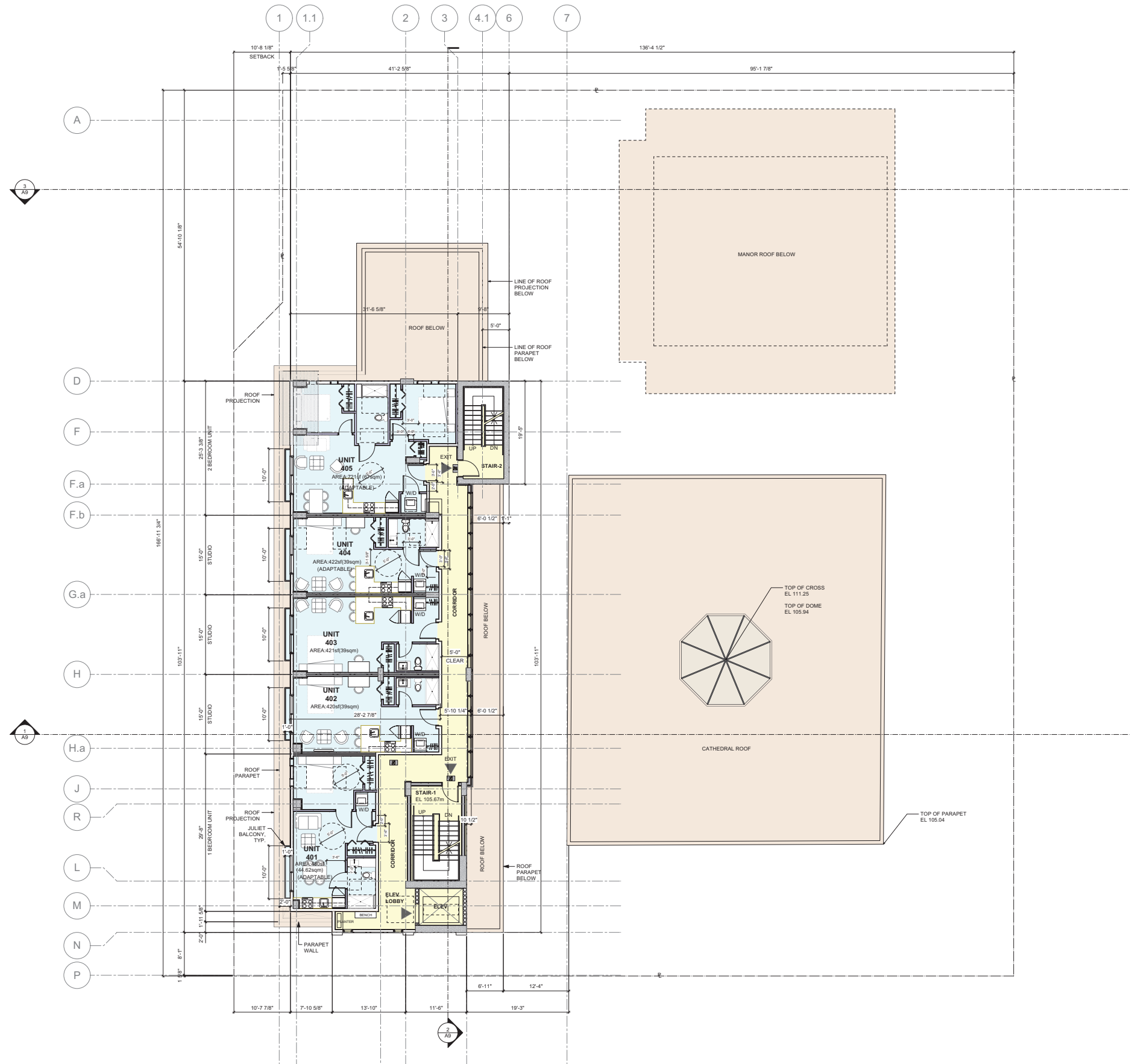


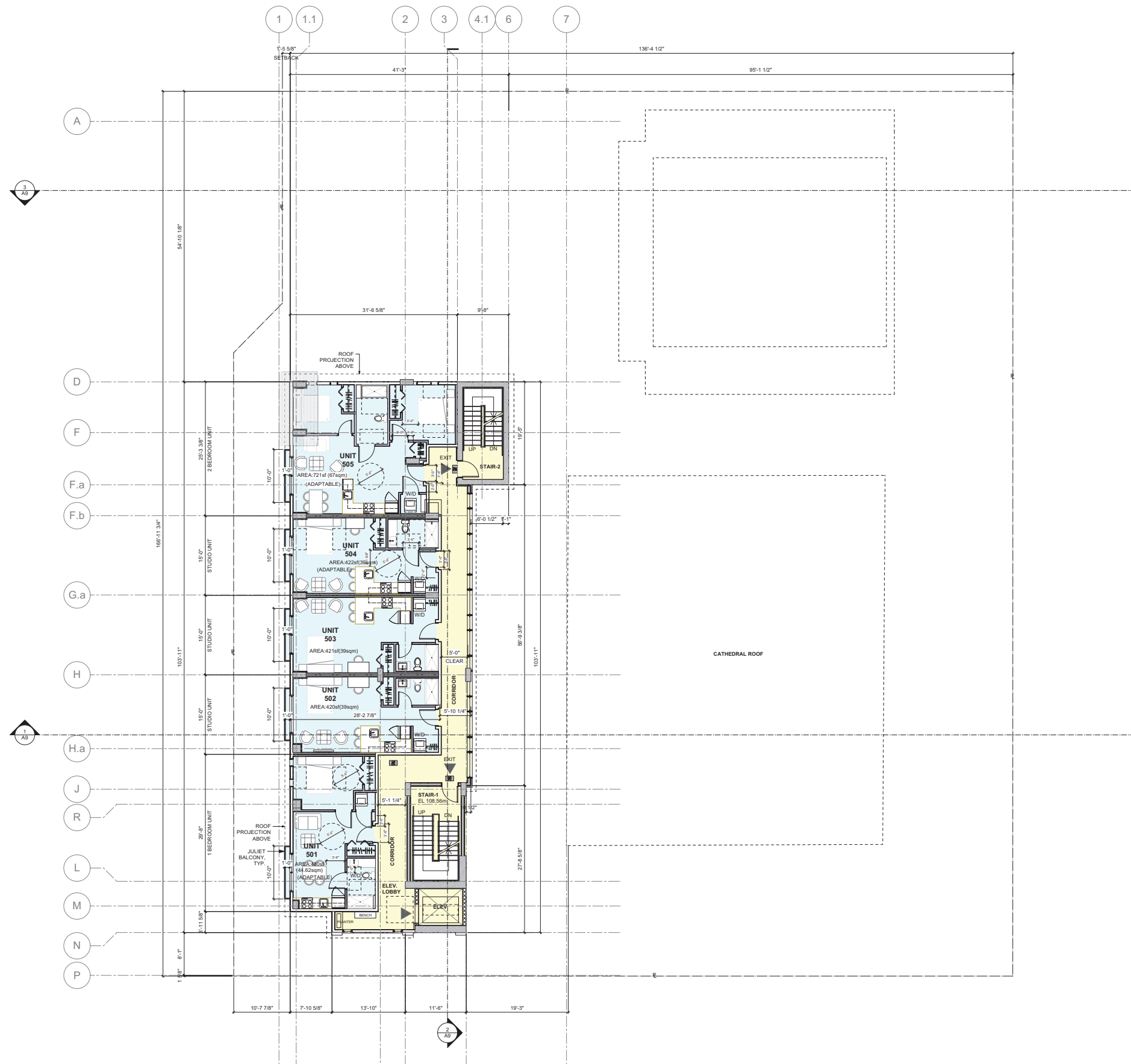






### A2.3



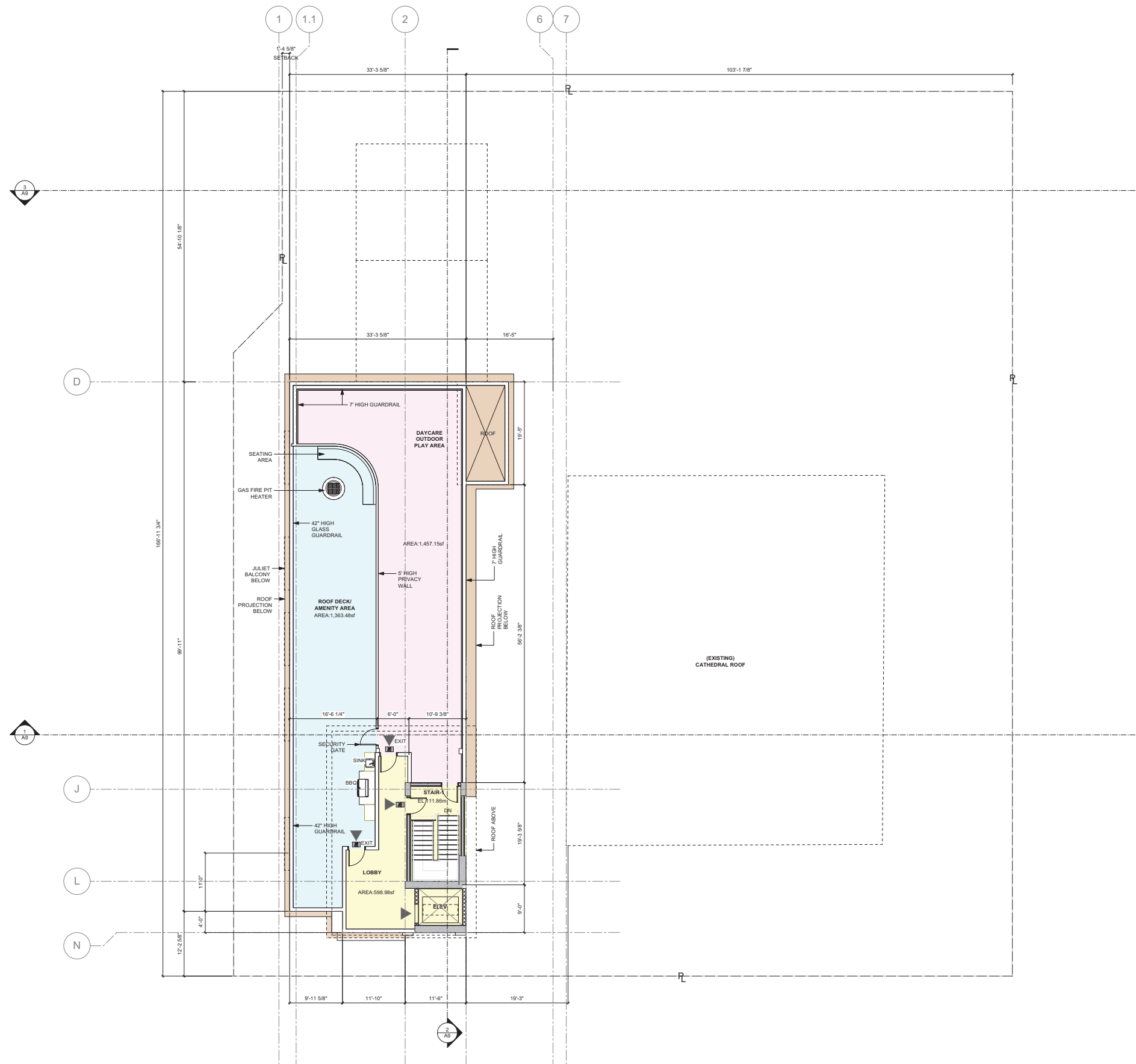


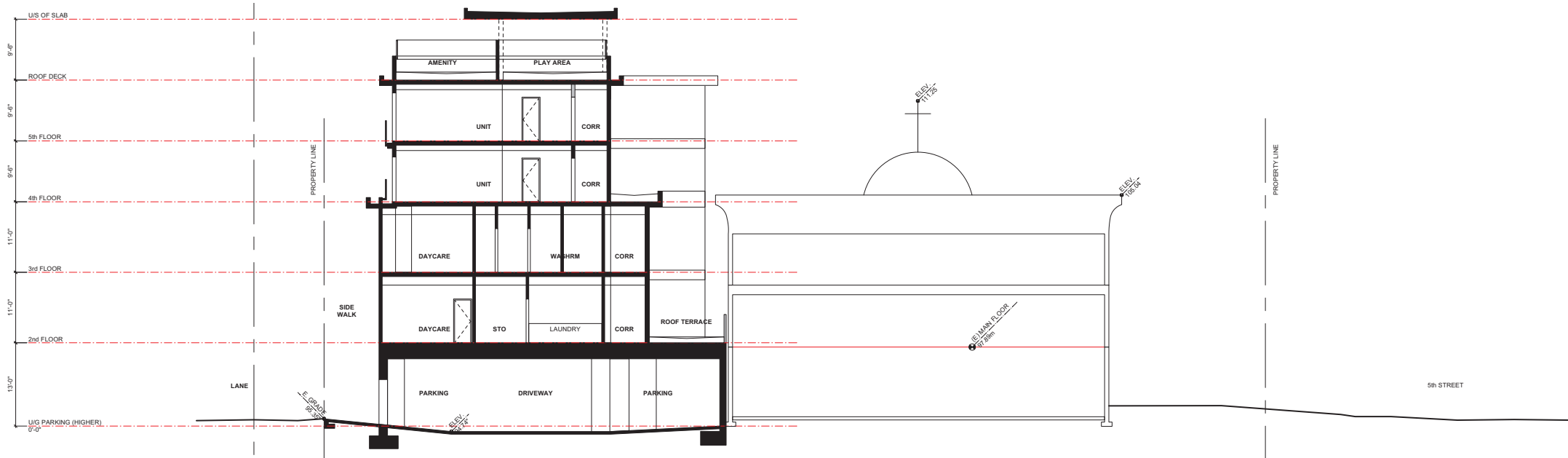
LEGEND

- CIRCULATION
- COMMERICAL
- DAYCARE
- PARISH EXISTING
- PARISH NEW
- PARKING
- RESIDENTIAL
- PEDESTRIAN WALKWAY
- PERMEABLE LANDSCAPING
- PROPERTY LINE

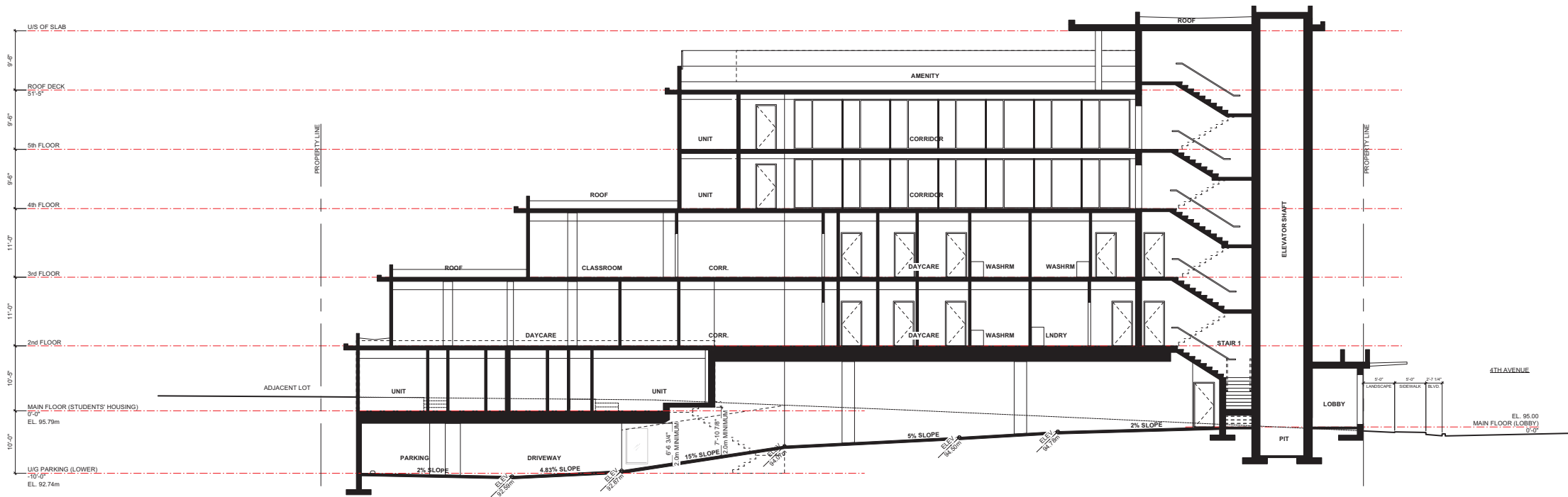




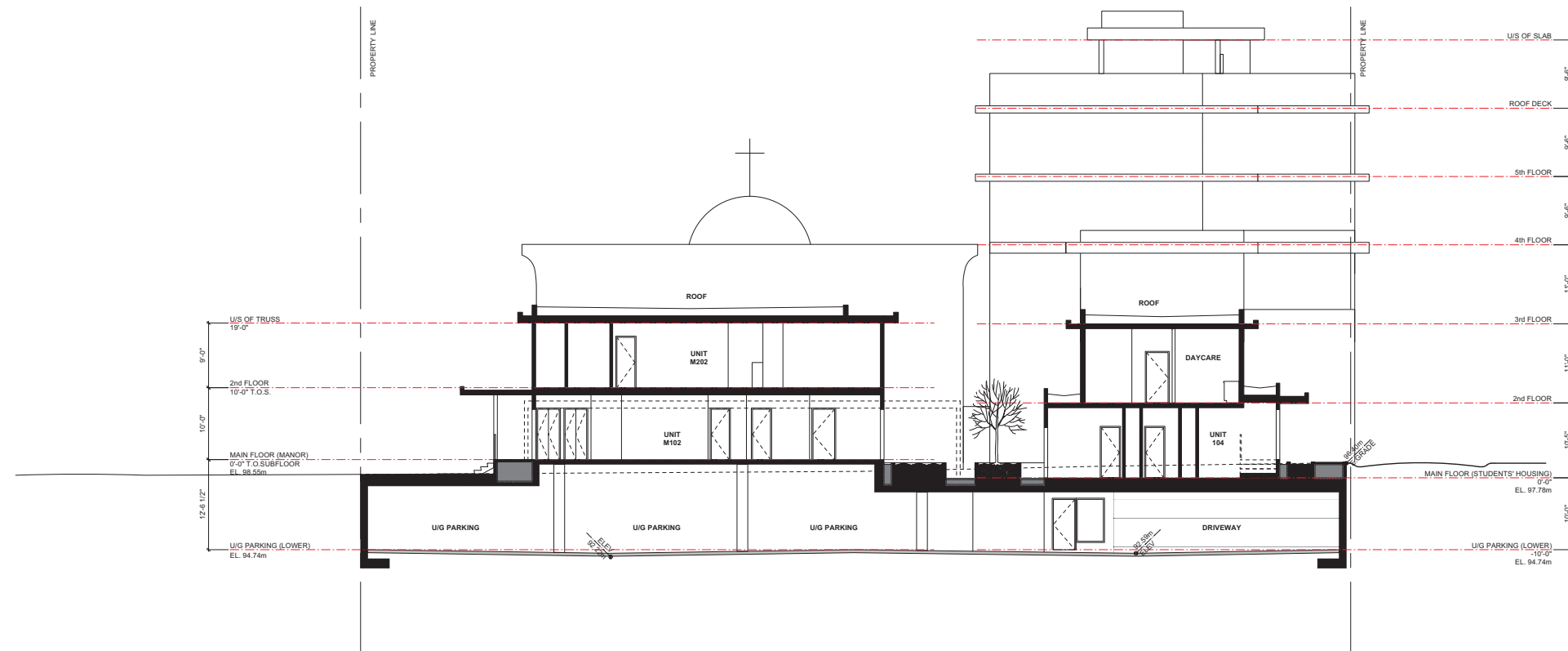




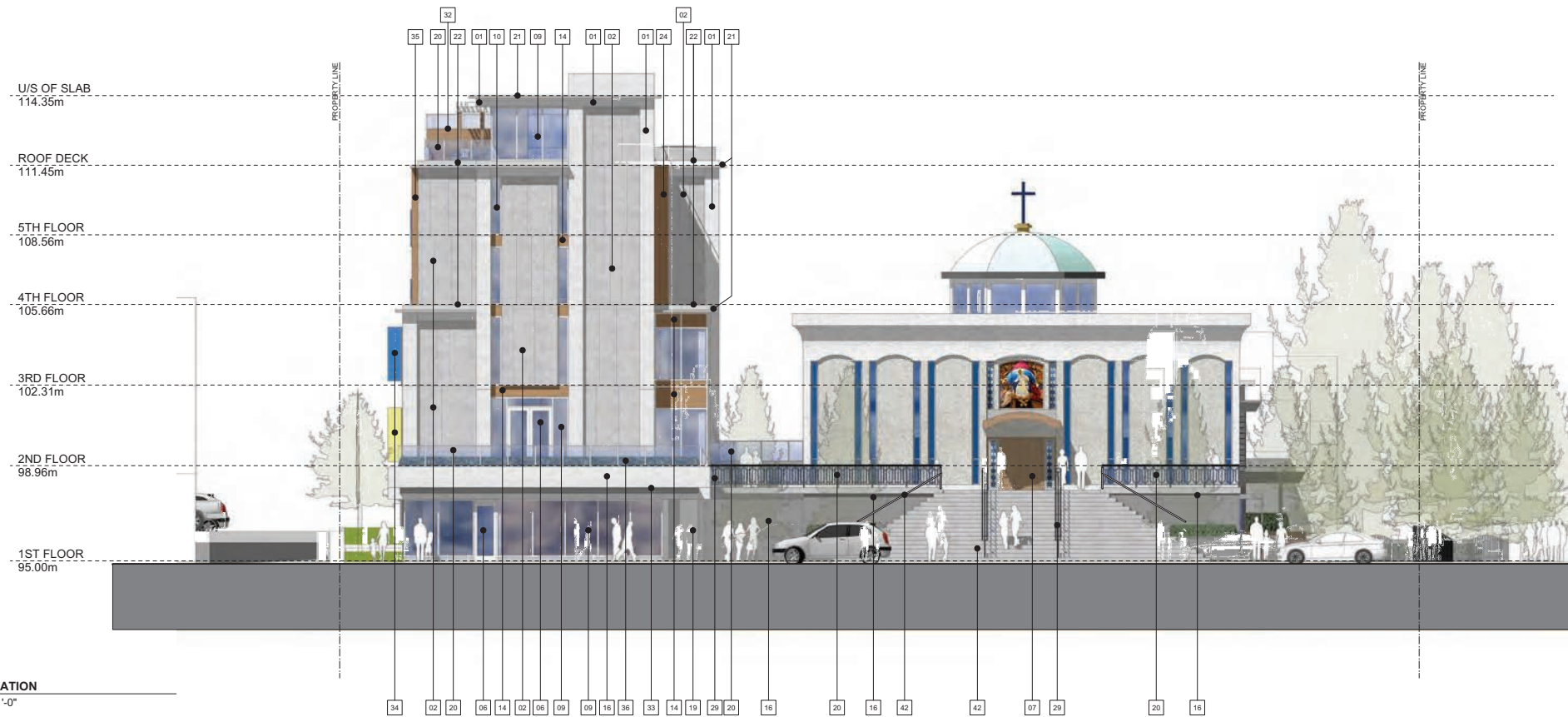
2 | SECTION - B  
- SCALE: 1/8" = 1'-0"



1 | SECTION - A  
- SCALE: 1/8" = 1'-0"



1 SECTION - A  
SCALE: 1/8" = 1'-0"



2 | SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

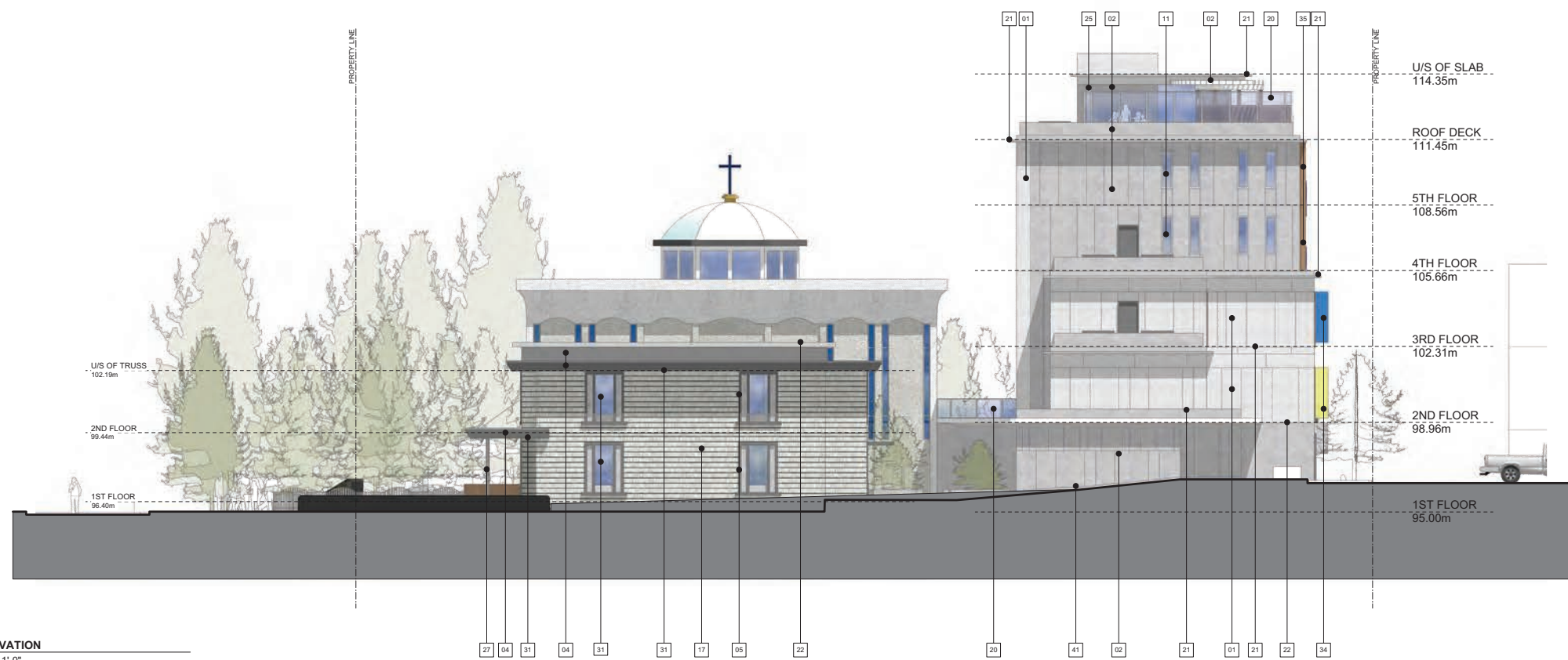


1 | EAST ELEVATION  
SCALE: 1/8" = 1'-0"

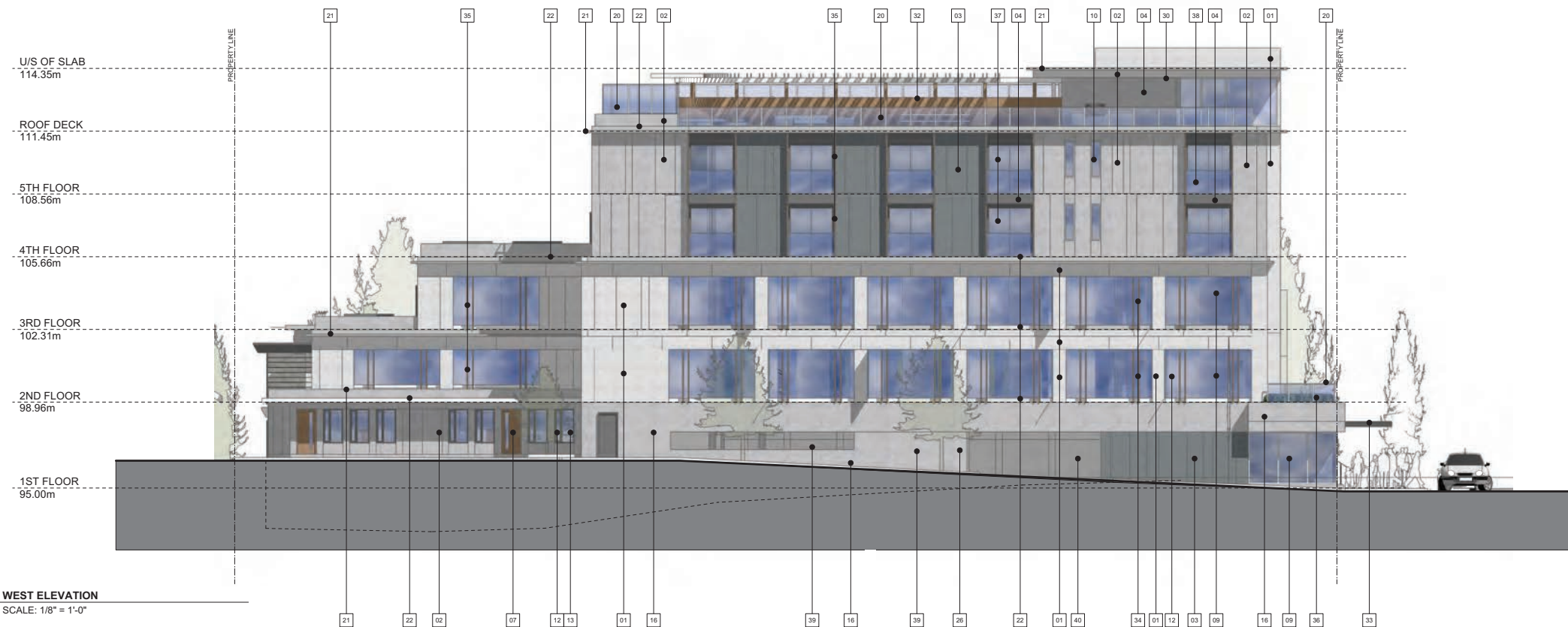
#### HEC EXTERIOR MATERIALS LEGEND

- Fibre cement panel type 1 - textured light gray
- Fibre cement panel type 2 - textured medium gray
- Fibre cement panel type 3 - textured charcoal gray
- Fibre cement panel type 4 - smooth and painted finish
- Fibre cement plank trim board - smooth and painted finish
- Clear anodized aluminum storefront door with medium stiles
- Solid core wood door with cedar veneer finish
- Painted insulated steel door in painted pressed-steel frame
- Double glazed curtain wall in anodized aluminum frame
- Double glazed punch windows in anodized aluminum frame
- Operable window - awning style
- Operable window - casement style
- Residential vinyl window
- Anodized aluminum spandrel panel type 1 - copper colour (Brushed satin finish)
- Anodized aluminum spandrel panel type 2 - metallic charcoal gray
- Sack-rubbed and sealed cast in place concrete
- Cedar shingles with semi-transparent light gray stain
- Exterior wood paneling - edge grain cedar-stain tint to be determined
- Reserved
- Glazed guard rail in powder-coated aluminum frame (stain silver)
- Glazed guard rail in powder-coated aluminum frame (match picket detail of existing) Black
- Existing wrought iron guard rail with new glazed panel
- Pre-finished metal flashing type 1 - Regent Grey colour
- Pre-finished metal flashing type 2 - Light Grey colour
- Pre-finished metal flashing type 3 - Copper colour
- Aluminum composite panel type 1 - Copper colour brushed satin finish
- Painted steel column
- Painted concrete column
- Painted timber column
- Stained cedar decking
- Cast-in-place concrete stairs
- Soffit type 1 - linear metal planks with wood grain pattern
- Soffit type 2 - stained cedar planks
- Privacy screen - cedar fence deck planks
- Glazed canopy in painted and galvanized steel frame (P4)
- Decorative glazed blade with coloured interlayer
- Anodized aluminum mullion cap - copper colour
- Rooftop planter with irrigation and drainage
- Siding patio door
- Glazed Juliette balcony
- Galvanized grating
- Overhead ceiling security grille
- Reserved
- New decorative handrail black
- Board from cast-in-place concrete
- SBS Roofing-medium grey colour
- Stucco type1 granite dash light grey (existing to remain)
- Stucco type2 pebble dash buff (existing to remain)
- Timber trellis P1 finish





2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

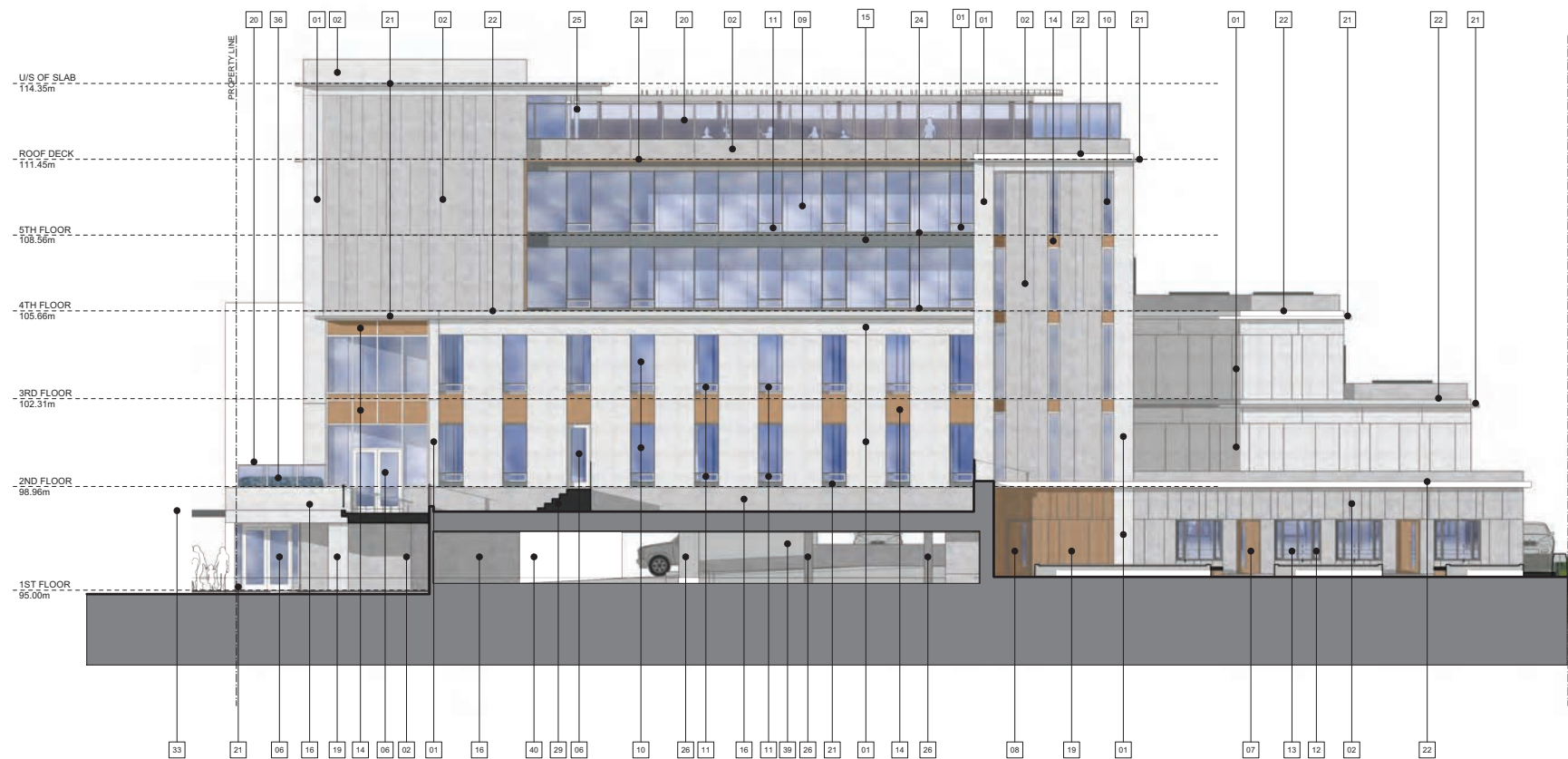


1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

#### HEC EXTERIOR MATERIALS LEGEND

- Fibre cement panel type 1 - textured light gray
- Fibre cement panel type 2 - textured medium gray
- Fibre cement panel type 3 - textured charcoal gray
- Fibre cement panel type 4 - smooth and painted finish
- Fibre cement plank trim board - smooth and painted finish
- Cedar anodized aluminum storefront door with medium stiles
- Solid core wood door with cedar veneer finish
- Painted insulated steel door in painted pressed-steel frame
- Double glazed curtain wall in anodized aluminum frame
- Double glazed punch windows in anodized aluminum frame
- Operable window - awning style
- Operable window - casement style
- Residential vinyl window
- Anodized aluminum spandrel panel type 1 - copper colour (Brushed satin finish)
- Anodized aluminum spandrel panel type 2 - metallic charcoal gray
- Slack-rubbed and sealed cast in place concrete
- Cedar shingles with semi-transparent light gray stain
- Exterior wood panelling - edge grain cedar-stain tint to be determined
- Reserved
- Glazed guard rail in powder-coated aluminum frame (stain silver)
- Glazed guard rail in powder coated aluminum frame (match picket detail of existing) Black
- Existing wrought iron guard rail with new glazed panel
- Pre-finished metal flashing type 1 - Regent Grey colour
- Pre-finished metal flashing type 2 - Light Grey colour
- Pre-finished metal flashing type 3 - Copper colour
- Aluminum composite panel type 1 - Copper colour brushed satin finish
- Painted steel column
- Painted concrete column
- Painted timber column
- Stained cedar decking
- Cast-in-place concrete stairs
- Soffit type 1 - linear metal planks with wood grain pattern
- Soffit type 2 - stained cedar planks
- Privacy screen - cedar fence deck planks
- Glazed canopy in painted and galvanized steel frame (P4)
- Decorative glazed blade with coloured interlayer
- Anodized aluminum mullion cap - copper colour
- Rooftop planter with irrigation and drainage
- Sliding patio door
- Glazed Juliette balcony
- Galvanized grating
- Overhead colling security grille
- Reserved
- New decorative handrail black
- Board from cast-in-place concrete
- SBS Roofing-medium grey colour
- Succo type1 granite dash light grey (existing to remain)
- Succo type2 pebble dash buff (existing to remain)
- Timber trellis P1 finish





2 | EAST ELEVATION  
- | SCALE: 1/8" = 1'-0"



1 | WEST ELEVATION  
- | SCALE: 1/8" = 1'-0"

#### HEC EXTERIOR MATERIALS LEGEND

1. Fibre cement panel type 1 - textured light gray
2. Fibre cement panel type 2 - textured medium gray
3. Fibre cement panel type 3 - textured charcoal gray
4. Fibre cement panel type 4 - smooth and painted finish
5. Fibre cement plank trim board - smooth and painted finish
6. Clear anodized aluminum storefront door with medium stile
7. Solid core wood door with cedar veneer finish
8. Painted insulated steel door in painted pressed-steel frame
9. Double glazed curtain wall in anodized aluminum frame
10. Double glazed punch windows in anodized aluminum frame
11. Operable window - awning style
12. Operable window - casement style
13. Residential vinyl window
14. Anodized aluminum spandrel panel type 1 - copper colour (Brushed satin finish)
15. Anodized aluminum spandrel panel type 2 - metallic charcoal gray
16. Sack-rubbed and sealed cast in place concrete
17. Cedar shingles with semi-transparent light gray stain
18. Exterior wood paneling - edge grain cedar-stain tint to be determined
19. Reserved
20. Glazed guard rail in powder-coated aluminum frame (stain silver)
- 20.1. Glazed guard rail in powder coated aluminum frame (match picket detail of existing) Black
- 20.2. Existing wrought iron guard rail with new glazed panel
21. Pre-finished metal flashing type 1 - Regent Grey colour
22. Pre-finished metal flashing type 2 - Light Grey colour
23. Pre-finished metal flashing type 3 - Copper colour
24. Aluminum composite panel type 1 - Copper colour brushed satin finish
25. Painted steel column
26. Painted concrete column
27. Painted timber column
28. Stained cedar decking
29. Cast-in-place concrete stairs
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31. Soffit type 2 - stained cedar planks
32. Privacy screen - cedar fence deck planks
33. Glazed canopy in painted and galvanized steel frame (P4)
34. Decorative glazed blade with coloured interlayer
35. Anodized aluminum mullion cap - copper colour
36. Rooftop planter with irrigation and drainage
37. Sliding patio door
38. Glazed Juliette balcony
39. Galvanized grating
40. Overhead ceiling security grille
41. Reserved
42. New decorative handrail black
43. Board from cast-in-place concrete
44. SBS Roofing-medium grey colour
45. Stucco type1 granite dash light grey (existing to remain)
46. Stucco type2 pebble dash buff (existing to remain)
47. Timber trellis P1 finish



VIEW NORTH OF MAIN ELEVATION ON 4TH AVENUE





STREET VIEW OF CATHEDRAL





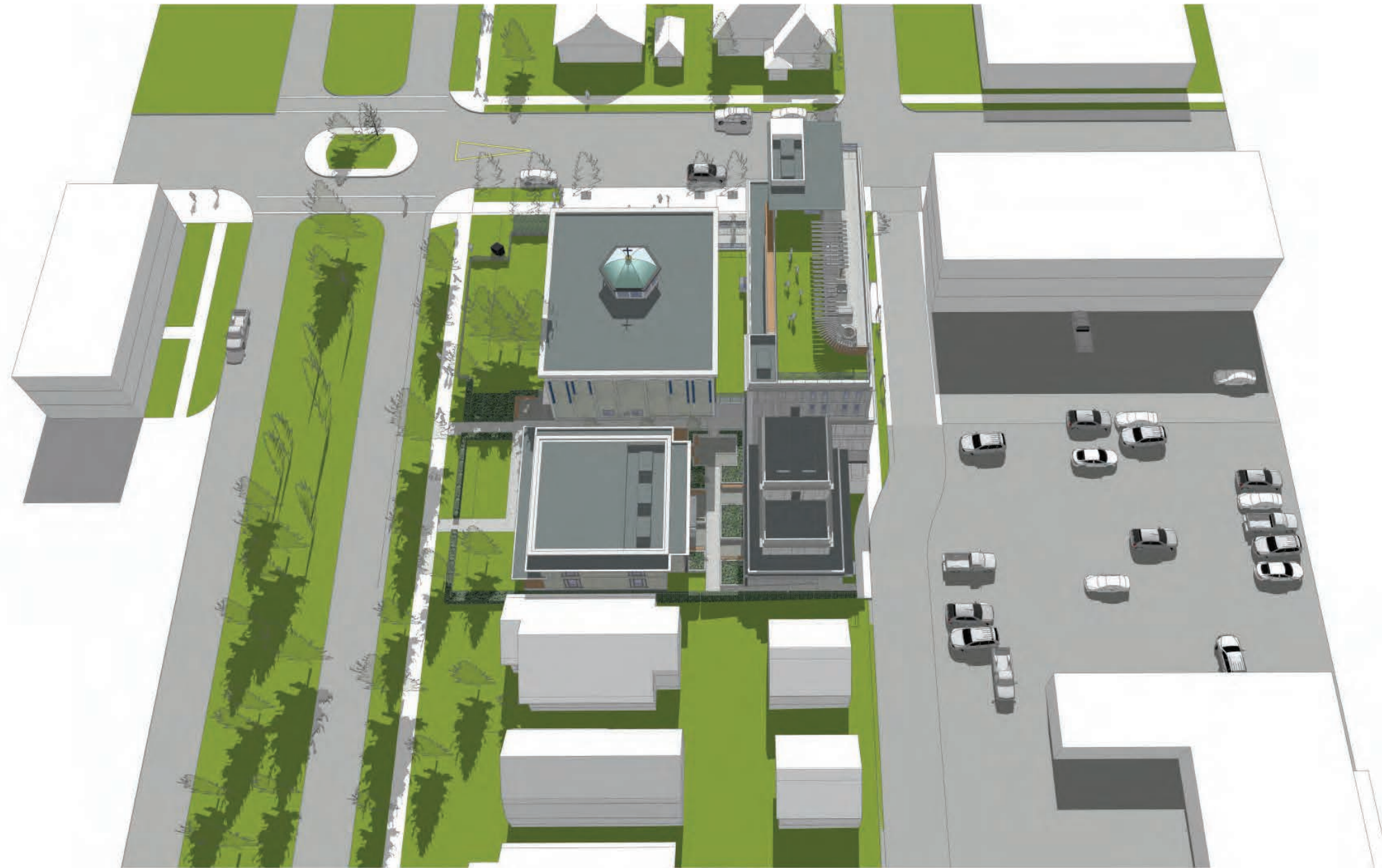
STREET VIEW OF MANOR





VIEW WEST OF CATHEDRAL AND MANOR





AERIAL VIEW SOUTH





AERIAL VIEW WEST





STREET VIEW NORTH OF WEST WING



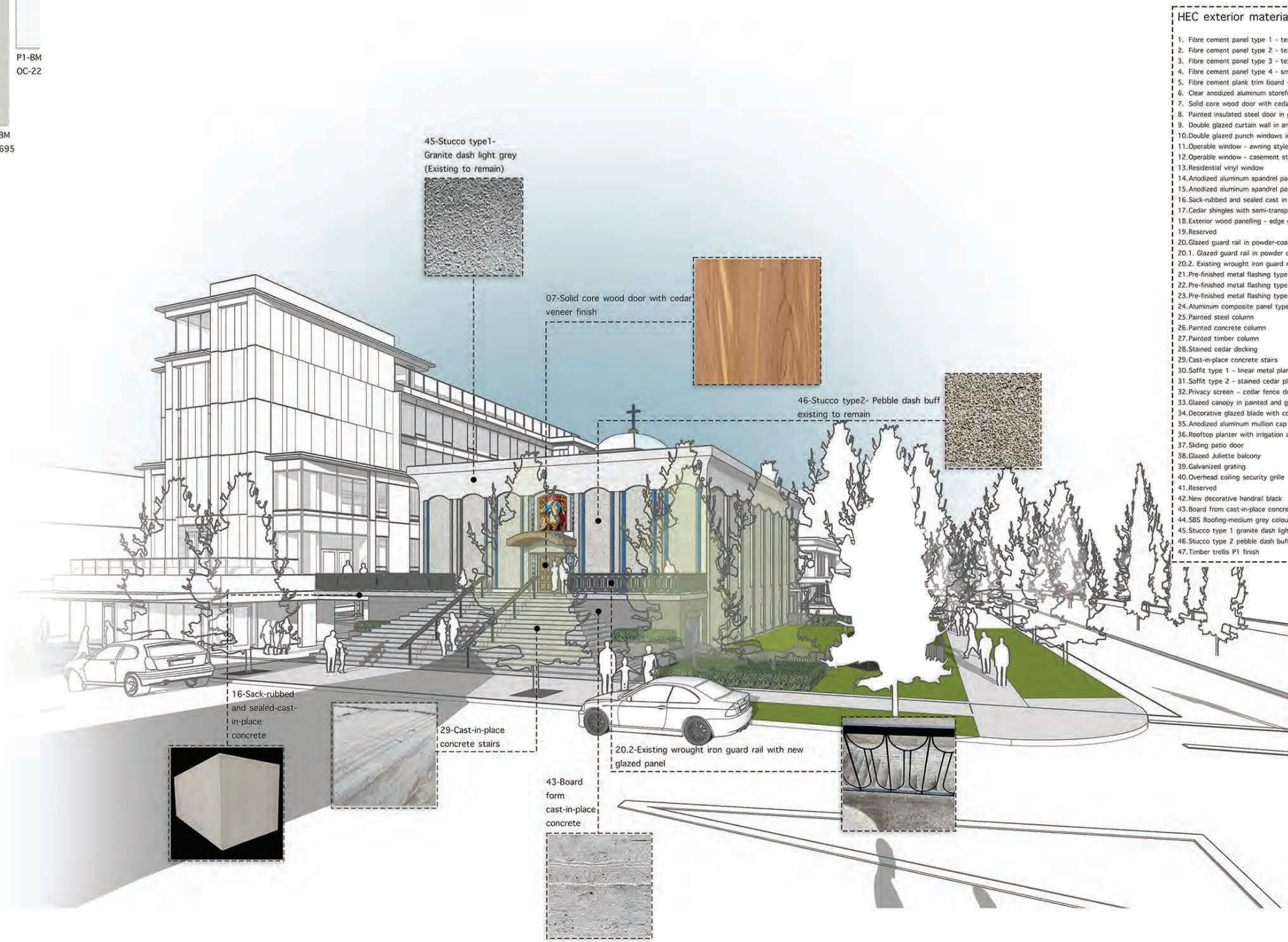
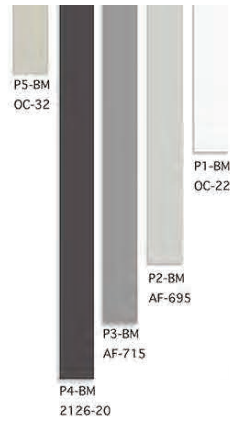
VIEW WEST OF COURTYARD





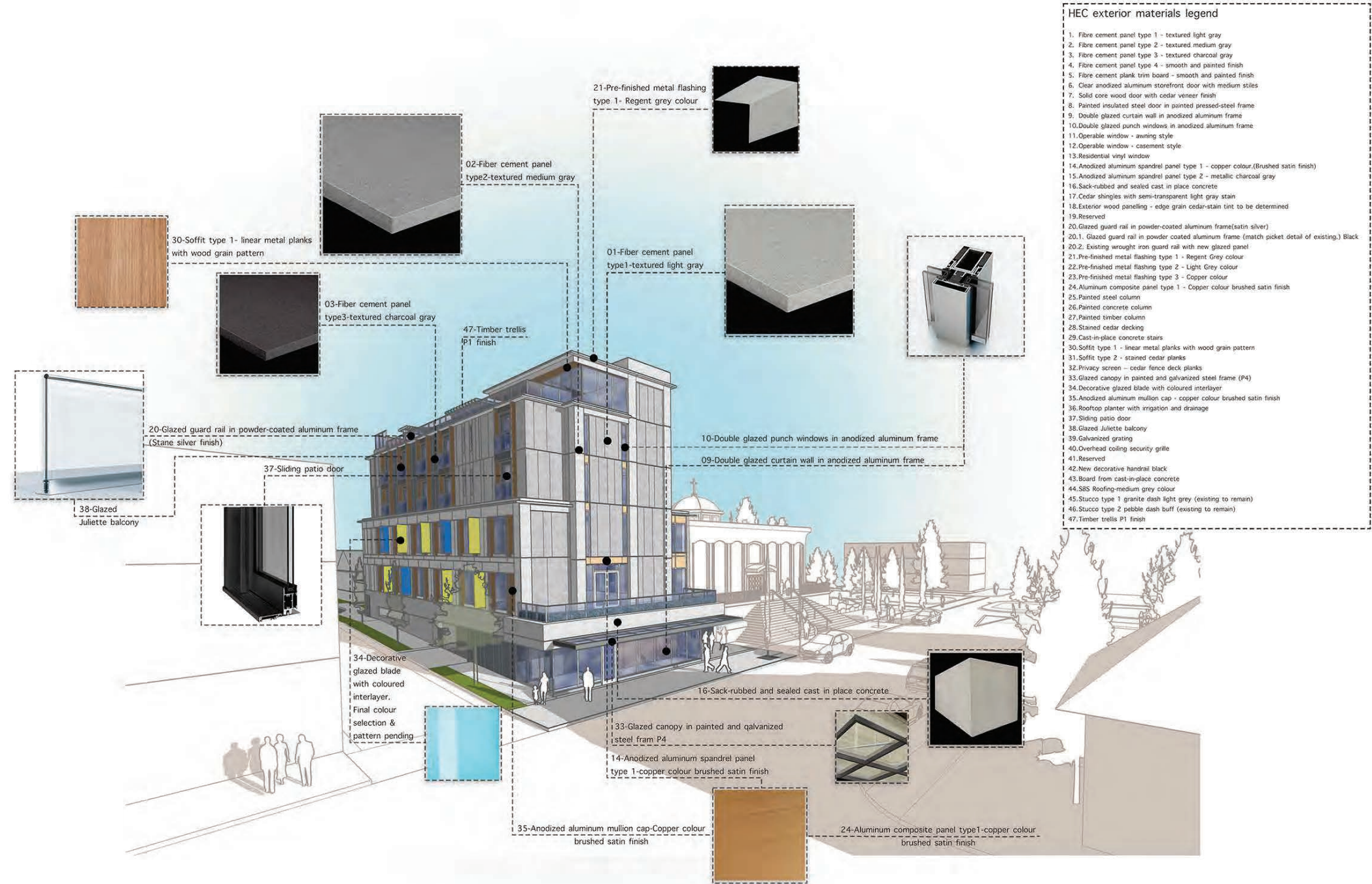
AERIAL VIEW TO NORTHEAST



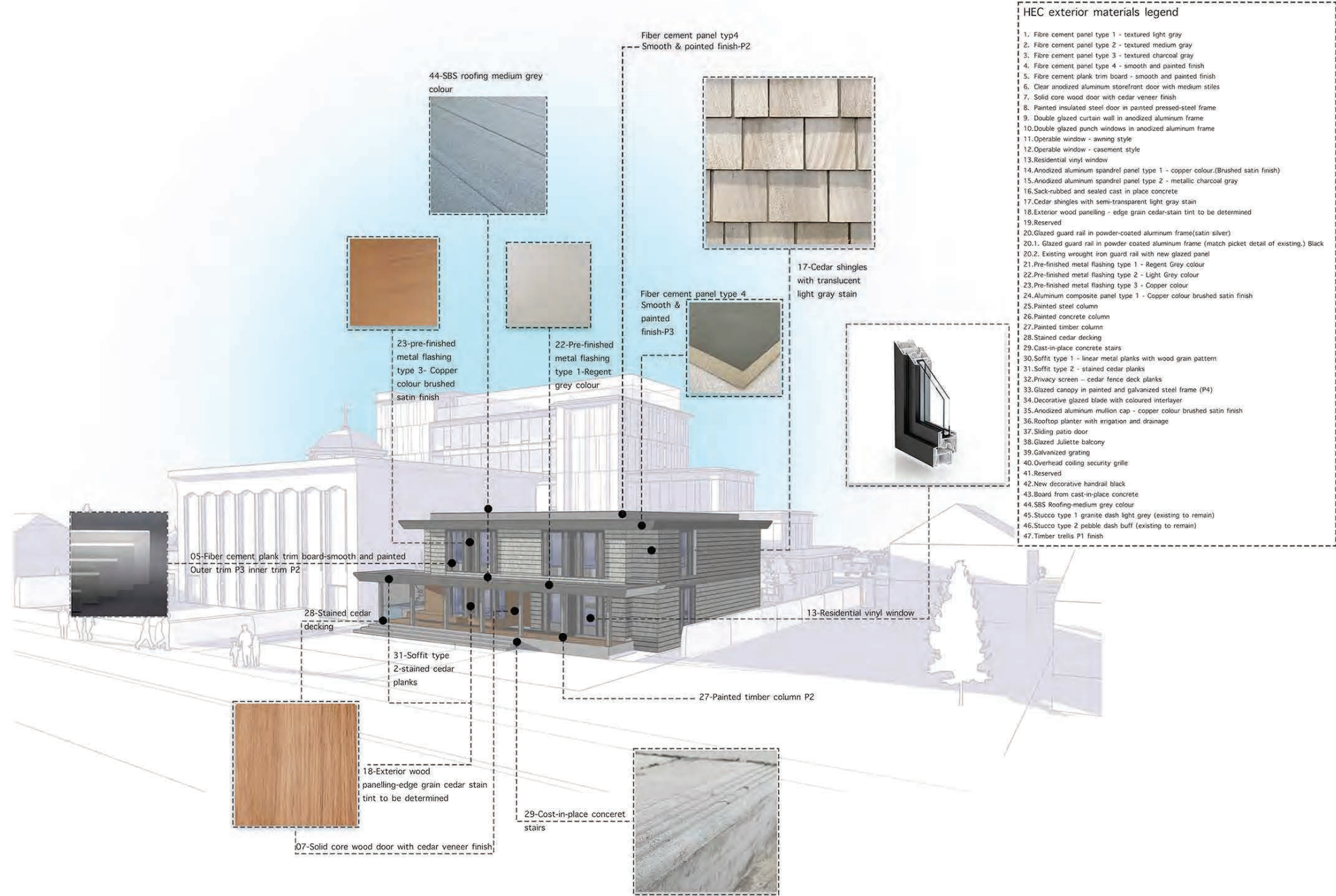
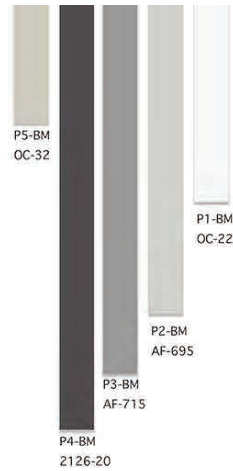


- HEC exterior materials legend
1. Fibre cement panel type 1 - textured light gray
  2. Fibre cement panel type 2 - textured medium gray
  3. Fibre cement panel type 3 - textured charcoal gray
  4. Fibre cement panel type 4 - smooth and painted finish
  5. Fibre cement plank trim board - smooth and painted finish
  6. Clear anodized aluminum storefront door with medium stiles
  7. Solid core wood door with cedar veneer finish
  8. Painted insulated steel door in painted pressed-steel frame
  9. Double glazed curtain wall in anodized aluminum frame
  10. Double glazed punch windows in anodized aluminum frame
  11. Operable window - awning style
  12. Operable window - casement style
  13. Residential vinyl window
  14. Anodized aluminum spandrel panel type 1 - copper colour (Brushed satin finish)
  15. Anodized aluminum spandrel panel type 2 - metallic charcoal gray
  16. Sack-rubbed and sealed cast in place concrete
  17. Cedar shingles with semi-transparent light gray stain
  18. Exterior wood panelling - edge grain cedar-stain tint to be determined
  19. Reserved
  20. Glazed guard rail in powder-coated aluminum frame (satin silver)
  - 20.1. Glazed guard rail in powder coated aluminum frame (match picket detail of existing.) Black
  - 20.2. Existing wrought iron guard rail with new glazed panel
  21. Pre-finished metal flashing type 1 - Regent Grey colour
  22. Pre-finished metal flashing type 2 - Light Grey colour
  23. Pre-finished metal flashing type 3 - Copper colour
  24. Aluminum composite panel type 1 - Copper colour brushed satin finish
  25. Painted steel column
  26. Painted concrete column
  27. Painted timber column
  28. Stained cedar decking
  29. Cast-in-place concrete stairs
  30. Soffit type 1 - linear metal planks with wood grain pattern
  31. Soffit type 2 - stained cedar planks
  32. Privacy screen - cedar fence deck planks
  33. Glazed canopy in painted and galvanized steel frame (P4)
  34. Decorative glazed blade with coloured interlayer
  35. Anodized aluminum mullion cap - copper colour brushed satin finish
  36. Rooftop planter with irrigation and drainage
  37. Sliding patio door
  38. Glazed Juliette balcony
  39. Galvanized grating
  40. Overhead ceiling security grille
  41. Reserved
  42. New decorative handrail black
  43. Board form cast-in-place concrete
  44. SBS Roofing-medium grey colour
  45. Stucco type 1 granite dash light grey (existing to remain)
  46. Stucco type 2 pebble dash buff (existing to remain)
  47. Timber trellis P1 finish













SPRING / AUTUMN EQUINOX AT 9AM VIEW EAST



SPRING / AUTUMN EQUINOX AT 12PM VIEW EAST



SPRING / AUTUMN EQUINOX AT 3PM VIEW EAST



SPRING / AUTUMN EQUINOX AT 6PM VIEW EAST



SUMMER SOLSTICE AT 9AM VIEW EAST



SUMMER SOLSTICE AT 12PM VIEW EAST



SUMMER SOLSTICE AT 3PM VIEW EAST



SUMMER SOLSTICE AT 6PM VIEW EAST



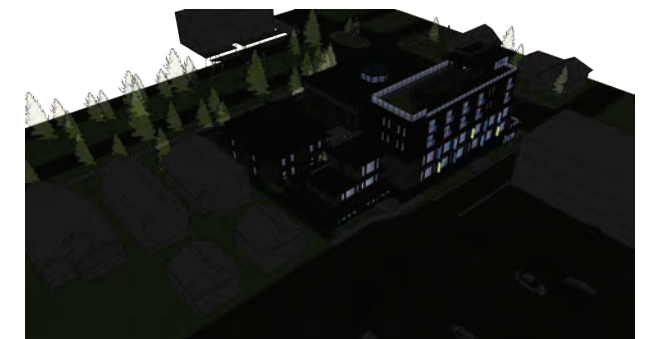
WINTER SOLSTICE AT 9AM VIEW EAST



WINTER SOLSTICE AT 12PM VIEW EAST



WINTER SOLSTICE AT 3PM VIEW EAST



WINTER SOLSTICE AT 6PM VIEW EAST





SPRING / AUTUMN EQUINOX AT 9AM VIEW WEST



SPRING / AUTUMN EQUINOX AT 12PM VIEW WEST



SPRING / AUTUMN EQUINOX AT 3PM VIEW WEST



SPRING / AUTUMN EQUINOX AT 6PM VIEW WEST



SUMMER SOLSTICE AT 9AM VIEW WEST



SUMMER SOLSTICE AT 12PM VIEW WEST



SUMMER SOLSTICE AT 3PM VIEW WEST



SUMMER SOLSTICE AT 6PM VIEW WEST



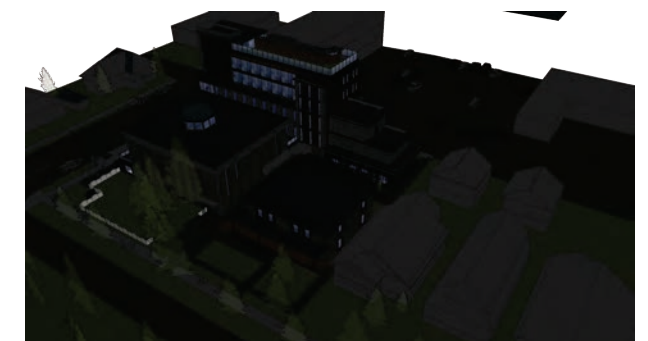
WINTER SOLSTICE AT 9AM VIEW WEST



WINTER SOLSTICE AT 12PM VIEW WEST



WINTER SOLSTICE AT 3PM VIEW WEST



WINTER SOLSTICE AT 6PM VIEW WEST



DESIGN RATIONALE

The landscape design of Holy Eucharist Mixed Use Complex aims to provide a sense of community and inclusivity by providing a variety of opportunities for different user groups to socialize and enjoy. While using a mix of evergreen and deciduous trees and shrubs for a softer ambience and seasonal interest throughout the design, the ground level landscape provides a church entry platform, semi-private residential patios with benches, seating nodes, flex use lawn areas and a communal patio with BBQ and harvest table. The design retains the existing play area at the corner of Fourth Avenue and Fifth Street. The street frontages of Fourth Avenue and Fifth Street will be upgraded to city standards with lawn boulevard and street trees in grates. Along the east property line in the lane (on-site) a tree lined walkway will be provided. The walkway will match the offsite streetscape in form and character. On level 2, in addition to the patio with perimeter planting off the daycare waiting area, a flex play area with poured in place rubber safety surfacing is provided to be used by the daycare. On the rooftop the range of programs include an outdoor kitchen and dining, outdoor lounges with fire table and a children's play area with play elements. A trellis with vines and matching fence will be used to separate the play area and the building's amenity patio. Trees will be provided on the rooftop to provide additional shade.

LANDSCAPE NOTES

1. All work shall meet or exceed the requirements as outlined in the Current Edition of the Canadian Landscape Standard.
2. Refer to Architectural package for overall plan, survey information and dimensioned site plan.
3. For hard landscape details attached to the building - REFER TO ARCHITECTURAL.
4. For parking layout and number of spaces - REFER TO ARCHITECTURAL.
5. For hard landscape grading information - REFER TO ARCHITECTURAL.
6. For drainage information - REFER TO MECHANICAL.
7. ALL STREET TREES Install 8' x 18" Deep Root Barrier centred on each tree between tree pit and sidewalk (side of tree adjacent to sidewalk). Refer to Specification.
8. ALL STREET TREES to be installed to City Standards.
9. Although not always shown, all planting areas adjacent to the building face to be separated by a min. 8" wide gravel strip, separated by a pressure treated wood assembly as shown in the details.
10. Soil depths to meet or exceed the Canadian Landscape Standard, as described in Landscape Specifications.
11. All ground level patios to be provided with a hose bib at each unit.

IRRIGATION NOTES

1. Irrigation to be provided for all 'Soft Landscape Areas' shown on the drawing. All irrigation to be to IABC Standards.
2. Irrigated areas to be installed as a design build irrigation system from the stub outs provided. Provide submittals of design to consultant at least one week prior to installation and as-built drawing within one month of substantial performance.
3. Planters and Plant pots to be irrigated with a high efficiency irrigation system.
4. Separate zone and required sleeves to be provided for spray irrigation of the boulevard.
5. All irrigation valve boxes to be equipped with quick couplers.
6. Irrigation valve boxes to be integrated into building design or base of planter.

MATERIALS LEGEND

OFF-SITE. CIP Concrete paving. Natural Colour Light Broom Finish to City Standards

ON-SITE. CIP Concrete paving. Natural Colour. Light Broom Finish with control joints

Urban Series Pavers by New Stone Group. Color: Charcoal. Pattern: 1/3 Offset Runner Bond(P215). Size: 6" x 6", 6" x 9", 12" x 6"

Urban Series Pavers by New Stone Group. Natural Grey. Pattern: 1/3 Offset Runner Bond(P215). Size: 6" x 6", 6" x 9", 12" x 6"

Manhattan Vibropressed Slabs by New Stone Group. Size: 12" x 24". Color: Charcoal. Pattern: Runner Bond

Poured in Place Rubber Safety Surface. Color: TBD

HEDGE PLANTING. Privacy screening

PLANTING

Sod Lawn. Non-netted sand based turf

Wood Decing

DRAWING KEY

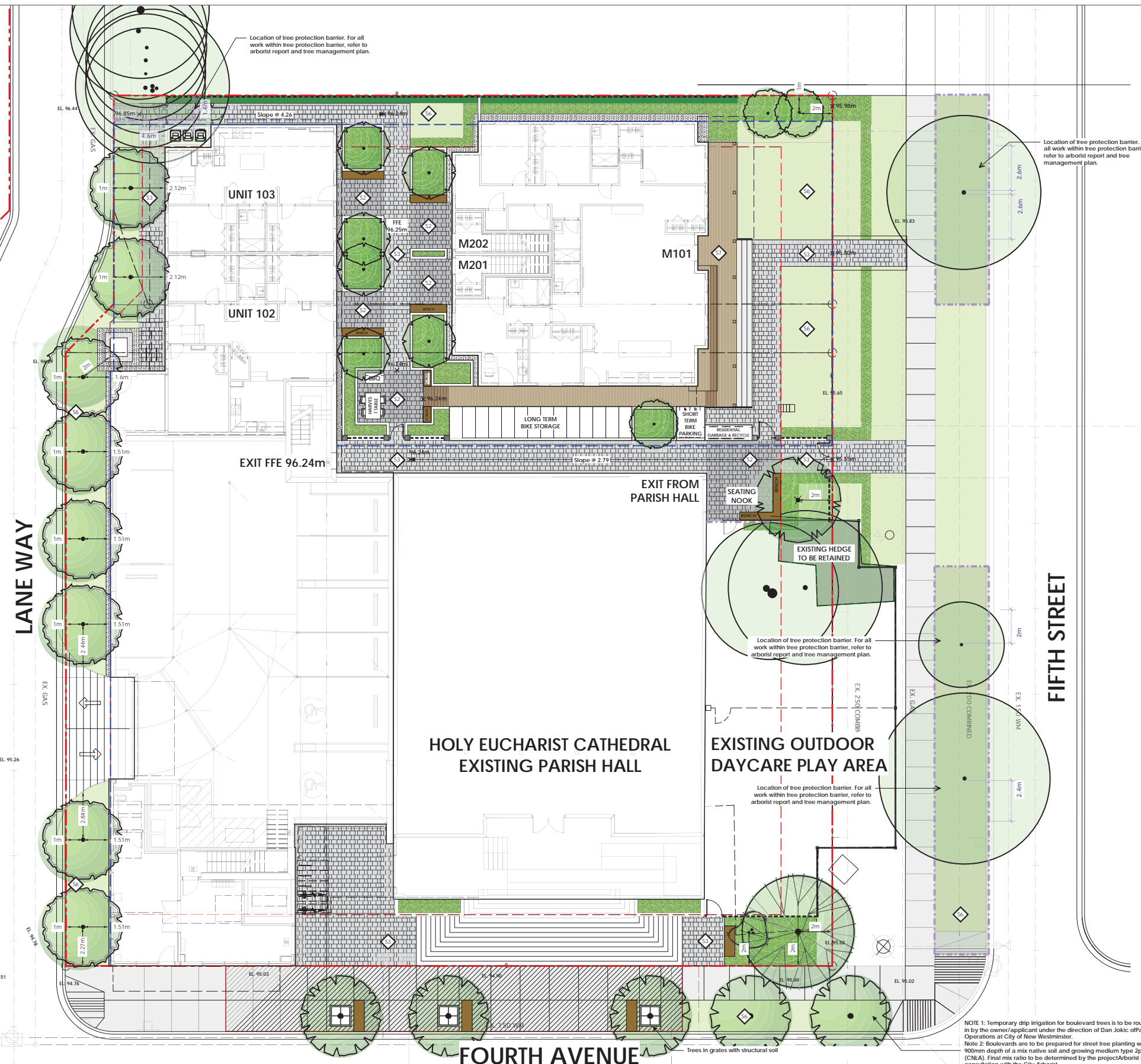
- |     |                   |     |                                     |
|-----|-------------------|-----|-------------------------------------|
| --- | PROPERTY LINE     | --- | PARKING OUTLINE                     |
| --- | BUILDING OVERHANG | --- | FENCE                               |
| --- | SETBACK LINE      | --- | NICHE LIGHT. L-36 BY MP LIGHTING    |
|     |                   | --- | IRRIGATION STUB OUT 50 PSI @ 50 GPM |

PLANTING LIST

TREES SYMB	QTY	Botanical Name	Common Name	Size/ Comments
	3	Acer saccharum 'Barrett Cole' APOLLO	columnar sugar maple	7.62cm (3") Cal.
	8	Liquidambar styraciflua	sweetgum	7.62cm (3") Cal.
	2	Magnolia 'Galaxy'	hybrid magnolia	7.62cm (3") Cal.
	1	Magnolia stellata	star magnolia	7.62cm (3") Cal.
	1	Nyssa sinensis	Chinese tupelo	7.62cm (3") Cal.
	1	Ginkgo biloba	ginkgo	7.62cm (3") Cal.
	6	Sorbus aria 'Lutescens'	columnar whitebeam	7.62cm (3") Cal.
	5	Street Trees. Final species and location to City Standards. Boulevard tree planting design is to be approved by the City Arborist. Boulevard reselection, procurement, and installation are to be undertaken by the City Arborist or their delegates.		

SHRUBS / PERENNIALS / GRASSES / GROUNDCOVERS

SYMB	QTY	Botanical Name	Common Name	Size/ Comments
A1	45	Azalea 'Hino White'	Hino White azalea	#2 Pot. 24" O.C.
A2	45	Azalea 'Fusion Pink'	Fusion Pink azalea	#2 Pot. 24" O.C.
Bs	37	blechnum spicant	deer fern	#2 Pot. 24" O.C.
B	70	Buxus s. 'Winter Gem'	boxwood	#2 Pot. 18" O.C.
Gs	32	Gaultheria shallon	salal	#2 Pot. 24" O.C.
lb	44	Iberis sempervirens	candytuft	#2 Pot. 12" O.C.
LC	12	Lonicera ciliosa	Orange honeysuckle	#2 Pot. 18" O.C.
Ms	40	Miscanthus purpurea	purple maiden grass	#3 pot. 24" O.C.
Pm	30	Polystichum munilum	western sword fern	#2 Pot. 24" O.C.
R2	8	Rhodo. 'Anah Kruschke'	purple rhodo	#3 Pot. 36" O.C.
S	31	Sarcococca hookeriana var. humilis	dwarf sweetbox	#3 Pot. 24" O.C.
T	73	Taxus media 'Hilli'	Hill's yew (Male Only)	4" Ht. RB to RB



DRAWING LIST

- |       |   |                           |
|-------|---|---------------------------|
| L-1.1 | LANDSCAPE MATERIALS, LAYOUT, GRADING AND DRAINAGE PLAN-GROUND LEVEL | SCALE 1:96 (1/8" = 1' 0") |
| L-1.2 | PLANTING PLAN-GROUND LEVEL  | SCALE 1:96 (1/8" = 1' 0") |
| L-1.3 | LANDSCAPE PLAN-LEVEL 2  | SCALE 1:96 (1/8" = 1' 0") |
| L-1.4 | LANDSCAPE PLAN-ROOF   | SCALE 1:96 (1/8" = 1' 0") |
| L-2.1 | SECTIONS AND DETAILS  | SCALE AS SHOWN            |
| T-1.1 | EXISTING TREES MANAGEMENT PLAN-GROUND LEVEL                         | SCALE 1:96 (1/8" = 1' 0") |
| T-1.2 | EXISTING TREES INVENTORY LIST                                       | SCALE 1:96 (1/8" = 1' 0") |

PRECEDENT IMAGES



FLOWERING TREES FOR SEASONAL INTEREST



METAL PLANTERS AND WOOD TOP BENCHES



OUTDOOR DINING



BIKE RACKS

2	May 24, 2022	Public Information Meeting
1	Dec 22, 2021	Issued for DP
no.	date:	item:

Revisions:

dk	Durante Kreuk Ltd.
	102 - 1637 West 5th Avenue
	Vancouver BC V6J 1N5
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	www.dk.bc.ca

Project:

HOLY EUCHARIST CATHEDRAL  
MIXED-USE BUILDING

501 4TH AVENUE  
NEW WESTMINSTER,  
BC V3L 2X6

Drawn by: RSS

Checked by: SV

Date: May 24 2022

Scale: 1:96 (1/8" = 1' 0")

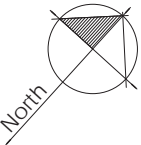
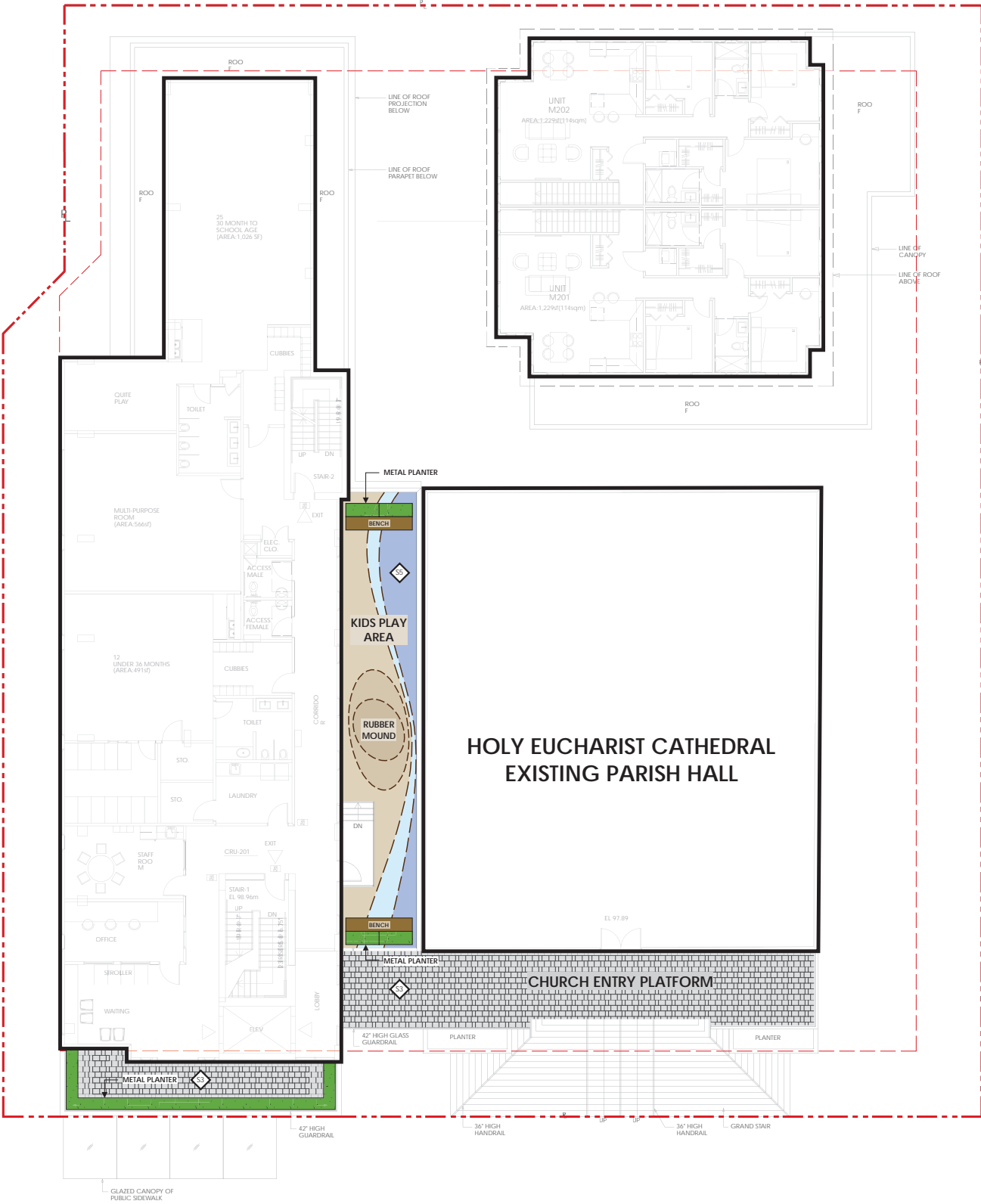
Drawing Title:

LANDSCAPE MATERIALS,  
LAYOUT, GRADING AND  
DRAINAGE PLAN  
GROUND LEVEL

Project No.:

21067

Sheet No.:



2	May 24, 2022	Public Information Meeting
1	Dec 22, 2021	Issued for DP
no. :	date:	item:

Revisions:

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**501 4TH AVENUE  
NEW WESTMINSTER,  
BC V3L 2X6**

Drawn by: RSS

Checked by: SV

Date: May 24 2022

Scale: 1/96 (1/8" = 1' 0")

Drawing Title:

**LANDSCAPE PLAN  
LEVEL 2**

**GROUND LEVEL**

Project No.:

**21067**

Sheet No.:



PLAYGROUND EQUIPMENTS

Dress-Up Cottage

NRO001



The Robins Dress-Up Cottage is an immense play structure for children ages 3-10. It features a variety of play areas including a stage, a kitchen, a bathroom, and a bedroom. The structure is made of wood and has a green roof. It is surrounded by a low wall and has a small ramp leading up to the entrance.

1 / 8 / 2021

Forest Lake Boat, without floor

NRO002



The Forest Lake Boat is a new play structure for children ages 3-10. It is a large wooden boat with a green roof and a small ramp leading up to the entrance. The boat is surrounded by a low wall and has a small ramp leading up to the entrance.

1 / 8 / 2021

Item no. NRO001-001

General Product Information

Dimensions (LxWxH) 12' x 10' x 10' (3658 x 3048 x 3048 mm)

Age group 3-10

Play capacity (users) 10

Color options 10

1 / 8 / 2021

Data is subject to change without prior notice.

Item no. NRO002-001

General Product Information

Dimensions (LxWxH) 12' x 10' x 10' (3658 x 3048 x 3048 mm)

Age group 3-10

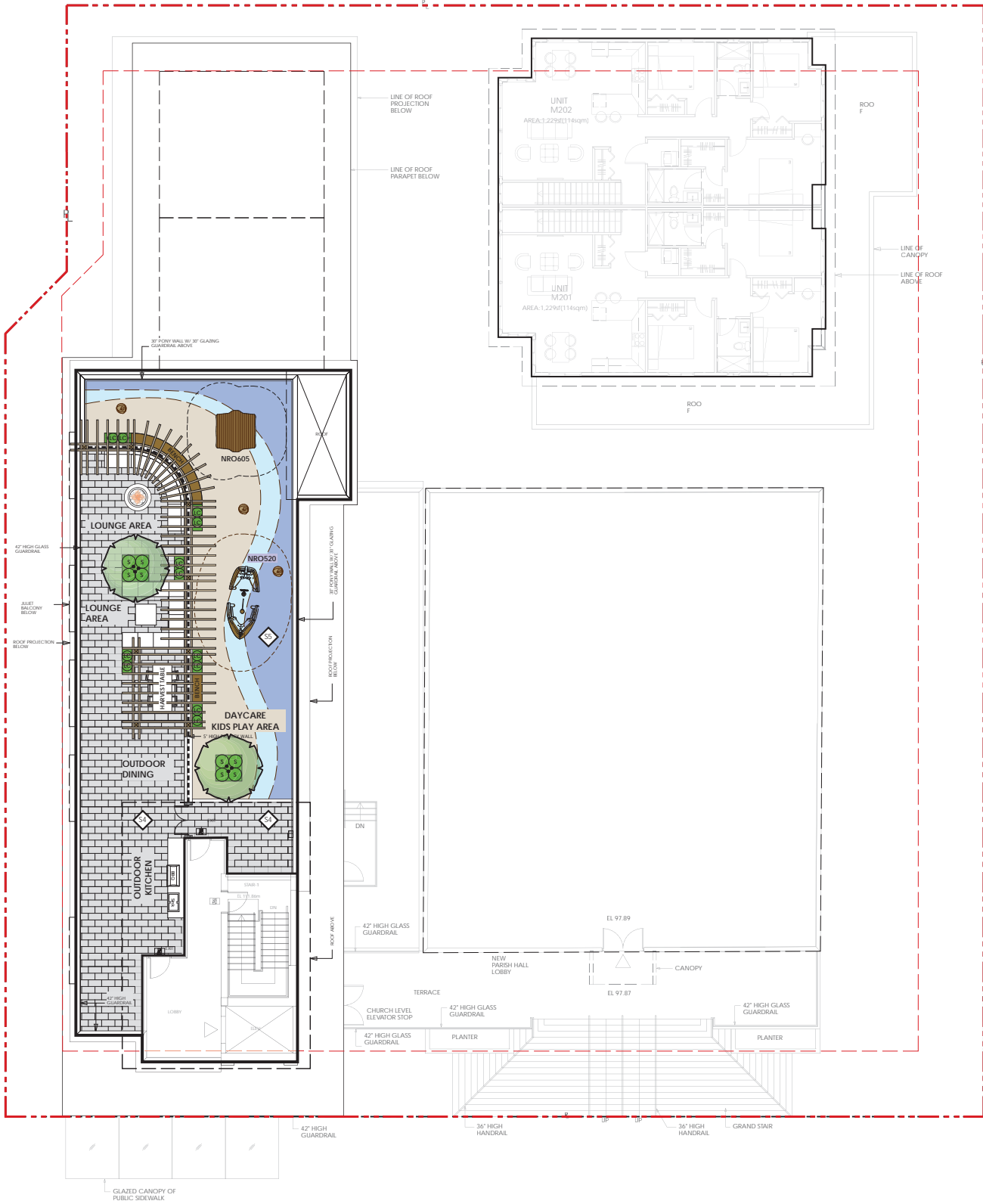
Play capacity (users) 10

Color options 10

1 / 8 / 2021

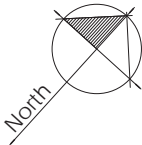
Data is subject to change without prior notice.

LANE WAY



FOURTH AVENUE

FIFTH STREET



2	May 24, 2022	Public Information Meeting
1	Dec 22, 2021	Issued for DP
no. :	1	date:
Revisions:		Item:

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Project:

**HOLY EUCHARIST CATHEDRAL  
MIXED-USE BUILDING**

**501 4TH AVENUE  
NEW WESTMINSTER,  
BC V3L 2X6**

Drawn by:	RSS
Checked by:	SV
Date:	May 24 2022
Scale:	1/96 (1/8" = 1' 0")
Drawing Title:	LANDSCAPE PLAN ROOF

Project No.:	21067
Sheet No.:	