

New Westminster Design Panel

Tuesday, April 26, 2022, 3:00 p.m.

Meeting held electronically and open to public attendance

Council Chamber, City Hall

We recognize and respect that New Westminster is on the unceded and unsurrendered land of the Halkomelem speaking peoples. We acknowledge that colonialism has made invisible their histories and connections to the land. As a City, we are learning and building relationships with the people whose lands we are on.

	Pages
1. <u>CALL TO ORDER AND LAND ACKNOWLEDGEMENT</u>	
The Chair will open the meeting and provide a land acknowledgement.	
2. <u>CHANGES TO THE AGENDA</u>	
Addition or deletion of items.	
3. <u>ADOPTION OF MINUTES FROM PREVIOUS MEETINGS</u>	
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4. <u>REPORTS AND PRESENTATIONS</u>	
4.1. Rezoning and Development Permit Applications: 1321 Cariboo Street	6
Rezoning and Development Permit applications have been received for 1321 Cariboo Street. The proposed development includes 15 secured market rental units in a five storey building with an overall Floor Space Ratio (FSR) of 1.61. Eight off-street surface parking spaces, and 22 long term and short term bicycle parking spaces are proposed. The purpose of this report is to provide information to the New Westminster Design Panel in regards to the overall project design and receive comments from the Panel, with special consideration of the items noted in the Design Considerations section of this report.	
Recommendation	
THAT the New Westminster Design Panel review the design submission and provide comments for applicant and staff consideration; and	

THAT the New Westminster Design Panel consider a motion of support or non-support for the proposed Rezoning and Development Permit applications.

5. **STANDING REPORTS AND UPDATES**

Regular and ongoing reports from staff or members for information and discussion.

6. **NEW BUSINESS**

Items added to the agenda at the beginning of the meeting.

7. **END OF MEETING**

8. **UPCOMING MEETINGS**

Remaining scheduled meetings for 2022, which take place at 3:00 p.m. unless otherwise noted:

- May 24
- June 28
- July 26
- August 23
- September 13
- October 25
- November 23
- December 13

NEW WESTMINSTER DESIGN PANEL
MINUTES

Tuesday, February 22, 2022, 3:00 p.m.
Meeting held electronically and open to public attendance
Council Chamber, City Hall

PRESENT

Winston Chong	Architectural Institute of BC (AIBC)
Bryce Gauthier	BC Society of Landscape Architects (BCSLA)
Brad Howard	Development Industry Representative (UDI)
Caroline Inglis	Architectural Institute of BC (AIBC)
Narjes Miri	Architectural Institute of BC (AIBC)
Micole Wu	BC Society of Landscape Architects (BCSLA)

REGRETS

Stanis Smith	Architectural Institute of BC (AIBC)
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STAFF PRESENT

Mike Watson	Acting Supervisor of Development Planning
Katie Stobbart	Committee Clerk

1. CALL TO ORDER AND LAND ACKNOWLEDGEMENT

Before a Chair was elected, Katie Stobbart opened the meeting at 3:02 p.m. and recognized with respect that New Westminster is on the unceded and unsurrendered land of the Halkomelem-speaking peoples. She acknowledged that colonialism has made invisible their histories and connections to the land. She recognized that, as a City, we are learning and building relationships with the people whose lands we are on.

2. CHANGES TO THE AGENDA

There were no changes to the agenda.

3. REPORTS AND PRESENTATIONS

3.1 Legislative Services Committee Orientation

Katie Stobbart, Committee Clerk, provided a presentation entitled “Committee Orientation” which included introductions, meeting conduct, policies, Oaths of Office, and Election of a Chair and Alternate Chair.

a. Oaths of Office

As part of the orientation, new members recited their Oaths of Office.

b. Election of Chair and Alternate Chair

MOVED and SECONDED

THAT Winston Chong be appointed as the Chair for the 2022 term of the New Westminster Design Panel.

Carried.

All members present voted in favour of the motion.

MOVED and SECONDED

THAT Narjes Miri be appointed as the Alternate Chair for the 2022 term of the New Westminster Design Panel.

Carried.

All members present voted in favour of the motion.

3.2 Planning Committee Orientation

Mike Watson, Acting Supervisor of Development Planning, provided a presentation entitled “NWDP Orientation 2022.”

In response to a question from the Panel, Mr. Watson clarified that the goal with second visits is to revisit the areas of a proposal that need support, not repeat discussion from the first visit.

4. ADOPTION OF MINUTES FROM PREVIOUS MEETINGS

4.1 Minutes of January 11, 2022

MOVED and SECONDED

THAT the minutes of the New Westminster Design Panel meeting held on January 11, 2022 be adopted.

Carried.

All members present voted in favour of the motion.

5. STANDING REPORTS AND UPDATES

There were no items.

6. NEW BUSINESS

There were no items.

7. END OF MEETING

On MOTION, the meeting ended at 3:52 p.m.

8. UPCOMING MEETINGS

The remaining scheduled meetings for the year, which take place at 3:00 p.m. unless otherwise noted:

- March 22
- April 26
- May 24
- June 28
- July 26
- August 23
- September 13
- October 25
- November 23
- December 13

Certified Correct,

Winston Chong
Chair

Katie Stobbart
Committee Clerk

REPORT

Climate Action, Planning and Development

To: New Westminster Design Panel **Date:** April 26, 2022
From: Dilys Huang, Development Planner **File:** REZ00205
Item #: [Report Number]
Subject: Rezoning and Development Permit Applications: 1321 Cariboo Street

RECOMMENDATION

THAT the New Westminster Design Panel review the design submission and provide comments for applicant and staff consideration; and

THAT the New Westminster Design Panel consider a motion of support or non-support for the proposed Rezoning and Development Permit applications.

PURPOSE

Rezoning and Development Permit applications have been received for 1321 Cariboo Street. The proposed development includes 15 secured market rental units in a five storey building with an overall Floor Space Ratio (FSR) of 1.61. Eight off-street surface parking spaces, and 22 long term and short term bicycle parking spaces are proposed.

The purpose of this report is to provide information to the New Westminster Design Panel in regards to the overall project design and receive comments from the Panel, with special consideration of the items noted in the Design Considerations section of this report.

GUIDING POLICY AND REGULATIONS

Official Community Plan Land Use Designation

The subject site is designated (RM) Residential Multiple Unit Buildings, which allows for a mix of small to moderate sized multi-unit residential buildings. Principal building forms supported by this designation include townhouses, rowhouses, stacked townhouses, and low rises. Only in circumstances where the Development Permit Area guidelines

can be met, a compelling case can be made, and appropriate amenities are provided will a five or six storey low rise building be considered.

Development Permit Area

The subject site is located within the Multiple Unit Residential Development Permit Area (DPA 1.4). The intent of this DPA is to integrate multi-unit housing forms into the city's single detached dwelling and ground oriented housing neighbourhoods. The proposal is being evaluated against the DPA 1.4 guidelines concurrently with the review of the Rezoning application.

The DPA 1.4 guidelines can be accessed via:

[https://www.newwestcity.ca/database/files/library/OCP_DPA_1.4_Multiple_Units_Residential_\(Consolidated_June_2020\).pdf](https://www.newwestcity.ca/database/files/library/OCP_DPA_1.4_Multiple_Units_Residential_(Consolidated_June_2020).pdf)

Zoning Bylaw

The subject property is zoned Multiple Dwelling (Low Rise) (RM-2). The intent of this zone is to allow low-rise apartment development with an opportunity for increased density upon amenity provision conditions being met. The project currently includes proposed variances to building setbacks and parking.

Secured Market Rental Housing Policy

As part of the City's priority for new secured rental housing, incentives include parking reductions and waiving density bonus payments. This project proposes all units as rental under the Secured Market Rental Housing Policy. The units would be secured for 60 years or the life of the building through a Housing Agreement. Rental tenure only zoning could alternatively be applied, which would protect the property for rental use in perpetuity, or until a future Council should choose to approve a change to the zoning on the site.

Family Friendly Housing Policy

The proposal would be required to provide a minimum 25% two and three bedroom units, of which a minimum 5% of the overall number of units would need to contain three bedrooms or more. Based on the applicant's submission, 60% of the units contain two or three bedrooms, of which 20% are three bedroom units. Eight of the units (53%) are also proposed as adaptable dwelling units, meeting the City's adaptable housing requirements.

BACKGROUND INFORMATION

Site Characteristics and Context

The subject property is located at the north-east corner of Fourteenth Street and Cariboo Street in the Brow of the Hill neighbourhood. The site has an approximate area of 809.7 sq. m. (8,716 sq. ft.) and is currently vacant as the previous building was damaged by a fire. The property has a fairly steep grade, with the high end at the north-east corner and sloping down toward the street intersection. Stewardson Way is located one block south of the development site and Riverside Park is located one block west. The subject site is surrounded by several other low-rise multi-unit residential buildings, including a newer three to five storey development further east at the corner of Fifth Avenue and Thirteenth Street, a three storey development from the early 1990s to the south across Cariboo Street, and a couple of three storey apartment buildings from the late 1950s and early 1960s immediately to the north and east. There are also some single detached dwellings to the west across Fourteenth Street. A site context map is provided below (Figure 1).



Figure 1. Site Context Map

Proposal

The proposed development consists of a five storey building containing 15 secured market rental units with an overall Floor Space Ratio of 1.61. Three of the proposed units would be ground-oriented units, each with individual street-level entries. Of these, two are designed as two storey townhouses. The main entrance of the building would

face Cariboo Street. Individual unit sizes are proposed to range from approximately 40.8 sq. m. (439 sq. ft.) to 107.6 sq. m. (1,158 sq. ft.).

As the site does not have a rear lane, vehicle access and parking would be via a proposed driveway along the easterly property line off Cariboo Street. The proposal currently includes eight off-street surface parking spaces, one of which is an accessible stall, along with 22 bicycle parking spaces (19 long term and three short term). The applicant's project summary letter, design rationale, and architectural and landscape drawings are attached as Appendices A, B, and C. The proposal is still currently being reviewed by staff, including by the Transportation Division.

Project Statistics

	Permitted / Required Under RM-2 Zone	Proposed
Site Area	--	809.72 sq. m. (8,716 sq. ft.)
Site Coverage	40%	25.47%
Density FSR or Housing Units	1.8 FSR 60 UPA (12 units)	1.61 FSR 75 UPA (15 units)
Building Height	13.72 m. (45 ft.)	13.67 m. (44.83 ft.)
Unit Mix and Family-Friendly Housing	Minimum 25% two and three bedroom units, of which 5% are three or more bedrooms	Studio: 1 (7%) 1 Bed: 5 (33%) 2 Bed: 6 (40%) 3 Bed: 3 (20%)
Setbacks Front (Cariboo St.) Rear (North) Side (Fourteenth St.) Side (East)	6.1 m. (20 ft.) 6.1 m. (20 ft.) 6.1 m. (20 ft.) 6.1 m. (20 ft.)	2.44 m. (8 ft.) 6.1 m. (20 ft.) 4.57 m. (15 ft.) 6.1 m. (20 ft.)
Off-Street Parking Residential Visitor Total	15 spaces (1 space per unit) 2 spaces (0.1 space per unit) 17 spaces	8 spaces 0 spaces 8 spaces
Accessible Parking	1 per 15 spaces	1 space, included as part of the 8 residential spaces
Off-Street Loading	n/a	n/a
Bicycle Parking Long Term Short Term	19 spaces (1.25 space per unit) n/a	19 spaces 3 spaces

* Note: grey rows indicate proposed variances/relaxations

DESIGN CONSIDERATIONS

The applicant's design rationale and architectural and landscape drawings are included as Appendices B and C. Staff would appreciate comments from the New Westminster Design Panel on the proposed development, including how it responds to the Multiple Unit Residential Development Permit Area guidelines. Some items identified by staff for consideration by the Panel are as follows:

Building Massing and Transition

The project proposes a five storey building form on a site that is very constrained due to its limited size, steep slope, and adjacency to existing buildings. The Multiple Unit Residential Development Permit Area guidelines state that buildings of four to six storeys should be set back at the fourth storey and higher by 3 m. (9.84 ft.) on all sides.

The current proposal incorporates a 1.22 m. (4 ft.) step back on level four and a 4 m. (13.12 ft.) step back on level five from along the Fourteenth Street main building face. Step backs have not been incorporated for the other three building sides. Some of the proposed balconies currently project into yard setbacks by 1.52 m. (5 ft.) versus the allowable 1.22 m. (4 ft.) under the Zoning Bylaw.

Building Materials

The Development Permit Area guidelines call for the use of a cohesive material and colour palette that complements the character of the surrounding area. High quality materials should be used. Wood, stone, brick, and standing seam metal cladding are preferred cladding materials, while composite, metal, or cementitious panels are also permitted. Colours should be muted, while accent colours may be bold but should still be harmonious with the main colour and material palette. Matte finishes or finishes with a low level of reflectivity should be used.

The applicant has provided a material and colour palette that includes white and red composite metal panels, horizontal natural cedar wood siding, vertical dark brown cedar with clear finish, perforated metal for the bicycle parking enclosure area, and aluminum guard rails with tempered glass.

Open Space

The Development Permit Area guidelines call for landscaping elements including trees, shrubs, and ground cover to enhance public realm, improve air quality, absorb storm water, and add to the city's tree canopy. Developments are to integrate semi-private and private open space to improve quality of life for building residents, as well as enhance biodiversity and the overall quality of the neighbourhood.

A common amenity area consisting of a children's play space, planter boxes, and a bench, is proposed to the north of the building adjacent to the parking area. Open space for individual dwelling units is provided through private patios and balconies.

Questions for the Design Panel's Consideration

In addition to seeking general comments from the New Westminster Design Panel (NWDP) in regard to the overall design of the proposed development and the above-mentioned design considerations, staff has identified the following questions for the NWDP to provide specific response to:

1. Staff seeks input from the NWDP in regard to the project design, including the selection of building materials and colour scheme, and how the proposed development addresses the Multiple Unit Residential Development Permit Area guidelines.
2. Staff seeks input from the NWDP in regard to the overall scale and massing of the proposed building.
3. Staff seeks input from the NWDP in regard to the transition between the proposed development and adjacent properties, and how the project fits within the surrounding neighbourhood context.
4. Staff seeks input from the NWDP in regard to the proposed site layout, including the pedestrian walkways, and siting of the parking spaces and waste enclosure area.
5. Staff seeks input from the NWDP in regard to the proposed outdoor common amenity area, private open space, and other landscaping features.

ATTACHMENTS

Appendix A: Project Summary Letter

Appendix B: Design Rationale

Appendix C: Architectural and Landscape Drawings

This report was prepared by:

Dilys Huang, Development Planner

This report was approved by:

Mike Watson, Acting Supervisor of Development Planning

Appendix A

Project Summary Letter

1321 Cariboo St - City of New Westminster Project Summary Letter

City of New Westminster – Planning Department
511 Royal Avenue
New Westminster, BC V3L 1H9

The Cariboo is a secured rental building that will replace the current condemned building with a new 15-home multi-family rental building.

The proposed development is located in the Brow of the Hill which is a substantial residential neighborhood with connections to Uptown, Downtown and the West End.

This 5 storey wood-frame apartment building will provide 15 secured rental homes. The increased density and variety of homes will contribute to creating housing diversity in New Westminster. As a community-minded building, the design provides an amenity room on the top floor where residents can enjoy the best of both indoor and outdoor spaces.

This 5 storey development includes smart environmental choices such as low maintenance landscaping and durable cladding to ensure a long-lasting fresh look for the building and a space the neighborhood can take pride in.

A variance is requested for the side setback at Cariboo Street and Fourteenth Street. The side setback is decreased to 8 feet to keep our proposed development in-line with the recent development at 1306 5th avenue (DPT00012) to comply with 1.4.2 Neighborhood interface. The decreased setbacks still provide adequate space between the building and the sidewalk creates a comfortable pedestrian scale in terms of open space proportionate to the size of the building in the manner of the adjacent development. We are supporting the continuity of the public realm design within the provided building setbacks and by including softscape and hardscape.

New Westminster 150.8.7(a) parking by law for Secured rental units allow usage of 1 parking per space dwelling if any portion of the site within 400 meters of a Frequent Transit Network. The nearest bus stop to our site is located at 12 street and 5th avenue which is 400 meters away. As part of Phase two of Mayor's 10-year vision, 12 th street will be included in the Frequent Transit Network which is set to be implemented from 2020 through 2021. In addition, in correspondence with Translink Customer information services on Tuesday March 17, 2020, Translink confirmed that 12 th street is currently a transit route that has been identified as a future FTN corridor. Based on above information and as per City's advice on reducing the number of parking by taking steps to move towards car light community in keeping with Council's seven bold steps, proposed parking numbers has been reduced from 17 stalls to 8 stalls at grade. The traffic study will be provided shortly to support transportation demand based on the proposed reductions.

The proposed parking is located at grade due to an aquifer running beneath the site that makes providing underground parking cost prohibitive. As such, the design of the building can be considered a modern version of the 1960's "Dingbat" architectural form which is abundantly present in the Brow of the Hill neighborhood.

It would be my pleasure to address any questions you may have about this project.

Respectfully,

Robert Billard, Architect AIBC, LEED AP
Billard Architecture INC.
604-619-0529
Robert@BillardArchitecture.ca

Appendix B

Design Rationale

1321 CARIBOO STREET

1321 CARIBOO STREET

NEW WESTMINSTER, BRITISH COLUMBIA



Prepared by

Billard Architecture Inc.

Billardarchitecture.ca



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PROJECT INFORMATION

The Cariboo Apartments is a secured multi-family rental building designed to replace the current condemned apartment complex on the corner of Fourteenth Street and Cariboo Street.

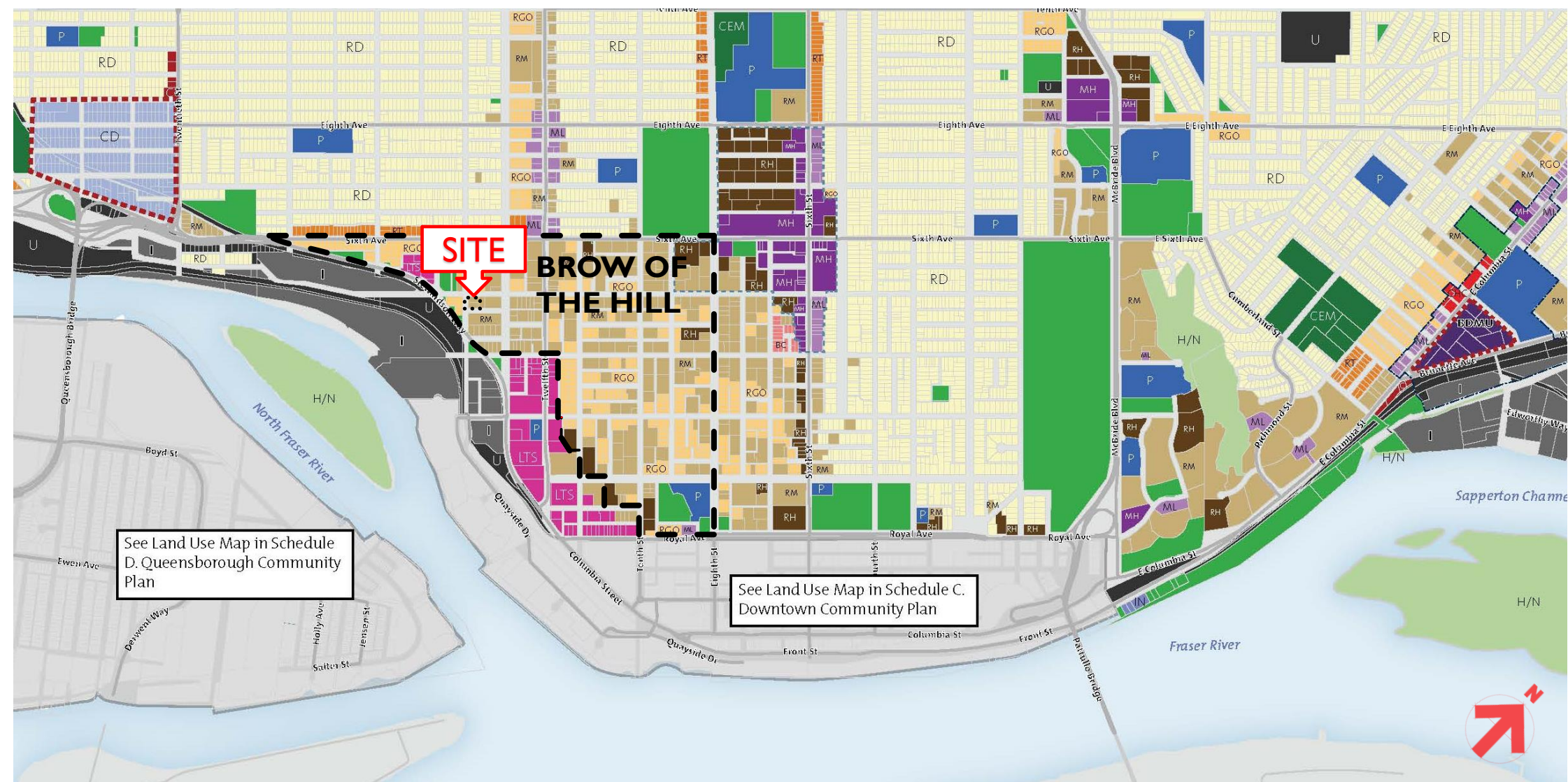
Built in an area with historically affordable rental homes, the proposed new building has 5 storeys that will provide 15 secured rental suites, 8 of them (53 %) will be adaptable units. As a community-minded building, the areas within the setbacks have been planned for the inclusion of a community garden where residents can harvest fruits, vegetables and flowers.

This project is designed to work with the existing environment by creating a comfortable pedestrian scale that transitions nicely to the adjacent properties. Modern forms inspired by new residential developments will incorporate architectural elements, details, massing, scale and exterior design that reflects, or is sympathetic to, the character and massing of the surrounding developments.

This 5 storey development includes smart environmental choices such as low maintenance landscaping and durable cladding to ensure a long-lasting fresh look for the building and a space the neighbourhood can take pride in.

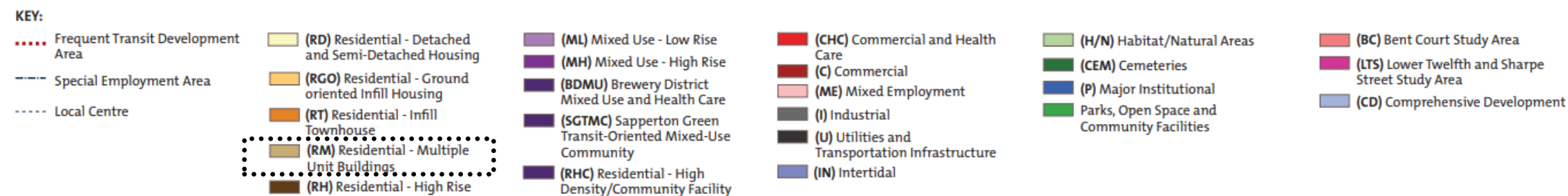
Right-sized rental apartments are designed to offer homes for all New Westminster residents based on Family Friendly Housing Policy – from young families to working professionals and active seniors.

LAND USE MAP



See Land Use Map in Schedule D. Queensborough Community Plan

See Land Use Map in Schedule C. Downtown Community Plan

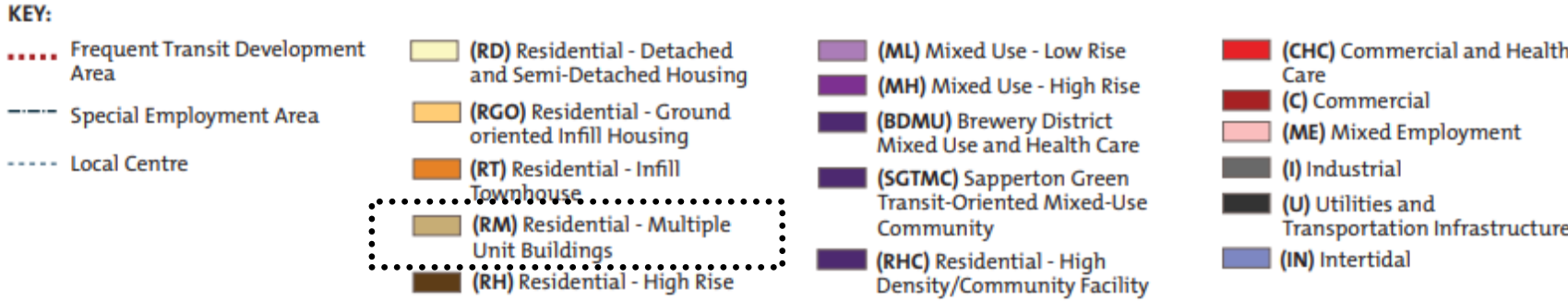
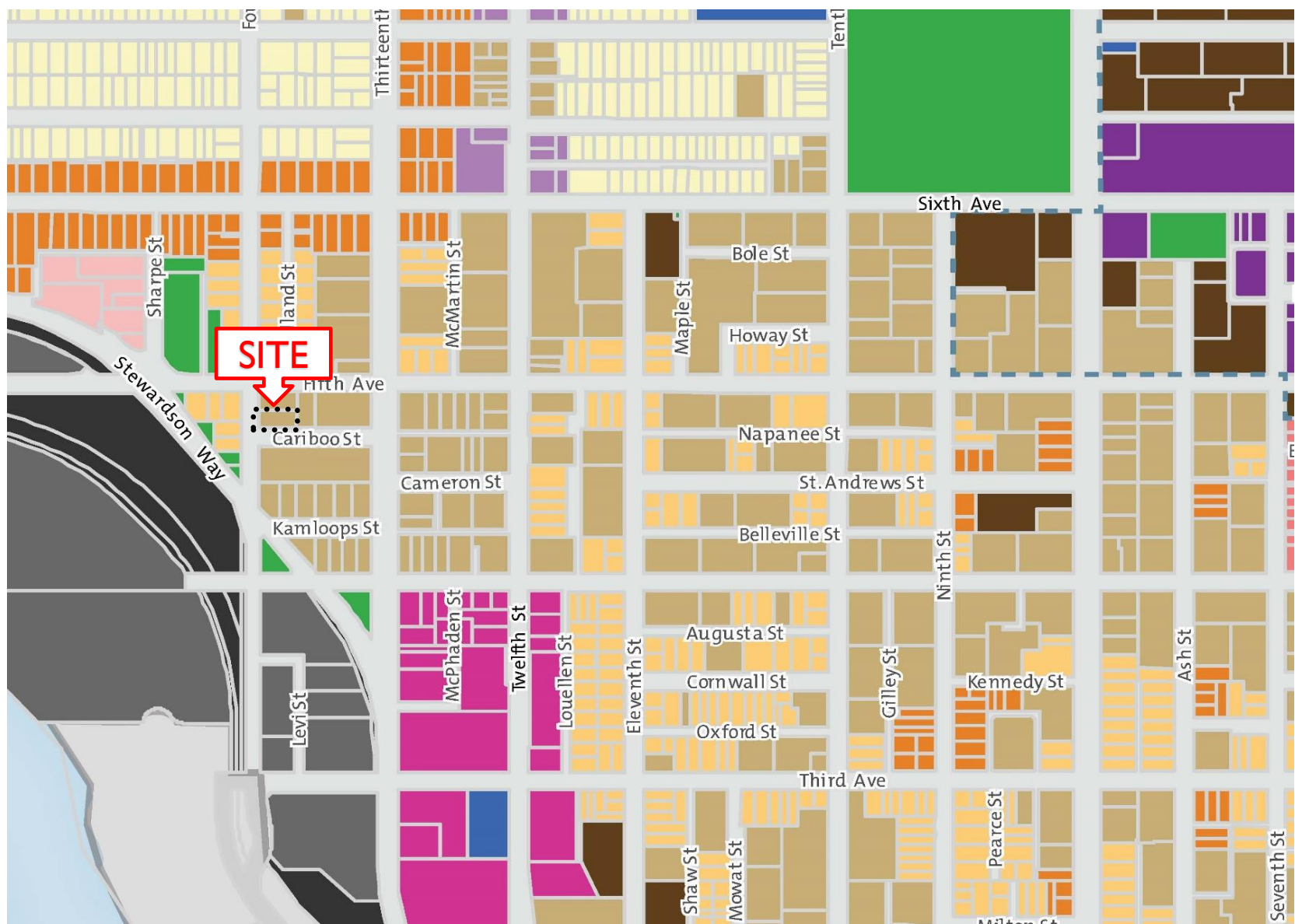


The Cariboo Apartments is located in a Residential – Multiple Unit Buildings (RM) area.

Nestled in a quiet spot of the Brow of the Hill neighbourhood, the new development continues the tradition of being a welcoming, friendly building. Community connectivity is ensured by a variety of urban mobility options in a cohesive, functional and livable neighborhood.

Development in Multi-unit Residential areas provides an opportunity for urban living that is well connected, walkable and well served by many amenities. These areas provide a critically important density and range of housing types which create an active and inclusive neighborhood.

LAND USE MAP: BROW OF THE HILL



Multiple Dwelling Districts (Low Rise) (RM-2):

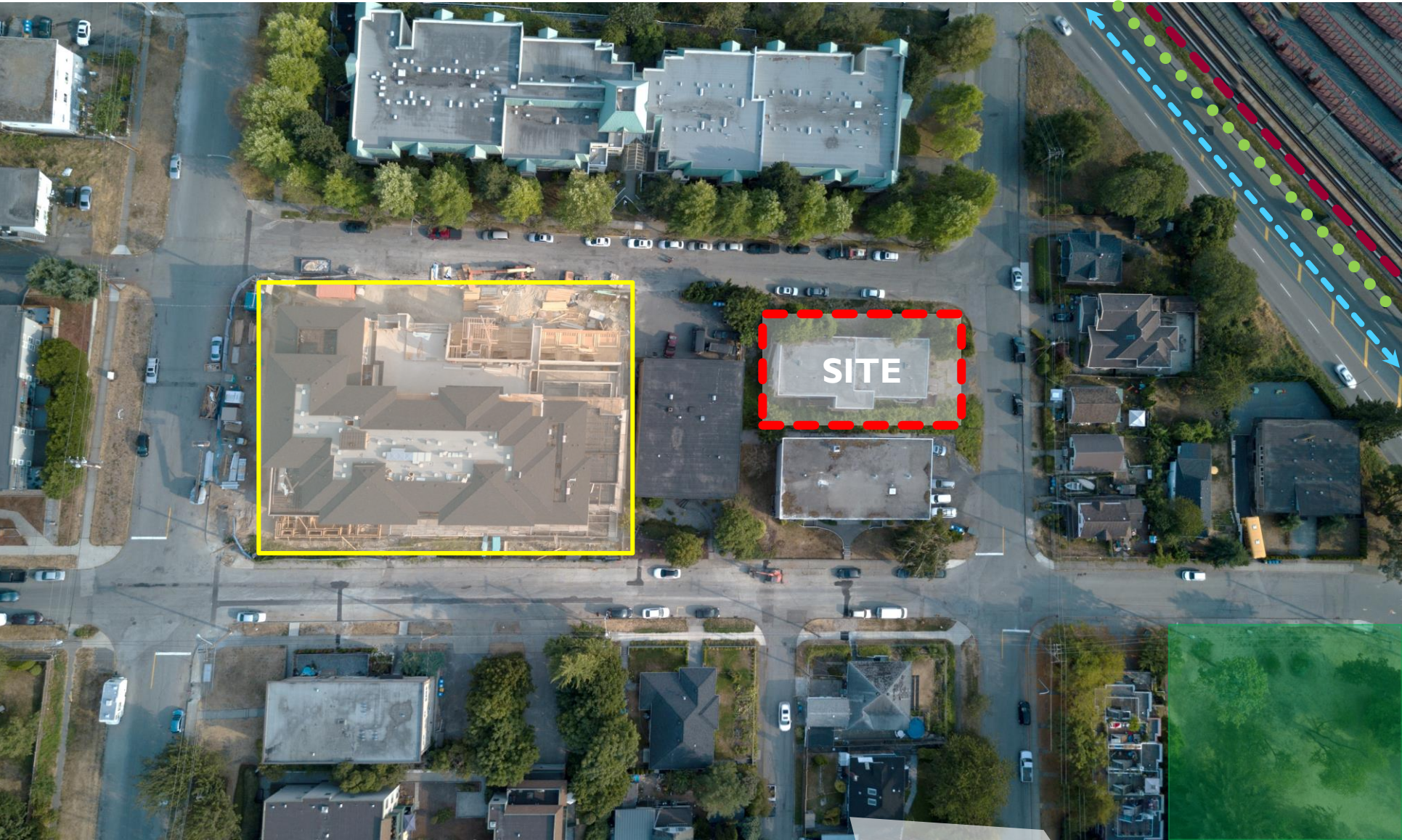
- The intent of this district is to allow low-rise apartment development with an opportunity for increased density upon amenity provision conditions being met.
- A floor space ratio of 1.2 provided that the density may be increased to a maximum floor space ratio of 1.8 pursuant to the satisfaction of the amenity conditions being met.

Density Bonus Regulations:

- The height of a building shall not exceed 45 feet (13.72 m).
- A rear yard shall be provided of not less than 20 feet (6.10 m) in depth.
- Side yards shall be provided which, in total, must equal not less than the height of the building but need not exceed 40 feet (12.19 m) in total; however, a side yard adjoining a street must not be less than 20 feet (6.10 m).
- There shall be no limit on site coverage.



SITE CONTEXT



Site Details:
Address: 1321 Cariboo Street

Site Size: 8716.00 ft² (809.71 m²)

Current Land Use: RM-2 (Low Rise)
Proposed Land Use: RM-2 (Low Rise)

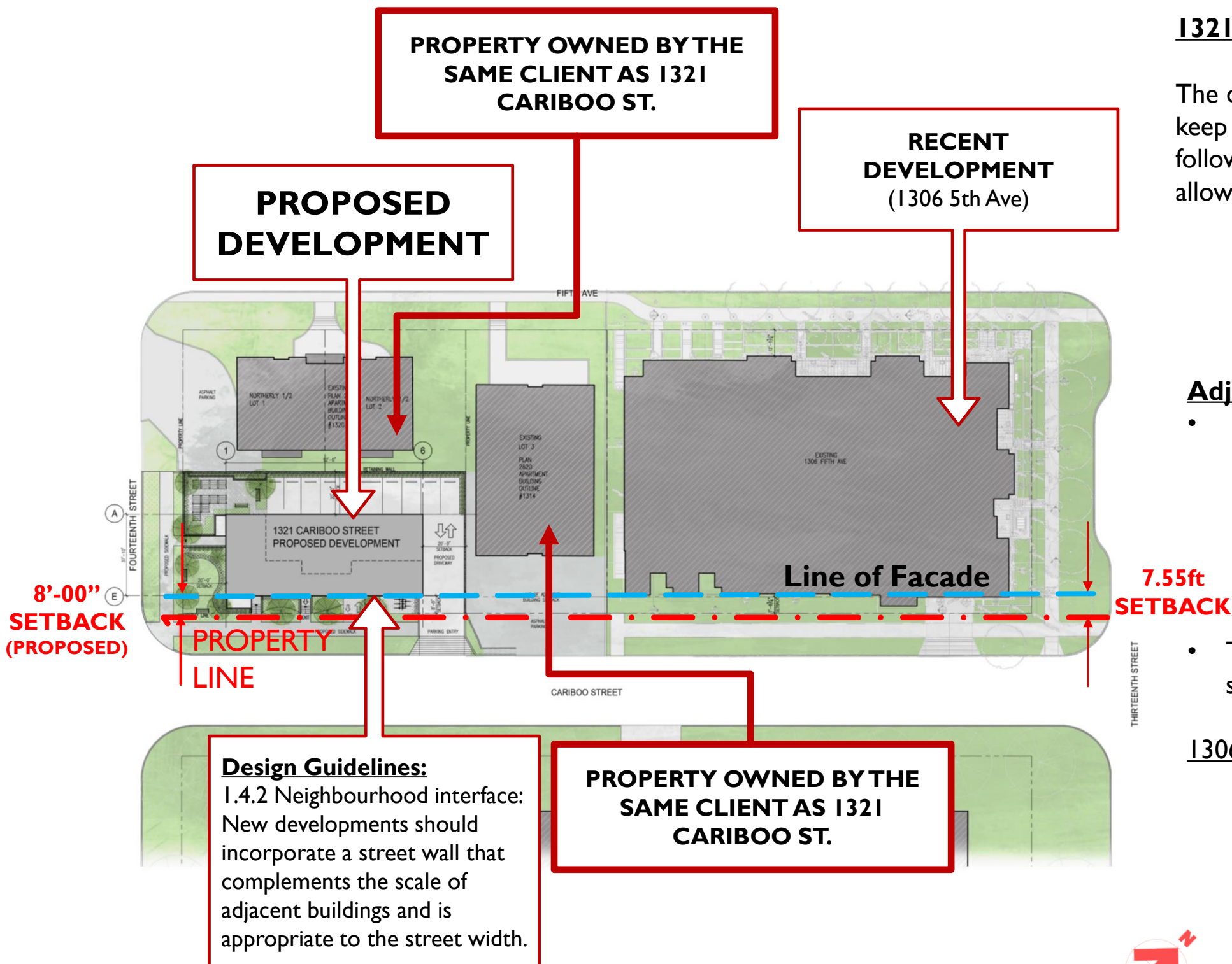
Neighbourhood Context:
Brow of the Hill is traditionally an affordable rental neighborhood. The Cariboo Apartments site is tucked into a quiet, low traffic area with public transportation closely available on Twelfth Street and Sixth Avenue, as well as a 20-minute walk to the New Westminster SkyTrain Station.

The building is in proximity to the multicultural retail shops of Twelfth Street, Downtown and the River Market.

Several parks surround the site, including the Riverside Adventure Park, Moody Park and Quayside Park. These parks provide an opportunity for families who want a quiet home and still be close to everything New Westminster has to offer.

- ←--→ Transit routes
- Bike path
- Skytrain
- Proposed development
- Park space
- Community Development

VARIANCE #1 : SETBACK RELAXATION



1321 Cariboo Street:

The development design includes a relaxation of the Cariboo Street setback to keep the building face in-line with the recent development at 1306 5th Avenue to follow design guideline 1.4.2: Neighbourhood interface. This setback relaxation also allows for more rental units in the building to help achieve the bonus density FSR.

Required Setback:	20'-0" (6.1m)
Proposed Setback:	8'-0" (2.4 m)

Adjacent Site Development:

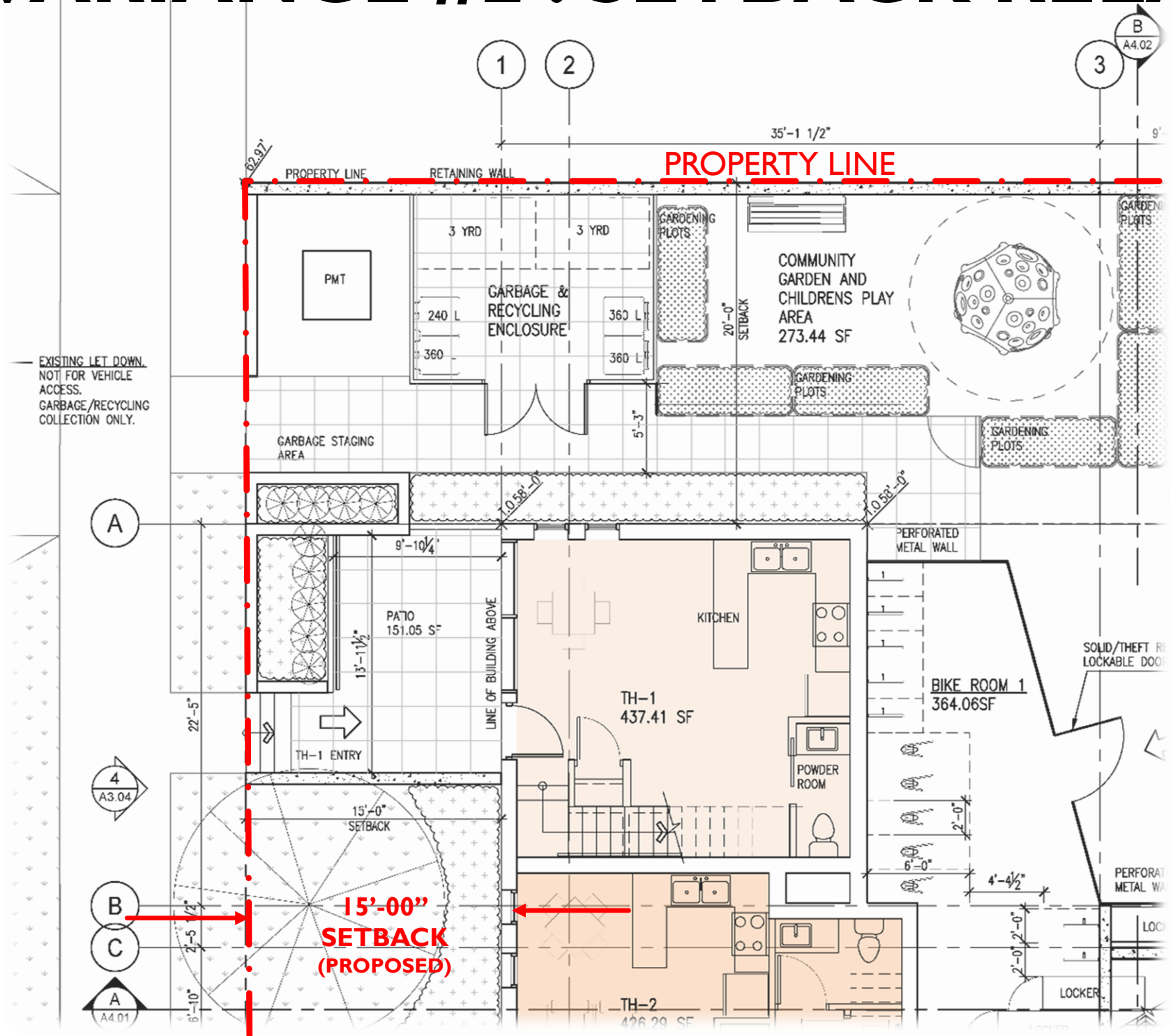
- On April 7th 2014 the Development Services Department in New Westminster City issued the report R4 which addresses Appendix 2: Zoning Amendment Bylaw NO. 7677, 2014 (Cariboo Street) regarding development permit application for 428 and 432 13th St, 1305 Cariboo St and 1308 5th Ave, and at Schedule A1305 Cariboo St CD-23 which addressed the building setbacks.
- Two of the adjacent properties are owned by the same client as the subject site 1321 Cariboo Street.

1306 5th Avenue Setbacks:

Cariboo St:	2.3m (7'-6")
13 TH St:	2.44m (8'-0")
5 TH Ave:	3.85m (12'-7")
South-West :	2.44m (8'-0")



VARIANCE #2 : SETBACK RELAXATION



Fourteenth Street:

The proposed development design includes a relaxation of the setback at Fourteenth Street to allow for more rental units in the building to help achieve the bonus density FSR. The area in the setback provides generous patio areas for the townhouses and includes lush landscaping and a public bench.

14th St (Front): 20'-0" (6.1m)

15'-0" (4.57m)



STREET CONTEXT

Current view from the intersection of Fourteenth Street and Cariboo Street:



Proposed view from the intersection of Fourteenth Street and Cariboo Street

STREET CONTEXT

Current view from Fourteenth Street:



The new development has a parking lot at grade with an entrance from Cariboo Street.

STREET CONTEXT

Current view from Cariboo Street:

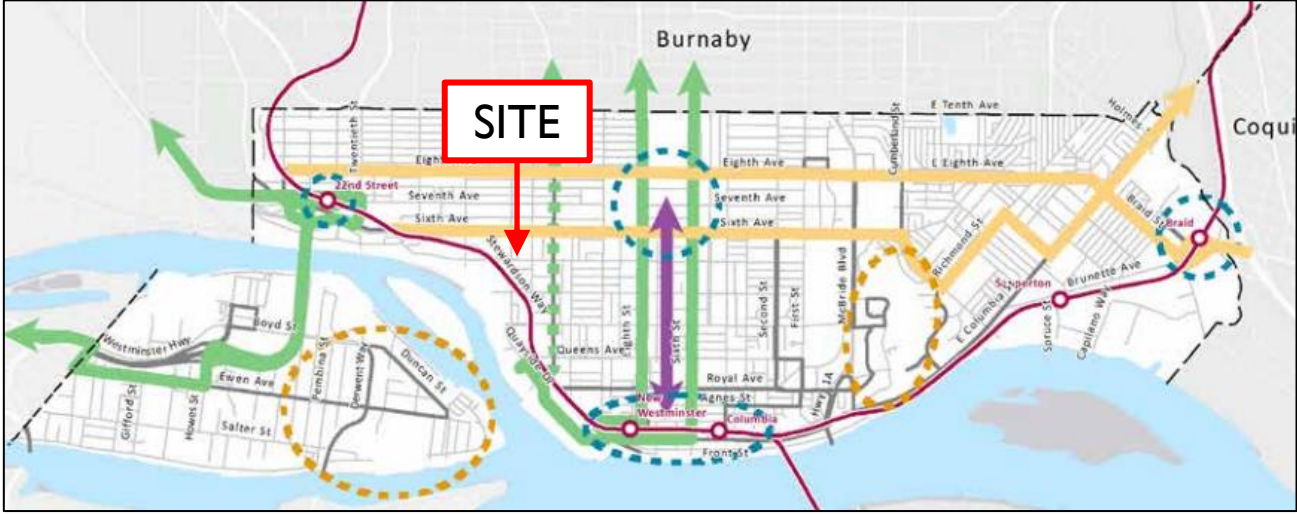


STREET CONTEXT

Proposed view from Cariboo Street:



FREQUENT TRANSIT NETWORK



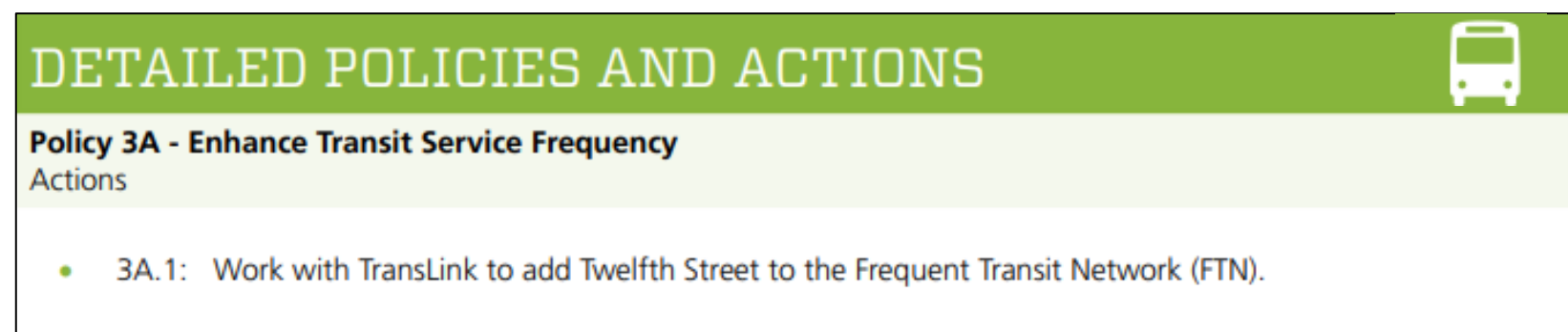
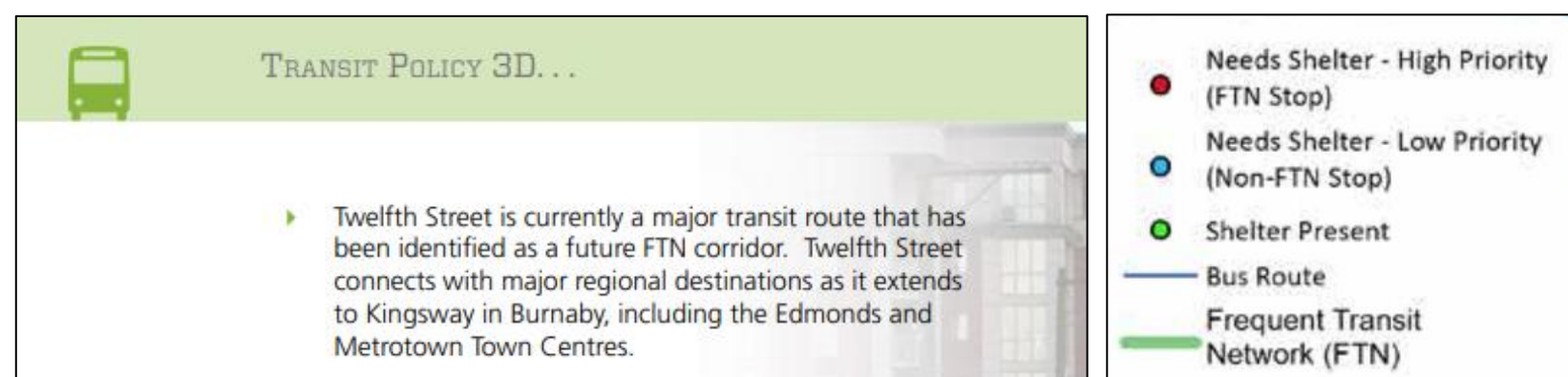
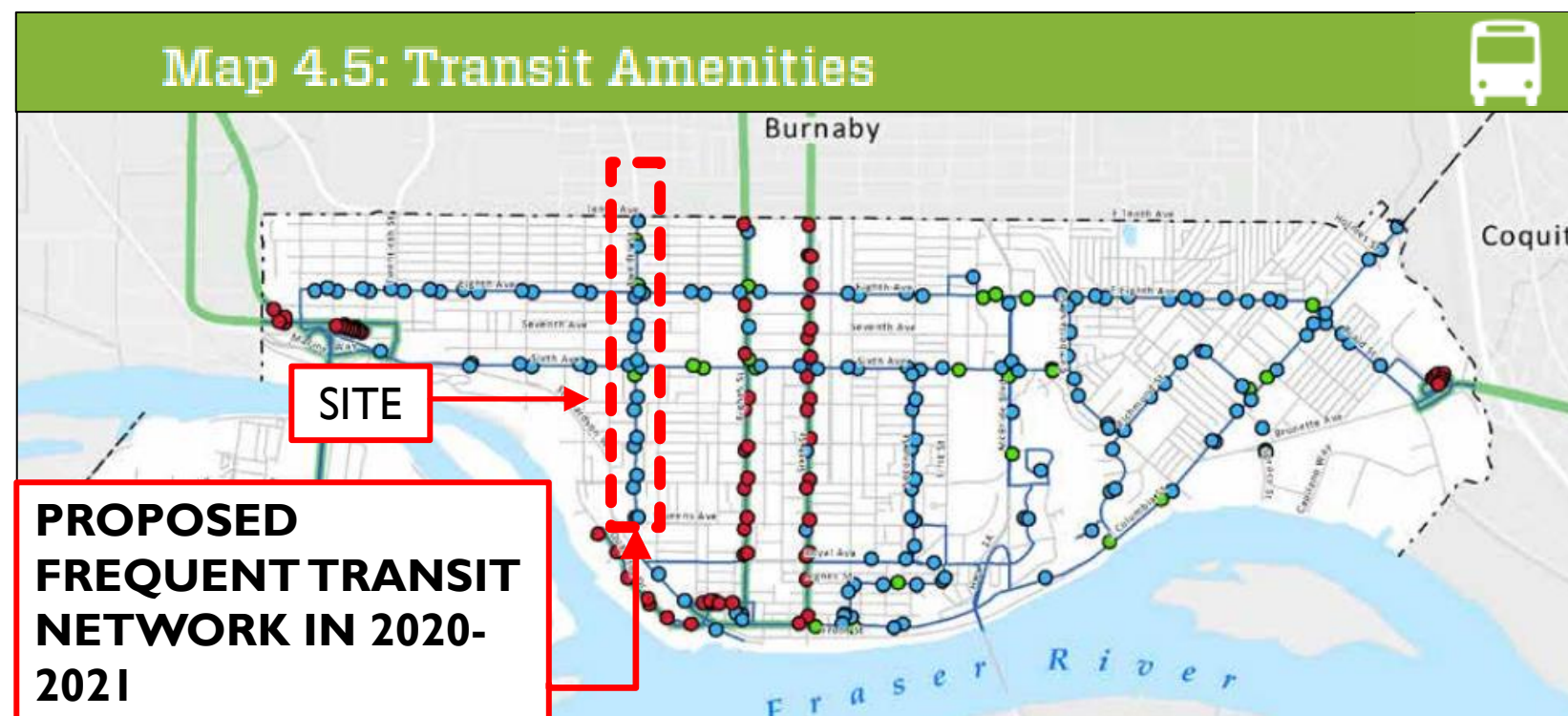
Approximately 28% of work commutes in New Westminister are taken by public transit every day. Integration of higher quality and more convenient transit connections can shift residents to optimize public transit over personal vehicles and result in a more balanced and sustainable transportation system.

Frequent Transit Networks are available throughout Metro Vancouver, including New Westminister. Frequent Transit Network routes offer service every 15 minutes throughout the day, evenings and weekends.

TRANSIT POLICY 3A ENHANCE TRANSIT SERVICE FREQUENCY

► Establishing an **additional Frequent Transit Network (FTN) route** on Twelfth Street, as Twelfth Street is an important spine in New Westminister connecting the Quayside, West End, Moody Park, and Brow of the Hill neighbourhoods, as well as providing an important connection into Burnaby's Kingsway commercial corridor and the Edmonds and Metrotown Town Centres.

FREQUENT TRANSIT POLICIES AND ACTIONS



◆ Table 4.4: Physical Characteristics of Twelfth Street

Road & Right-of-Way Characteristics	<ul style="list-style-type: none"> Classified as a City Collector One travel lane in each direction, parking on each side Traffic volumes range between 500 vehicles per hour (south end) to 1,100 vehicles per hour (north end) Delays and traffic queues at intersections with Sixth Avenue, Eighth Avenue, and Tenth Avenue Pavement width generally between 12-14.5m Right of Way typically 20m – 23m
Pedestrian Facilities	<ul style="list-style-type: none"> Sidewalk width 3-4m generally on both sides, with narrower segments 1.6-2.5m
Cycling Facilities	<ul style="list-style-type: none"> None present
Transit	<ul style="list-style-type: none"> Served by route 112 (New Westminster Station / Edmonds Station) Frequency of every 15 minutes during the day, 15-30 minutes in evenings Accessible Bus stops (primarily in north end of corridor), inaccessible bus stops primarily in the south Generally few passenger amenities available at stops

Bus Frequency:

- Bus 112 comes every 15 mins. (up and down Twelfth Street)
- Bus 101 & 155 come every 10 – 15 mins. (along Sixth Avenue)

Twelfth Street is a key corridor that connects the West End and Moody Park neighborhoods to Downtown and Brow of the Hill. Twelfth Street supports smaller neighborhood-scale retail and commercial businesses along its length, with pockets of walkable and pedestrian-oriented development. Twelfth Street also supports significant medium-higher density residential developments and connects them to the service and commercial areas on the western edge of Downtown. With these characteristics, Twelfth Street has the potential to support key activity nodes along its length.

PLANNING CONTEXT:

I.4 MULTIPLE UNITS - RESIDENTIAL

I.4.1. Opportunities:

May take the form of 3-4 storey buildings, townhouses or stacked townhouses. Comprised of a remarkably unique block structure. *Bonus density conditions applied*

I.4.2. Neighborhood Interface:

Siting: Buildings must be designed to front all streets/greenways and transition to neighboring properties by stepping massing down to create a more comfortable scale transition (See Figure 3). Buildings should respond to specific site conditions including corner lots and fit within the natural topography of the site. Should incorporate a street wall that complements the scale of adjacent buildings.

Character: All buildings should be designed in the same architectural style. Variety in materials should be avoided.

Massing & Setbacks: massing and setbacks must respond to the existing context and create a comfortable pedestrian scale and neighborhood interface. Buildings should create a variety of spatial experiences at different scales to enhance the quality of the neighborhood. Buildings with long frontages should be visually broken down to lessen the impact on the pedestrian realm and create variation along the street

Views & Shadows: Buildings should intend to reduce shadowing impact on neighboring properties and public spaces to maintain important views in the community. Orient glazing and balconies to primary and secondary street frontages to provide casual overlook of public spaces and streets. (See Figure 1)

Ventilation: Buildings should be oriented to maximize natural light and ventilation (See Figure 2). Orient the building to promote as many units as possible to have exterior walls and windows on two sides.

I.4.3 Building Design:

Facades: buildings should not look one-sided and should activate the street.

Materials: Must use cohesive material and color palette that complements the character of the neighborhood.

I.4.4 Open Space and Landscaping:

Trees and Landscaping: Integrate landscaping elements including trees, shrubs, and ground cover to improve public realm. Provide roof gardens and landscaped roofs to manage run-off, add appeal and improve energy efficiency.

I.4.6 Safety and Security:

Privacy: Design to clearly delineate between public and private spaces while creating visual connections to the public realm. Solid walls and fencing should be avoided adjacent to open space where safety is an issue. Materials must fit the architectural style.

KEY GUIDELINE CONCEPTS

Building siting must respond to the existing context and create a comfortable pedestrian scale and sensitive neighborhood interface.

I.4.3: Cohesive material and color palette that complements the character of the neighborhood.

I.4.1: 5 storeys with block structure.
I.4.2: Orient glazing and balconies to streets to provide casual overlook of public spaces.

I.4.2: Maximize natural daylight and ventilation by orienting units to have windows and balconies on exterior walls where possible.

I.4.2: Massing responding to existing context and creating a comfortable pedestrian scale but providing horizontal breaks and stepping back at the fourth floor to reduce visual impact

I.4.3: Ground-oriented units to achieve street level activation

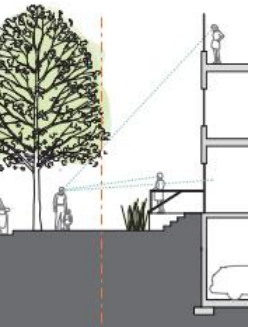


FIGURE 1

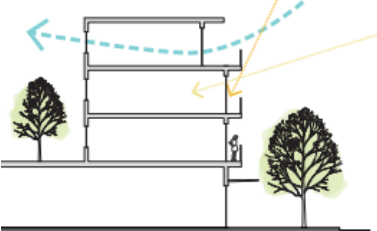


FIGURE 2

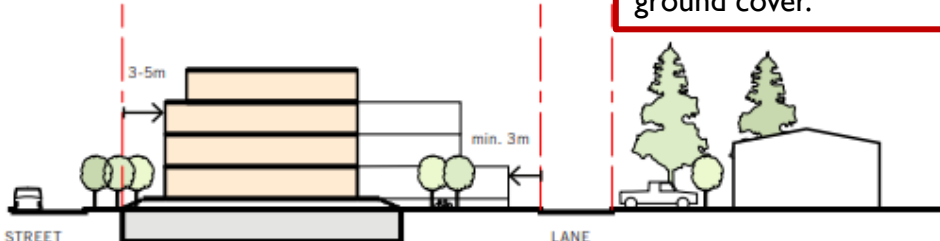


FIGURE 3

I.4.4: Landscape features: Community garden where residents grow food and enjoy outdoors.

I.4.4: Construction of sidewalk along 14th Street

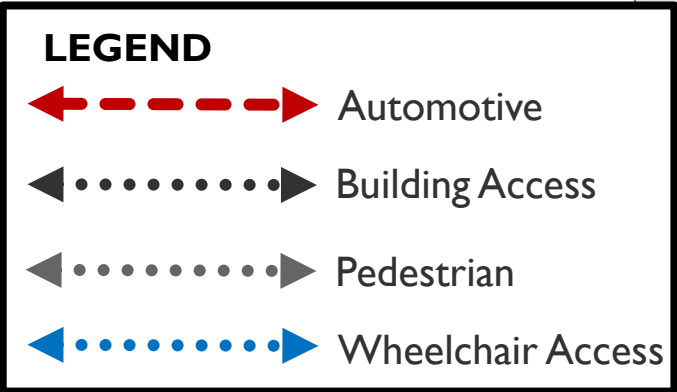
I.4.4: Integrate trees, shrubs and ground cover.

I.4.2: Long frontages should be broken down to create variation. **I.4.3:** Building should not look one-sided.

I.4.2: Respond to site conditions like corner lots and fit within the natural topography.



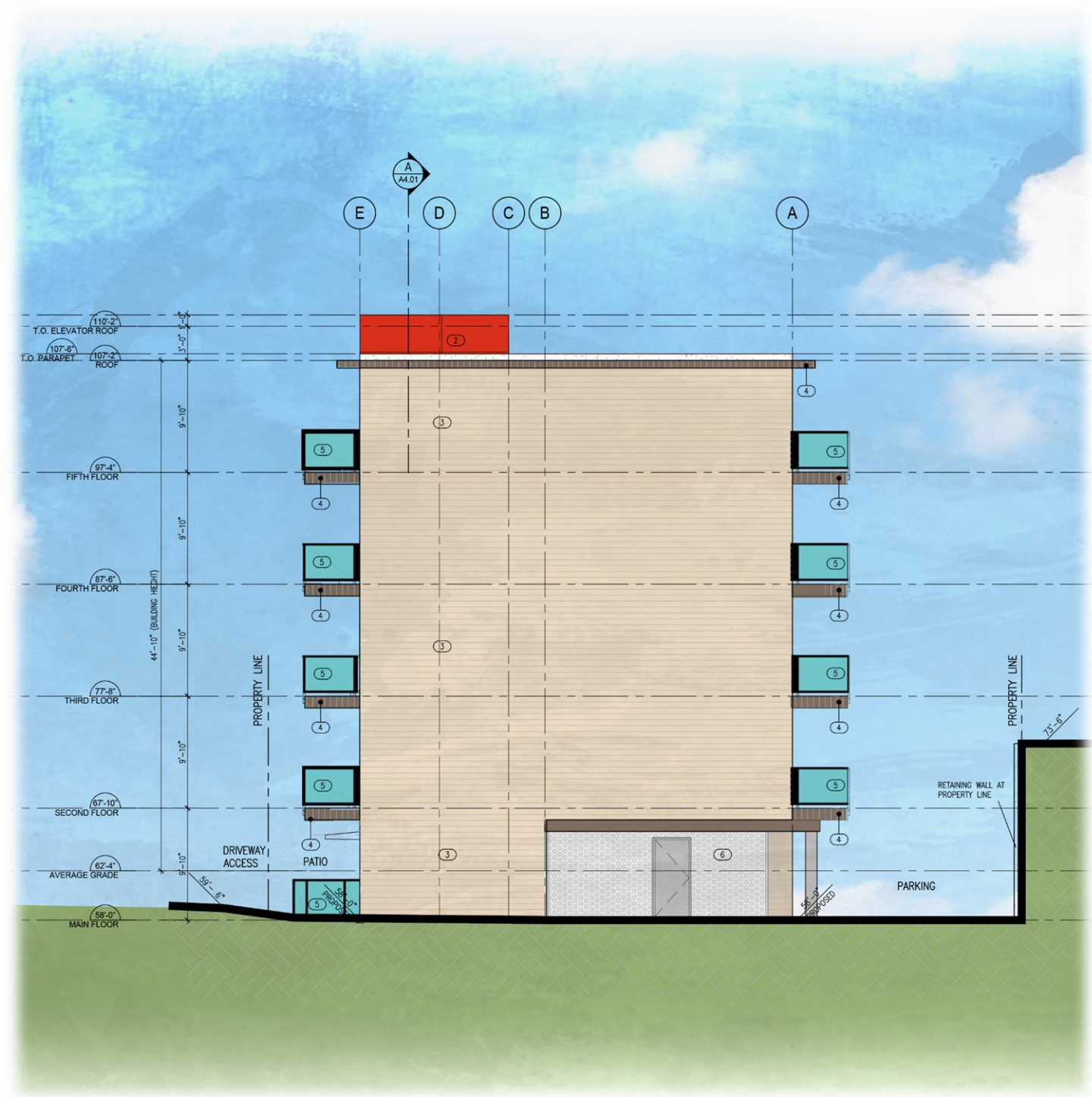
CONFIDENTIAL
[REDACTED]
[REDACTED]



ELEVATIONS – SOUTH



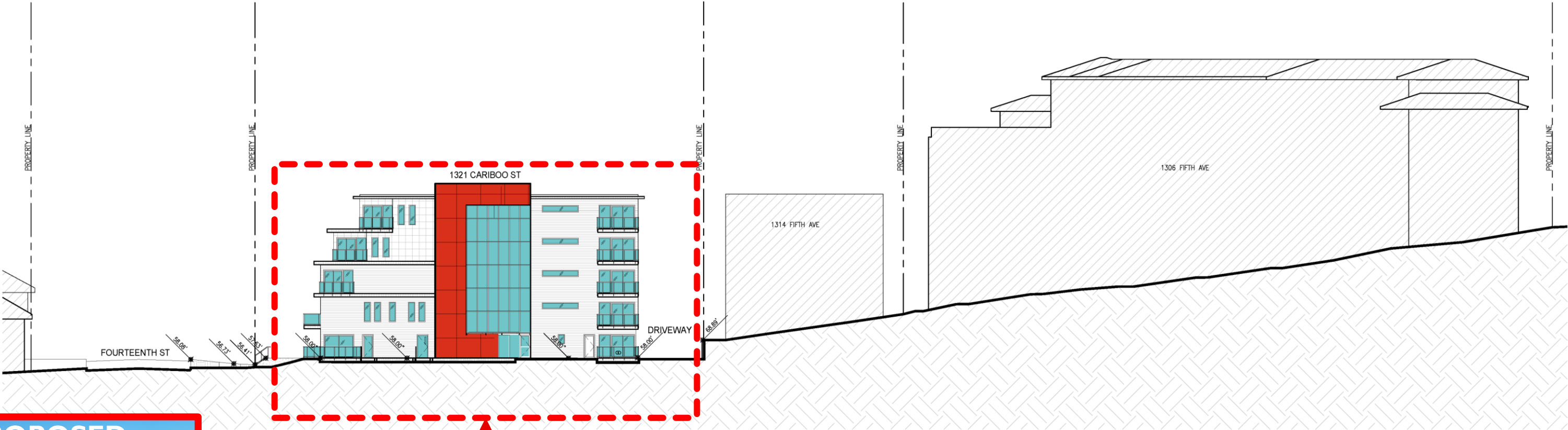
ELEVATIONS –EAST & WEST



ELEVATIONS – NORTH



CONTEXT ELEVATION – CARIBOO STREET



CONTEXT ELEVATION – FOURTEENTH STREET





COLOUR ELEVATION & MATERIAL LEGEND



**COMPOSITE
METAL PANEL-
WHITE**



**DARK BROWN
CEDAR-
VERTICAL**



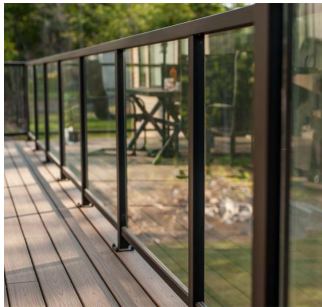
**COMPOSITE
METAL PANEL-
RED**



**PERFORATED
METAL**



**NATURAL
CEDAR
WOOD SIDING**



**ALUMINUM GUARD
RAILS WITH
TEMPERED GLASS**



DESIGN RATIONALE

Project Details

15 rental units, including 2 townhouses, to replace an existing deteriorating 2 storey low-rise multi-family building. The increased density and variety of units will contribute to creating housing diversity in New Westminster.

5-storey wood construction.

Unit Mix Includes:

1	Studio	7%
5	1 Bedroom	33%
6	2 Bedroom	40%
3	3 Bedroom	20% (including TH-2)
Total Units: 15		100%

*8 of the 15 units are Adaptable Dwellings (53%)

Zoning & Density

Existing Zoning:	RM-2 (Low Rise)
Existing Buildings:	Multi-family Apartment
Existing Height:	2 Storeys
Proposed Buildings:	Multi-family Rental Apartments
Proposed Height:	5 Storeys (44.83 ft, 13.67m)
FSR:	1.61
Site Area:	8716.00 ft ² (809.72 m ²)

FSR Breakdown:

Exclusions:	Amenity room, bike/scooter room, mechanical and electrical
Total Exclusion amount: 2033.99 ft ²	
Gross Area-Exclusions: 16206.83 ft ² – 2033.799ft ² /8716.00 ft ²	
Total FSR:	1.61

DESIGN RATIONALE

Location

Positioned in a quiet, low traffic area of Brow of the Hill in New Westminster, British Columbia.

Within 900 m (13 minutes walking)

Community Services:

- Vancouver Japanese Gospel Church
- Cartwheels and Crayons Childcare
- Riverside Adventure Park
- Fraser Montessori Special Education School

Retail:

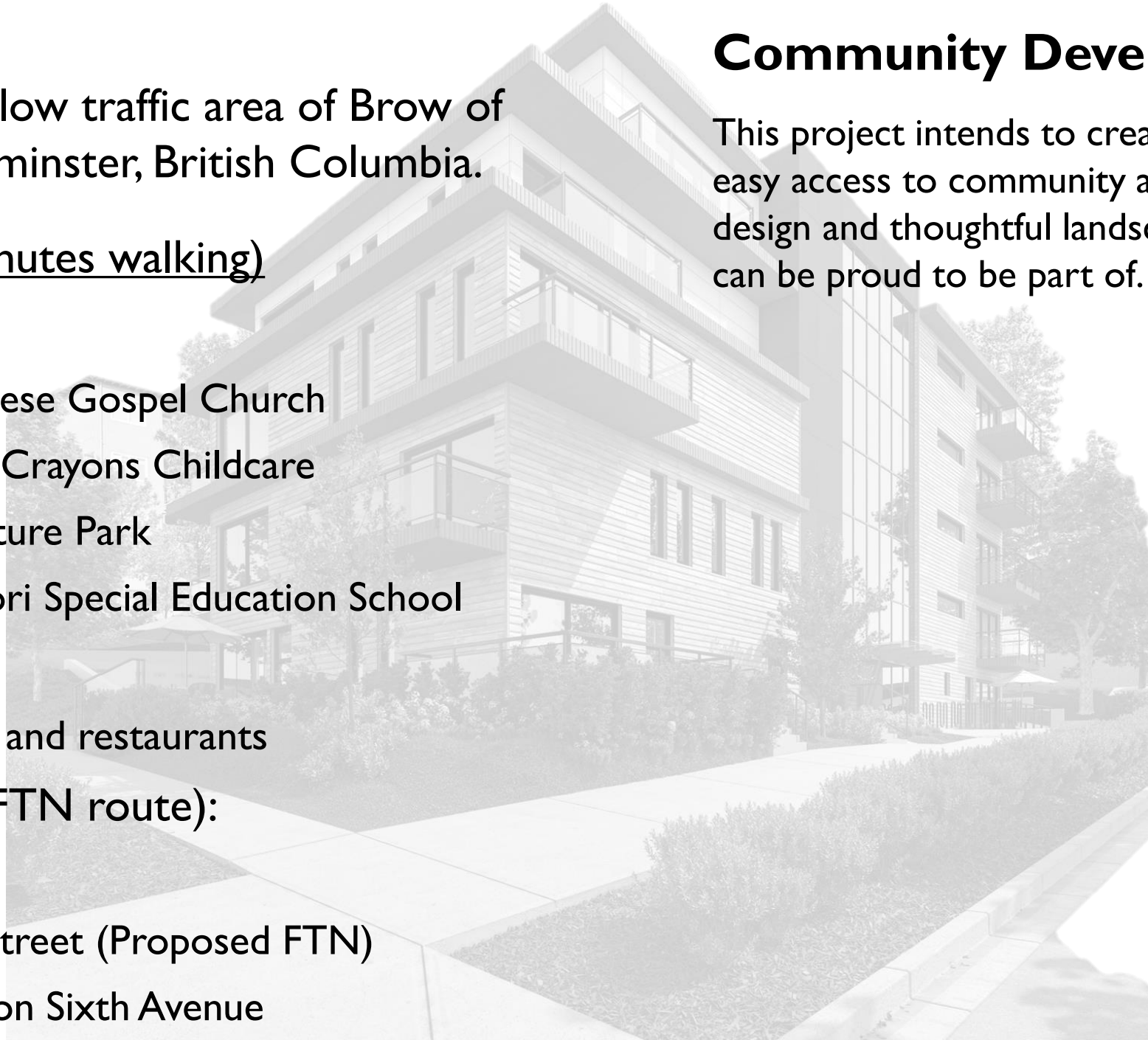
- Variety of shops and restaurants

Transit (400 m from FTN route):

- Bus Routes:
- 112 on Twelfth Street (Proposed FTN)
- #101 and #155 on Sixth Avenue

Community Development

This project intends to create a dynamic residential setting and easy access to community amenities. Providing contemporary design and thoughtful landscaping creates homes that residents can be proud to be part of.



DESIGN RATIONALE

Architecture

The Cariboo Street Secured Rental Apartment is a 5 storey wood-frame community replacing a deteriorating apartment complex at the intersection of Fourteenth Street and Cariboo Street in New Westminster, BC.

The project is designed to suit the neighborhood character of medium density, low-rise, multi-family buildings within the Apartment Block in Brow of the Hill. Taking inspiration from the neighborhood, the Cariboo Apartments enhance the aesthetic of the community by adapting cohesive styles, colors and materials from adjacent buildings and applying modern forms and materials that wrap around the entire façade to ensure the building does not look one-sided.

The design provides a bridge from the mid-century style of the nearby apartments and single-family homes to the sleek new mid-rise multi-residential developments in the neighborhood, creating a cohesive feel for the area. The form has been inspired by the “Dingbat” architecture that is very prevalent in the predominately rental neighborhoods. Natural materials such as wood and metal panels are utilized in the modern massing of the building to create a new but familiar bridge between designs along Cariboo Street and Fourteenth Street.

The main floor is designed to achieve ground level activation by providing ground-oriented units while creating visual connections to the public realm and provide adequate parking that will be available at grade.

Residents will enjoy outdoor amenity spaces that include community garden, seating area and lush low-maintenance landscaping at the building perimeter.



DESIGN RATIONALE

Traffic & Parking

Access to ground level parking is available from Cariboo Street. 8 parking spaces are available for tenants including an EV parking along with a car-sharing parking . Street parking is available for visitors. This development includes ample bicycle storage located on the ground level in a secured bicycle room.

Access to tenant garbage and recycling is located on-site in an area that is enclosed on three sides on the ground level along with a staging area located on Cariboo Street.

The construction of a sidewalk on the 14th street up to 5th avenue will be supported to achieve the pedestrian connectivity.

Parking Breakdown:

Required Parking: 17 Spaces

Total Proposed Parking Spaces:

- 8 Spaces
 - 2 Compact
 - 1 Accessible
 - 6 Standard EV

Bicycle Parking Breakdown:

Required Bicycle Parking: 22 Spaces

Total Proposes Bicycle Parking:

- 22 Spaces
 - 5 Horizontal
 - 9 Vertical
 - 5 Bike Lockers
 - 3 Short Term





DESIGN RATIONALE

Climate Emergency Steps

In March 2019, The City of New Westminster established seven bold steps and new climate action budgeting framework in response to the climate emergency to guide the process with the goal of moving New Westminster towards a zero carbon future by 2050.

“Our immediate response to the climate emergency is crucial. In order to reduce our greenhouse gases significantly, we need to keep climate top of mind as we plan our budget and prioritize items on our strategic plan.”

- Mayor Jonathan X. Côté.

The 2020 Climate Action Budgeting Framework builds on New Westminster’s climate emergency declaration earlier this year, as well as the 2019 – 2022 Strategic Plan. The framework and related principles will guide staff efforts to align City resources with Council’s direction and help drive the 2020 budget process. Included in the framework is an equity lens to ensure focused climate action for New Westminster’s vulnerable residents.

7 Bold Steps

1. Carbon Free Corporation
2. Car Light Community
3. Carbon Free Homes and Buildings
4. Pollution Free Vehicles
5. Carbon Free Energy
6. Robust Urban Forest
7. People-Centred Public Realm

“These seven steps are vital in helping us view our strategic plan through a climate emergency lens. We feel aggressive action is required to achieve the targets we’ve set to achieve net zero emissions by 2050”

- Lisa Spitale, Chief Administrative Officer at the City of New Westminster

DESIGN RATIONALE

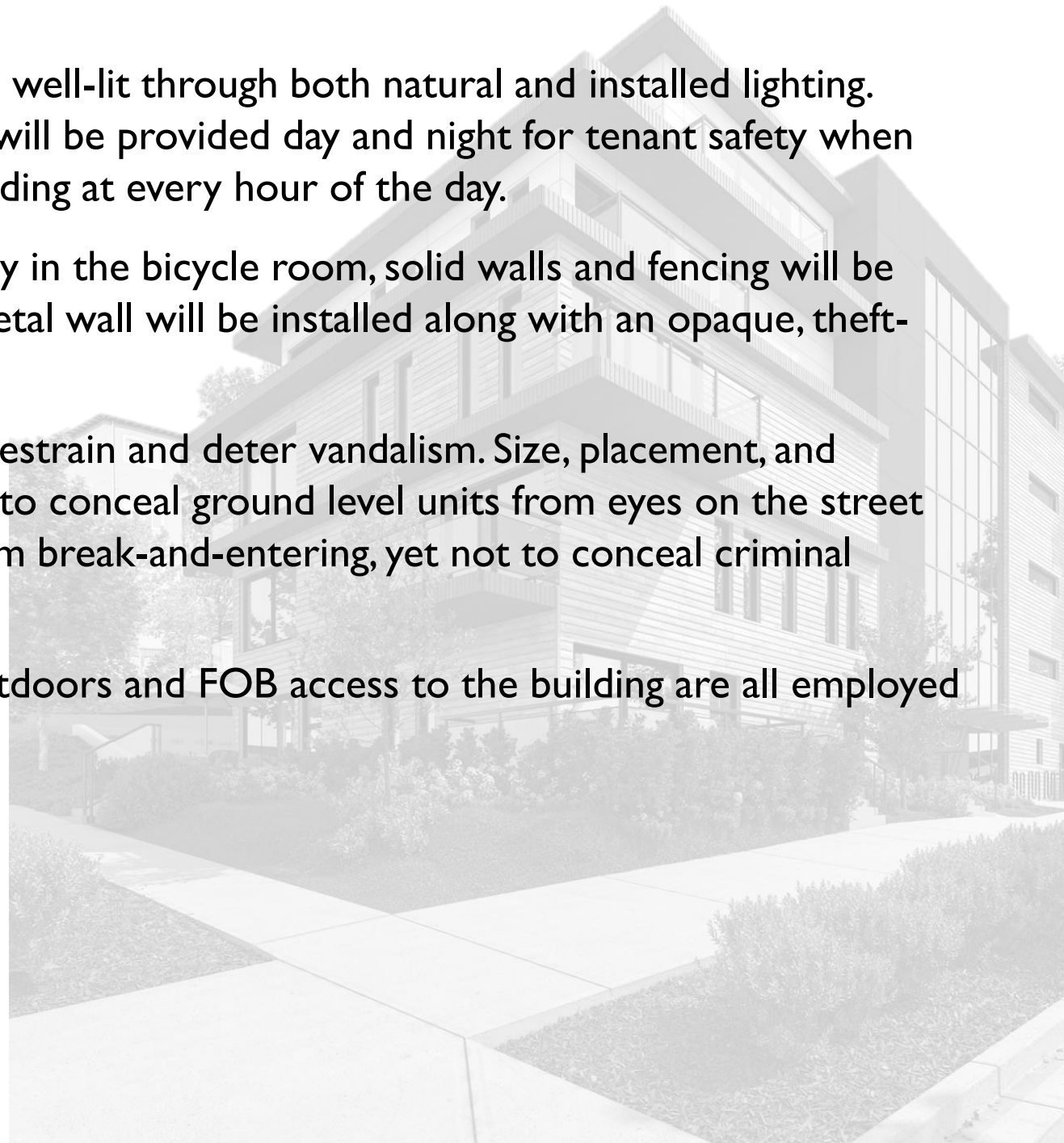
Crime Prevention

All communal spaces will be well-lit through both natural and installed lighting. Entrance and lobby lighting will be provided day and night for tenant safety when entering and exiting the building at every hour of the day.

To ensure safety and security in the bicycle room, solid walls and fencing will be avoided and a perforated metal wall will be installed along with an opaque, theft-resistant entry door.

Landscaping is designed to restrain and deter vandalism. Size, placement, and selection of plants are used to conceal ground level units from eyes on the street and to protect openings from break-and-entering, yet not to conceal criminal activity.

Motion detected lighting outdoors and FOB access to the building are all employed to ensure resident safety.



DESIGN RATIONALE

Sustainable Design

The Cariboo Apartments are in an ideal location to optimize the use of sustainable, environmentally friendly transit options such as city buses, SkyTrain, walking and cycling. The use of these transit options will reduce the vehicular traffic and need for parking, therefore creating a safer more pleasant environment.

Existing trees and green spaces in the community, along with newly planted greenery will provide the neighbourhood with adequate tree cover to reduce the impact on the surfaces felt from climate change, aid in reduction of greenhouse gases and reduce the risk of heat-related illnesses.

A rainwater management plan that is cost effective and resilient will be set in place to alleviate flooding from heavy rainfall due to climate change. This plan is an integrated approach to support population growth, environmental regulations, constrained drinking water sources and recreational water quality in a way that yields benefits to the community.

This design will employ a variety of sustainable strategies, including:

- Environmentally friendly transit options:
 - Walking
 - Biking
 - Cycling
 - SkyTrain
- Green Materials/Appliances:
 - High-efficiency lighting, appliances, heating and cooling systems
 - Effective glazing (low-EI, argon filled, thermally-broken windows with films located on 2nd and 3rd face dependant on solar exposure)
 - Long lasting, durable, graffiti resistant cladding materials
- Water Conservation:
 - Zero-irrigation native plants for landscaping
 - Rainwater management plan
 - Low-flow water fixtures
- High-level recycled content
- FSC stewardship for wood-framed buildings
- Zero-to-low VOC content

STATISTICS SUMMARY			
	Required / Allowed		Proposed
Site Area	-		809.72 SM (8716.00 SF)
Lot Coverage	-		(206.21 SM) 25.47%
FSR	1.2 (Up to 1.8 if satisfaction of amenity conditions set out in 2.190.49)		1.61 (1300.91 SM)
Storeys			5
Building Height	13.72M (Density Bonus Height)		13.67M
Number of Units			15
Parking	17		8
Setbacks	Front (Cariboo St.)	6.10m (20 FT)	VARIANCE 2.43M (8 FT)
	Rear	6.10m (20 FT)	6.10M (20 FT)
	Side (14 th St.)	6.10M (20 FT)	VARIANCE 4.57M (15 FT)
	Side	6.10M (20 FT)	6.10M (20 FT)

PROJECT DATA INFORMATION

AREAS	GROSS AREA (INCLUDING CORE AND CIRCULATION)		RESIDENTIAL GROSS AREA		SERVICE AREAS (ELEC/MECH/GARBAGE)		BIKE / SCOOTER ROOMS/UNIT STORAGE		OPEN SPACES (PATIOS AND BALCONIES)		ADAPTABLE DWELLING		AMENITY	
FLOOR	SQ FT	SQ M	SQ FT	SQ M	SQ FT	SQ M	SQ FT	SQ M	SQ FT	SQ M	SQ FT	SQ M	SQ FT	SQ M
1	2219.70	206.21	1302.69	121.02	0.00	0.00	546.21	50.74	670.50	62.29	0.00	0.00	0.00	0.00
2	3687.67	342.58	2733.51	253.94	383.98	35.67	0.00	0.00	252.87	23.49	1377.91	128.01	0.00	0.00
3	3687.67	342.58	2679.07	248.89	0.00	0.00	383.98	35.67	249.50	23.18	1858.14	172.62	0.00	0.00
4	3500.17	325.17	2891.63	268.63	0.00	0.00	0.00	0.00	240.45	22.34	2069.25	192.23	0.00	0.00
5	3111.62	289.07	1794.23	166.68	0.00	0.00	0.00	0.00	285.92	26.56	0.00	0.00	718.56	66.75
TOTAL	16206.83	1505.61	11401.13	1059.16	383.98	35.67	930.19	86.41	1699.24	157.86	5305.30	492.86	719.82	66.75

TOTAL NUMBER OF UNITS	15	
UNIT MIX	# OF UNITS	% BREAKDOWN
STUDIO	1	7%
1 BEDROOM	5	33%
2 BEDROOM	6	40%
3 BEDROOM	3	20%
TOTAL	15	100%

SETBACKS			
	REQUIRED	PROPOSED	REFERENCE
FRONT (CARIBOO ST.)	20 FT	2.43M (8 FT)	Density Bonus Setback
REAR	20 FT	6.1 M (20 FT)	Density Bonus Setback
SIDE (14TH ST.)	20 FT	4.57M (15 FT)	Density Bonus Setback
SIDE	20 FT	6.1 M (20 FT)	Density Bonus Setback

ADAPTABLE DWELLING UNITS EXCLUSION			
1 BEDROOM	7	1.85 SM (19.90 SF)	139.30
2 BEDROOM	1	2.80 SM (30.14 SF)	30.14
ADP	8	53%	169.44

FSR		
FLOOR AREAS	SQ FT	SQ M
GROSS AREA	16206.83	1505.61
FSR EXCLUSIONS	2033.99	
ADP EXCLUSION	169.44	15.74
TOTAL	14003.40	1300.91
FSR	1.61	1.61

FSR EXEMPTION BREAKDOWN		
FLOOR AREAS	SQ FT	SQ M
AMENITY	719.82	0.00
BIKES/ STORAGE	930.19	86.41
MECH/ELEC	383.98	35.67
TOTAL	2033.99	122.09

SITE & ZONING INFO		
SITE AREA	SQ FT	SQ M
	8716.00	809.72
EXISTING ZONE	RM-2	
LOT COVERAGE	SQ FT	SQ M
FOOTPRINT	2219.70	206.21
% COVERAGE	25.47%	25.47%

HEIGHT		
	ALLOWED	PROPOSED
BUILDING	45 ft (13.72 M)	44.83 ft (13.67 M)

PROJECT DATA INFORMATION

RESIDENTIAL FLOOR BREAKDOWN

FLOOR	AREA	GROSS AREA (SQ FT)	GROSS AREA (SQ M)	# OF BEDROOMS	ADAPTABLE UNITS
1	TOWNHOUSE				
	TH-1	437.41	40.64		
	TH-2	426.29	39.60		
	DWELLING UNIT				
	UNIT 101	438.99	40.78	STUDIO	
	FLOOR TOTAL	1302.69	121.02		0

FLOOR	UNIT #	GROSS AREA (SQ FT)	GROSS AREA (SQ M)	# OF BEDROOMS	ADAPTABLE UNITS
2	201	820.93	76.26	2	ADAPTABLE
	202	556.98	51.74	1	ADAPTABLE
# OF UNITS	2	1377.91	128.01		2
	TOWNHOUSE				
	TH-1	721.07	66.99	2	
	TH-2	634.53	58.95	3	
	TOWNHOUSE TOTAL	1147.36	106.59		
	FLOOR TOTAL	2733.51	253.94		2

FLOOR	UNIT #	GROSS AREA (SQ FT)	GROSS AREA (SQ M)	# OF BEDROOMS	ADAPTABLE UNITS
3	301	820.93	76.26	2	
	302	556.98	51.74	1	ADAPTABLE
	303	505.25	46.94	1	ADAPTABLE
	304	795.91	73.94	2	ADAPTABLE
# OF UNITS	4	2679.07	248.89		3

FLOOR	UNIT #	GROSS AREA (SQ FT)	GROSS AREA (SQ M)	# OF BEDROOMS	ADAPTABLE UNITS
4	401	822.38	76.40	2	
	402	559.36	51.96	1	ADAPTABLE
	403	546.74	50.79	1	ADAPTABLE
	404	963.15	89.48	3	ADAPTABLE
# OF UNITS	4	2891.63	268.63		3

FLOOR	UNIT #	GROSS AREA (SQ FT)	GROSS AREA (SQ M)	# OF BEDROOMS	ADAPTABLE UNITS
5	501	822.38	76.40	2	
	502	971.85	90.28	3	
# OF UNITS	2	1794.23	166.68		0

150.8.7

PARKING RESIDENTIAL

REQUIRED PARKING (NEW WESTMINSTER)		UNITS	STALLS	REFERENCE
RESIDENTIAL STUDIO/1 BED/2 BED/3 BED	1.0 /UNIT	15	15	150.8.7 (a)
VISITOR	0.1/UNIT	15	2	150.8.7 (c)
*ACCESSIBLE	1 FOR EVERY 15 SPACES		1	150.72
LOADING CLASS A	N/A	N/A	N/A	160.3
TOTAL RESIDENTIAL STALLS REQUIRED			17	STALLS REQUIRED
TOTAL (WITH 53% REDUCTION)**			8	PROPOSED

*FOR EVERY 15 SPACES, 1 MUST BE ACCESSIBLE

**APPLIED REDUCTIONS ARE BASED ON CLOSED PROXIMITY TO A FREQUENT TRANSIT NETWORK , CAR SHARE PROVISIONS, SECURE BIKE STORAGE, EV PARKING REDUCTIONS.

1 ACCESSIBLE

150.8.7

PARKING RESIDENTIAL BREAKDOWN

REQUIRED PARKING (NEW WESTMINSTER)		UNITS	PROPOSED	REFERENCE
COMPACT	2.44M X 4.57M	30% MAX.	2	150.8.7(a)
STANDARD	2.74M X 5.33M		6	150.72
CAR SHARE	2.74M X 5.33M		0	150.74
*ACCESSIBLE	3.90M X 5.50M		1	150.72
TOTAL			8	STALLS PROPOSED

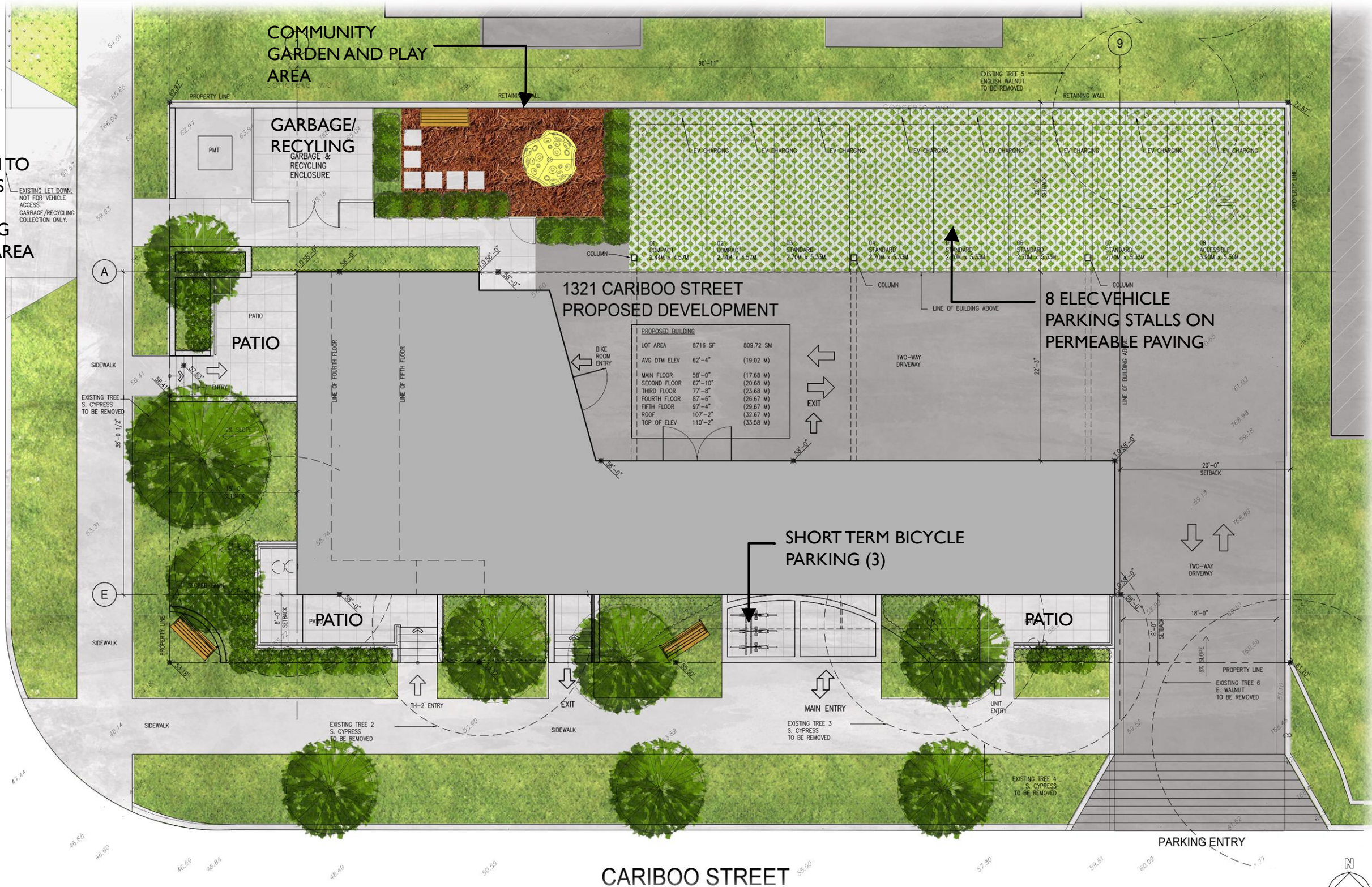
BICYCLE PARKING (NEW WESTMINSTER)		UNITS	STALLS	REFERENCE
BICYCLE PARKING REQUIRED	1.25 / UNIT	15	19	155.5
BICYCLE LOCKERS (MIN. 20%)			4	155.5 (g)
VERTICAL STALLS (MAX 50%)			9	155.5(f)
TOTAL			19	STALLS REQUIRED
			BIKE ROOM-LOCKERS	5 STALLS PROPOSED
			BIKE ROOM - HORIZONTAL	5 PROPOSED
			BIKE ROOM - VERTICAL	9 PROPOSED
			SHORT TERM	3 PROPOSED
			TOTAL	22 PROPOSED

BICYCLE PARKING BREAKDOWN (NEW WESTMINSTER)		PROPOSED	REFERENCE
BICYCLE LOCKERS (MIN. 20%)	0.6 M x1.8 M	5	155.5
LONG TERM WALL HUNG	0.6 M x1.0 M	9	155.5
HORIZONTAL	0.6 M x1.8 M	5	
SHORT-TERM	0.6 M x1.8 M	3	155.6
TOTAL		22	STALLS PROPOSED

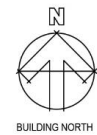
SITE

EXISTING CURB LETDOWN TO BE USED AS GARBAGE/RECYCLING STAGING AREA

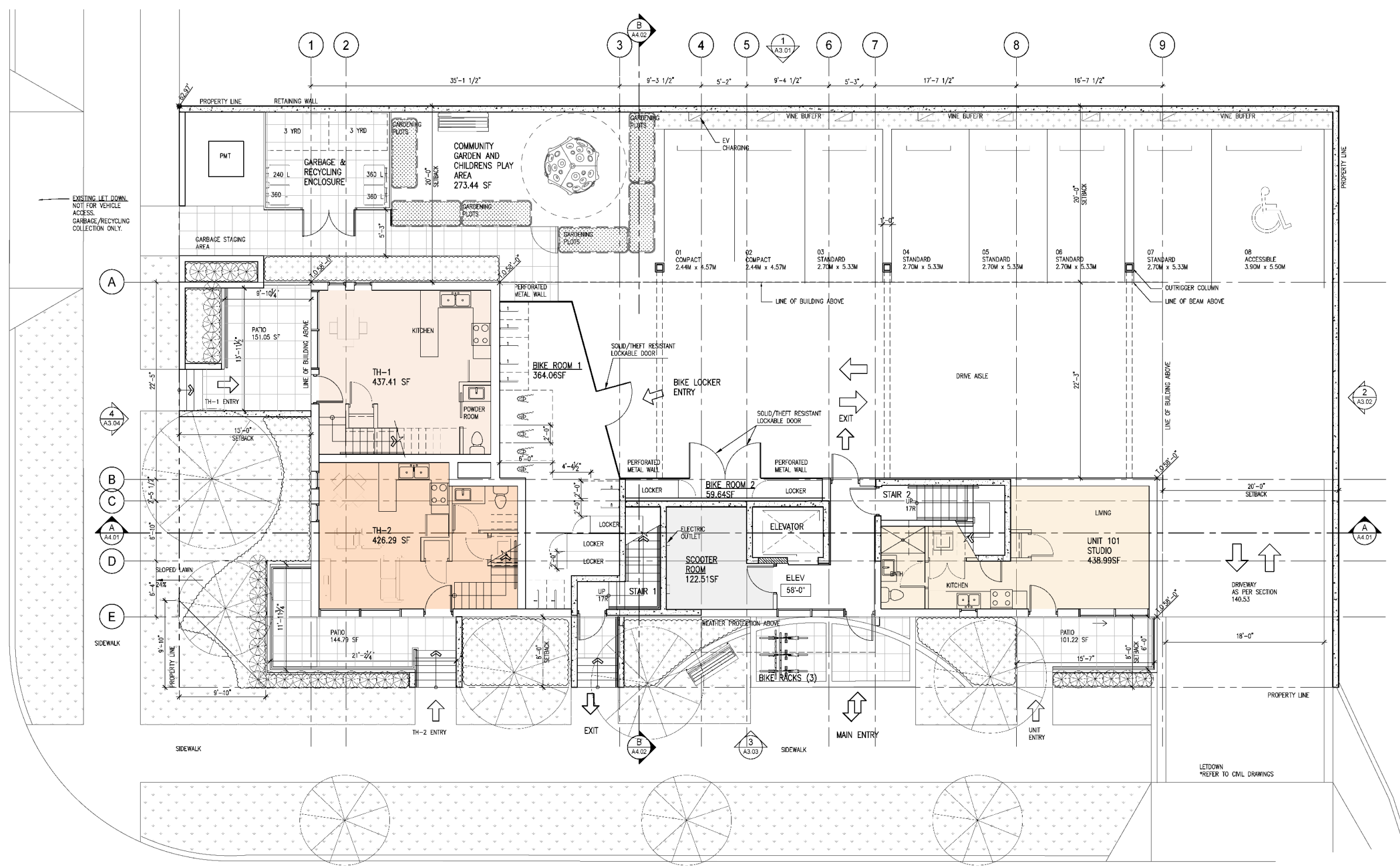
FOURTEENTH STREET



CARIBOO STREET

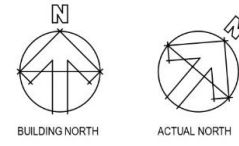


MAIN FLOOR

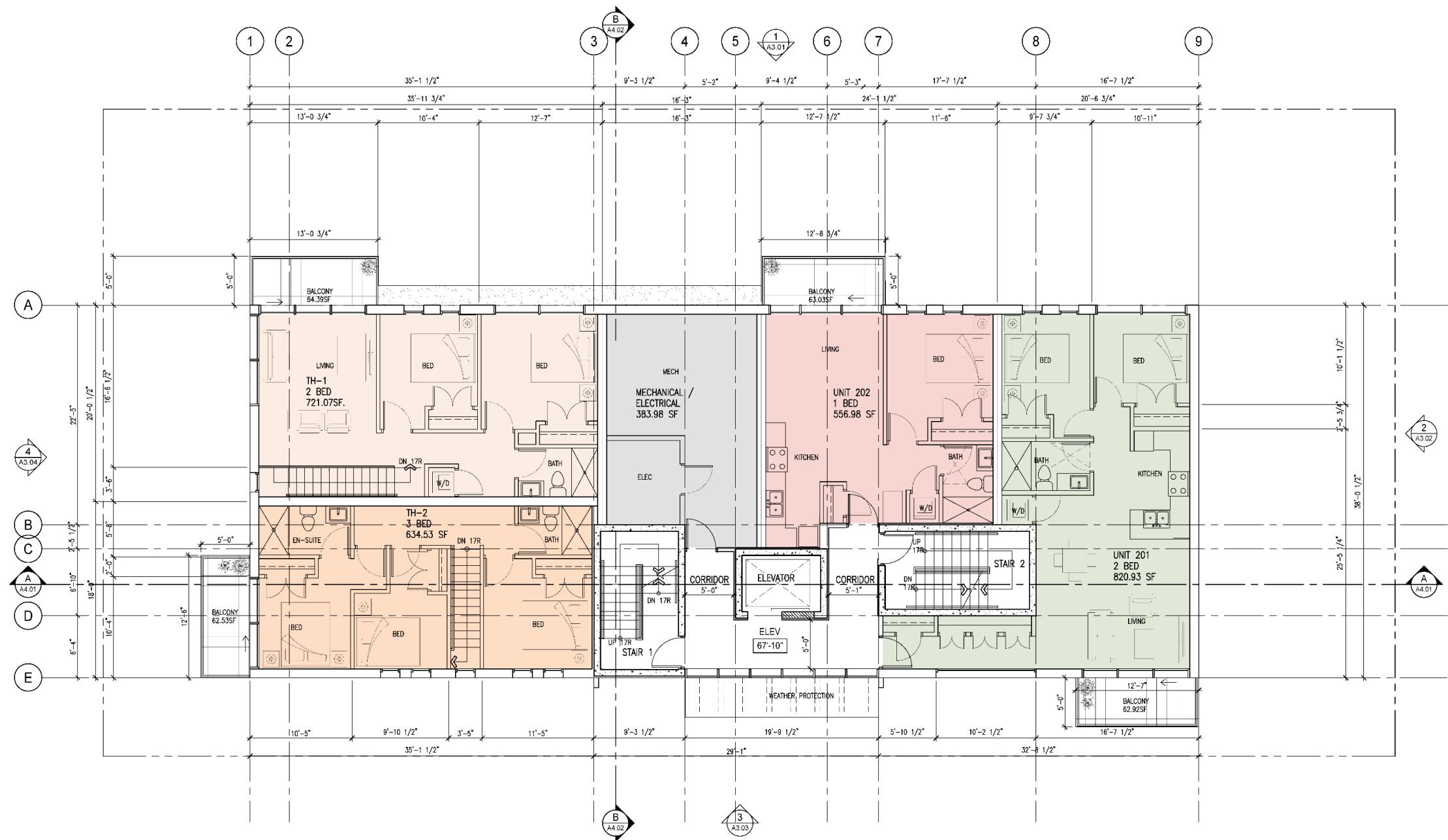


LEGEND:

- STUDIO
- 1 BED
- 2 BED
- 3 BED
- TH-1
- TH-2
- MECH/ELEC

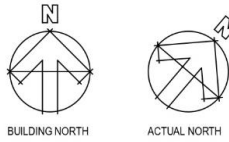


SECOND FLOOR

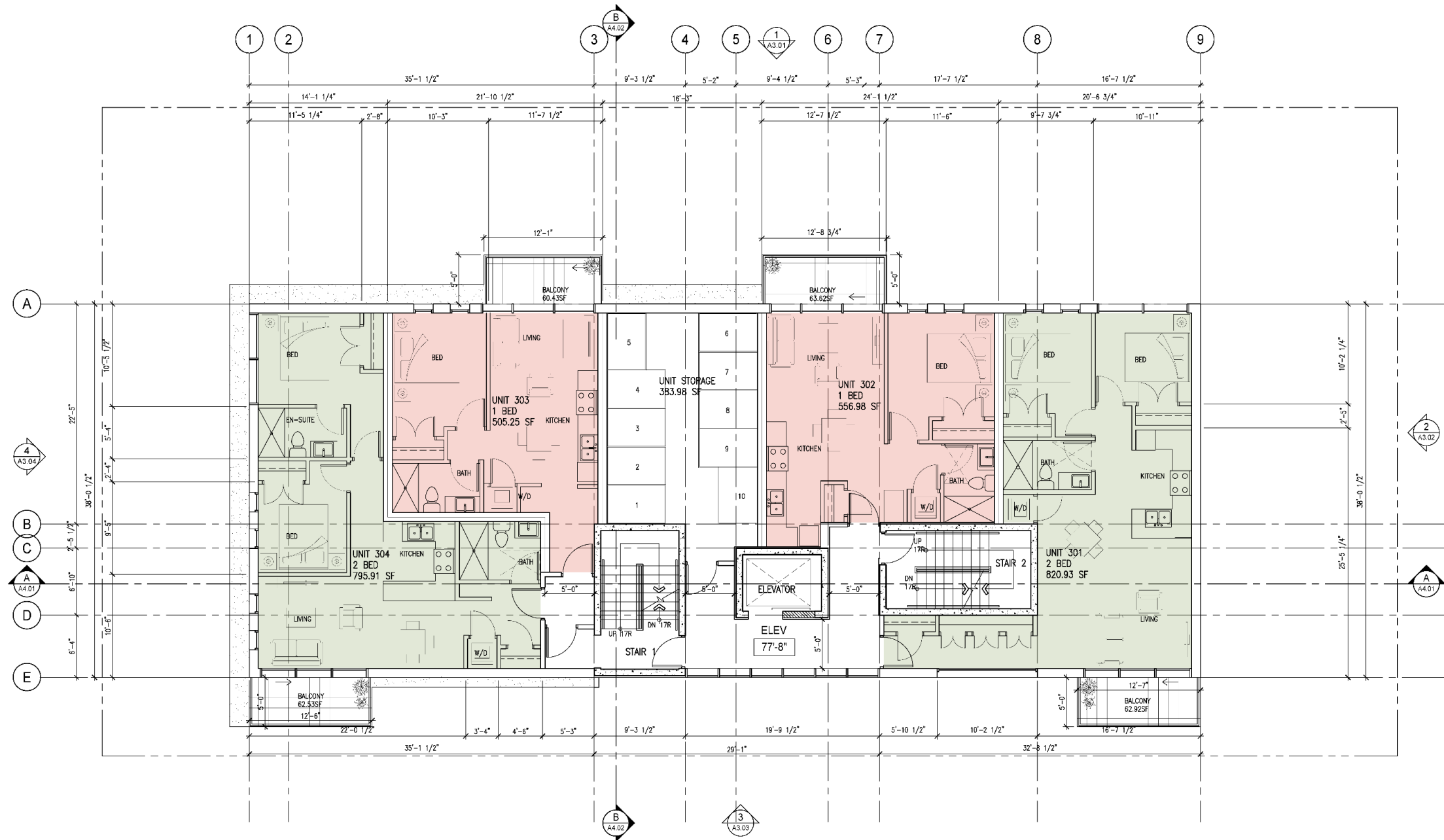


LEGEND:

- STUDIO
- 1 BED
- 2 BED
- 3 BED
- TH-1
- TH-2
- MECH/ELEC

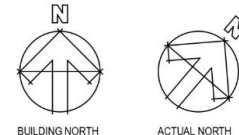


THIRD FLOOR

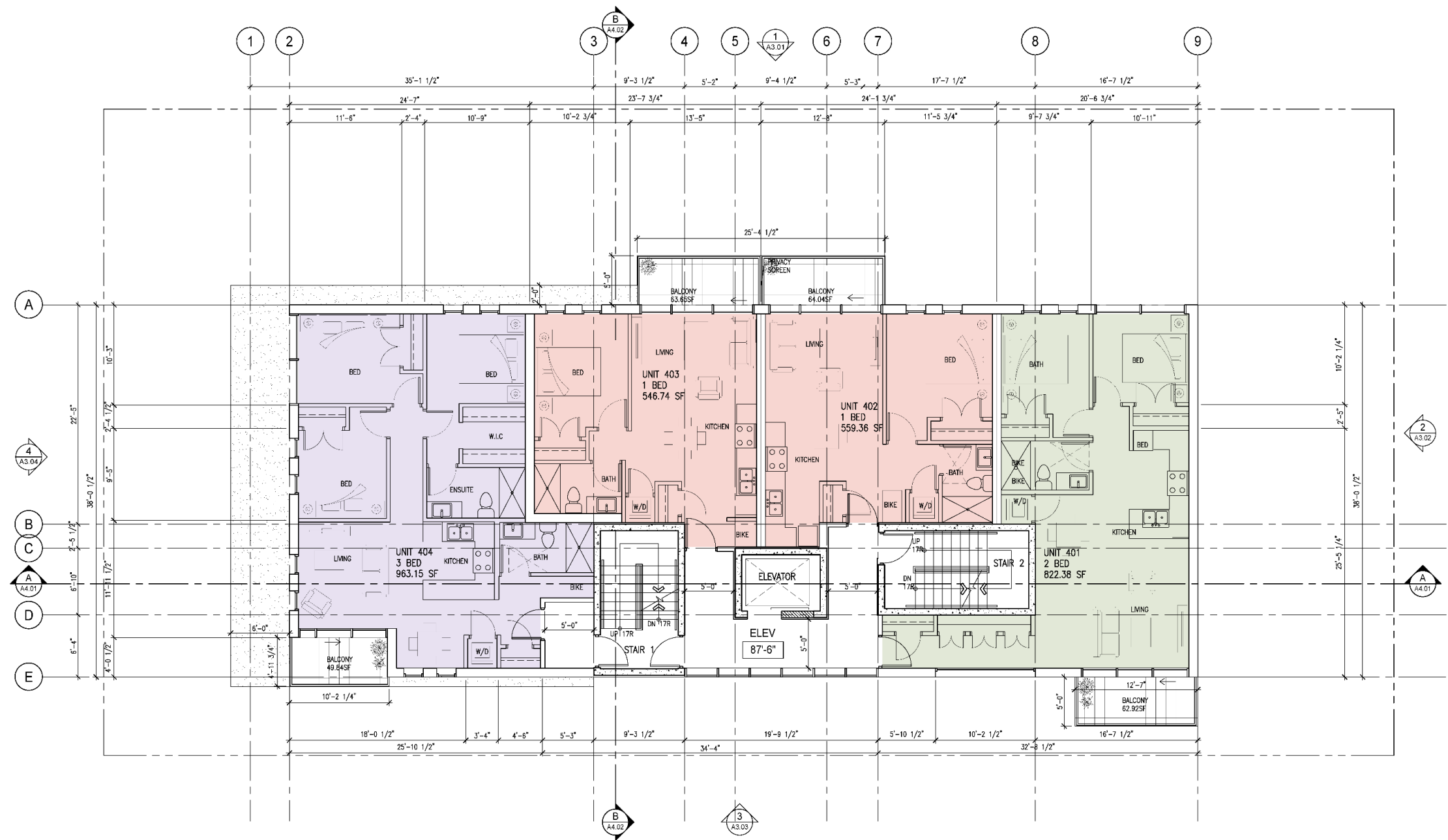


LEGEND:

- STUDIO
- 1 BED
- 2 BED
- 3 BED
- TH-1
- TH-2
- MECH/ELEC

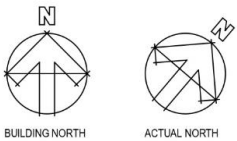


FOURTH FLOOR

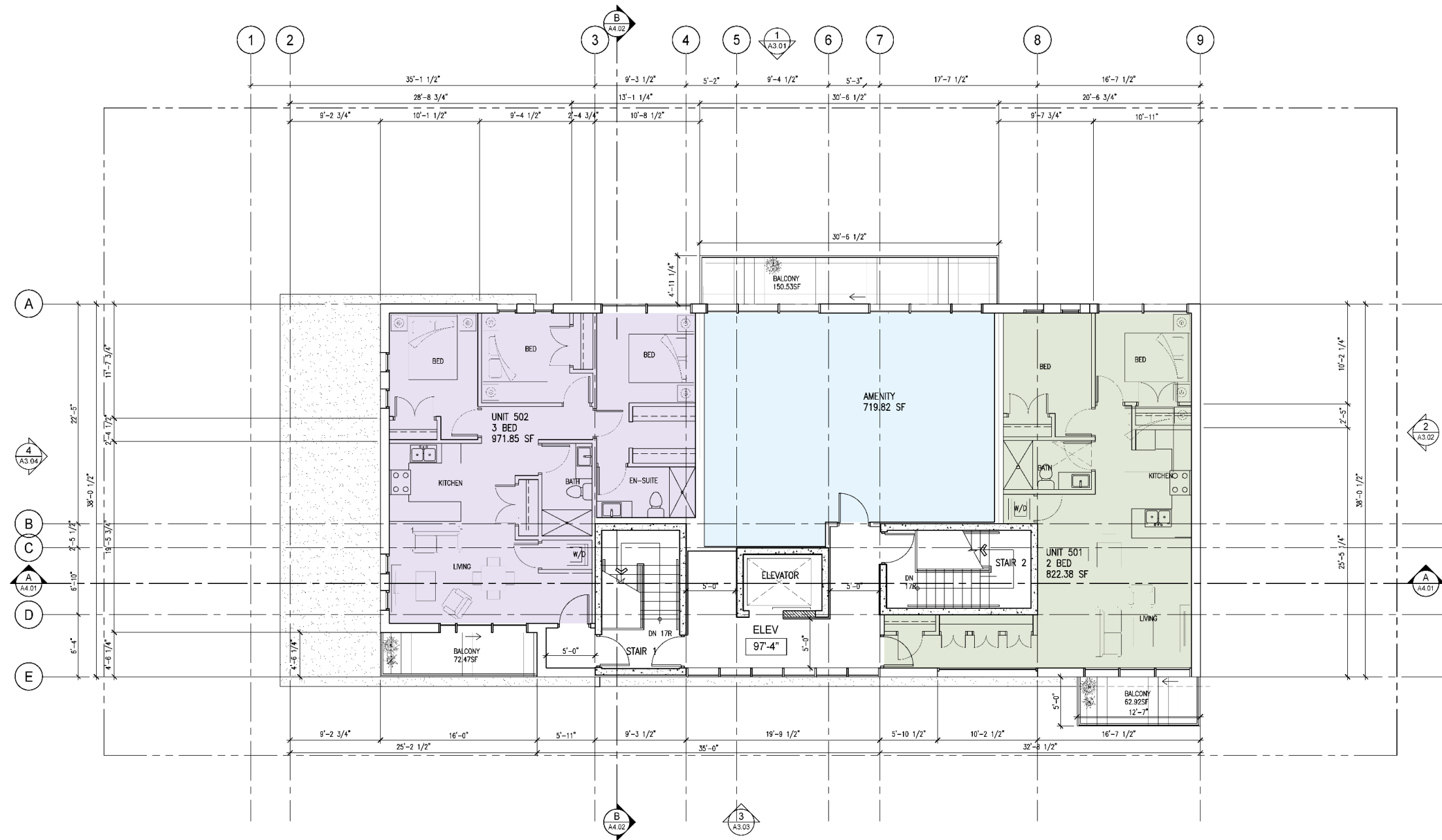


LEGEND:

- STUDIO
- 1 BED
- 2 BED
- 3 BED
- TH-1
- TH-2
- MECH/ELEC

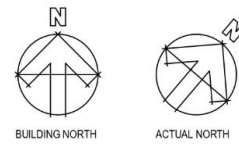


FIFTH FLOOR

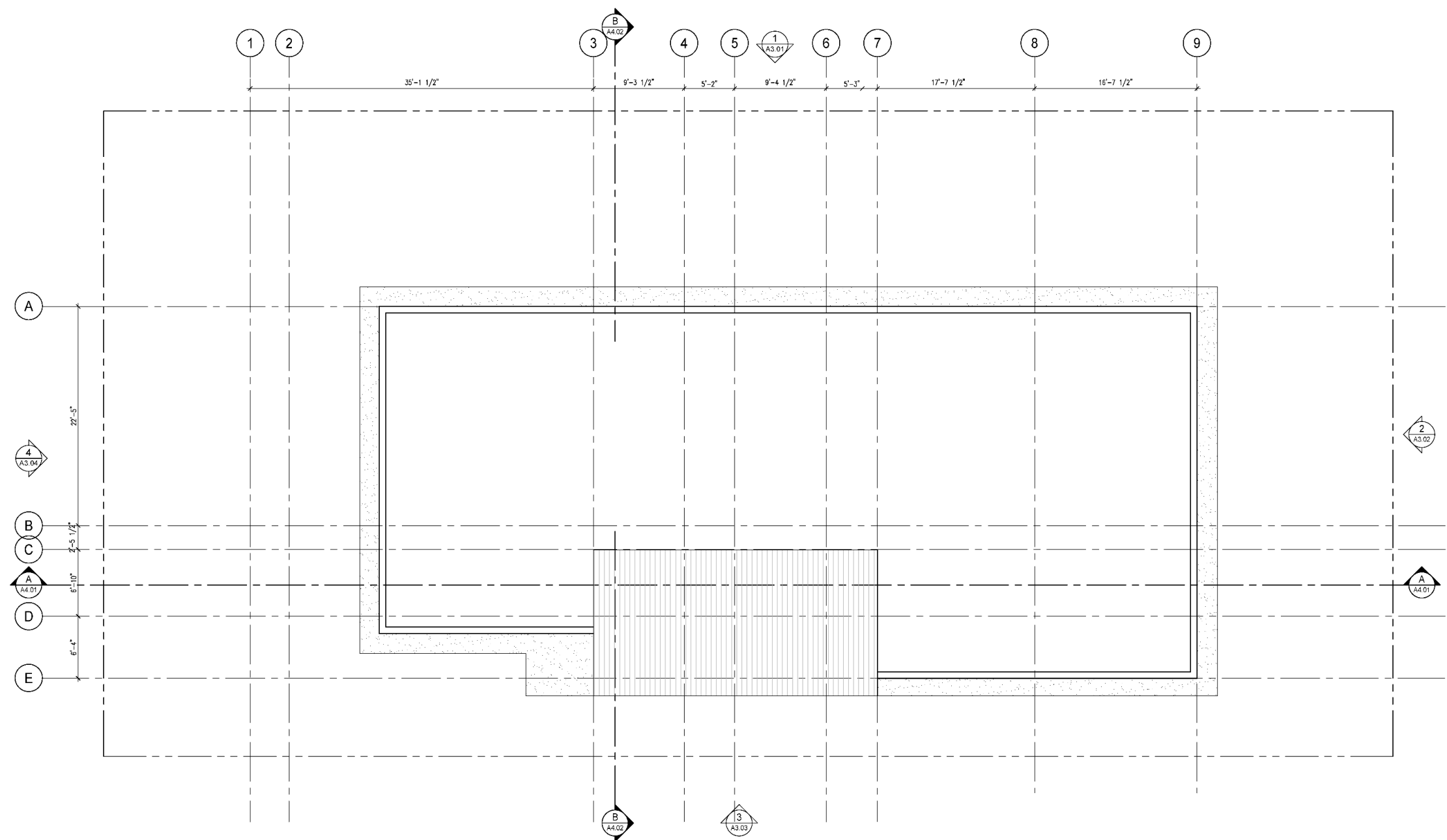


LEGEND:

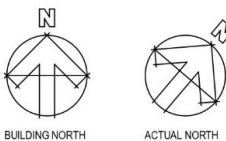
- STUDIO
- 1 BED
- 2 BED
- 3 BED
- TH-1
- TH-2
- MECH/ELEC



ROOF

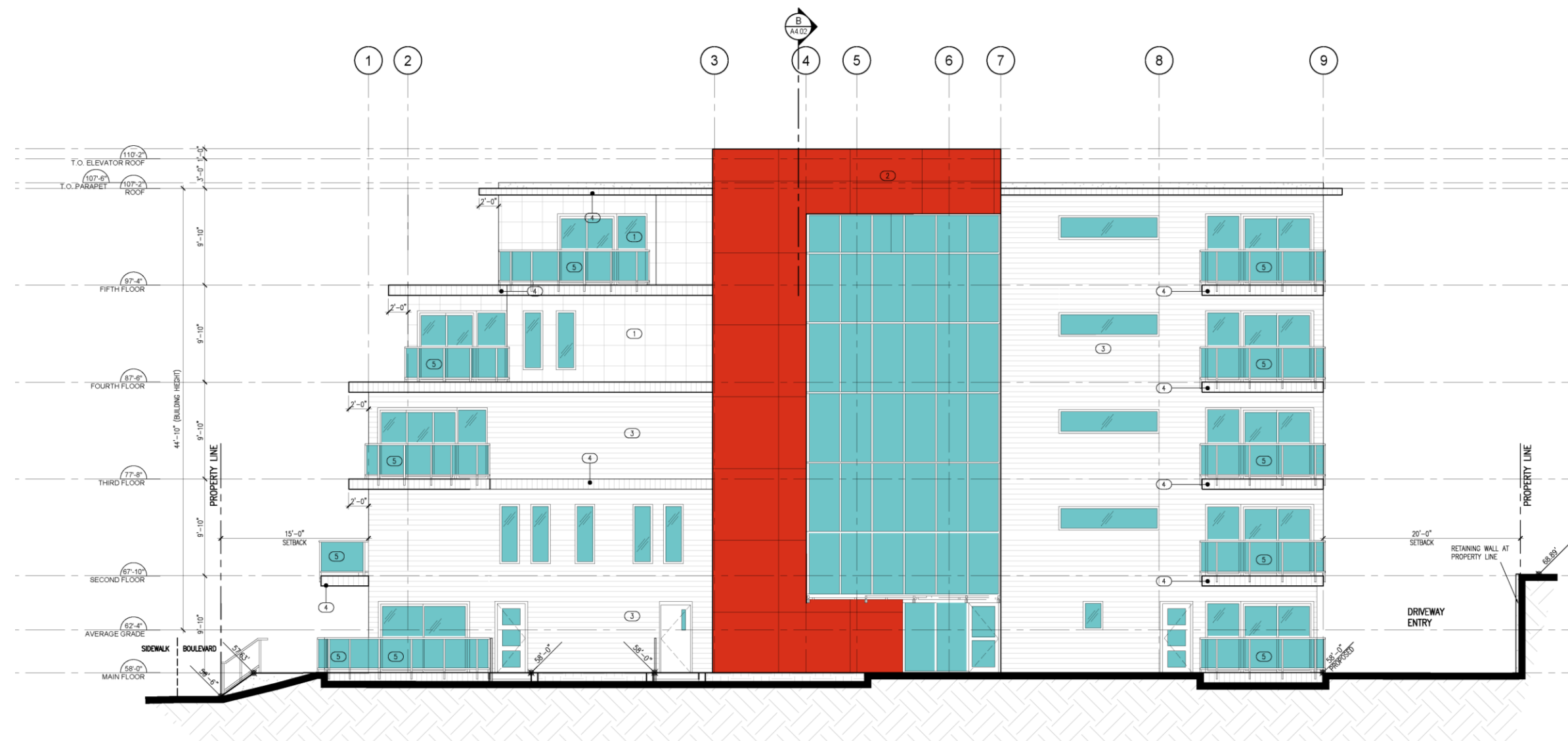


LEGEND:	
	STUDIO
	1 BED
	2 BED
	3 BED
	TH-1
	TH-2
	MECH/ELEC



ELEVATION – SOUTH

EXTERIOR FINISHES:			
1	COMPOSITE PANEL – WHITE	6	PERFORATED METAL
2	COMPOSITE PANEL –RED	7	EXPOSED CONCRETE(ROOFTOP)
3	HORIZONTAL CEDAR SIDING		
4	VERTICAL CLEAR FINISH DARK BROWN CEDAR		
5	TEMPERED CLEAR GLASS GUARD		



3 SOUTH ELEVATION
A3.03 3/16"=1'-0"

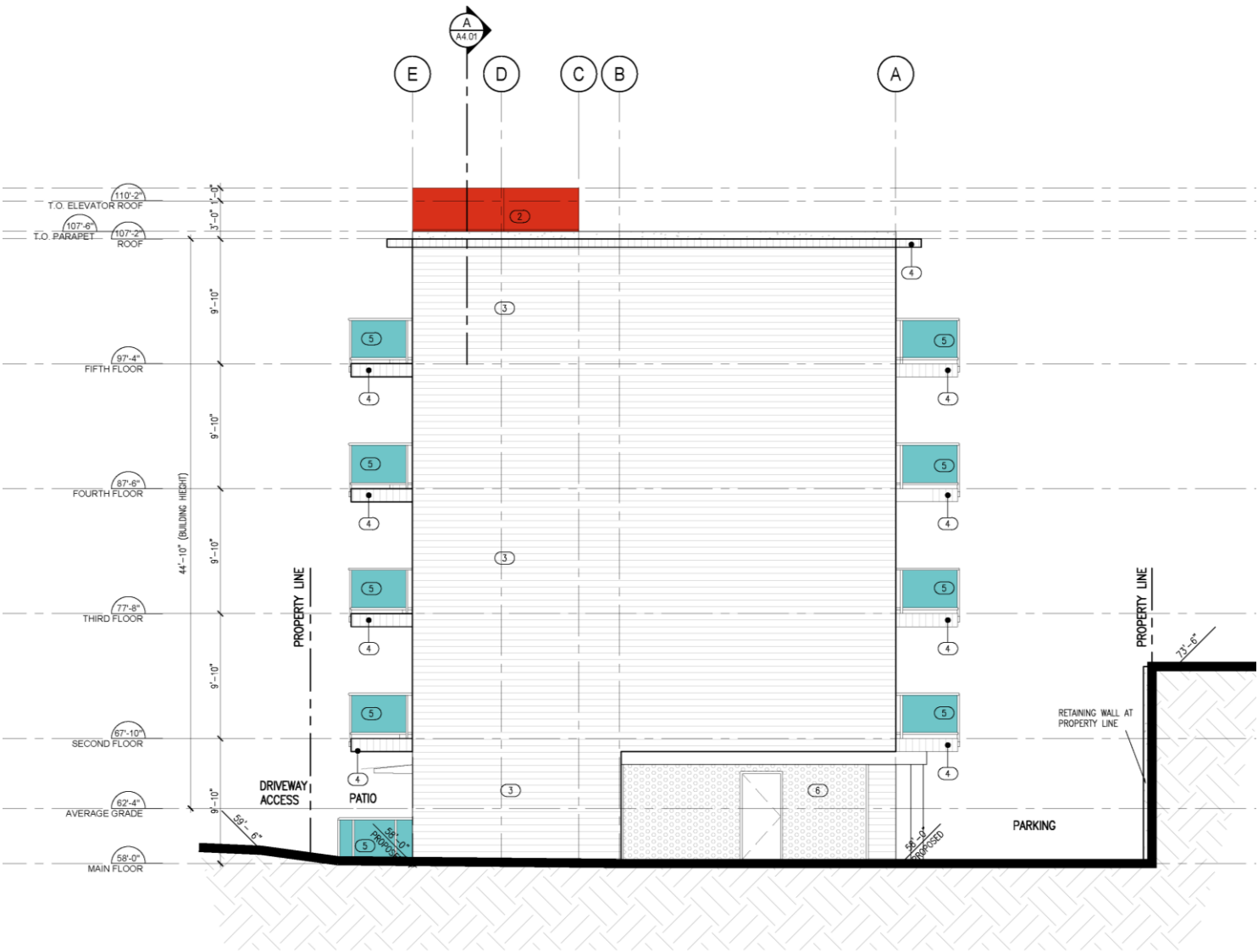
ELEVATION – NORTH



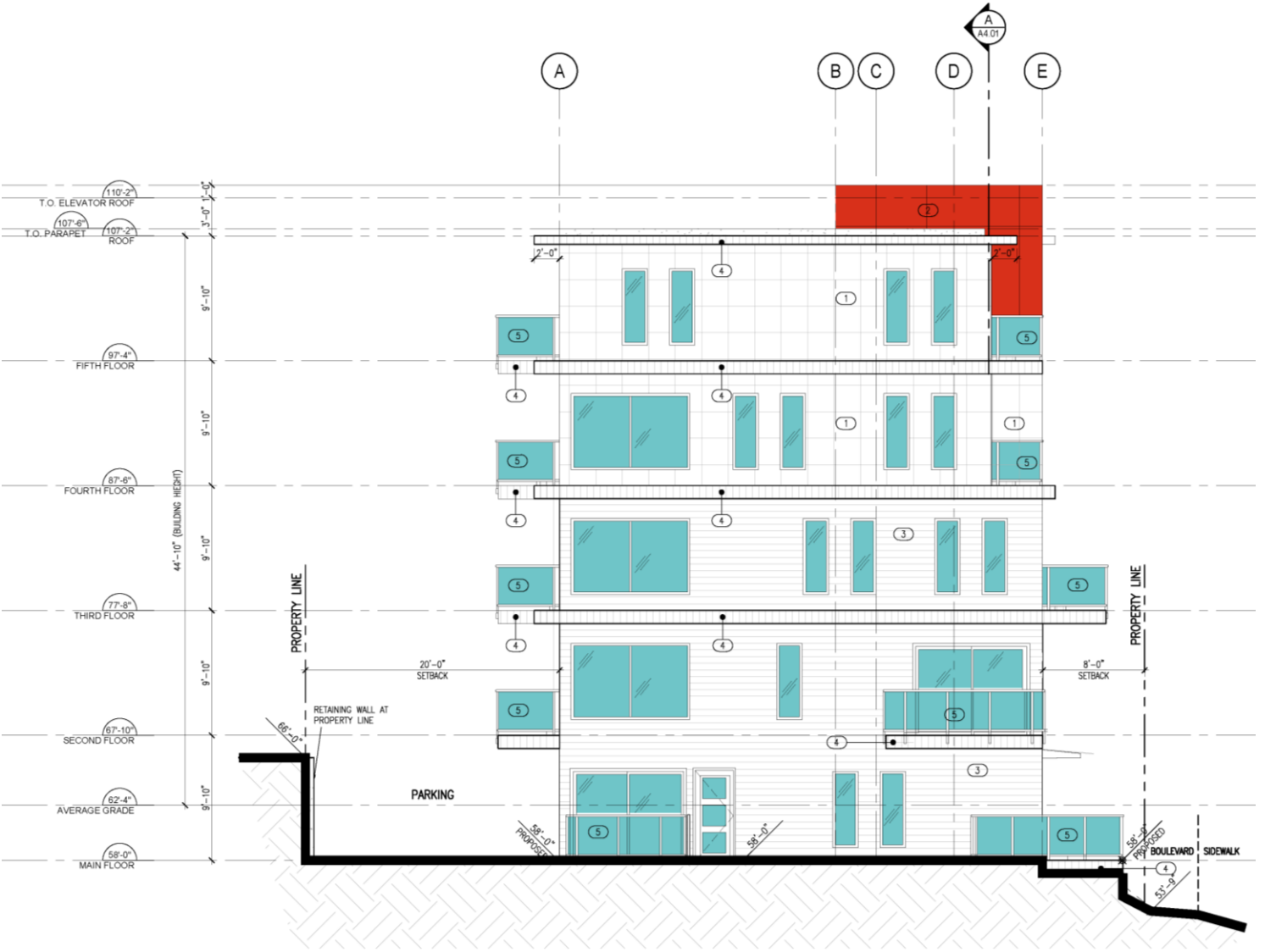
EXTERIOR FINISHES:			
1	COMPOSITE PANEL - WHITE	6	PERFORATED METAL
2	COMPOSITE PANEL - RED	7	EXPOSED CONCRETE (ROOFTOP)
3	HORIZONTAL CEDAR SIDING		
4	VERTICAL CLEAR FINISH DARK BROWN CEDAR		
5	TEMPERED CLEAR GLASS GUARD		

ELEVATION – EAST & WEST

EXTERIOR FINISHES:			
1	COMPOSITE PANEL – WHITE	6	PERFORATED METAL
2	COMPOSITE PANEL – RED	7	EXPOSED CONCRETE(ROOFTOP)
3	HORIZONTAL CEDAR SIDING		
4	VERTICAL CLEAR FINISH DARK BROWN CEDAR		
5	TEMPERED CLEAR GLASS GUARD		



2 EAST ELEVATION
A3.02 3/16"=1'-0"

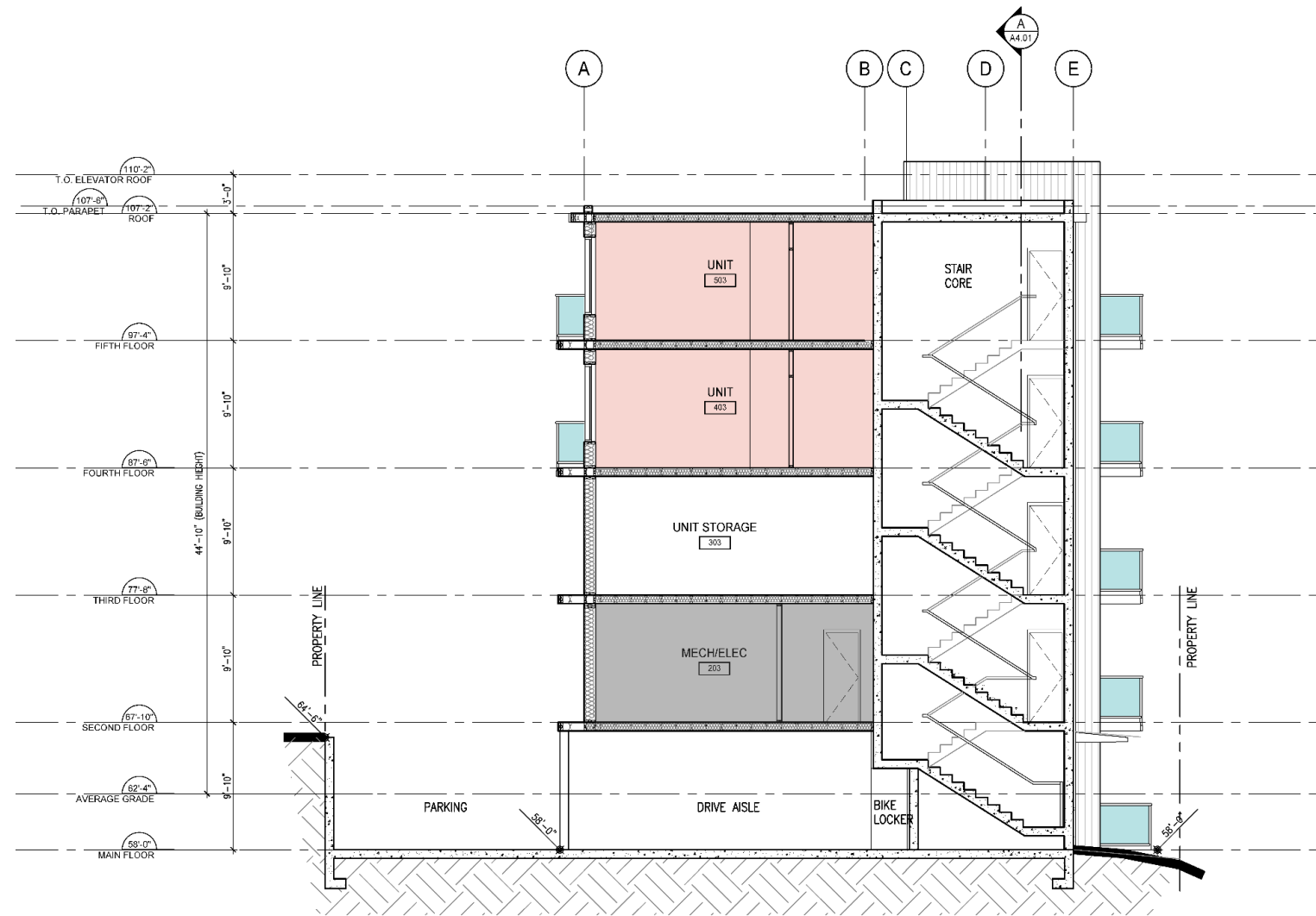


4 WEST ELEVATION
A3.04 3/16"=1'-0"



1 SECTION A-A
A4.02 3/16"=1'-0"

BUILDING SECTION BB

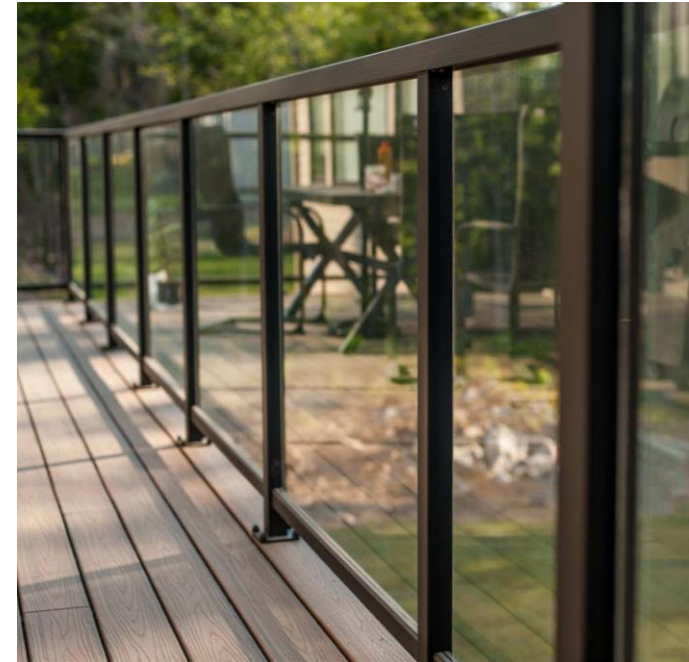
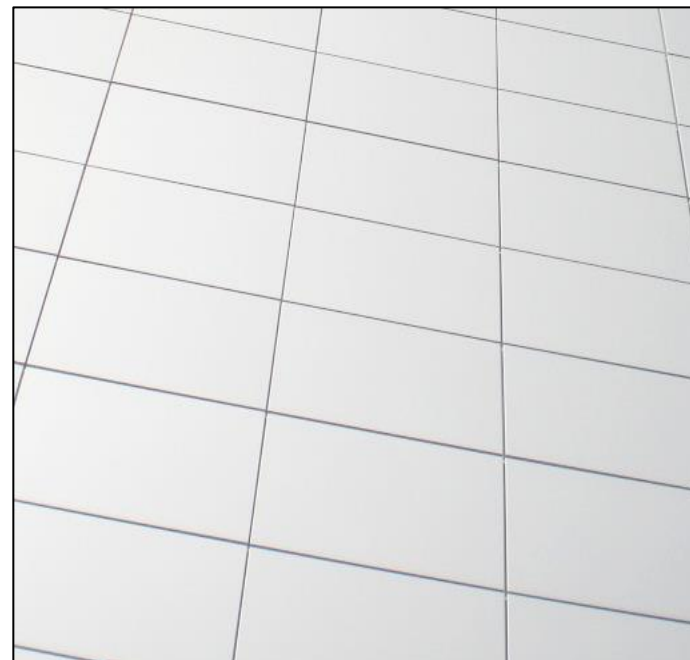


LEGEND:	
	STUDIO
	1 BED
	2 BED
	3 BED
	TH-1
	TH-2
	MECH/ELEC

1 SECTION B-B
A4.02 3/16"=1'-0"

EXTERIOR FINISHES

Resilient and durable natural materials will be utilized for exterior finishes to develop a modern atmosphere while reserving the heritage building.



LANDSCAPE INFORMATION

Minimal maintenance, native plants will be chosen with the guidance of a landscape architect to ensure the landscaping requires minimal watering and care and provides a vibrant ecological addition to the neighbourhood.

The landscaping will support CPTED policies and improve the public realm.

The interior courtyard and protected children’s play area will be designed with safety and beauty in mind.

Deciduous Trees

Amelanchier Grandiflora (Apple Serviceberry)
Styrax Japonicus (Japanese Snowbell)
Steweartia Pseudocamellia



Evergreen Trees

Taxus Media “HM Eddie” (Eddie Yew)
Thuja Occidentalis Smaragd (Emerald Green Cedar)



Ground Cover & Shrubs

Girad's fuchsia azalea
Arbutus unedo compacted
Euphorbia characias 'wulfenii'
Hydrangea macrophylla "monmar"
Rhododendron "christmas cheer"
Rhododendron honey butter
Lavandula angustifolia

Hedges:

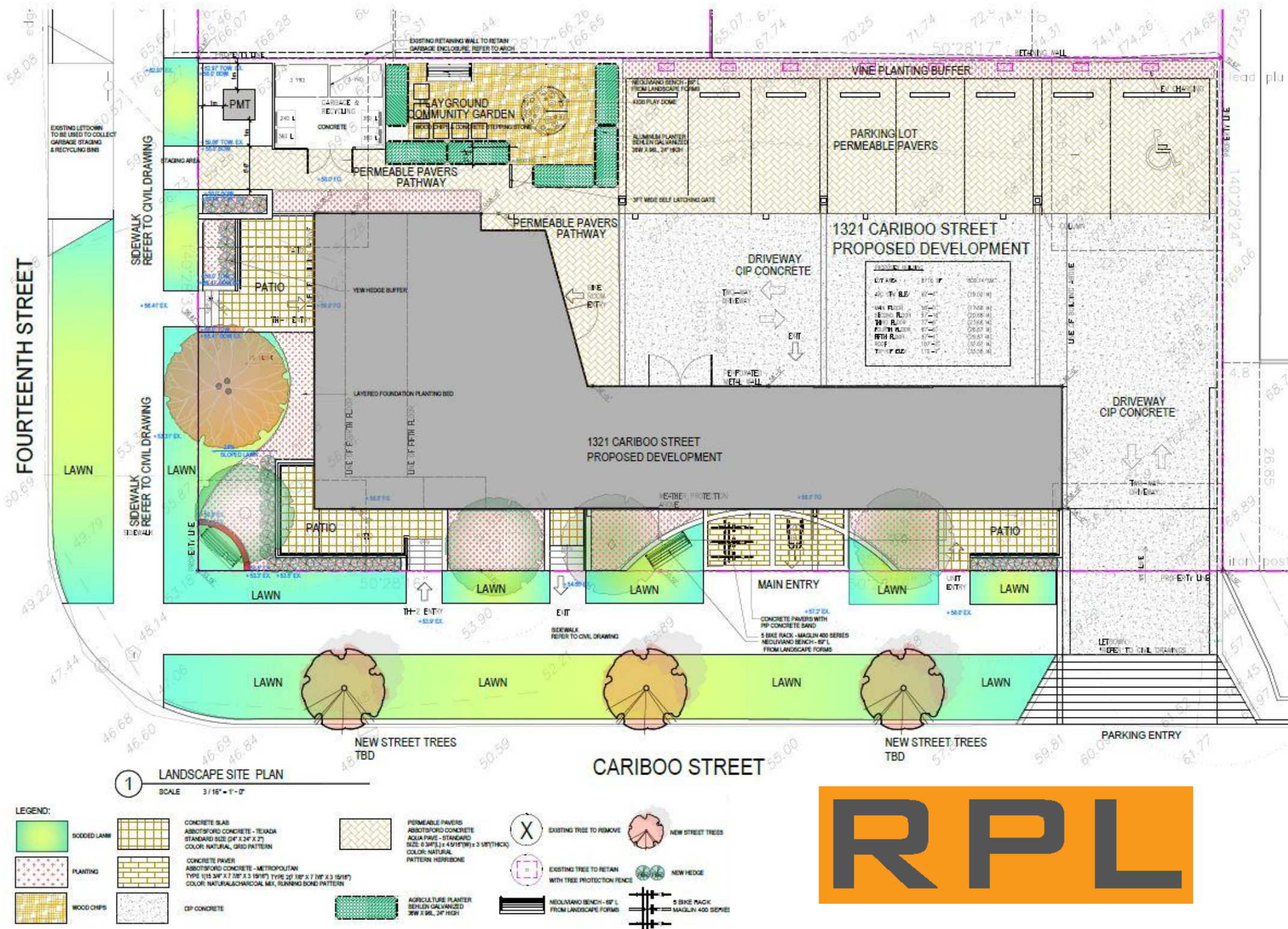
Thuja occidentalis smaragd
Taxus media "hm eddie"

Perennials & Grass

Rudbeckia fulgida var 'goldstrum'
Hakonechloa macra "aureola"
Aubrieta deltoidea



LANDSCAPE - SITE PLAN

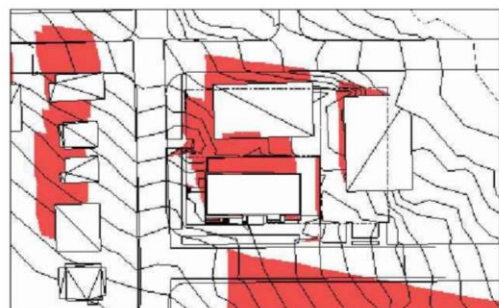


Paving Materials



Children's Playground

SHADOW STUDY



1 FALL EQUINOX 9.00 AM
A8.01 NTS



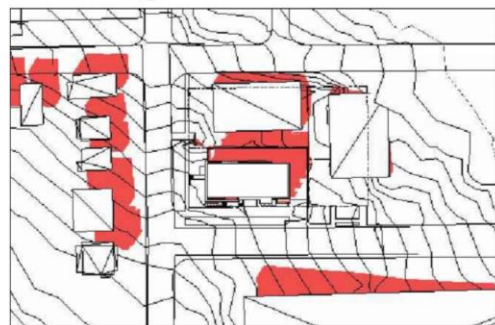
2 FALL EQUINOX- 12.00 PM
A8.01 NTS



3 FALL EQUINOX-15.00 PM
A8.01 NTS



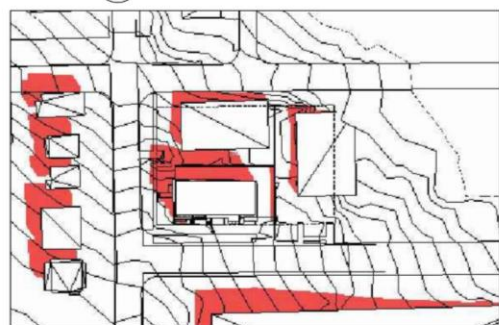
4 SPRING EQUINOX-9.00 AM
A8.01 NTS



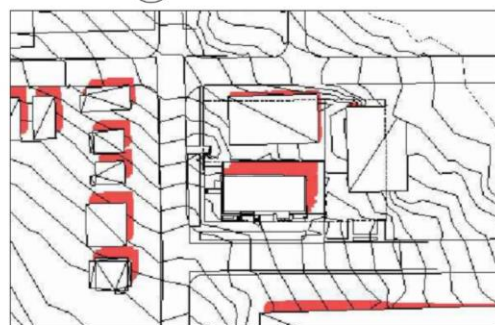
5 SPRING EQUINOX-12.00 PM
A8.01 NTS



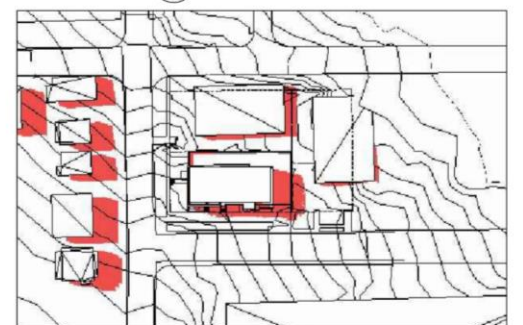
6 SPRING EQUINOX-3.00 PM
A8.01 NTS



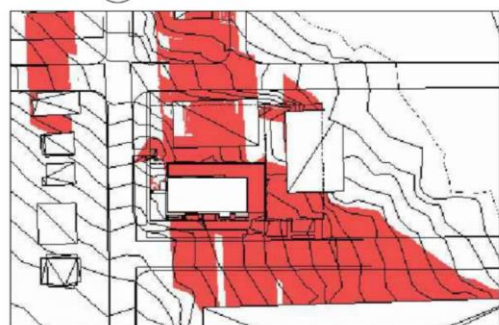
7 SUMMER SOLSTICE-9.00 AM
A8.01 NTS



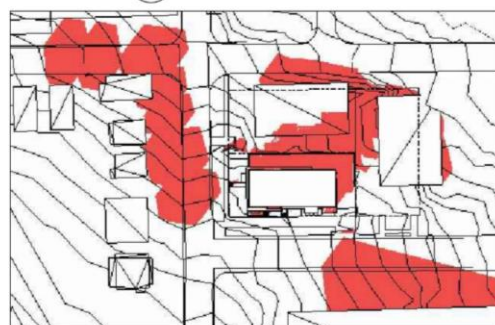
8 SUMMER SOLSTICE 12.00 PM
A8.01 NTS



9 SUMMER SOLSTICE 3.00 PM
A8.01 NTS



10 WINTER SOLSTICE 9.00 AM
A8.01 NTS



11 WINTER SOLSTICE 12.00 PM
A8.01 NTS



12 WINTER SOLSTICE 3.00 PM
A8.01 NTS



Appendix C

*Architectural and
Landscape Drawings*

CONSULTANTS:

ARCHITECTURAL:

BILLARD ARCHITECTURE INC.
#701 - 625 5th Avenue
NEW WESTMINSTER, BC, V3M 1X4
PHONE: (604) 619-0529
CONTACT: Robert Billard, AIBC
EMAIL: Robert@Billardarchitecture.ca

LANDSCAPE:

RPL PROJECTS
#916 SPERLING AVENUE
Burnaby, BC, V5B 4H8
PHONE: (604) 338-5035
CONTACT: Lu Xu,Registered Landscape Architect
EMAIL: lu@rplprojects.com

ARBORIST:

DAVID WALSH
#903 HUMMINGBIRD LANE
BOWEN ISLAND, BC, V0N 1G1
PHONE: (604) 505-3326
CONTACT: David Walsh, Cert. Arborist (ISA)
EMAIL: Walshdj@telus.net

SURVEY:

COASTLINE LAND SURVEYING LTD.
18-1506 EAGLE MOUNTAIN DRIVE
COQUITLAM, BC, V3E 3J4
PHONE: (604) 726-4598
CONTACT: Steven Zhao, BCLS#931
EMAIL: office@coastlinesurveying.ca

TRAFFIC:

CREATIVE TRANSPORTATION SOLUTIONS
84 MOODY ST.,
Port Moody, BC V3H 2P5
PHONE: (604) 936-6190
CONTACT: Aaron Chan, P. Eng
EMAIL: achan@cts-bc.com

ENERGY CONSULTANT:

CADA CONSULTANTS
Unit 201-1940 Oxford Connector
Port Coquitlam, BC V3C 0A4
PHONE: (604) 210-0021
CONTACT: Mehran Saraie
NRCAN #: 58A3
EMAIL: nehal.patel@cadaconsultants.com

CARIBOO STREET
NEW WESTMINSTER, B.C.

ARCHITECTURAL:

- A0.00 COVER SHEET AND LIST OF DRAWINGS
- A0.10 PROJECT INFORMATION
- A0.11 SITE CONTEXT - FIRE HYDRANT LOCATIONS
- A0.12 SITE CONTEXT - VIEWS
- A0.13 CONTEXT ELEVATIONS
- A0.14 SITE PLAN - ADJACENT BUILDINGS

- A1.00 SITE PLAN

- A2.10 MAIN FLOOR PLAN
- A2.20 SECOND FLOOR PLAN
- A2.30 THIRD FLOOR PLAN
- A2.40 FOURTH FLOOR PLAN
- A2.50 FIFTH FLOOR PLAN
- A2.60 ROOF PLAN

- A3.01 ELEVATION - NORTH
- A3.02 ELEVATION - EAST
- A3.03 ELEVATION - SOUTH
- A3.04 ELEVATION - WEST

- A4.01 BUILDING SECTION A-A
- A4.02 BUILDING SECTION B-B

- A8.01 SHADOW STUDY

LANDSCAPE:

- L1 LANDSCAPE SITE PLAN
- L2 TREE MANAGEMENT PLAN
- L3 LANDSCAPE PLANTING PLAN
- L4 LANDSCAPE LIGHTING PLAN
- L5.1 LANDSCAPE DETAILS AND SPECIFICATIONS
- L5.2 LANDSCAPE DETAILS AND SPECIFICATIONS



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1	18.09.2020	ISSUED FOR REZONING
NO.	DATE	REVISION

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SEAL

PROJECT

CARIBOO STREET
1321 CARIBOO STREET

NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON
THE TRADITIONAL TERRITORY OF THE
QAYQAYT FIRST NATIONS AND THE COAST SALISH
PEOPLES

SHEET TITLE

COVER SHEET &
LIST OF DRAWINGS

SCALE:	SHEET NO.
DRAWN BY: SD/NH/RGB	A0.00
CHECKED BY: RB	Page 65 of 90
	FILE: 196A14

AREAS		GROSS AREA (INCLUDING CORE AND CIRCULATION)		RESIDENTIAL GROSS AREA		SERVICE AREAS (ELEC/MECH/GARBAGE)		BIKE / SCOOTER ROOMS/UNIT STORAGE		OPEN SPACES (PATIOS AND BALCONIES)		ADAPTABLE DWELLING		AMENITY	
FLOOR		SQ FT	SQ M	SQ FT	SQ M	SQ FT	SQ M	SQ FT	SQ M	SQ FT	SQ M	SQ FT	SQ M	SQ FT	SQ M
	1	2219.70	206.21	1302.69	121.02	0.00	0.00	546.21	50.74	670.50	62.29	0.00	0.00	0.00	0.00
	2	3687.67	342.58	2733.51	253.94	383.98	35.67	0.00	0.00	252.87	23.49	1377.91	128.01	0.00	0.00
	3	3687.67	342.58	2679.07	248.89	0.00	0.00	383.98	35.67	249.50	23.18	1858.14	172.62	0.00	0.00
	4	3500.17	325.17	2891.63	268.63	0.00	0.00	0.00	0.00	240.45	22.34	2069.25	192.23	0.00	0.00
	5	3111.62	289.07	1794.23	166.68	0.00	0.00	0.00	0.00	285.92	26.56	0.00	0.00	718.56	66.75
TOTAL		16206.83	1505.61	11401.13	1059.16	383.98	35.67	930.19	86.41	1699.24	157.86	5305.30	492.86	719.82	66.75

TOTAL NUMBER OF UNITS	15	
UNIT MIX	# OF UNITS	% BREAKDOWN
STUDIO	1	7%
1 BEDROOM	5	33%
2 BEDROOM	6	40%
3 BEDROOM	3	20%
TOTAL	15	100%

SETBACKS	REQUIRED	PROPOSED	REFERENCE
FRONT (CARIBOO ST.)	20 FT	2.43M (8 FT)	Density Bonus Setback
REAR	20 FT	6.1 M (20 FT)	Density Bonus Setback
SIDE (14TH ST.)	20 FT	4.57M (15 FT)	Density Bonus Setback
SIDE	20 FT	6.1 M (20 FT)	Density Bonus Setback

ADAPTABLE DWELLING UNITS EXCLUSION			
1 BEDROOM	7	1.85 SM (19.90 SF)	139.30
2 BEDROOM	1	2.80 SM (30.14 SF)	30.14
ADP	8	53%	169.44

RESIDENTIAL FLOOR BREAKDOWN

FLOOR	AREA	GROSS AREA (SQ FT)	GROSS AREA (SQ M)	# OF BEDROOMS	ADAPTABLE UNITS
1	TOWNHOUSE				
	TH-1	437.41	40.64		
	TH-2	426.29	39.60		
	DWELLING UNIT				
	UNIT 101	438.99	40.78	STUDIO	
	FLOOR TOTAL	1302.69	121.02		0

FLOOR	UNIT #	GROSS AREA (SQ FT)	GROSS AREA (SQ M)	# OF BEDROOMS	ADAPTABLE UNITS
2	201	820.93	76.26	2	ADAPTABLE
	202	556.98	51.74	1	ADAPTABLE
	2	1377.91	128.01		2
# OF UNITS	TOWNHOUSE				
	TH-1	721.07	66.99	2	
	TH-2	634.53	58.95	3	
	TOWNHOUSE TOTAL	1147.36	106.59		
	FLOOR TOTAL	2733.51	253.94		2

FLOOR	UNIT #	GROSS AREA (SQ FT)	GROSS AREA (SQ M)	# OF BEDROOMS	ADAPTABLE UNITS
3	301	820.93	76.26	2	
	302	556.98	51.74	1	ADAPTABLE
	303	505.25	46.94	1	ADAPTABLE
	304	795.91	73.94	2	ADAPTABLE
	4	2679.07	248.89		3
# OF UNITS					

FLOOR	UNIT #	GROSS AREA (SQ FT)	GROSS AREA (SQ M)	# OF BEDROOMS	ADAPTABLE UNITS
4	401	822.38	76.40	2	
	402	559.36	51.96	1	ADAPTABLE
	403	546.74	50.79	1	ADAPTABLE
	404	963.15	89.48	3	ADAPTABLE
	4	2891.63	268.63		3
# OF UNITS					

FLOOR	UNIT #	GROSS AREA (SQ FT)	GROSS AREA (SQ M)	# OF BEDROOMS	ADAPTABLE UNITS
5	501	822.38	76.40	2	
	502	971.85	90.28	3	
	2	1794.23	166.68		0
# OF UNITS					

FSR		
FLOOR AREAS	SQ FT	SQ M
GROSS AREA	16206.83	1505.61
FSR EXCLUSIONS	2033.99	
ADP EXCLUSION	169.44	15.74
TOTAL	14003.40	1300.91
FSR	1.61	1.61

FSR EXEMPTION BREAKDOWN		
FLOOR AREAS	SQ FT	SQ M
AMENITY	719.82	0.00
BIKES/ STORAGE	930.19	86.41
MECH/ELEC	383.98	35.67
TOTAL	2033.99	122.09

SITE & ZONING INFO		
SITE AREA	SQ FT	SQ M
	8716.00	809.72

EXISTING ZONE	RM-2	
LOT COVERAGE	SQ FT	SQ M
FOOTPRINT	2219.70	206.21
% COVERAGE	25.47%	25.47%

HEIGHT		
BUILDING	ALLOWED	PROPOSED
	45 ft (13.72 M)	44.83 ft (13.67 M)

150.8.7

PARKING RESIDENTIAL

REQUIRED PARKING (NEW WESTMINSTER)		UNITS	STALLS	REFERENCE
RESIDENTIAL STUDIO/1 BED/2 BED/3 BED	1.0 /UNIT	15	15	150.8.7 (a)
VISITOR	0.1/UNIT	15	2	150.8.7 (c)
*ACCESSIBLE	1 FOR EVERY 15 SPACES		1	150.72
LOADING CLASS A	N/A	N/A	N/A	160.3
TOTAL RESIDENTIAL STALLS REQUIRED				17 STALLS REQUIRED
TOTAL (WITH 53% REDUCTION)**				8 PROPOSED

*FOR EVERY 15 SPACES, 1 MUST BE ACCESSIBLE
**APPLIED REDUCTIONS ARE BASED ON CLOSED PROXIMITY TO A FREQUENT TRANSIT NETWORK , CAR SHARE PROVISIONS, SECURE BIKE STORAGE, EV PARKING REDUCTIONS.

150.8.7

PARKING RESIDENTIAL BREAKDOWN

REQUIRED PARKING (NEW WESTMINSTER)		UNITS	PROPOSED	REFERENCE
COMPACT	2.44M X 4.57M	30% MAX.	2	150.8.7(a)
STANDARD	2.74M X 5.33M		6	150.72
CAR SHARE	2.74M X 5.33M		0	150.74
*ACCESSIBLE	3.90M X 5.50M		1	150.72
TOTAL				8 STALLS PROPOSED

BICYCLE PARKING (NEW WESTMINSTER)		UNITS	STALLS	REFERENCE
BICYCLE PARKING REQUIRED	1.25 / UNIT	15	19	155.5
BICYCLE LOCKERS (MIN. 20%)			4	155.5 (g)
VERTICAL STALLS (MAX 50%)			9	155.5(f)
TOTAL				19 STALLS REQUIRED
	BIKE ROOM-LOCKERS		5	STALLS PROPOSED
	BIKE ROOM - HORIZONTAL		5	PROPOSED
	BIKE ROOM - VERTICAL		9	PROPOSED
	SHORT TERM		3	PROPOSED
	TOTAL		22	PROPOSED

BICYCLE PARKING BREAKDOWN (NEW WESTMINSTER)		PROPOSED	REFERENCE
BICYCLE LOCKERS (MIN. 20%)	0.6 M x1.8 M	5	155.5
LONG TERM WALL HUNG	0.6 M x1.0 M	9	155.5
HORIZONTAL	0.6 M x1.8 M	5	
SHORT-TERM	0.6 M x1.8 M	3	155.6
TOTAL		22	STALLS PROPOSED

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CARIBOO STREET

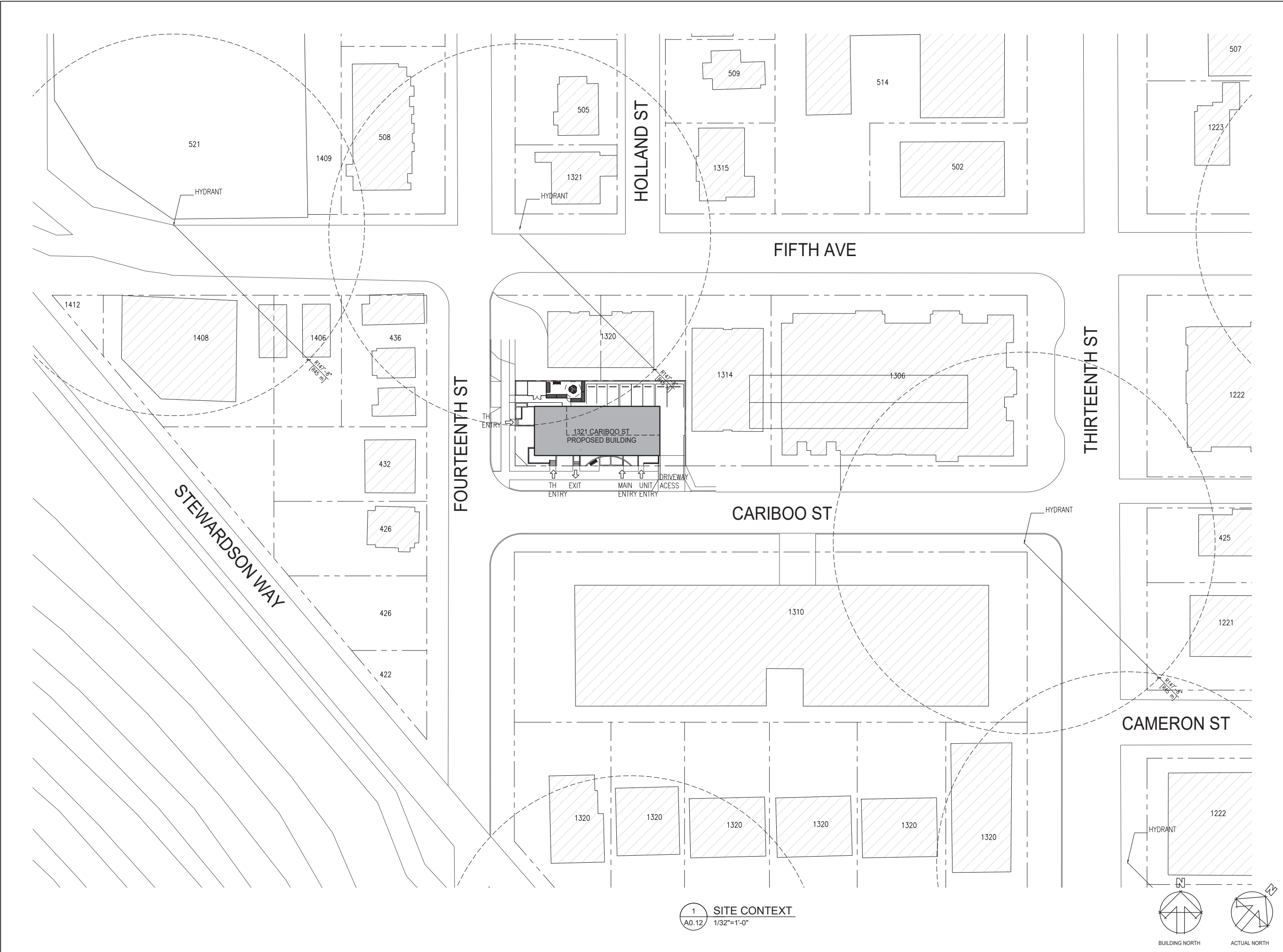
1321 CARIBOO STREET

NEW WESTMINSTER, BC

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**SITE CONTEXT -
FIRE HYDRANT
LOCATIONS**

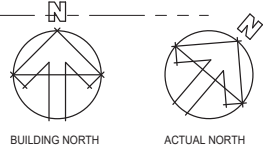
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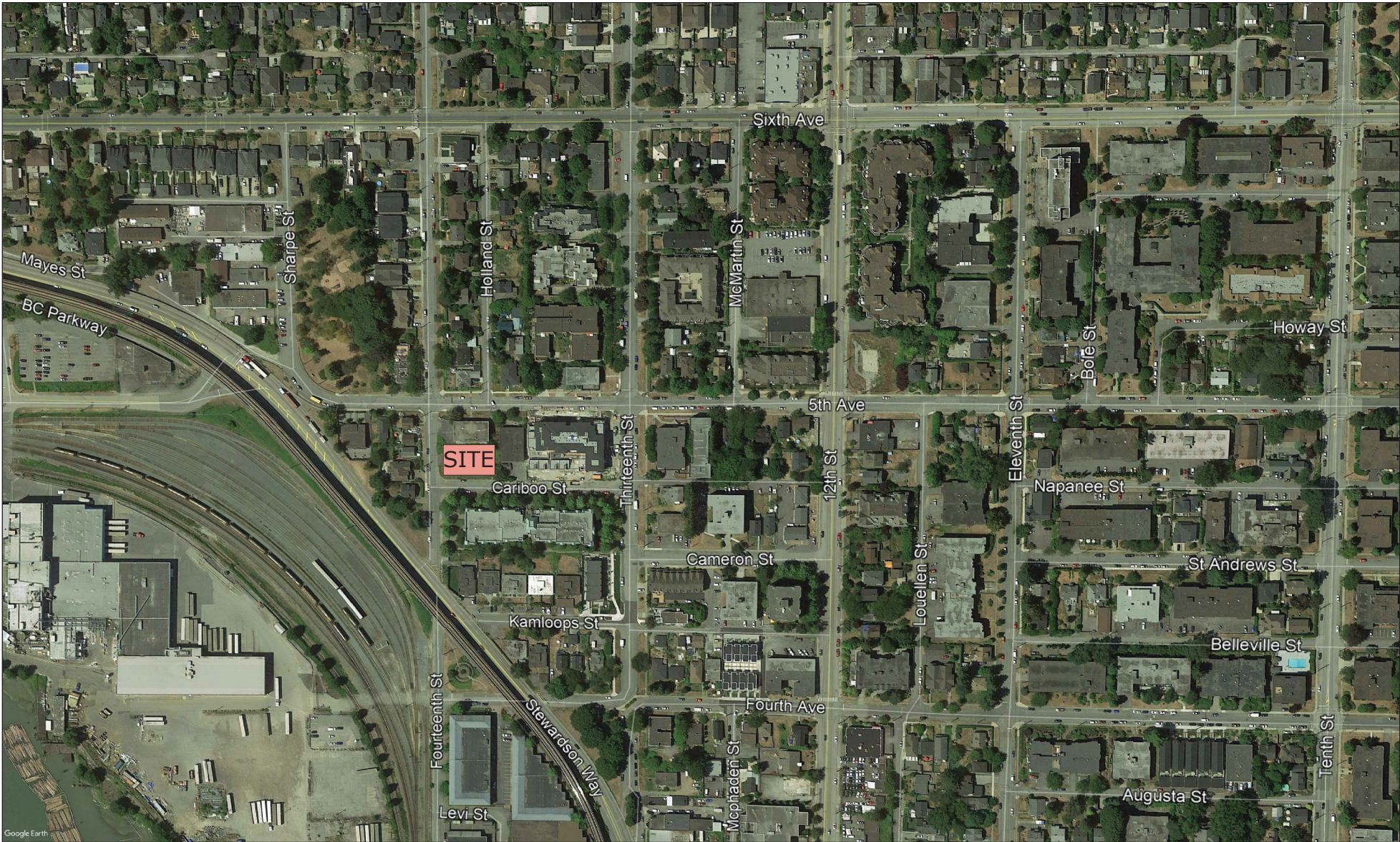
DRAWN BY: SD/NH/RGB

CHECKED BY: RB

SHEET NO. **A0.11**

FILE: 19BA14





1 SITE CONTEXT PLAN
A0.13 SCALE: -



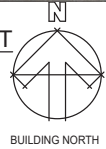
2 STREETSCAPE - 14TH ST
A0.13 SCALE: -



3 STREETSCAPE - INTERSECTION 14TH ST/ CARIBOO ST
A0.13 SCALE: -



4 STREETSCAPE - CARIBOO ST
A0.13 SCALE: -



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PEOPLES

SHEET TITLE

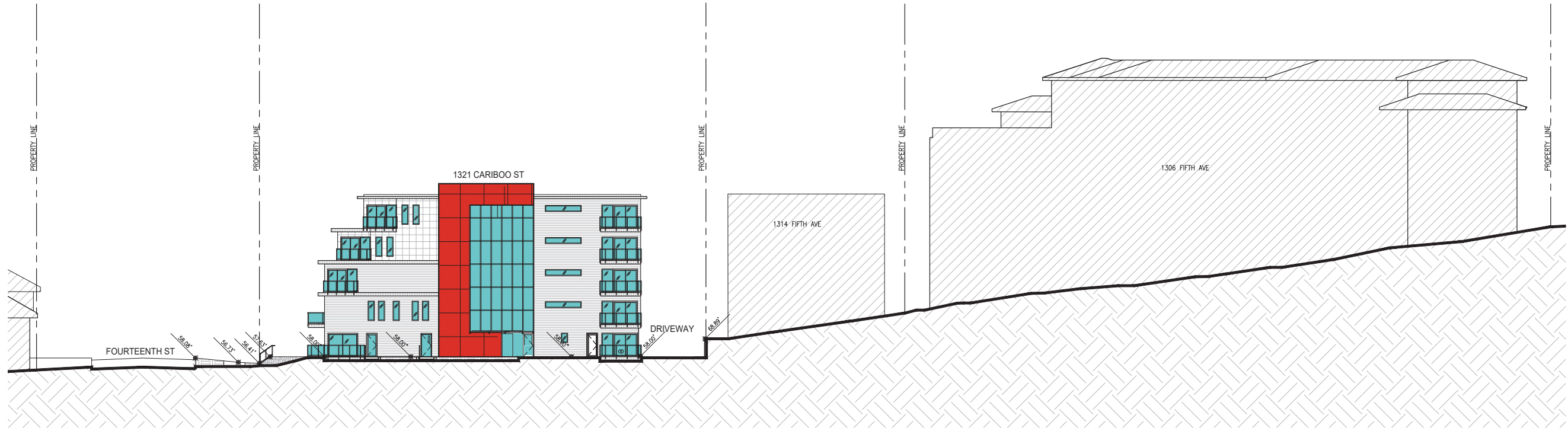
SITE CONTEXT

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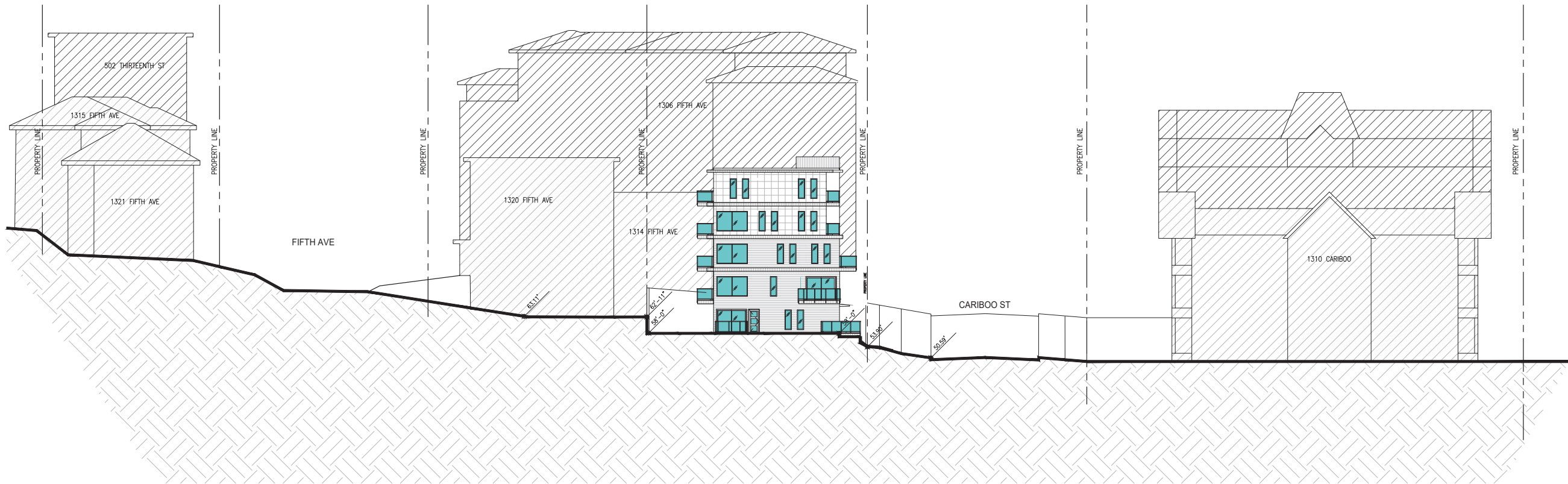
DRAWN BY: SD/NH/RGB

CHECKED BY: RB

FILE: 19BA14



1
A0.14
CONTEXT ELEVATION -SOUTH (CARIBOO ST)
1/16"=1'-0"



2
A0.14
CONTEXT ELEVATION - WEST (FOURTEENTH ST)
1/16"=1'-0"

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1	18.09.2020	ISSUED FOR REZONING
NO.	DATE	REVISION

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SEAL

PROJECT

CARIBOO STREET

1321 CARIBOO STREET

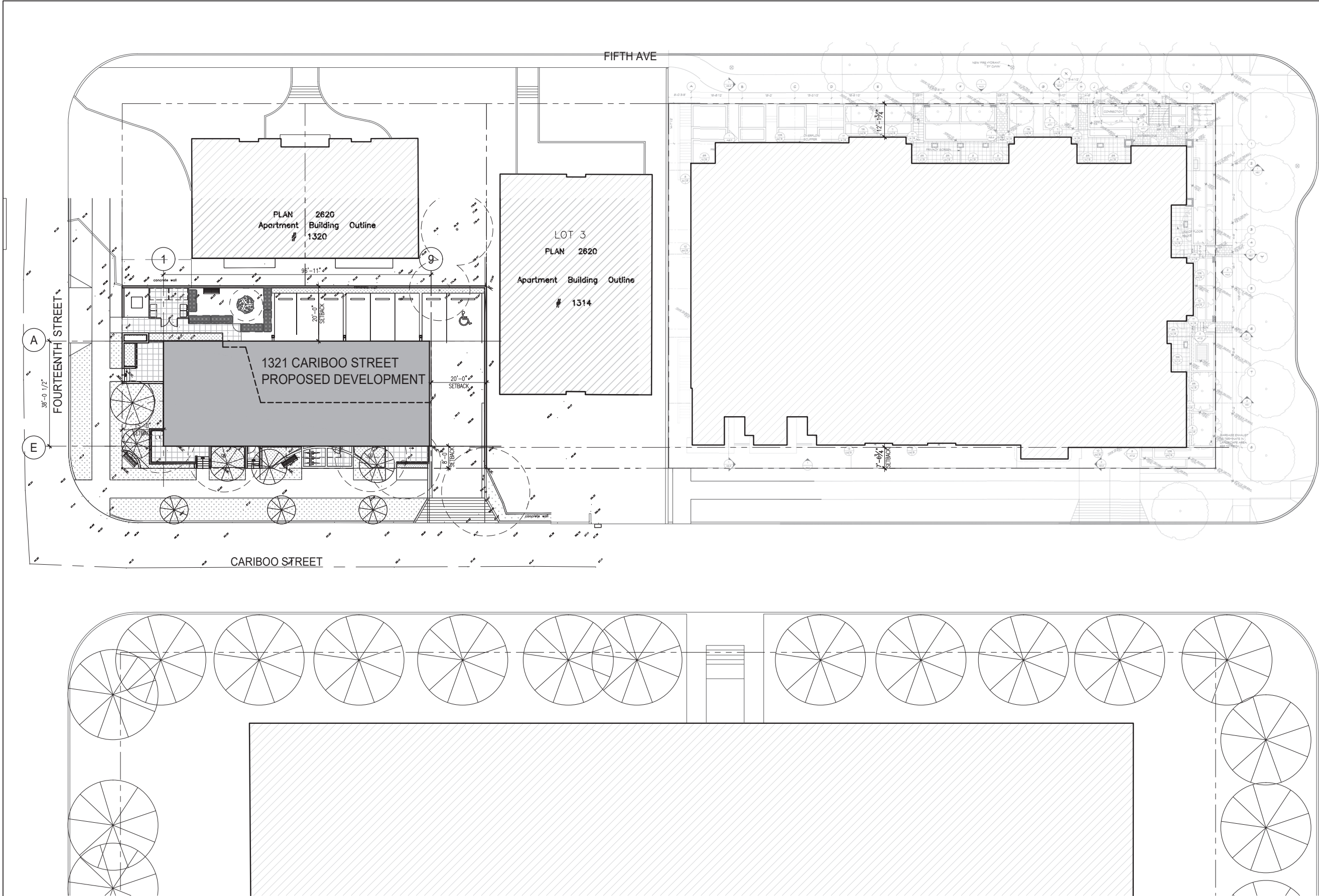
NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON
THE TRADITIONAL TERRITORY OF THE
QAYQAYT FIRST NATIONS AND THE COAST SALISH
PEOPLES

SHEET TITLE

CONTEXT
ELEVATIONS EAST
& NORTH

SCALE: 1/16"=1'-0" SHEET NO.
DRAWN BY: SD/NH/RGB
CHECKED BY: RB
A0.13
Page 69 of 90
FILE: 19BA14



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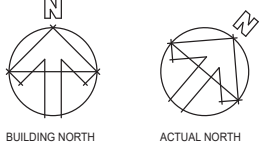
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PEOPLES

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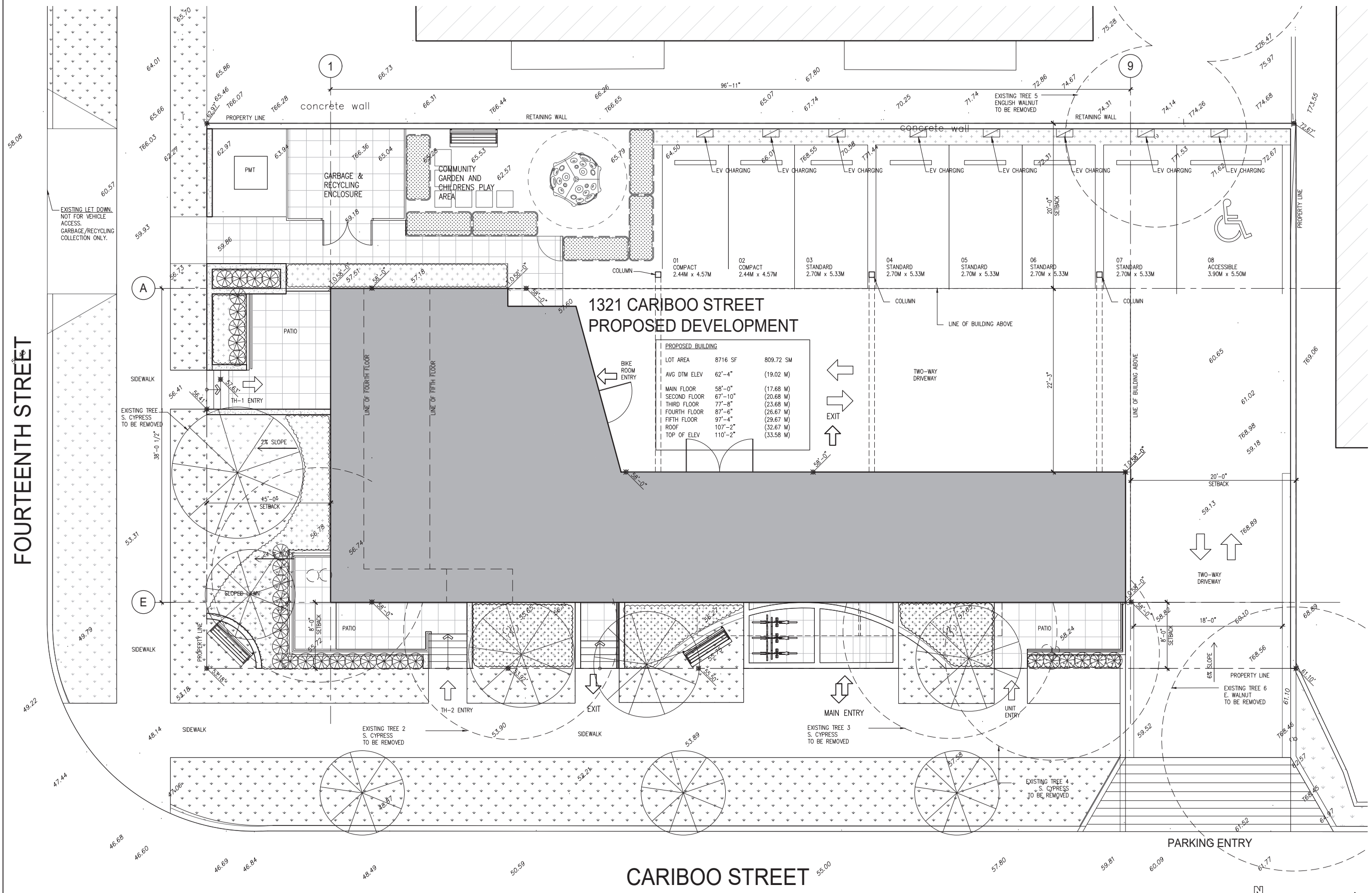
SITE PLAN -
ADJACENT
BUILDINGS

1 SITE PLAN- ADJACENT BUILDINGS
A0.15 1/16"=1'-0"



SCALE: 1/16"=1'-0" SHEET NO. A0.14
DRAWN BY: SD/NH/RGB
CHECKED BY: RB
FILE: 19BA14

FOURTEENTH STREET



1321 CARIBOO STREET
PROPOSED DEVELOPMENT

PROPOSED BUILDING		
LOT AREA	8716 SF	809.72 SM
AVG DTM ELEV	62'-4"	(19.02 M)
MAIN FLOOR	58'-0"	(17.68 M)
SECOND FLOOR	67'-10"	(20.68 M)
THIRD FLOOR	77'-8"	(23.68 M)
FOURTH FLOOR	87'-6"	(26.67 M)
FIFTH FLOOR	97'-4"	(29.67 M)
ROOF	107'-2"	(32.67 M)
TOP OF ELEV	110'-2"	(33.58 M)

1 SITE PLAN
A1.00 3/16"=1'-0"

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SHEET TITLE

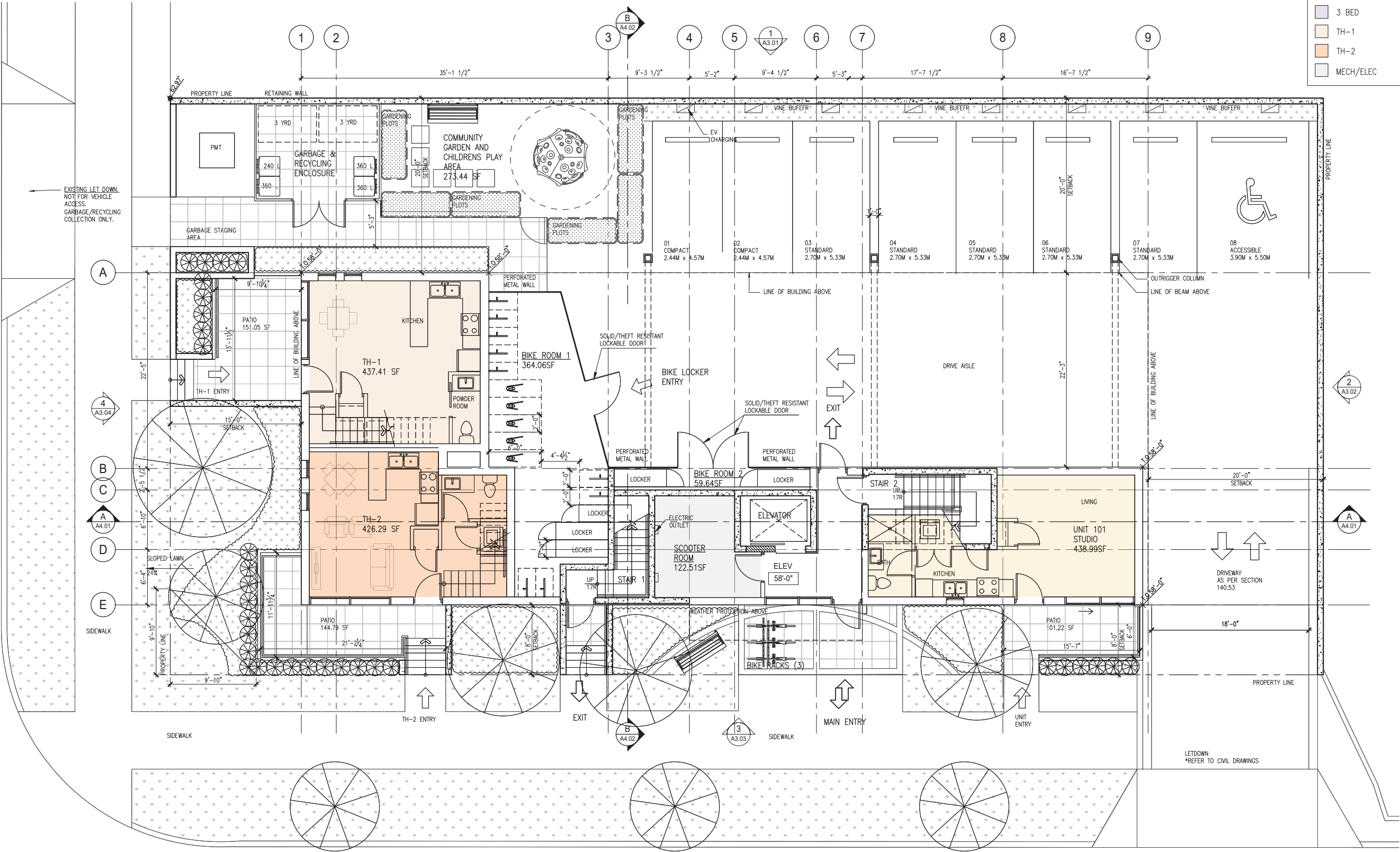
SITE PLAN

SCALE: 3/16"=1'-0" SHEET NO. A1.00

DRAWN BY: SD/NH/RGB

CHECKED BY: RB

FILE: 198A14



LEGEND:

- STUDIO
- 1 BED
- 2 BED
- 3 BED
- TH-1
- TH-2
- MECH/ELEC

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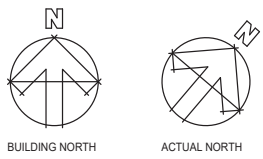
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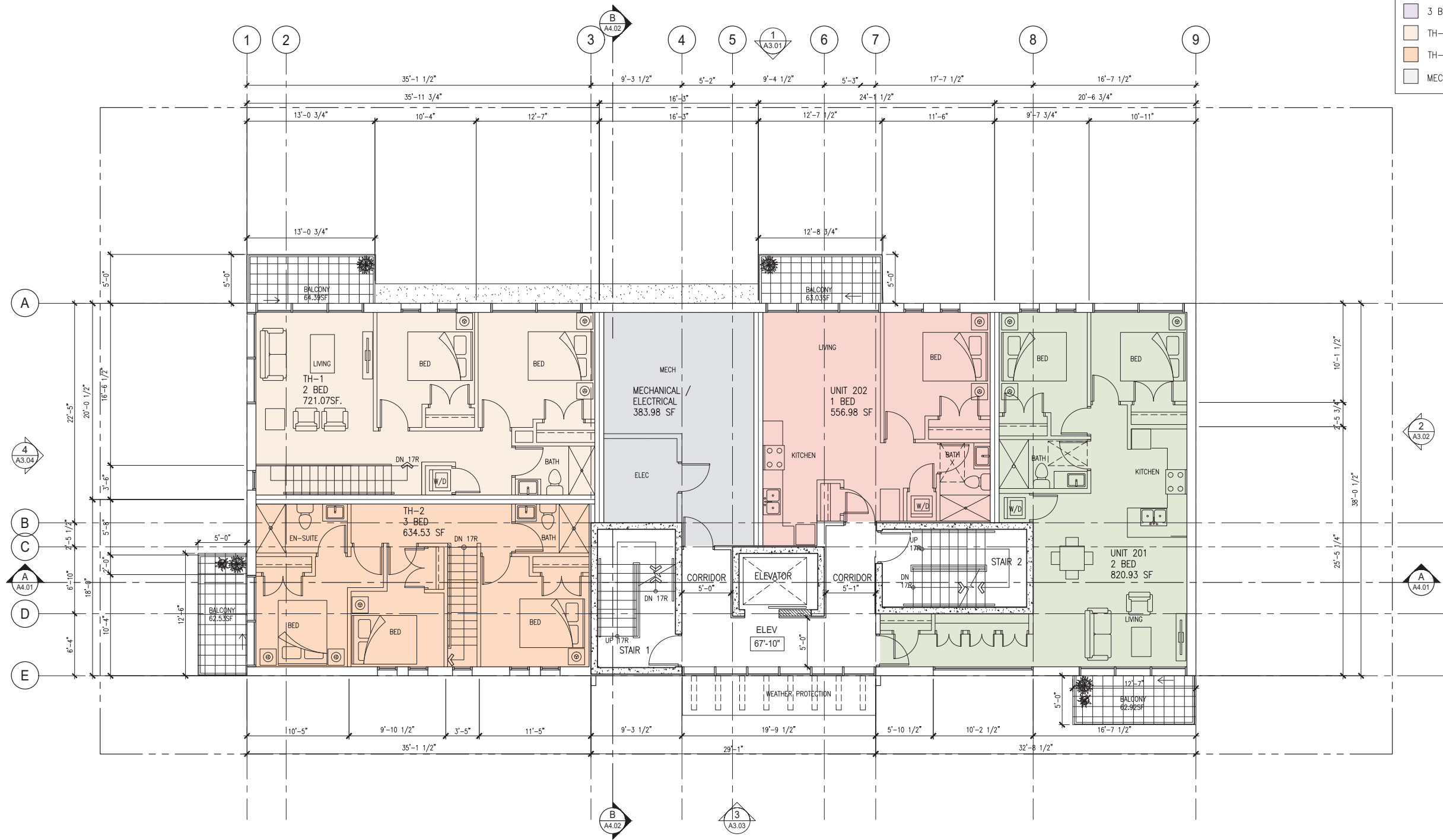
SHEET TITLE

MAIN FLOOR PLAN

WASTE AREA INFORMATION (RESIDENTIAL):				
Bin Type:	No. Of Bins:	Size of Bins	Footprint of 1 Bin(SQM)	Collection Service:
Recyclable Materials	3	360 L	0.56	City
Food Scrap	1	240 L	0.43	
Garbage Bin	1	3 YRD	1.96	
Carboard Bin	1	3 YRD	1.96	

1 MAIN FLOOR PLAN
A2.10 3/16"=1'-0"





- LEGEND:
- STUDIO
 - 1 BED
 - 2 BED
 - 3 BED
 - TH-1
 - TH-2
 - MECH/ELEC

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PEOPLES

SHEET TITLE

SECOND FLOOR
PLAN

SCALE: 3/16"=1'-0"

DRAWN BY: SD/NH/RGB

CHECKED BY: RB

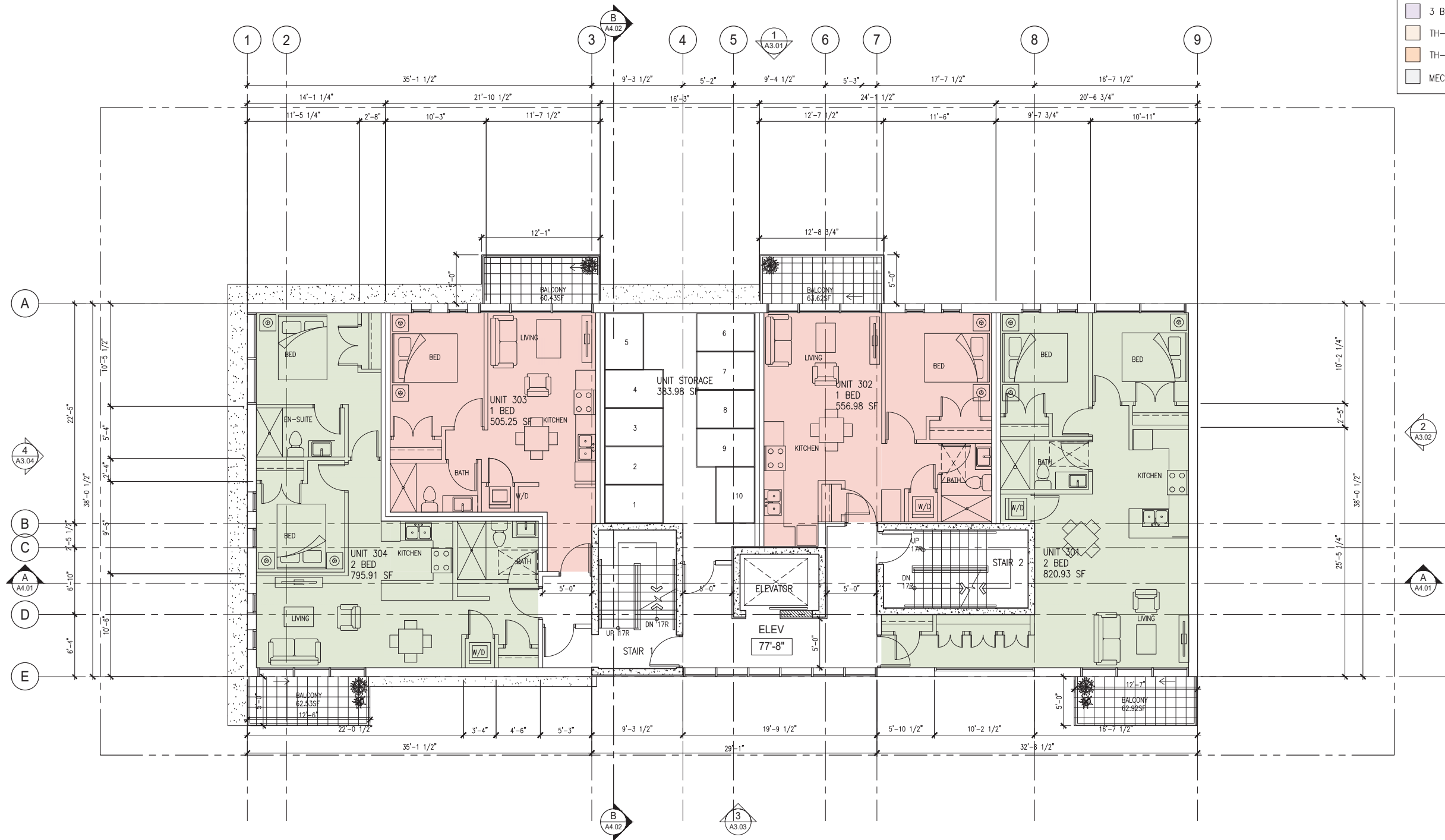
SHEET NO. A2.20

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FILE: 196A14

1 SECOND FLOOR PLAN
A2.20 3/16"=1'-0"





LEGEND:

- STUDIO
- 1 BED
- 2 BED
- 3 BED
- TH-1
- TH-2
- MECH/ELEC

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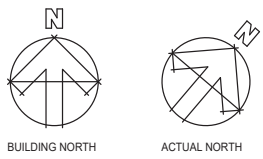
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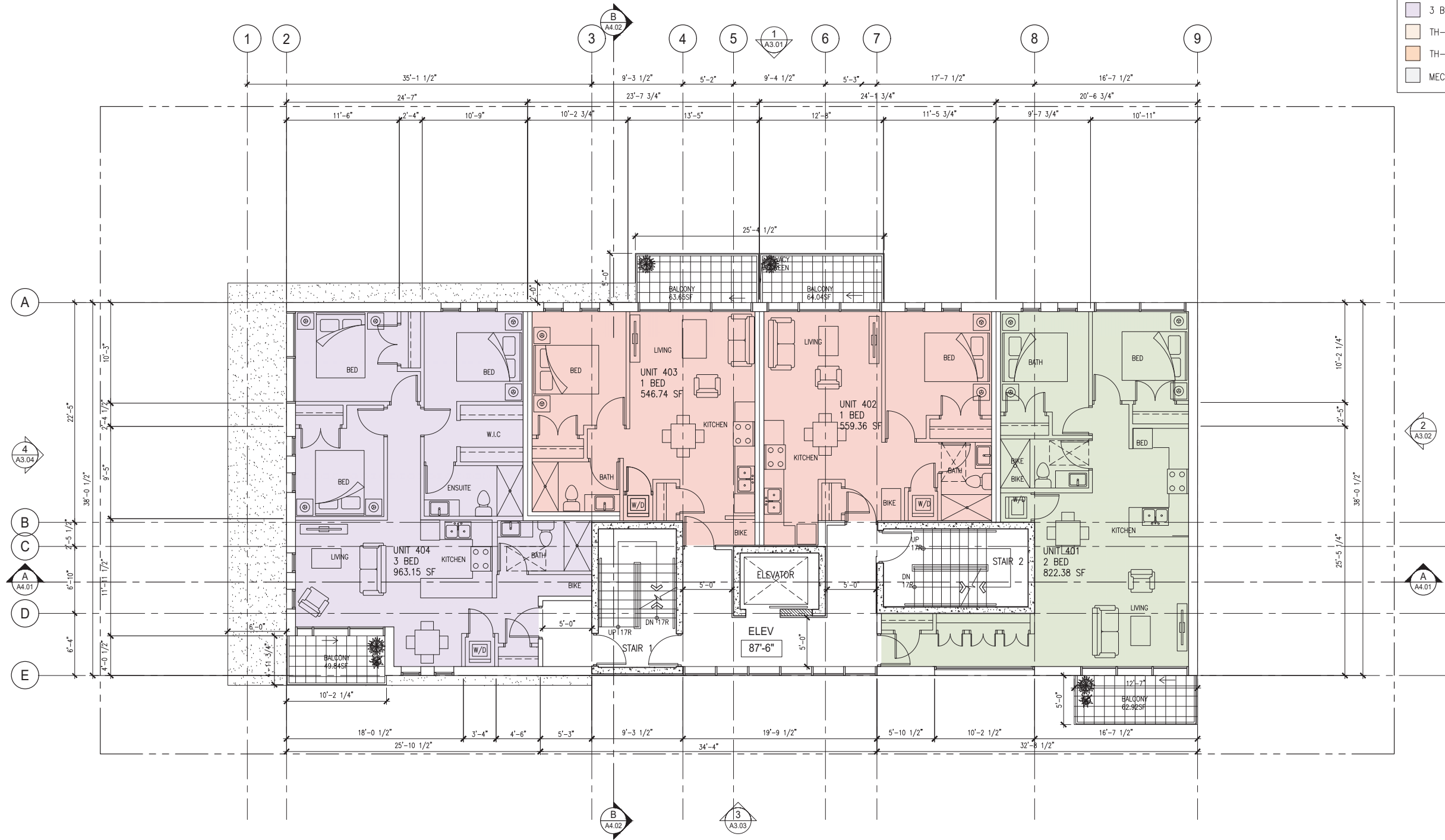
SHEET TITLE

THIRD FLOOR PLAN

SCALE: 3/16"=1'-0"	SHEET NO. A2.30
DRAWN BY: SD/NH/RGB	Page 74 of 90
CHECKED BY: RB	FILE: 19BA14

1 THIRD FLOOR PLAN
A2.30 3/16"=1'-0"





- LEGEND:
- STUDIO
 - 1 BED
 - 2 BED
 - 3 BED
 - TH-1
 - TH-2
 - MECH/ELEC

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PEOPLES

SHEET TITLE

FOURTH FLOOR
PLAN

SCALE: 3/16"=1'-0"

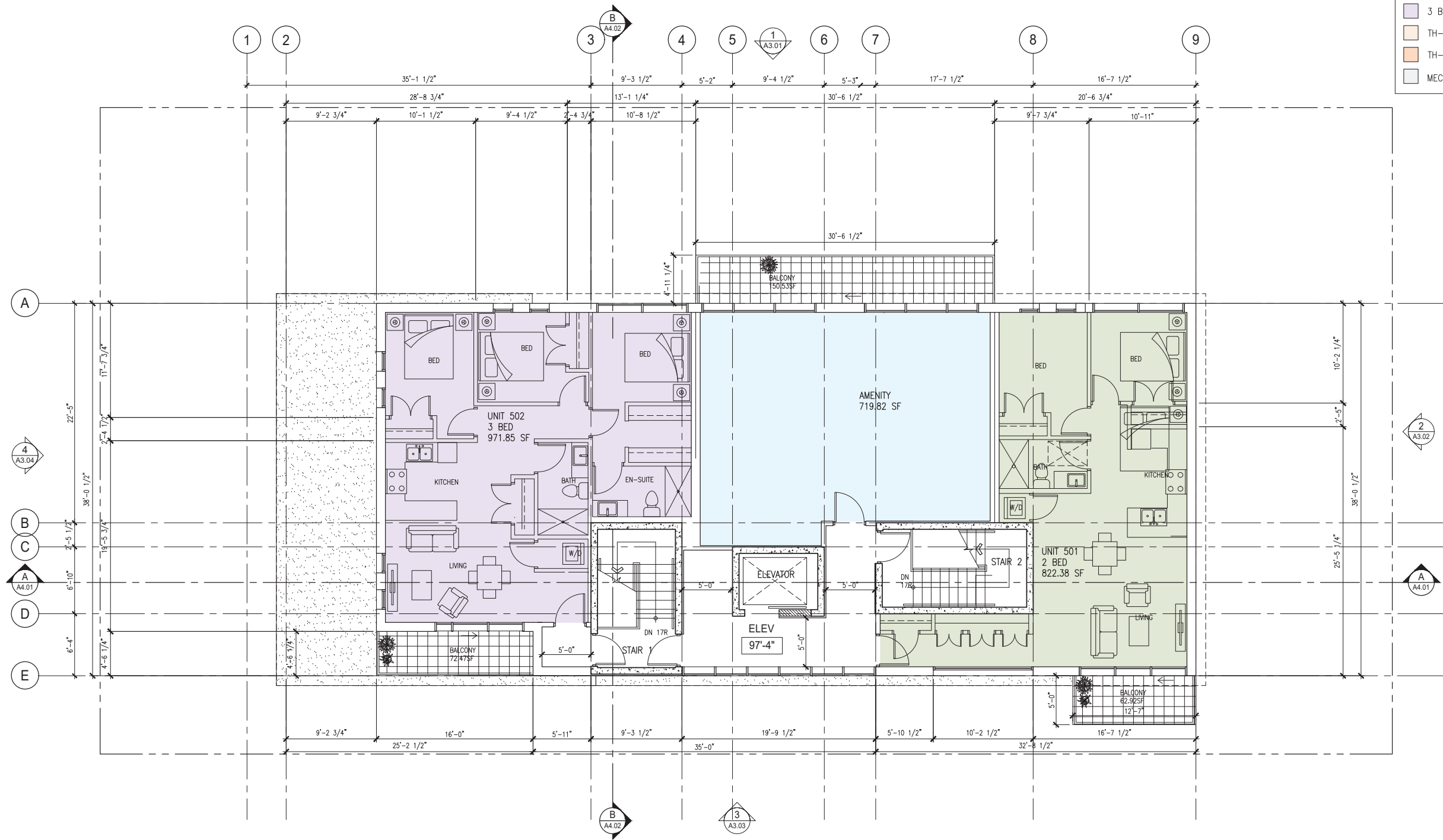
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SHEET NO. A2.40

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FILE: 196A14



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 - 1 BED
 - 2 BED
 - 3 BED
 - TH-1
 - TH-2
 - MECH/ELEC

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PEOPLES

SHEET TITLE

FIFTH FLOOR PLAN

SCALE: 3/16"=1'-0"

DRAWN BY: SD/NH/RGB

CHECKED BY: RB

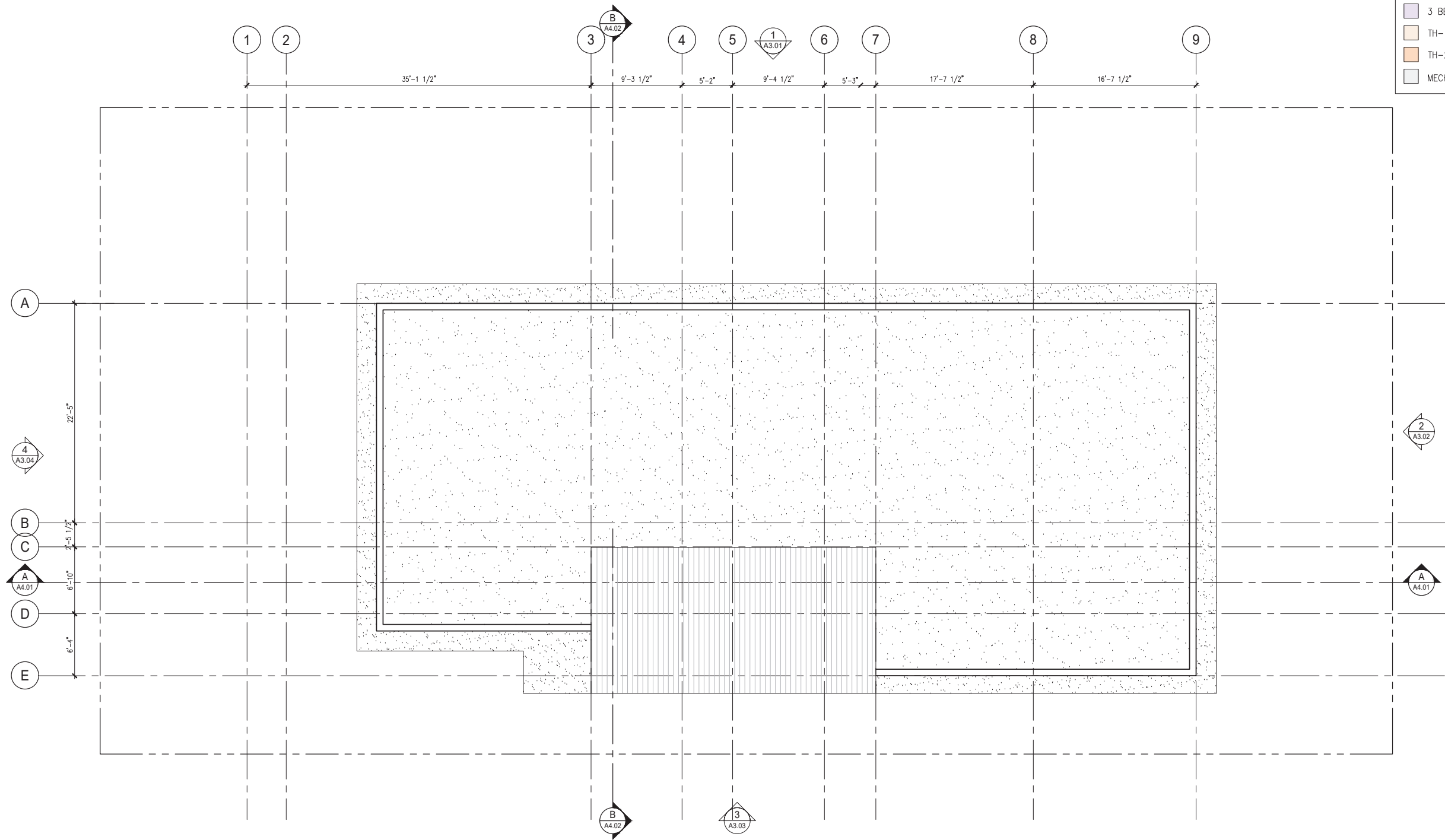
SHEET NO. A2.50

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FILE: 19BA14

1 FIFTH FLOOR PLAN
A2.40 3/16"=1'-0"





- LEGEND:
- STUDIO
 - 1 BED
 - 2 BED
 - 3 BED
 - TH-1
 - TH-2
 - MECH/ELEC

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SHEET TITLE

ROOF PLAN

SCALE: 3/16"=1'-0"

DRAWN BY: SD/NH/RGB

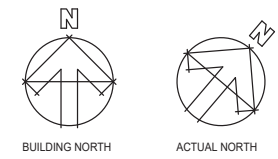
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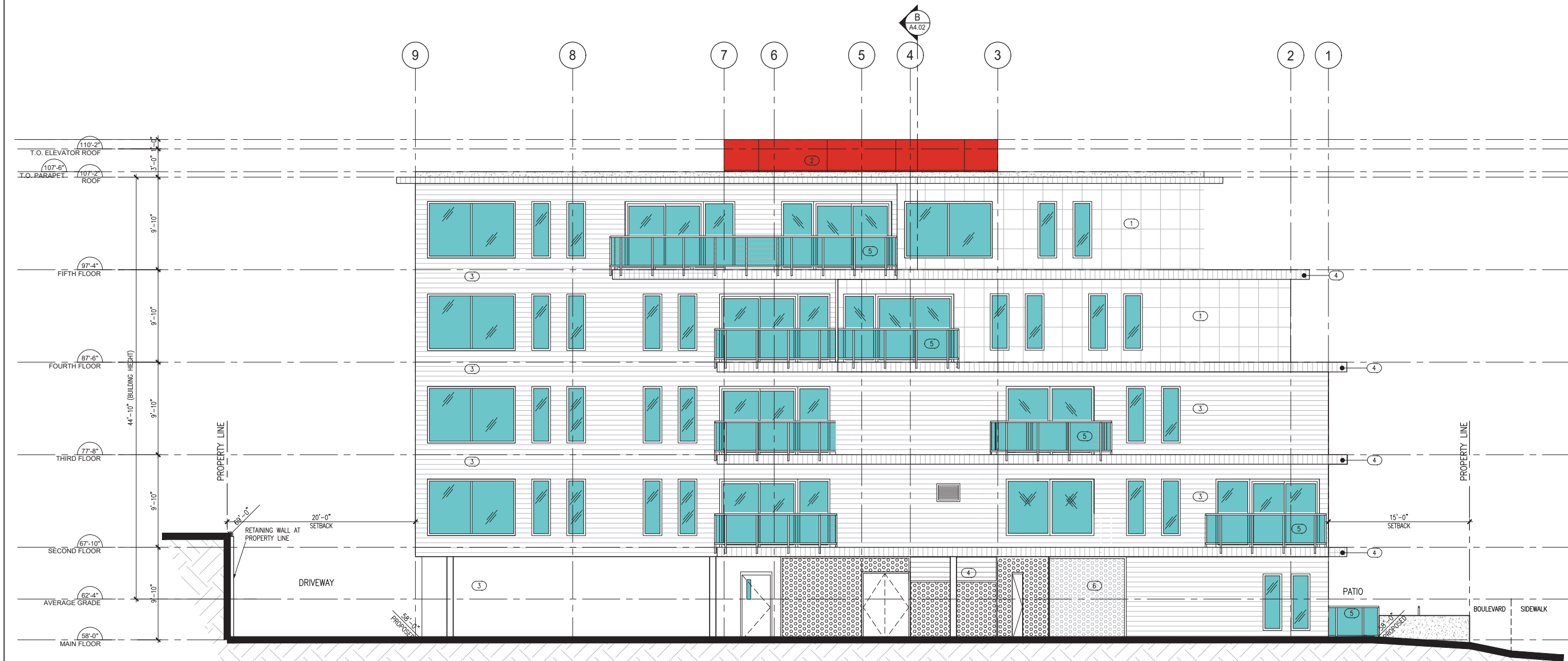
SHEET NO. A2.60

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FILE: 19BA14

1 ROOF PLAN
A2.60 3/16"=1'-0"





1 NORTH ELEVATION
A3.01 3/16"=1'-0"

- EXTERIOR FINISHES:
- | | |
|--|-----------------------------|
| 1 COMPOSITE PANEL - WHITE | 6 PERFORATED METAL |
| 2 COMPOSITE PANEL -RED | 7 EXPOSED CONCRETE(ROOFTOP) |
| 3 HORIZONTAL CEDAR SIDING | |
| 4 VERTICAL CLEAR FINISH DARK BROWN CEDAR | |
| 5 TEMPERED CLEAR GLASS GUARD | |

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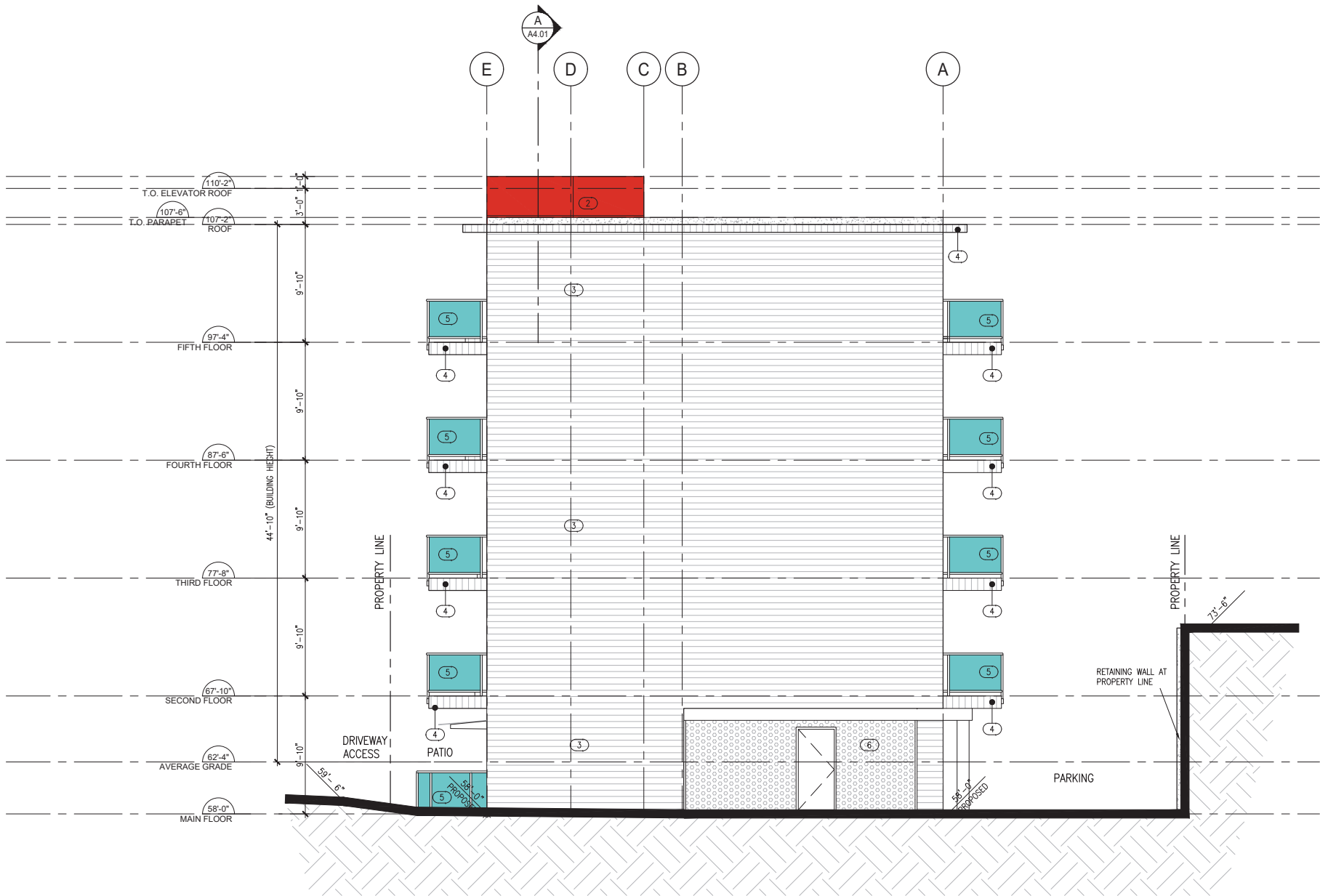
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NEW WESTMINSTER, BC

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PEOPLES

SHEET TITLE

ELEVATION -
NORTH

SCALE: 3/16"=1'-0" SHEET NO. A3.01
DRAWN BY: SD/INH/RGB
CHECKED BY: RB
FILE: 19BA14



2 EAST ELEVATION
A3.02 3/16"=1'-0"

- EXTERIOR FINISHES:
- | | |
|--|-----------------------------|
| 1 COMPOSITE PANEL - WHITE | 6 PERFORATED METAL |
| 2 COMPOSITE PANEL -RED | 7 EXPOSED CONCRETE(ROOFTOP) |
| 3 HORIZONTAL CEDAR SIDING | |
| 4 VERTICAL CLEAR FINISH DARK BROWN CEDAR | |
| 5 TEMPERED CLEAR GLASS GUARD | |

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4	15.02.2022	DEVELOPMENT PERMIT REV 5
3	17.11.2021	ISSUED FOR REVIEW
2	29.06.2021	ISSUED FOR REZONING/DP
1	18.09.2020	ISSUED FOR REZONING
NO.	DATE	REVISION

DESIGN CONSULTANT



#701 - 625 Fifth Avenue
New Westminster, B.C. Canada,
V3M 1X4
(604) 619-0529

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SEA

PROJECT

CARIBOO STREET
1321 CARIBOO STREET
NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON
THE TRADITIONAL TERRITORY OF THE
QAYQAYT FIRST NATIONS AND THE COAST SALISH
PEOPLES

SHEET TITLE

ELEVATION - EAST

SCALE:
3/16"=1'-0"

SHEET NO.

DRAWN BY:

SD/NH/RGB

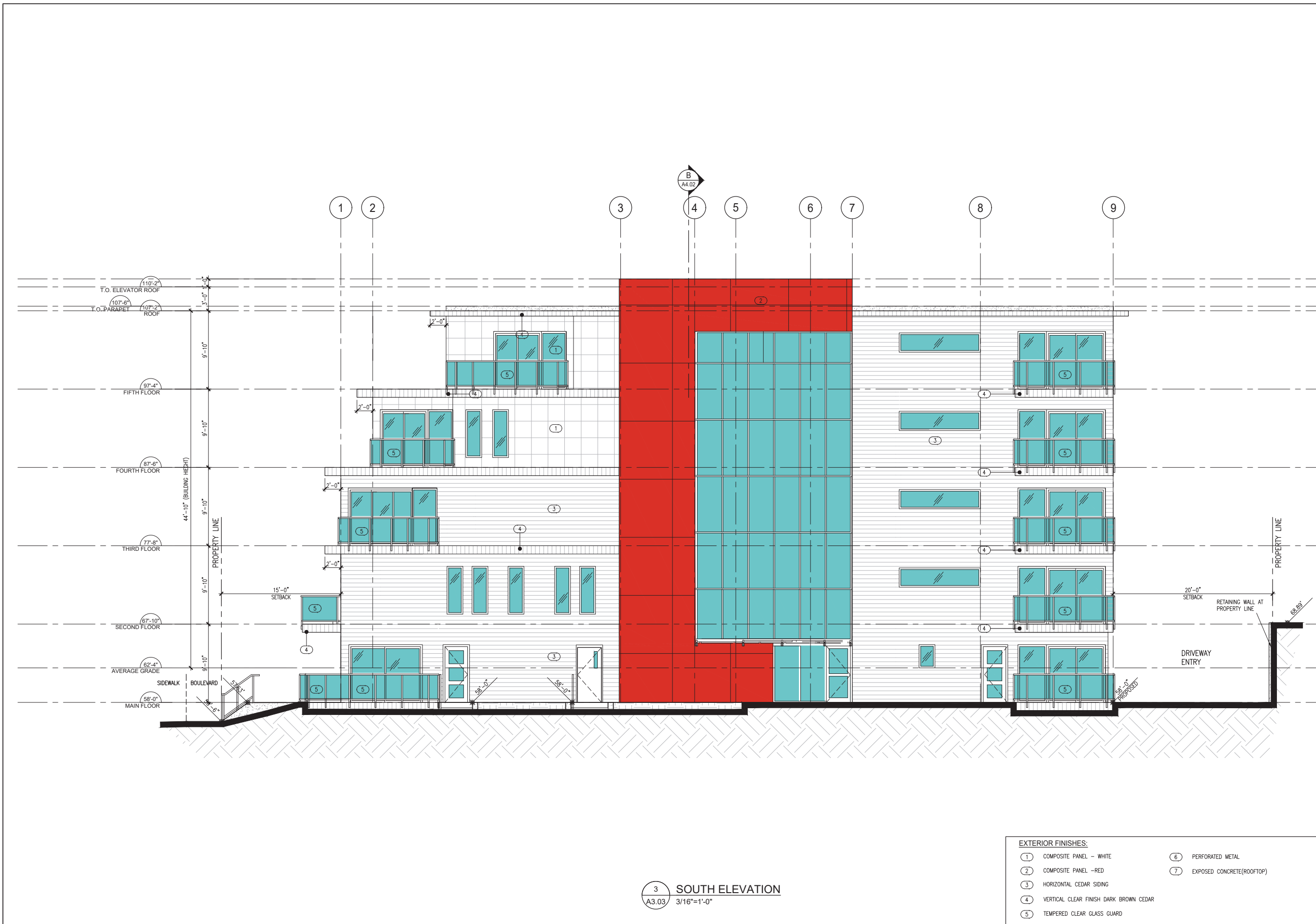
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RB

A3.02

Page 79 of 90

FILE: 196A14



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SEAL

PROJECT

CARIBOO STREET

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NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON THE TRADITIONAL TERRITORY OF THE QAYQAYT FIRST NATIONS AND THE COAST SALISH PEOPLES

SHEET TITLE

ELEVATION - SOUTH

SCALE: 3/16"=1'-0"

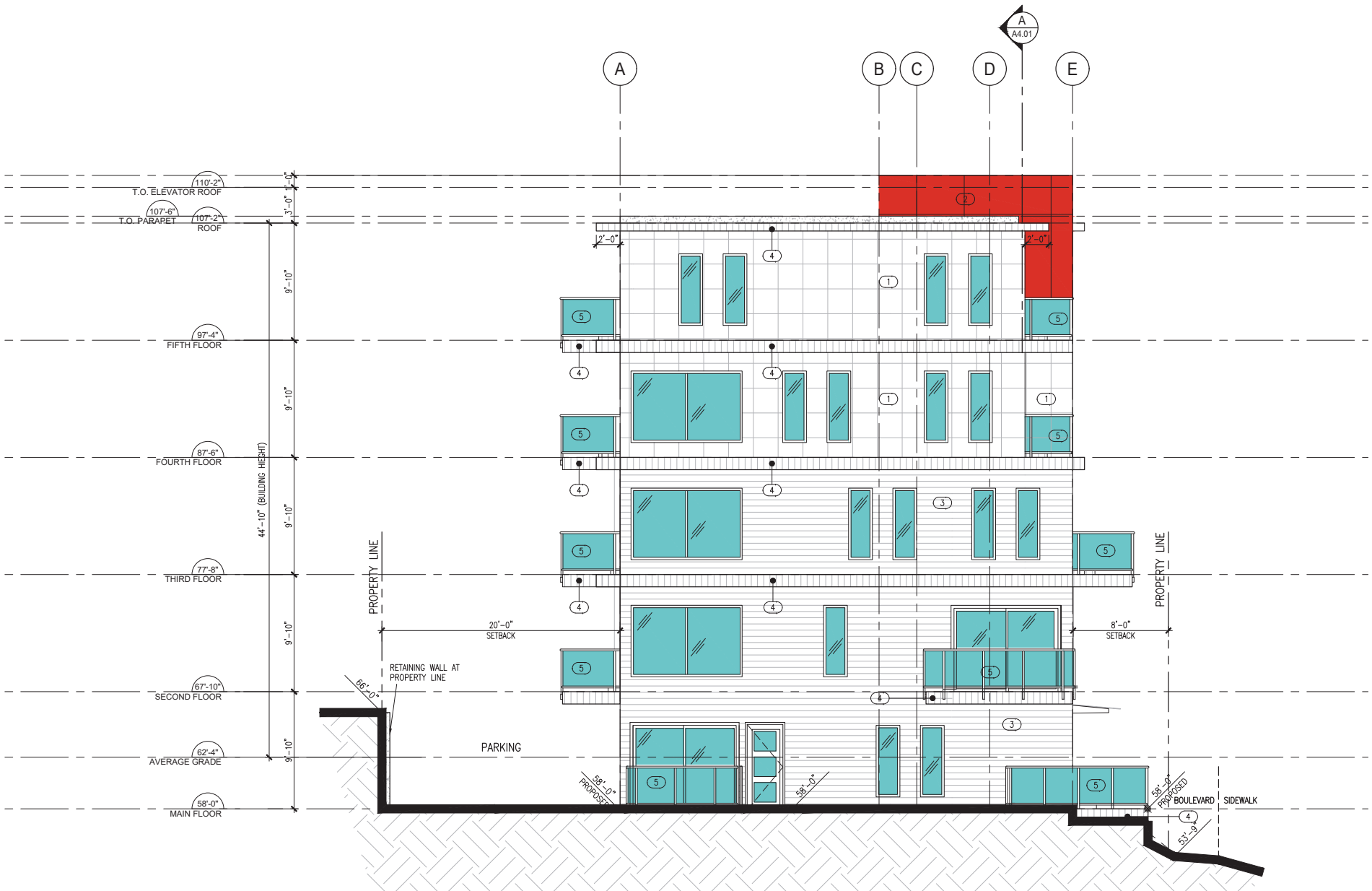
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CHECKED BY: RB

SHEET NO. A3.03

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FILE: 19BA14



4 WEST ELEVATION
A3.04 3/16"=1'-0"

- EXTERIOR FINISHES:
- | | | | |
|---|--|---|---------------------------|
| 1 | COMPOSITE PANEL -- WHITE | 6 | PERFORATED METAL |
| 2 | COMPOSITE PANEL --RED | 7 | EXPOSED CONCRETE(ROOFTOP) |
| 3 | HORIZONTAL CEDAR SIDING | | |
| 4 | VERTICAL CLEAR FINISH DARK BROWN CEDAR | | |
| 5 | TEMPERED CLEAR GLASS GUARD | | |

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PEOPLES

SHEET TITLE

ELEVATION - WEST

SCALE: 3/16"=1'-0" SHEET NO.
DRAWN BY: SD/NH/RGB
CHECKED BY: RB
FILE: 19BA14

A3.04
Page 81 of 90



1 SECTION A-A
A4.02 3/16"=1'-0"

- LEGEND:
- STUDIO
 - 1 BED
 - 2 BED
 - 3 BED
 - TH-1
 - TH-2
 - MECH/ELEC

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PEOPLES

SHEET TITLE

BUILDING
SECTION AA

SCALE:	3/16"=1'-0"	SHEET NO.	A4.01
DRAWN BY:	SD/NH/RGB	PROJECT NO.	19BA14
CHECKED BY:	RB	FILE:	19BA14

LEGEND:

- STUDIO
- 1 BED
- 2 BED
- 3 BED
- TH-1
- TH-2
- MECH/ELEC

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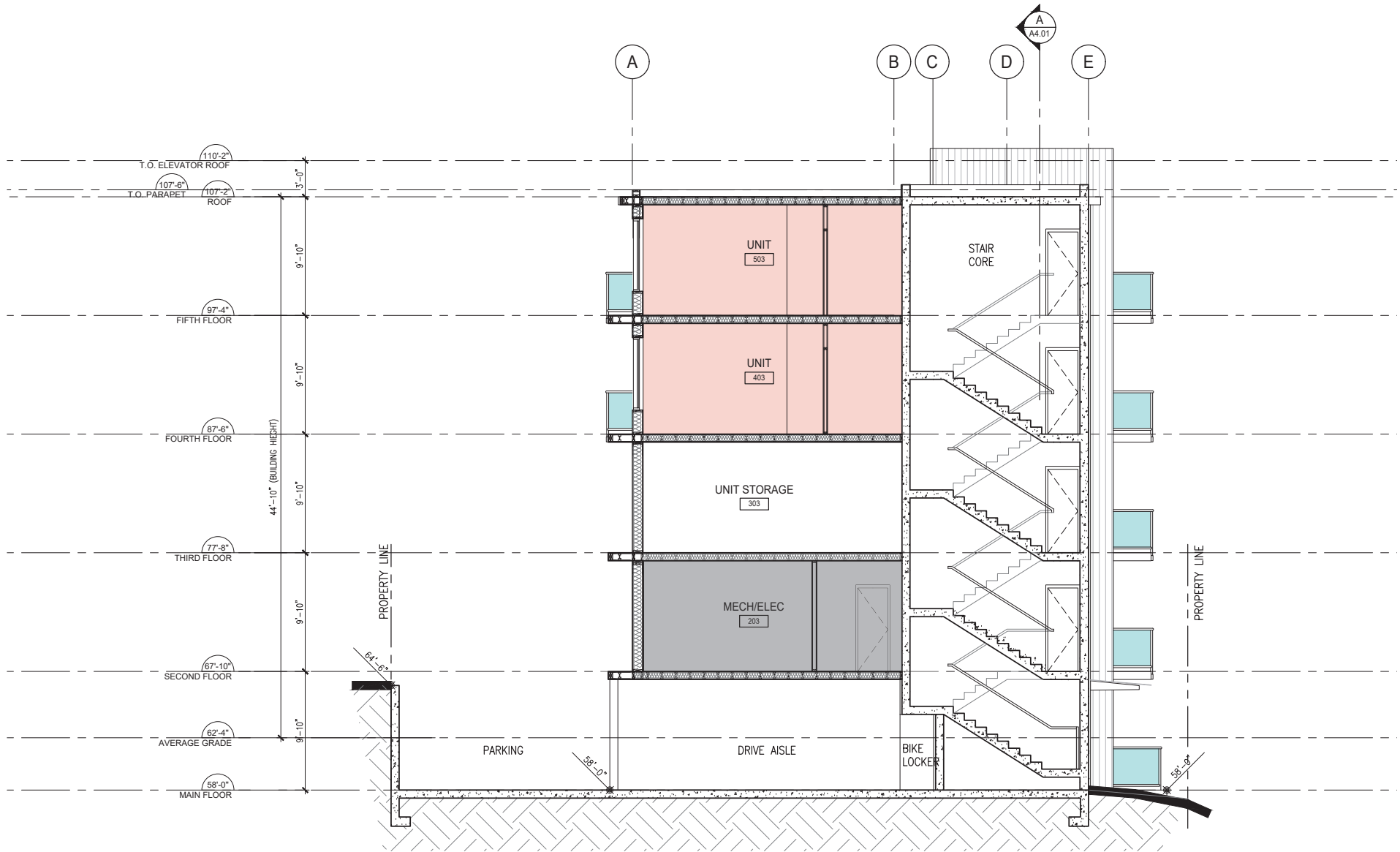
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PEOPLES

SHEET TITLE

BUILDING
SECTION BB

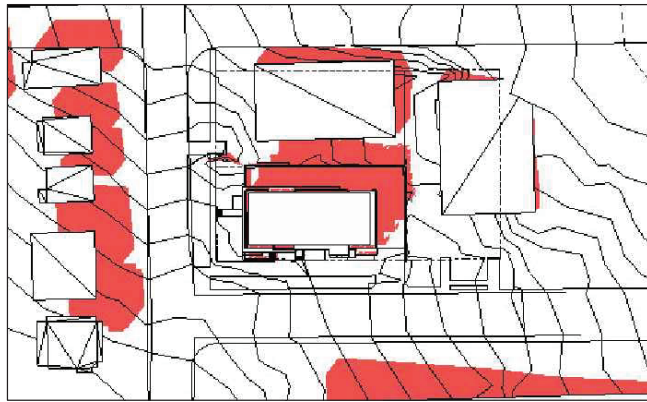
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DRAWN BY:	SD/NH/RGB	PROJECT NO.	19BA14
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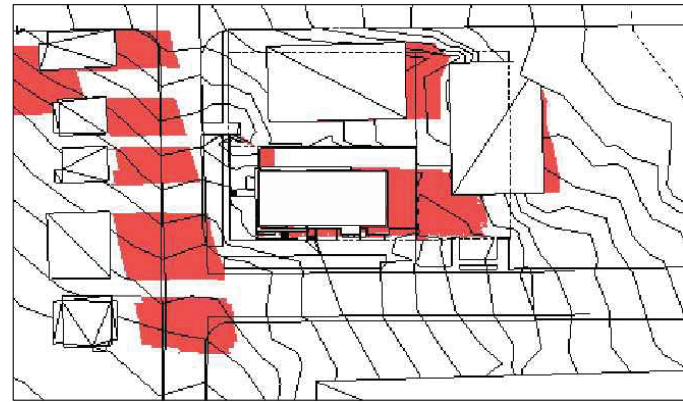
1 SECTION B-B
A4.02 3/16"=1'-0"



1 FALL EQUINOX 9.00 AM
A8.01 NTS



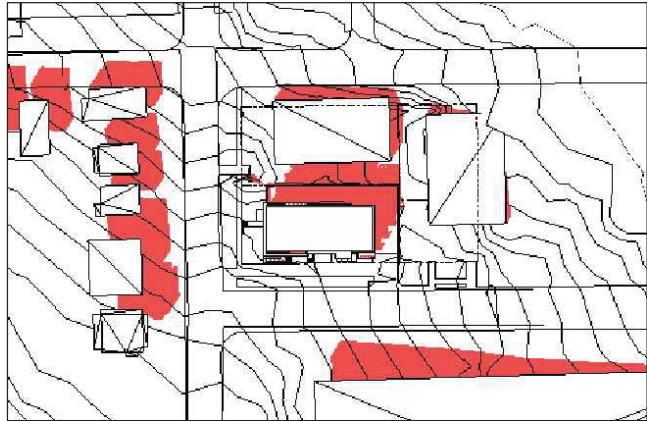
2 FALL EQUINOX- 12.00 PM
A8.01 NTS



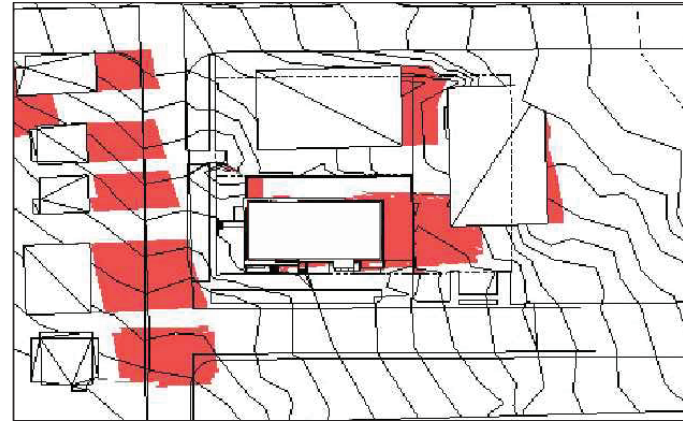
3 FALL EQUINOX-15.00 PM
A8.01 NTS



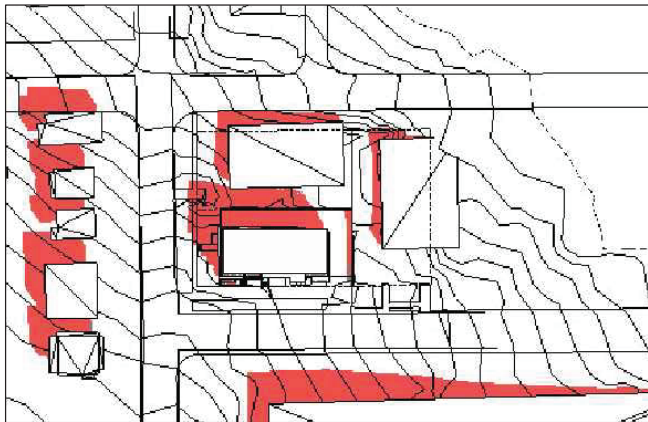
4 SPRING EQUINOX-9.00 AM
A8.01 NTS



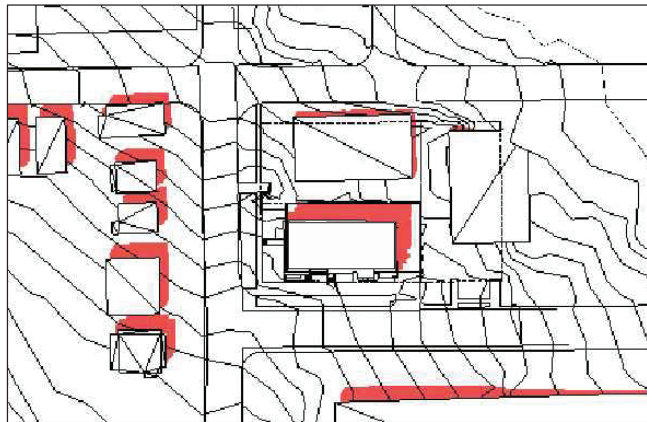
5 SPRING EQUINOX-12.00 PM
A8.01 NTS



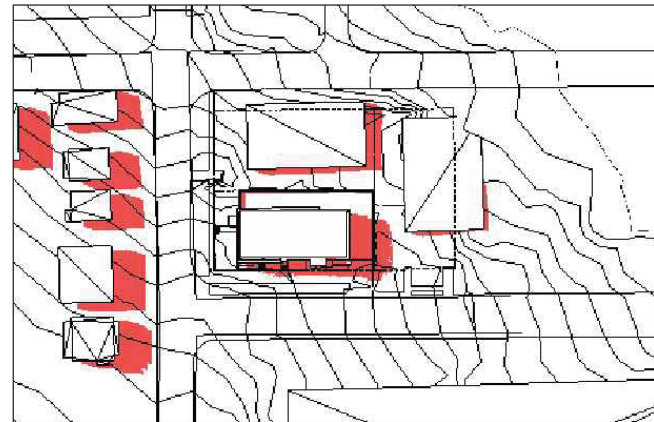
6 SPRING EQUINOX-3.00 PM
A8.01 NTS



7 SUMMER SOLSTICE-9.00 AM
A8.01 NTS



8 SUMMER SOLSTICE 12.00 PM
A8.01 NTS



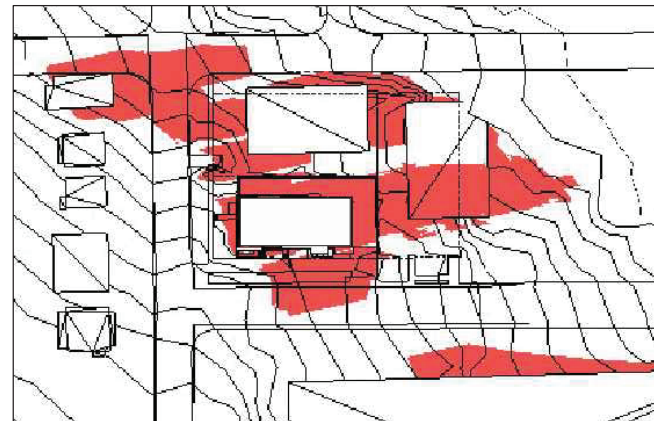
9 SUMMER SOLSTICE 3.00 PM
A8.01 NTS



10 WINTER SOLSTICE 9.00 AM
A8.01 NTS



11 WINTER SOLSTICE 12.00 PM
A8.01 NTS



12 WINTER SOLSTICE 3.00 PM
A8.01 NTS

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SEA

PROJECT

CARIBOO STREET

1321 CARIBOO STREET

NEW WESTMINSTER, BC

THIS ADDRESS IS LOCATED ON
THE TRADITIONAL TERRITORY OF THE
QAYQAYT FIRST NATIONS AND THE COAST SALISH
PEOPLES

SHEET TITLE

SHADOW STUDY

SCALE: 3/16"=1'-0"

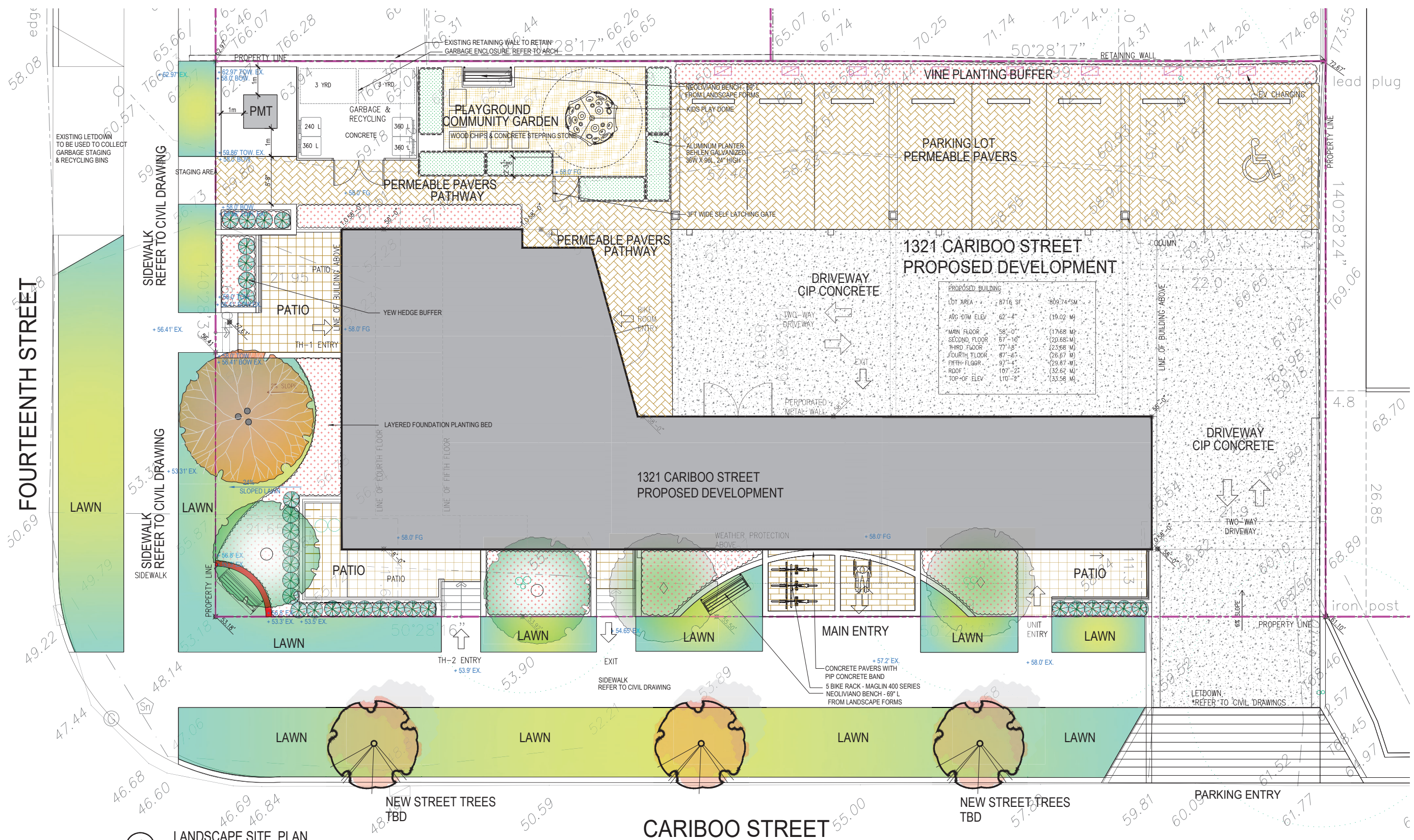
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SHEET NO. A8.01

Page 84 of 90

FILE: 19BA14



FOURTEENTH STREET

CARIBOO STREET

1 LANDSCAPE SITE PLAN
SCALE 3/16" = 1' - 0"

LEGEND:

SODDED LAWN

PLANTING

WOOD CHIPS

CONCRETE SLAB
ABBOTSFORD CONCRETE - TEXADA
STANDARD SIZE (24" X 24" X 2")
COLOR: NATURAL, GRID PATTERN

CONCRETE PAVER
ABBOTSFORD CONCRETE - METROPOLITAN
TYPE 1(15 3/4" X 7 7/8" X 3 15/16") TYPE 2(7 7/8" X 7 7/8" X 3 15/16")
COLOR: NATURAL&CHARCOAL MIX, RUNNING BOND PATTERN

CIP CONCRETE

PERMEABLE PAVERS
ABBOTSFORD CONCRETE
AQUA PAVE - STANDARD
SIZE: 8 3/4"(L) X 4 5/16"(W) X 3 1/8"(THICK)
COLOR: NATURAL
PATTERN: HERRIBONE

AGRICULTURE PLANTER
BEHLEN GALVANIZED
36W X 96L, 24" HIGH

EXISTING TREE TO REMOVE

EXISTING TREE TO RETAIN
WITH TREE PROTECTION FENCE

NEW STREET TREES

NEW HEDGE

NEOLIVIANO BENCH - 69" L
FROM LANDSCAPE FORMS

5 BIKE RACK
MAGLIN 400 SERIES

Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services. New trees must be of good standard, minimum 6cm caliper, and installed with approved root barriers, tree guards and appropriate soil. Root barriers shall be 8 feet long and 18 inches in. Planting depth of root ball must be below sidewalk grade. Call Park Board for inspection after tree planting completion".

This plan is "NOT FOR CONSTRUCTION" and is to be submitted for review to Engineering Services a minimum of 8 weeks prior to the start of any construction proposed for public property. No work on public property may begin until such plans receive "For Construction" approval and related permits are issued. Please contact Engineering, Development Services and/or your Engineering, Building Site Inspector for details."

8

7

6

5 ISSUED FOR DESIGN PANEL MEETING

2022.04.14

4 ISSUED FOR DP R2

2022.02.07

3 ISSUED FOR DP R1

2021.06.23

2 ISSUED FOR DP

2020.09.01

1 ISSUED FOR CITY REVIEW

2020.06.26

ISSUES

DATE

PROJECT NUMBER

LF19

DRAWN BY

LX/LZ

CHECKED BY

LX

DATE CHECKED

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PROJECT

1321 CARIBOO ST.

NEW WESTMINSTER, BC

DRAWING TITLE

LANDSCAPE SITE PLAN

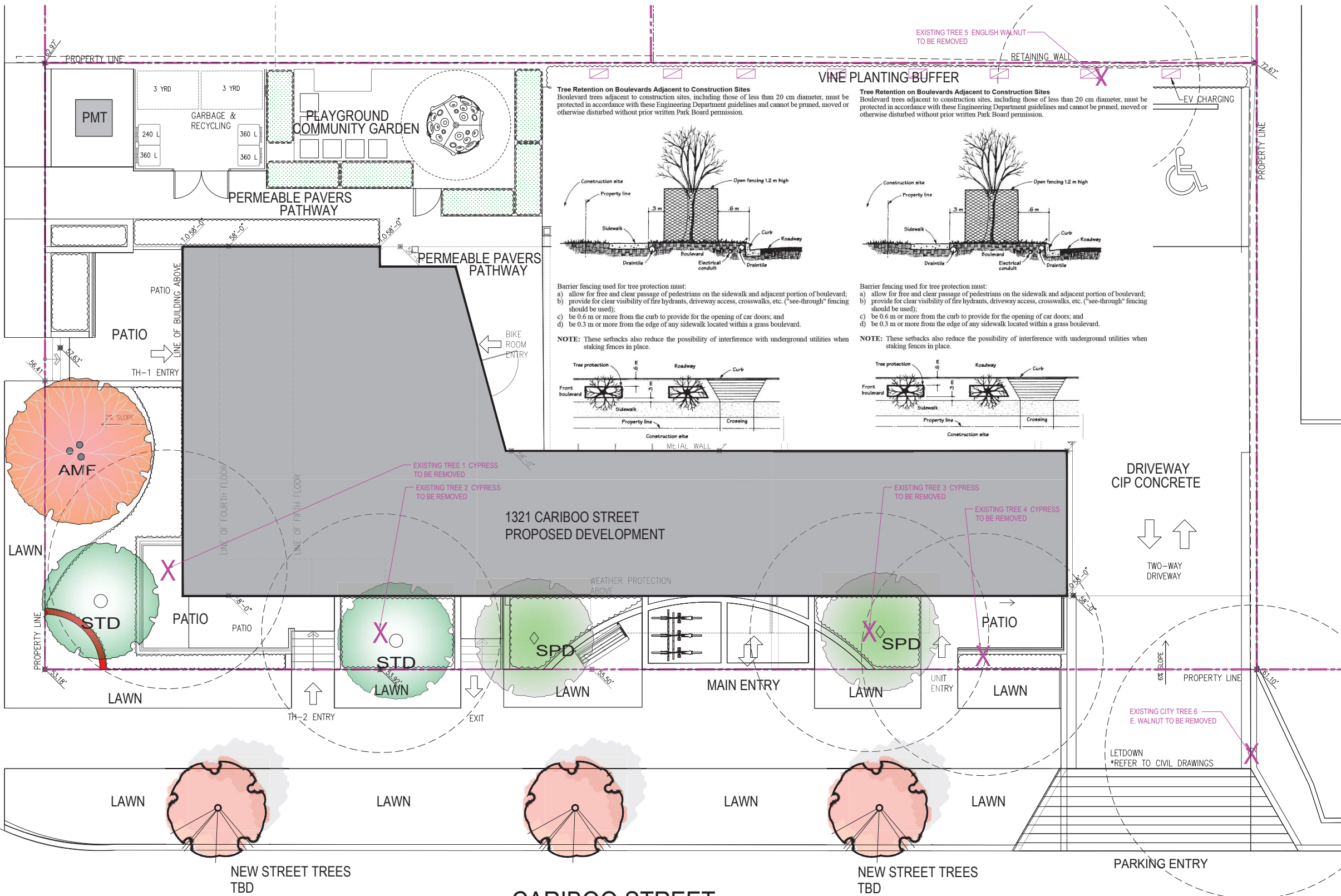
DRAWING No.

L1

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SIDEWALK REFER TO CIVIL DRAWING

SIDEWALK REFER TO CIVIL DRAWING



1 TREE MANAGEMENT PLAN
SCALE 3/16" = 1'-0"



PLANT LIST:				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & COND.
HEDGES				
TMC **	30	TAXUS MEDIA*HM EDDIE*	EDDIE YEWS	5FT HT. 18" O.C. B&B
DECIDUOUS TREES				
AMF **	1	AMELANCHIER GRANDIFLORA	APPLE SERVICEBERRY	3M HT. B&B
SPD **	2	STYRAX JAPONICUS	JAPANESE SNOWBELL	6CM CAL. B&B
STD **	2	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	6CM CAL. B&B

8

7

6

5

4

3

2

1

ISSUED FOR DESIGN PANEL MEETING

ISSUED FOR DP R2

ISSUED FOR DP R1

ISSUED FOR DP

ISSUED FOR CITY REVIEW

2022.04.14

2022.02.07

2021.06.23

2020.09.01

2020.06.26

ISSUES

PROJECT NUMBER

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DATE CHECKED

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NEW WESTMINSTER, BC

DRAWING TITLE

TREE MANAGEMENT PLAN

DRAWING No.

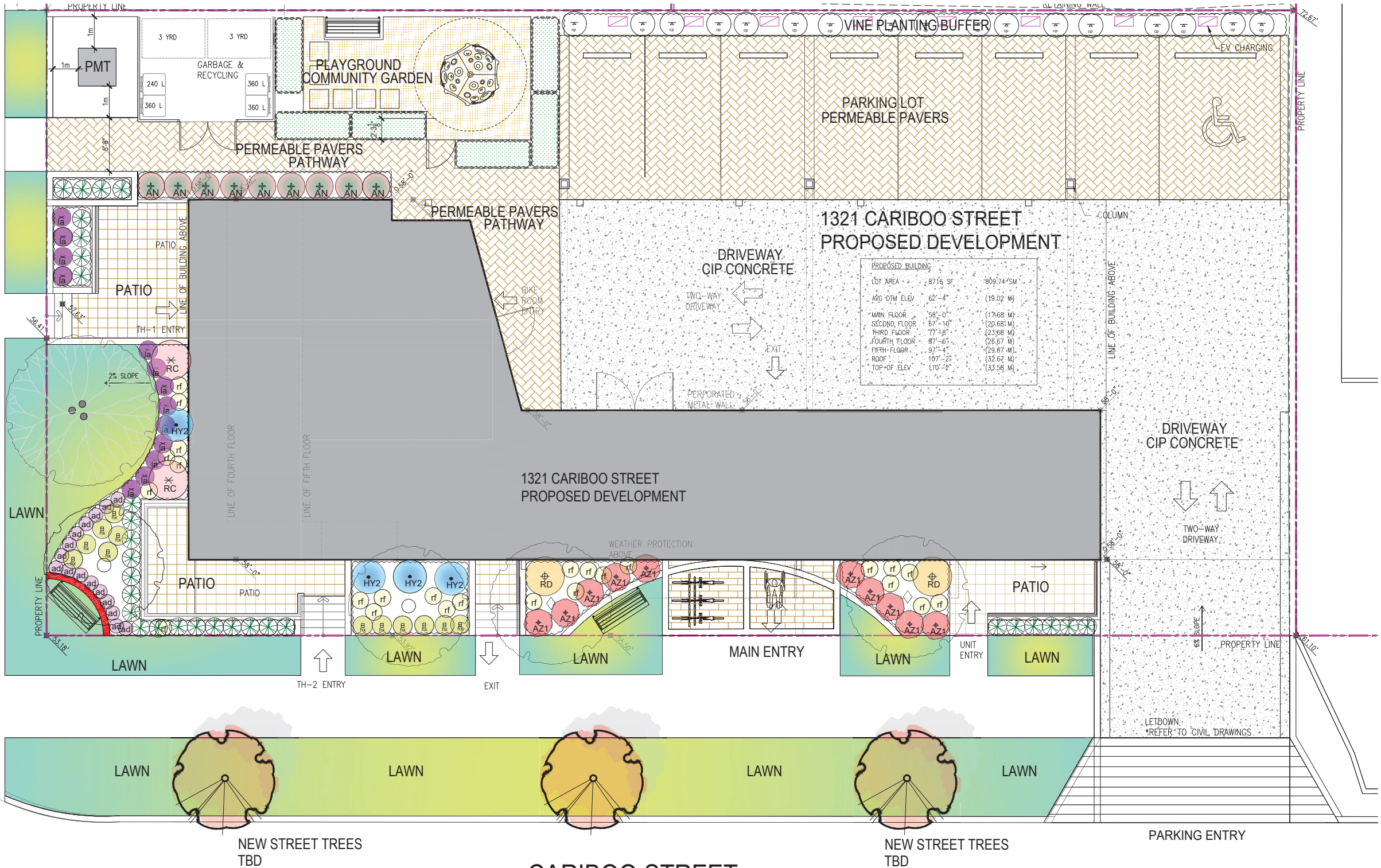
L2

Page 86 of 90

FOURTEENTH STREET

SIDEWALK
REFER TO CIVIL DRAWING

SIDEWALK
REFER TO CIVIL DRAWING



- NOTES:
1. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCNTA OR BCSLA GUIDELINES.
 2. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE, SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
 3. AMMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
 4. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
A. GROUND COVERS: 300MM (12")
B. SHRUBS: 450MM (18")
C. TREE PITS: 1000MM (36") WITH 300MM(12")BELOW ROOT BALL
 5. ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 16" O.C.
 6. 1"MINUS COMPOSTED MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS - DEPTH 2".
 7. SOD SHALL BE #1 PREMIUM GRADE RESIDENTIAL GRASS MIXTURE GROWN IN TOPOIL MEDIUM. NO MESH.
 8. HIGH EFFICIENCY IRRIGATION SYSTEM REQUIRED - (AUTOMATIC).
 9. ALL TREES SHALL BE REVIEWED BY LANDSCAPE ARCHITECT AT NURSERY BEFORE DELIVERING TO SITE.

1 LANDSCAPE PLANTING PLAN

SCALE 3/16" = 1'-0"



PLANT LIST:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & COND.
HEDGES				
TMC **	30	TAXUS MEDIA "HM EDDIE"	EDDIE YEW	5FT HT. 18" O.C. B&B
DECIDUOUS TREES				
AMF **	1	AMELANCHIER GRANDIFLORA	APPLE SERVICEBERRY	3M HT. B&B
SPD **	2	STYRAX JAPONICUS	JAPANESE SNOWBELL	6CM CAL. B&B
STD **	2	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	6CM CAL. B&B
SHRUBS & GROUNDCOVERS				
AZ1 **	10	GIRARD'S FUCHSIA AZALEA	HINO CRIMSON AZALEA	#2 @ 2'-6" O.C.
AN **	9	ARBUTUS UNEDO COMPACTED	COMPACT STRAWBERRY BUSH	#2 @ 2'-6" O.C.
HY2 **	4	HYDRANGEA MACROPHYLLA "MONMAR"	HYDRANGEA (REPEAT BLOOMER)	#2 @ 4' O.C.
RC **	2	RHODODENDRON "CHRISTMAS CHEER"	CHEER RHODO. (WHITE PINK)	#2 @ 3'-6" O.C.
RD **	2	RHODODENDRON HONEY BUTTER	RHODO. SPS (ORANGE PINK)	#2 @ 4' O.C.
la **	13	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	#2 POT @ 18" O.C.
PERENNIALS & GRASS & VINE				
rf **	25	RUDBECKIA FULGIDA var 'GOLDSTRUM'	BLACK EYED SUSAN	#1 POT @ 18" O.C.
hx **	12	HAKONECHLOA MACRA "AUREOLA"	GOLDEN JAPANESE FOREST GRASS	#1 POT @ 30CM O.C.
ad **	16	AUBRIETA DELTOIDEA	PURPLE ROCK CRESS	#1 POT @ 30CM O.C.
cp **	17	CLEMATIS 'THE PRESIDENT'	'THE PRESIDENT' CLEMATIS	#3 STAKE TO SCREEN

** BIRD FRIENDLY PLANTS



8		
7		
6		
5	ISSUED FOR DESIGN PANEL MEETING	2022.04.14
4	ISSUED FOR DP R2	2022.02.07
3	ISSUED FOR DP R1	2021.06.23
2	ISSUED FOR DP	2020.09.01
1	ISSUED FOR CITY REVIEW	2020.06.26
ISSUES		DATE
PROJECT NUMBER	LF19	
DRAWN BY	LX/LZ	
CHECKED BY	LX	
DATE CHECKED		

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NEW WESTMINSTER, BC

DRAWING TITLE

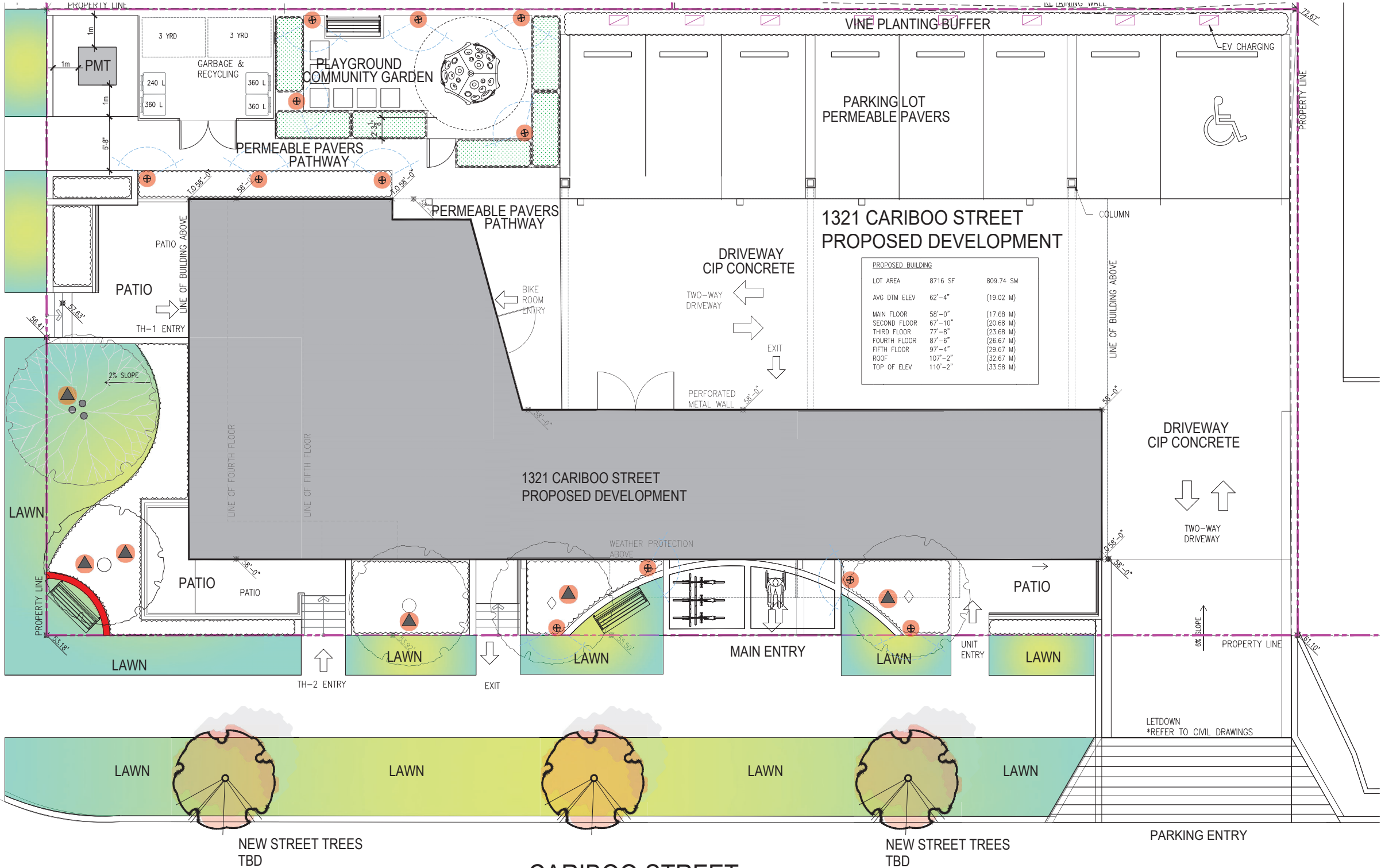
LANDSCAPE PLANTING PLAN

DRAWING No.

FOURTEENTH STREET

SIDEWALK
REFER TO CIVIL DRAWING

SIDEWALK
REFER TO CIVIL DRAWING



NEW STREET TREES
TBD

NEW STREET TREES
TBD

CARIBOO STREET

LANDSCAPE LIGHTING PLAN

LIGHTING NOTES:

1. ALL FIXTURES AND OTHER PRODUCTS TO BE CSA APPROVED. ALL WIRES TO BE BURIED TO MEET CSA AND BUILDING CODE. ALL 12V WIRES TO BE BURIED MIN. 18" BELOW GRADE.
2. INSTALL WITH CAREFUL ATTENTION TO PREVENT CORROSION. USING APPROPRIATE PRODUCTS AND METHODS AS REQUIRED.
3. LAYOUT OF FIXTURES IS SCHEMATIC ONLY. ACTUAL POSITION OF EACH LIGHT TO BE VERIFIED ON SITE AND APPROVED BY LANDSCAPE ARCHITECT.
5. AFTER FORMWORK FOR ALL VISIBLE CONCRETE WORKS, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ON SITE TO REVIEW ANY WALL LIGHTS POSITION, BEFORE POURING THE CONCRETE WORKS.
6. EACH FIXTURE TO HAVE MIN. 6'-0" EXTRA WIRE TO ALLOW RELOCATION.
7. ALL EXTERIOR LIGHTS TO BE ON PHOTOELECTRIC CELL AND TIMER WITH MANUAL OVERRIDE WATTAGE FOR INDIVIDUAL LIGHTS TO BE VERIFIED ON SITE AND APPROVED BY LANDSCAPE ARCHITECT.
8. DOWNLIGHTS TO BE MOUNTED WITH STAINLESS STEEL SCREWS FOR ALL TREE BRANCHES OVER 4" DIAMETER EXPANDABLE STRAPS OR ALTERNATE PRE-APPROVED BY LANDSCAPE ARCHITECT EVERYTHING ELSE AND MAIN TRUNK. ALL OTHER FIXTURES TO BE MOVABLE STAKES.
9. POSITION OF BAFFLES ON INDIVIDUAL LIGHT FIXTURES TO BE DETERMINED ON SITE AND APPROVED BY LANDSCAPE ARCHITECT.
10. COLOUR OF FIXTURES TO BE APPROVED BY LANDSCAPE ARCHITECT.
11. WIRES TO BE MIN. OF 12 / 2 WITH A HEAVY CSA APPROVED JACKET.
12. RUN WIRE IN THE "HUB" METHOD, WITH EACH FIXTURE ON ITS OWN SEPARATE RUN FROM THE HUB POINT. ALLOW MIN. 6' EXTRA WIRE PER FIXTURE FOR PROPER AIMING AND ADJUSTMENT AS THE LANDSCAPE MATTERS.
13. CONNECTORS TO BE OF THE MARRETTE TYPE, WITH ANTI-CORROSION (NOALOX, DIELECTRIC GREASE) FILLING MARRETTE TO COVER ALL THE BARE COPPER INSIDE CONNECTOR. TO INSURE PROPER CONNECTIONS WITH MARRETTES, TUG ALL WIRES ENTERING MARRETTE INDIVIDUALLY SO THAT THEY ARE PROPERLY BOUND TOGETHER IN THE MARRETTE.
14. IF USING A STANDARD MARRRETTE, IT SHALL BE WRAPPED WITH BLACK TAPE COVERING THE MARRETTE AND 2 INCH DOWN THE WIRE JACKET. A COMMERCIAL PRODUCED DIRECT BURY MARRETTE IS ALSO APPROVED FOR USE.
15. A PRESS TOGETHER CONNECTOR IS UNACCEPTABLE IN A DIRECT BURY SITUATION. IT SHALL ONLY BE USED IN A DECK SITUATION WHERE THE MARRETTE METHOD WOULD BE TO BE VISIBLE.
16. TRANSFORMERS TO BE USED FOR 12V LANDSCAPE LIGHTING SHALL HAVE A STAINLESS STEEL CASING, A TRI-TAP 12-VOLT SIDE WHICH INCLUDES 11V, 12V & 13V TAPS, AND RE-SEATABLE (BREAKER TYPE) SECONDARY PROTECTION BUILT INTO THE TRANSFORMER.
17. ALL TRANSFORMER AND ELECTRIC PULL STATION LOCATIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE EXECUTION ON SITE.

LIGHTING LEGEND

**LIGHTING IMAGES ARE NOT LIGHTING SPECIFICATION



LIGHTING SCHEDULE

SYMBOL	QUANTITY	DESCRIPTION	MANUFACTURE	SPECIFICATIONS
	6	ACCENT UPLIGHT	KITCHLER	16151 AZT27, 35 DEGREE FLOOD, 2700K WARM WHITE, ARCHITECTURAL BRONZE FINISH 200LUMEN, 35 DEGREE FLOOD
	12	PATH LIGHT	KITCHLER	LED PIERCED DOME 15857 AZT, 2700K WARM WHITE, ARCHITECTURAL BRONZE FINISH 12V LED PATH/SPREAD



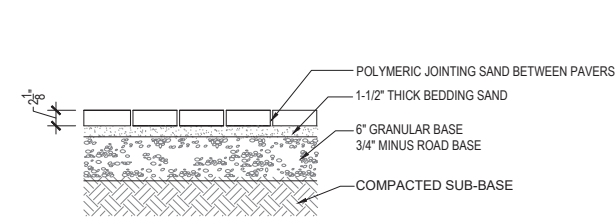
8	
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5	ISSUED FOR DESIGN PANEL MEETING 2022.04.14
4	ISSUED FOR DP R2 2022.02.07
3	ISSUED FOR DP R1 2021.06.23
2	ISSUED FOR DP 2020.09.01
1	ISSUED FOR CITY REVIEW 2020.06.26
ISSUES	DATE

PROJECT NUMBER	LF19
DRAWN BY	LX/ LZ
CHECKED BY	LX
DATE CHECKED	

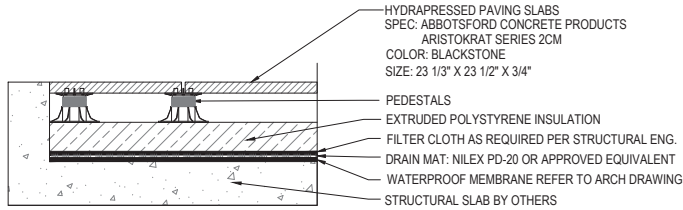
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lu@rplprojects.com
604-338-5035

PROJECT
1321 CARIBOO ST.
NEW WESTMINSTER, BC

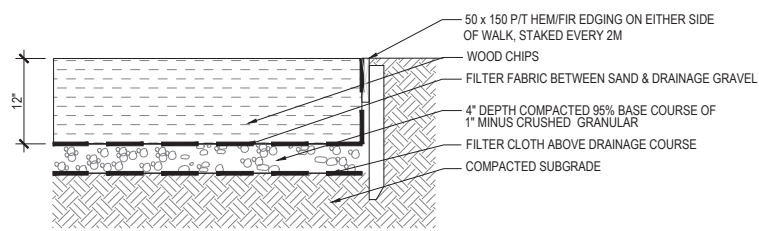
DRAWING TITLE
**LANDSCAPE
LIGHTING PLAN**



1 UNIT PAVERS ON GRADE
SCALE: 1" = 1'



2 PORCELAIN SLAB OVER STRUCTURE SLAB
SCALE: 1" = 1'



3 WOOD CHIPS W/ WOOD EDGING
SCALE: 1" = 1'

Standard Colors

While the colours shown here are represented as accurately as possible, they should only be used as a guide. Actual samples should be viewed before making a final colour selection.

Shadow • Charcoal • Red • Red/Black • Indian Summer • Desert Sand • Sand/Brown • Brown •

*For best results, pavers should be installed from several pallets to ensure color consistency, especially with multi-color blends.

ABBOTSFORD CONCRETE PRODUCTS

Standard Colors

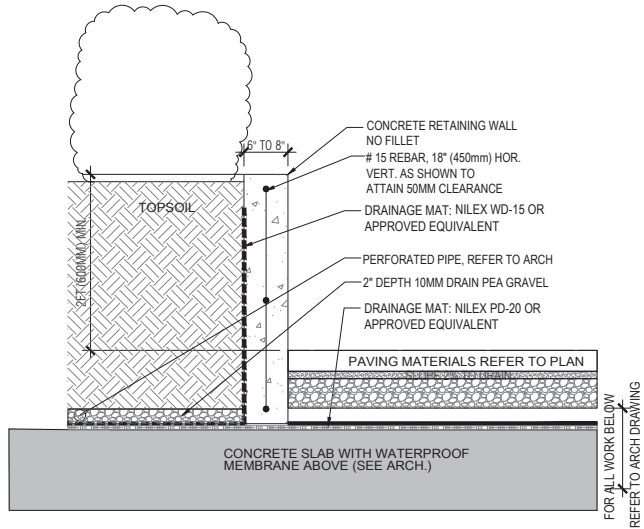
While the colours shown here are represented as accurately as possible, they should only be used as a guide. Actual samples should be viewed before making a final colour selection.

Shadow • Charcoal • Red • Red/Black • Indian Summer • Desert Sand • Sand/Brown • Brown •

*For best results, pavers should be installed from several pallets to ensure color consistency, especially with multi-color blends.

4 PERMEABLE PAVERS SPECIFICATION
SCALE: NTS

PARKING LOT PAVING
ABBOTSFORD CONCRETE
AQUA PAVE STANDARD
SIZE: 8 3/4"(L) x 4 5/16"(W) x 3 1/8"(THICK)
COLOR: NATURAL



7 CONCRETE PLANTER OVER STRUCTURE SLAB
SCALE: 1" = 1'

ABBOTSFORD CONCRETE PRODUCTS

ABBOTSFORD CONCRETE PRODUCTS

ABBOTSFORD CONCRETE PRODUCTS

5 ENTRANCE PAVING SPECIFICATION
SCALE: NTS

ABBOTSFORD CONCRETE
PIAZZA SERIES, TYPE 1 & TYPE 2
COLOR: NATURAL

Standard Sizes:

- 23 1/3" x 23 1/3" x 3/4" (595mm x 595mm x 20mm)
- 23 1/3" x 23 1/3" x 3/4" (595mm x 595mm x 20mm)
- 23 1/3" x 23 1/3" x 3/4" (595mm x 595mm x 20mm)
- 23 1/3" x 23 1/3" x 3/4" (595mm x 595mm x 20mm)
- 23 1/3" x 23 1/3" x 3/4" (595mm x 595mm x 20mm)
- 23 1/3" x 23 1/3" x 3/4" (595mm x 595mm x 20mm)

Wood Plank Size:

- 4 1/2" x 23 1/3" x 3/4" (114mm x 595mm x 20mm)
- 4 1/2" x 23 1/3" x 3/4" (114mm x 595mm x 20mm)

Backspace Spacing and Saw Ties:

- Backspace Spacing: 1/4" (6mm)
- Saw Ties: 1/4" (6mm)

Standard Sizes:

- 23 1/3" x 23 1/3" x 3/4" (595mm x 595mm x 20mm)
- 23 1/3" x 23 1/3" x 3/4" (595mm x 595mm x 20mm)
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Wood Plank Size:

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- 4 1/2" x 23 1/3" x 3/4" (114mm x 595mm x 20mm)

Backspace Spacing and Saw Ties:

- Backspace Spacing: 1/4" (6mm)
- Saw Ties: 1/4" (6mm)

6 PATIO PAVING SPECIFICATION
SCALE: NTS

PATIO PAVING
ABBOTSFORD CONCRETE
ABBOTSFORD CONCRETE

ARISTOKRAT SERIES 2CM
SIZE: 23 1/3" X 23 1/2" X 3/4"
COLOR: BLACKSTONE

Behlen Garden Pot

328 Galvanized Round End Tank (approx. 294 gal.)

Galvanized Round End Stock Tanks

SKU: 50130088

Categories: Tanks & Waterers, Galvanized Round End Stock Tanks

Description	Additional information
Item	50130088
Color	Galvanized
Width	36
Height	24
Length	96
Weight	94 lb

Additional Information

Item	50130088
Color	Galvanized
Width	36
Height	24
Length	96
Weight	94 lb

8 BEHLEN GARDEN POT
SCALE: NTS

Behlen Garden Pot

Wicking Bed Design (with modified inlet)

Watering Inlet Pipe
Pond Liner
Raised Garden Bed
Geotextile Fabric or Shaded Cloth
Water Overflow Pipe
Coarse Scoria

8

7

6

5 ISSUED FOR DESIGN PANEL MEETING 2022.04.14

4 ISSUED FOR DP R2 2022.02.07

3 ISSUED FOR DP R1 2021.06.23

2 ISSUED FOR DP 2020.09.01

1 ISSUED FOR CITY REVIEW 2020.06.26

ISSUES

PROJECT NUMBER LF19

DRAWN BY LX/ LZ

CHECKED BY LX

DATE CHECKED

RPL PROJECTS

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lu@rplprojects.com

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PROJECT

1321 CARIBOO ST.

NEW WESTMINSTER, BC

DRAWING TITLE

LANDSCAPE DETAILS & SPECIFICATIONS

DRAWING No.

L5.1

Page 89 of 90

habitat

Cozy Dome®

Landscape Structures Inc. Model #168099, Ages 2-12



The Cozy Dome® offers kids a place to escape the hustle and bustle of a busy playground, take time by themselves or socialize together. It can provide a quiet place for over-stimulated kids with peek holes to let kids and supervisors keep an eye on the action. Various textures on the outer surface create a perfect climbing experience as well.

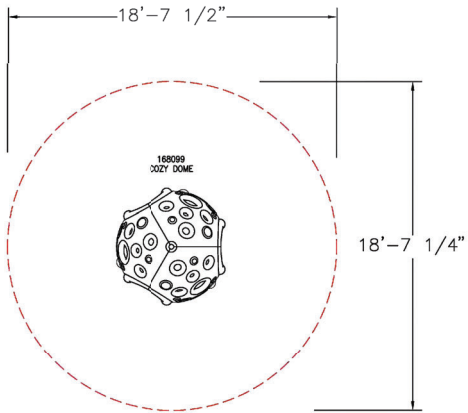
Available for direct bury or surface mount - \$5,991

*Above pricing is budgetary only, and does not include freight/shipping, remote area fees, installation, site requirements or applicable taxes.

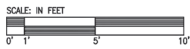
info@habitat-systems.com | 1.866.422.4828 | www.habitat-systems.com

Freestanding Play
(5-12 years)

TOTAL SQUARE FOOTAGE
272 SQ.FT.
MAX FALL HEIGHT
FOR THIS STRUCTURE
46"



TOTAL ELEVATED PLAY COMPONENTS	0	REQUIRED	0
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY RAMP	0	REQUIRED	0
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY TRANSFER	0	REQUIRED	0
TOTAL ACCESSIBLE GROUND LEVEL COMPONENTS SHOWN	1	REQUIRED	0
TOTAL DIFFERENT TYPES OF GROUND LEVEL COMPONENTS	1	REQUIRED	1



Design
2700

Landscape
Structures

SYSTEM TYPE:
Freestanding
DRAWING #: 2700

landscape
structures®



The play equipment identified on this plan was manufactured in accordance with the American National Standards Institute (ANSI) Z39-1-2011 standard for playground safety.

THIS PLAY AREA & PLAY EQUIPMENT IS DESIGNED FOR KIDS 5-12 YEARS UNLESS OTHERWISE NOTED ON PLAN.

IT IS THE USER'S RESPONSIBILITY TO ENSURE THAT THIS PLAY AREA DOES CONFORM TO THE A.S.A. ACCESSIBILITY GUIDELINES. ASSUMING AN ACCESSIBLE PATHWAY, SURFACING IS REQUIRED, AS INDICATED, AND WITHIN THE ENTIRE USE ZONE.

THIS CONSTRUCTION PLAN WAS BASED ON INFORMATION PROVIDED BY THE USER. IT IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. LANDSCAPE STRUCTURES, INC. MAKES NO WARRANTY, EXPRESS OR IMPLIED, INCLUDING A WARRANTY OF FITNESS FOR A PARTICULAR PURPOSE, REGARDLESS OF ANY ORAL OR WRITTEN STATEMENT, AND ASSUMES NO LIABILITY FOR ANY INJURY OR DAMAGE, INCLUDING THE DEATH OF ANY PERSON, ARISING OUT OF THE USE OF ANY OF THE EQUIPMENT SHOWN ON THIS PLAN.

CHOOSE A PROTECTIVE SURFACING MATERIAL THAT MEETS OR EXCEEDS THE REQUIREMENTS OF THE ASTM F1951-16 STANDARD FOR SAFETY SURFACING. THE SURFACING MUST BE WELL MAINTAINED AT ALL TIMES. THE SURFACING MUST BE REPLACED IF IT IS FOUND TO BE DAMAGED OR IF IT IS FOUND TO BE A HAZARD TO THE USER.

DESIGNED BY:

LANDSCAPE STRUCTURES, INC.
4001 10TH AVENUE S.W.
SEASIDE, WA 98138
TEL: 206-535-8333 FAX: 206-535-8334
WWW.LANDSCAPESTRUCTURES.COM

Date: Previous Drawing # Revision

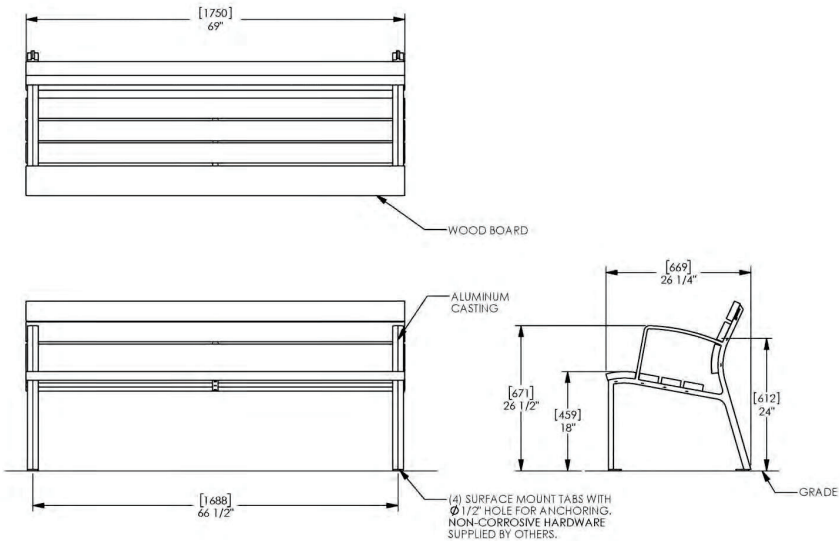


1 KIDS PLAY - COZY DOME

SCALE NTS

SANTA & COLE Neoliviano Backed Bench, 60in, Surface Mount, Wood
Product Drawing

Date: 10/10/2019
www.landscapeforms.com Ph: 800.521.2546



landscapeforms Drawing: NL099-02
Dimensions are in inches (mm)
Spanish Industrial Design 151,245

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2 NEOLIVIANO BENCH - LANDSCAPE FORMS

SCALE NTS

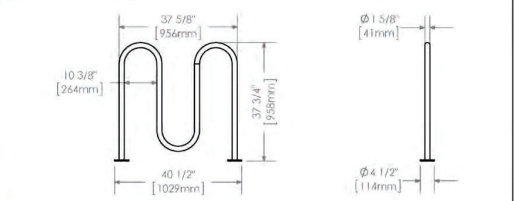
400 SERIES

MBR-0400-00007
Legacy # MBR400-S-S



MATERIALS: All parts of the MBR-0400 Series Bicycle Racks are made from H.S. Steel tube. This bike rack can hold up to 5 bicycles.
FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.
INSTALLATION: The bike racks are delivered pre-assembled. It is available with a surface mount installation.
TO SPECIFY: Select MBE-0400-00007
Choose:
- Powdercoat Color:

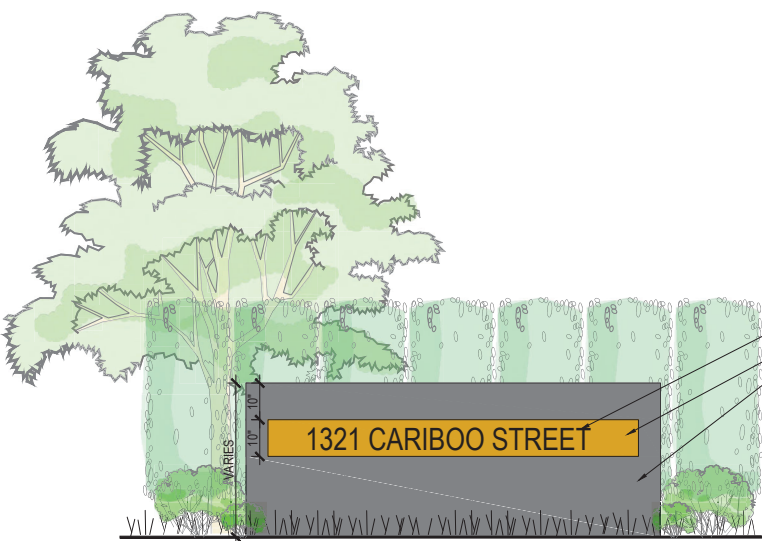
HEIGHT: 37.5\"/>



MAGLIN®
Steel Furniture
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10000 10TH AVENUE S.W. SEASIDE, WA 98138
TEL: 206-535-8333 FAX: 206-535-8334
WWW.MAGLIN.COM

3 5 BIKE RACK - MAGLIN 400 SERIES

SCALE NTS



4 SIGN WALL DETAILS

SCALE 1/2" = 1' - 0"

8	
7	
6	
5	ISSUED FOR DESIGN PANEL MEETING 2022.04.14
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NEW WESTMINSTER, BC

DRAWING TITLE
LANDSCAPE DETAILS & SPECIFICATIONS