

## Advisory Planning Commission

Tuesday, May 21, 2024, 6:00 p.m.

Open to public attendance in Council Chamber, City Hall

Committee members may attend electronically

We recognize and respect that New Westminster is on the unceded and unsurrendered land of the Halkomelem speaking peoples. We acknowledge that colonialism has made invisible their histories and connections to the land. As a City, we are learning and building relationships with the people whose lands we are on.

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	Pages
1. <u>CALL TO ORDER AND LAND ACKNOWLEDGEMENT</u> The Chair will open the meeting and provide a land acknowledgement.	
2. <u>CHANGES TO THE AGENDA</u> Addition or deletion of items.	
3. <u>ADOPTION OF MINUTES FROM PREVIOUS MEETINGS</u>	
3.1 September 19, 2023	3
4. <u>REPORTS AND PRESENTATIONS</u>	
4.1 <b>Official Community Plan Amendment, Rezoning, and Development Variance Permit: 1135 Salter Street</b> This report provides information to the Advisory Planning Commission regarding the Official Community Plan amendment, rezoning, and Development Variance Permit applications that have been received for 1135 Salter Street. The proposed development comprises 45 townhouse units organized into eight buildings with an overall floor space ratio of 0.793. The development includes 91 parking spaces, and approximately 10% of the site area is proposed as dedicated park space. Community engagement on this project has been initiated since September 2022, and the urban design aspects of this proposal have been reviewed by the New Westminster Design Panel.	7
<b>Recommendation</b> <b>THAT</b> the Advisory Planning Commission provide a motion of support or non-support for the proposed Official Community Plan amendment, rezoning, and Development Variance Permit applications.	

4.2	1135 Salter St - APC Staff Presentation (May 21, 2024)	87
4.3	1135 Salter St - APC Applicant Presentation (May 21, 2024)	93

5. **NEW BUSINESS**

Items added to the agenda at the beginning of the meeting.

6. **END OF MEETING**

7. **UPCOMING MEETINGS**

Remaining scheduled meetings for the year, which take place at 6:00 p.m. unless otherwise noted:

June 18, 2024

July 16, 2024

August 20, 2024

September 17, 2024

October 15, 2024

November 19, 2024

December 3, 2024

**ADVISORY PLANNING COMMISSION**  
**MINUTES**

**Tuesday, September 19, 2023, 6:00 p.m.**  
**Open to public attendance in Council Chamber, City Hall**  
**Committee members may attend electronically**

**PRESENT:**

Mr. Andrew Hull	Chair/Community Member
Ms. Simar Jaswal*	Alternate Chair/Community Member
Ms. Krista Macaulay*	Community Member
Mr. Diego Pons	Community Member
Mr. Quentin Van Der Merwe*	Community Member

**ABSENT:**

Mr. Jassy Briach	Community Member
Mr. Christopher Lumsden	Community Member
Ms. Angel Manguerra	Community Member
Ms. Luana Pinto	Community Member

**GUEST:**

Ms. Jean Roe*	Planner, Modus Planning, Design & Engagement
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**STAFF PRESENT:**

Ms. Meredith Seeton*	Policy Planner
Ms. Carilyn Cook	Committee Clerk

\*Denotes electronic attendance

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**1. CALL TO ORDER AND LAND ACKNOWLEDGEMENT**

Andrew Hull, Chair, opened the meeting at 6:00 p.m. and recognized with respect that New Westminster is on the unceded and unsurrendered land of the Halkomelem speaking peoples. He acknowledged that colonialism has made invisible their histories and connections to the land. He recognized that, as a City, we are learning and building relationships with the people whose lands we are on.

## **2. CHANGES TO THE AGENDA**

None.

## **3. ADOPTION OF MINUTES FROM PREVIOUS MEETINGS**

### **3.1 February 7, 2023**

MOVED AND SECONDED

**THAT** the minutes of the February 7, 2023 Advisory Planning Commission meeting be adopted as circulated.

**Carried.**

All members of the Committee present voted in favour of the motion.

### **3.2 February 21, 2023**

MOVED AND SECONDED

**THAT** the minutes of the February 21, 2023 Advisory Planning Commission meeting be adopted as circulated.

**Carried.**

All members of the Committee present voted in favour of the motion.

## **4. REPORTS AND PRESENTATIONS**

### **4.1 22nd Street Station Area Visioning**

Meredith Seeton, Policy Planner, and Jean Roe, Planner, Modus Planning, Design & Engagement, provided a PowerPoint presentation regarding the 22<sup>nd</sup> Street Station Area Visioning.

In response to questions from Commission members, Mses. Seeton and Roe provided the following comments:

- Community engagement will include a wide range of activities and approaches, in order to get ideas and feedback from a multitude of people, including those outside of the neighbourhood;
- Among other engagement activities, multiple workshops and an Ideas Challenge will take place, and input will be sought from students;
- The Ideas Challenge will be different than typical architecture design challenges in that it will be open to design concepts and policy ideas, and participation will be as low barrier as possible in effort to receive

the most number of ideas including submissions from community members;

- Visioning will include considering whether the boundary identified in the Official Community Plan remains the appropriate boundary for the 22<sup>nd</sup> Street Station area, and considering changes to the proposed land use designations in the Plan;
- Concurrently to engagement, staff is reaching out to external agencies and other departments, so as to be able to advance the vision in a timely fashion, but it will take time to bring all of the pieces together. Following the City's endorsement of a vision and adoption of bylaw amendments, neighbourhood transition will depend on landowner interest, land assembly, and market economics;
- City staff meet regularly with the School District with respect to their enrollment projections and long range plans with the goal of ensuring that there is capacity in schools to accommodate a growing student population. The Connaught Heights Elementary School is a great hub for the community but it is near capacity;
- Engagement will clarify what the community's aspirations for the neighbourhood are so that we know what will be needed from development;
- Part of the process will include financial analysis; and
- Once staff have heard from the community, the project will come back to the Commission for further input.

Discussion ensued and Commission member provided the following comments:

- Many community members are frustrated and tired of waiting and the neighbourhood is declining as residents do not know what to do with their properties;
- The first challenge will be assembling enough land for the towers;
- There is opportunity for First Nations groups to joint-venture housing in these large developments;
- Additional benefits could be realized with the inclusion of rental and/or supportive housing; and,
- The City should reconsider how rezoning is addressed as it should not be the long, drawn out process that it is now.

5. **NEW BUSINESS**

None.

6. **END OF MEETING**

The meeting ended at 6:49 p.m.

7. **UPCOMING MEETINGS**

Remaining scheduled meetings for the year, which take place at 6:00 p.m. unless otherwise noted:

November 21

December 19

Certified correct,

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Andrew Hull, Chair

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Carilyn Cook, Committee Clerk

# REPORT

## *Planning and Development*

**To:** Advisory Planning Commission      **Date:** May 21, 2024  
**From:** Dilys Huang, Development Planner      **File:** REZ00198  
**Item #:** 2024-303  
**Subject:** **Official Community Plan Amendment, Rezoning, and Development Variance Permit: 1135 Salter Street**

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### **RECOMMENDATION**

**THAT** the Advisory Planning Commission provide a motion of support or non-support for the proposed Official Community Plan amendment, rezoning, and Development Variance Permit applications.

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### **EXECUTIVE SUMMARY**

This report provides information to the Advisory Planning Commission regarding the Official Community Plan amendment, rezoning, and Development Variance Permit applications that have been received for 1135 Salter Street.

The proposed development comprises 45 townhouse units organized into eight buildings with an overall floor space ratio of 0.793. The development includes 91 parking spaces, and approximately 10% of the site area is proposed as dedicated park space.

Community engagement on this project has been initiated since September 2022, and the urban design aspects of this proposal have been reviewed by the New Westminster Design Panel.

### **1.0 PURPOSE**

The purpose of this report is to provide information on the proposal to the Advisory Planning Commission for its consideration in making a motion of support or non-support for this application.

## **2.0 PROPOSAL**

### **2.1 Overview**

The proposal consists of a 45 unit ground-oriented townhouse development organized into eight separate buildings along a central drive aisle with an overall floor space ratio of 0.793 (net after land dedications). Seven of the proposed buildings would orient toward future roadways as identified in the Official Community Plan's Advance Street Plan (refer to subsection 4.2 below), while Building 8 would face a proposed public park.

The applicant is proposing approximately 957.62 sq.m. (10,307.7 sq.ft.) of the subject property (equivalent to approximately 10% of the gross site area) for parkland. This parkspace would be located at the south end of the site along Salter Street. In addition to a few smaller seating areas, a privately-owned central common amenity space is proposed between Buildings 3 and 4.

The development proposes a total of 91 parking spaces, consisting of 50 standard spaces allowing vehicles to park side by side in garages, 32 tandem garage spaces (35% of total spaces or 43% of required spaces) for the narrower units in Buildings 1 through 4, and nine (9) surface visitor spaces. All of the resident stalls and some of the visitor stalls would include energized level 2 outlets for EV charging. A total of 90 long term bicycle storage spaces and six (6) short term bicycle spaces for visitors would also be provided.

Vehicular access would be from two access points – one from a new proposed north-south road dedication along the east property line off of Salter Street and the other, from the future Basran Avenue road dedication at the north end of the site. Internal pedestrian pathways, including some mid-block connections allowing for public access, are also proposed.

Due to flood hazard considerations, the applicant is proposing external stairs to access electrical rooms on the sides of Buildings 3, 6, and 8. These currently project into a couple of the required building separation distances and the side yard setback, which would be facilitated through a Development Variance Permit.

The applicant's land use rationale and architectural and landscape drawings are attached as Appendices A and B.



2.2 Project Statistics

A summary of the project statistics is included below:

	Permitted/Required under RT-3	Proposed
<b>Site Details</b>		
Site Area (Gross)	--	9,348.33 sq. m. (100,625 sq. ft.)
Site Area (Net)	--	5,824.87 sq. m. (62,698.37 sq. ft.)
Site Coverage	40%	37.12%
Floor Space Ratio	0.8	0.793
Units	--	45
2-Bed (33%)	79 sq. m. (850 sq. ft.) <i>(*excluding flood control area)</i>	89.9 sq. m. – 95.51 sq. m. (967.68 sq. ft. – 1,028.06 sq. ft.)
3-Bed (67%)	79 sq. m. (850 sq. ft.)*	95.96 sq. m. – 118.83 sq. m. (1,032.9 sq. ft. – 1,279.08 sq. ft.)
Building Height	10.7 m. (35 ft.)	9.76 m. (32.02 ft.)
<b>Building Setbacks</b>		
Front (North)	3.05 m. (10 ft.)	3.05 m. (10 ft.)
Rear (South)	4.57 m. (15 ft.)	4.57 m. (15 ft.)
Side	4.57 m. (15 ft.)	4.57 m. (15 ft.) (with 1.55 m. (5.09 ft.) setback for Bldg. 8 electrical room access stair projection)
<b>Distance Between Buildings</b>		
Between Two Side Walls	4.27 m. (14 ft.)	4.27 m. (14 ft.) (with 1.24 m. (4.07 ft.) building separation distance for Bldgs. 2 & 3 and Bldgs. 6 & 7)
Between Front and Rear	10.97 m. (35.99 ft.)	11.31 m. (37.11 ft.)
<b>Parking (Vehicle)</b>		
Residential	66	82 (including 32 tandem spaces)
Visitor	9	9
<b>Parking (Bicycle)</b>		
Long Term	68	90
Short Term	6	6

\* Note: grey highlighted text indicates proposed variances

\* Evaluation of zoning requirements based on 2019 bylaw that was in effect at the time of application submission

**3.0 POLICY AND REGULATIONS**

**3.1 Queensborough Community Plan**

Land Use Designation

The subject property is currently designated “(RL) Residential – Low Density” in the Queensborough Community Plan (QCP). As this land use designation envisions low density residential uses such as single detached dwellings and duplexes, the site would need to be redesignated to “(RM) Residential – Multiple Unit Buildings” to allow for townhouses. The “Parks, Open Space and Community Facilities” designation is proposed for the parkspace portion of the site.

Development Permit Area

As the site is not currently located in a form and character development permit area (DPA), an amendment to the QCP map would be required to include the site as part of the Ewen Avenue Multi-Family DPA. Besides encouraging best practices for promoting water and energy conservation and reducing greenhouse gas emissions, this DPA also establishes guidelines for the form and character of multi-family residential development, such as this proposed townhouse project. The proposed development would also need to comply with the Flood Hazard DPA guidelines.

The Development Permit Area guidelines can be accessed via the following links:

- [Ewen Avenue Multi-Family DPA](#)
- [Flood Hazard DPA](#)

A copy of the draft Official Community Plan Amendment Bylaw is attached as Appendix C.

**3.2 Zoning Bylaw**

The subject site is currently zoned “Queensborough Neighbourhood Residential Dwelling Districts (RQ-1)” and the intent of this district is to allow single detached dwellings in the Queensborough neighbourhood. Since the RQ-1 district does not allow for townhouses, the development portion of the site would be rezoned to “Queensborough Townhouse Districts (RT-3)” to facilitate the proposed development. The parkspace portion of the site is proposed to be rezoned to “Parks Districts (P-10)”. A copy of the draft Zoning Amendment Bylaw is attached as Appendix D.

**3.3 Variance Policy**

The proposed variances would be subject to the City’s *Policy Approach to Considering Requests for Variances*, endorsed by Council in 2008. This is a policy-based approach for the consideration of variance applications. The approach involves evaluating a variance against a set of questions for the purposes of clarifying the benefits and necessity of the variance. The evaluation criteria questions are included in Appendix E.

**3.4. Family-Friendly Housing Policy**

Per the City’s Family-Friendly Housing Policy, the development would be required to provide a minimum of 30% two and three bedroom units, of which at least 10% of the overall number of units would need to contain three bedrooms or more. In the current proposal, all of the proposed units would contain two bedrooms (33%) or three bedrooms (67%), exceeding the minimum requirements.

**4.0 BACKGROUND**

**4.1 Site Characteristics and Context**

The subject site is located midway between Gifford and Jardine Streets with frontage on Salter Street in the Queensborough neighbourhood. It is situated within a neighbourhood block of 14 properties ranging in size and land use. This block of properties is also captured within the Advance Street Plan Area #2 of the Queensborough Community Plan (see subsection 4.2 below). The currently vacant property has an approximate gross area of 9,348.33 sq. m. (100,625 sq. ft.).

Surrounding uses include mixed-use commercial/residential and townhouse developments on lands designated “(ML) Mixed Use – Low Rise” and “(RM) Residential – Multiple Unit Buildings” to the north, single detached dwellings to the east, single detached and duplex dwellings across Salter Street to the south, and a farm property (not part of the Agricultural Land Reserve) designated “(RL) Residential – Low Density” to the west.

The site is subject to floodplain constraints on the amount of floor space at grade and the use of that floor space. No habitable floor space is allowed below the flood construction level of 3.53 m. (11.58 ft.) Geodetic Survey of Canada (GSC). The underside of the floor system for habitable space must be at or above this level. A site context map is provided as Figure 1.



Figure 1. Site Context Map

**4.2 Advance Street Plan**

The subject property is identified as being within Advance Street Plan (ASP) Area #2 (Figure 2). The ASP is intended to guide future development where there are large parcels that could potentially be subdivided and/or where there are whole blocks made up of larger parcels where development decisions remain to be made such as in the case of this proposal. The plan also provides a degree of certainty for landowners and developers regarding the future development of the community, including a general understanding of future road dedication and off-site servicing requirements.

ASP Area #2 was created with the understanding that the properties located within this neighbourhood block would be redeveloped in accordance with current Queensborough Community Plan land use designations. Based on the ASP, the properties to the east and the property to the west were anticipated to be redeveloped to low density residential uses, such as single detached dwellings and duplexes.

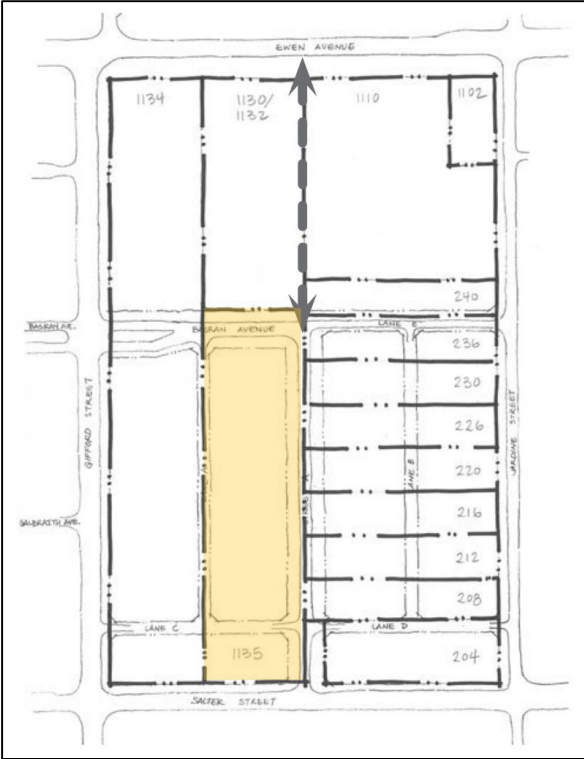


Figure 2. Advance Street Plan Area #2 (existing property lines shown in heavy black, while future property lines shown in light black – subject site is highlighted).

**5.0 DISCUSSION**

**5.1 Official Community Plan Amendment**

During the earlier two-stage Pre-Application Review process for this project, staff presented the Official Community Plan (OCP) amendment and proposal to the Land Use and Planning Committee (LUPC) in January and June 2019. At these meetings, the LUPC members were in favour of further consideration of the proposed OCP amendment and proposed townhouse development.

Through the proposed OCP amendment, the proposal would:

- Provide a significant area for public parkspace as an amenity;
- Provide more affordable ground-oriented housing options compared to other building forms such as single-detached dwellings; and
- Provide additional “missing middle” housing units.

**5.2 Relationship with Adjacent Sites**

As part of site configuration, the proposed development has taken the Advance Street Plan into consideration. The majority of proposed dwelling units would orient toward the future north-south road to the east and toward a future lane anticipated along the

existing abutting property to the west. The proposed units within Building 8 would front onto the proposed park area to the south.

In order to provide a finer grain publicly-accessible pedestrian network and connectivity to the future public parkspace, public statutory rights-of-way are proposed for the on-site pedestrian pathways that run along the western and southern perimeters of the site and the east-west mid-block connection adjacent to the central amenity space.

**5.3 Land for Park Purposes**

The proposed development includes approximately 957.62 sq. m. (10,307.7 sq. ft.) of land (around 10% of the gross site) for park purposes. This land portion will be subdivided from the rest of the property and transferred to the City. As part of the amenity, the applicant will also be contributing \$175,000 toward construction of the future “pocket” park. This parkspace will be designed and constructed by the City’s Parks and Open Space Planning Division.

**5.4 Open Space and Trees**

In addition to the land for park purposes, a primary common amenity area consisting of seating and children’s play structures is proposed between Buildings 3 and 4. A few smaller areas with seating are proposed to be interspersed through the development near the site entrances and between buildings. Open space for individual dwelling units is provided through private patios and balconies.

As part of the development, three replacement trees are required per Tree Protection and Regulation Bylaw requirements. The project proposes 46 new trees for the site, which have been reviewed by City arborist staff.

**5.5 Proposed Variances**

Tandem Parking

The Zoning Bylaw (section 140.53) requires direct access to be provided to all parking spaces associated within a residential development; however, tandem parking spaces can only be accessed from a drive aisle through another parking space. As the proposal includes 32 tandem parking spaces in four of the buildings, a Development Variance Permit is required to facilitate the tandem parking configuration. Staff generally considers this variance to be reasonable given that:

- The unique land attributes of Queensborough, due to its location within the floodplain, limit the ability to provide underground parking for townhouse projects; and
- The proportion of tandem spaces proposed is less than 50%, which is the maximum staff considers reasonable.

Building Separation and Side Setback

The applicant is proposing external stairs for electrical room access on the sides of Buildings 3, 6, and 8. These currently project into a couple of the required building separation distances and the westerly side yard setback. Since electrical equipment should not be located below the flood construction level in accordance with the Flood Hazard Development Permit Area guidelines and the proposed projections are limited only to these staircases, staff generally considers this variance to be reasonable.

**5.6 Site Servicing and Off-Site Improvements**

The proposal has been reviewed by the City’s Engineering Services Department regarding required site servicing and off-site improvements. The attached Engineering Servicing Memo (Appendix F) outlines the improvements that would be required to facilitate the proposed development. Such improvements would be provided in accordance with City standards, as determined by the Director of Engineering.

**6.0 PUBLIC AND COMMITTEE CONSULTATION**

**6.1 Applicant-Led Consultation**

Applicant-led public consultation included an online survey, virtual open house, and project website, and residents within 100 m. (328 ft.) of the project site were notified of opportunities to submit feedback. Three community members attended the open house and two survey responses were received. Survey feedback was mostly related to:

- Support for new townhouses and more housing; and
- Mix of support and neutral feedback in terms of building design, tandem parking, and direct unit accesses.

A summary of the consultation process and all received feedback is included as Appendix G.

**6.2 Official Community Plan Amendment *Local Government Act* Consultation**

Sections 475 and 476 of the *Local Government Act* provide requirements for consultation prior to consideration of an Official Community Plan amendment. Following direction from Council, staff submitted a request for written comments to the Board of Education and local First Nations, who were also subsequently advised of this Advisory Planning Commission meeting. Feedback received to date is summarized below. This feedback has been provided to the applicant for consideration.

Kwantlen First Nation recommended that an archaeological assessment be completed as part of the rezoning process. Musqueam Indian Band noted that without a formal study to indicate otherwise, they consider all development to have the potential to impact heritage resources. Squamish Nation recommended that the applicant engage a consultant to provide an archeological assessment.

Staff note that at this time, the City does not have a requirement for archaeological monitoring to take place on these types of development projects; however, staff have identified this topic as requiring further study, and intend to develop a more robust policy on archeological assessments in partnership with local First Nations and Council. In the interim, the applicant has indicated that they will voluntarily retain an archaeological consultant to assess the site.

Squamish Nation also recommended that the project consider implementation of climate resilient standards, that building designs anticipate future climate impacts, and that buildings be designed to net zero carbon emissions and the highest sustainability standards. The applicant has provided a summary of the sustainability measures that are proposed in response to these comments (Appendix H).

**6.3 New Westminster Design Panel**

The project was presented to the New Westminster Design Panel (NWDP) on December 13, 2022. A copy of the meeting minutes is included as Appendix I. While some NWDP members did not express support for the proposal, the applicant has subsequently worked with staff to make revisions to the project in response to the Panel’s comments.

Some of the key changes include:

- Redesigning the central amenity space and play area between Buildings 3 and 4, and accommodating an additional common seating area between Buildings 5 and 6 by relocating one of the visitor parking spaces;
- Revising the architectural expression of the proposed buildings for better consistency with the Development Permit Area guidelines. The use of additional colour has been proposed, including for the elevations that are oriented toward the central drive aisle;
- Adjusting the species and quantity of proposed on-site trees to reduce potential conflict and maintenance issues in the future.

A copy of the NWDP report can be access via the following link (Item 4.2):

<https://pub-newwestcity.escribemeetings.com/Meeting.aspx?Id=daed2b7b-30c0-4b57-bff0-d19a0bfc4c53&Agenda=Agenda&lang=English&Item=12&Tab=attachments>

**6.4 Advisory Planning Commission**

Consideration by the Advisory Planning Commission is required for this project since an Official Community Plan amendment is proposed. The meeting has been advertised by:

- Mailing postcards to all owners and occupants within 100 m. (328 ft.) of the site. A total of 176 postcards were distributed;
- Sending letters to the Queensborough Residents’ Association, New Westminster School District, and local First Nations; and
- Posting information on the Be Heard New West project page and on the City’s website.



The applicant has also installed a development information sign on the site more than 14 days prior to this meeting.

**7.0 INTERDEPARTMENTAL LIAISON**

The City has a project-based team approach for reviewing development applications. A staff-led project team was assigned to review this project and consists of staff from various departments, including Engineering (Servicing and Transportation), Fire, Electrical, Parks and Recreation, and Planning and Development (Building, Planning, and Trees).

**8.0 APPLICATION REVIEW PROCESS**

The application is progressing through the City’s development review process. The following steps have been completed to date:

- 1. Preliminary Report to Council (May 9, 2022);
- 2. Applicant-Led Public Open House (September 22, 2022);
- 3. Review by the New Westminster Design Panel (December 13, 2022);
- 4. Review by the Advisory Planning Commission (**WE ARE HERE**);

Next steps include:

- 5. Council consideration of First and Second Readings of proposed Amendment Bylaws and issuance of notice for Development Variance Permit;
- 6. Public Hearing and Council consideration of Third Reading of proposed Amendment Bylaws;
- 7. Applicant addresses adoption requirements;
- 8. Council consideration of adoption of Amendment Bylaws and issuance of Development Variance Permit.

**9.0 LAND USE QUESTION FOR ADVISORY PLANNING COMMISSION**

The Advisory Planning Commission is being asked to review the Official Community Plan amendment application for this project, and provide feedback related to the following:

- Does the Advisory Planning Commission support consideration of a townhouse proposal aligned with the “(RM) Residential – Multiple Unit Buildings” land use designation at this location?

**APPENDICES**

- Appendix A: Project Summary and Land Use Rationale
- Appendix B: Architectural and Landscape Drawings
- Appendix C: Draft Official Community Plan Amendment Bylaw No. 8454, 2024
- Appendix D: Draft Zoning Amendment Bylaw No. 8455, 2024
- Appendix E: Evaluation Criteria Questions for Considering Variance Requests
- Appendix F: Engineering Services Memo
- Appendix G: Applicant-Led Consultation Summary Report
- Appendix H: Summary of Proposed Sustainability Measures
- Appendix I: New Westminster Design Panel December 13, 2022 Meeting Minutes

This report was prepared by:  
Dilys Huang, Development Planner II

This report was reviewed by:  
Kirsten Robinson, Senior Development Planner

Appendix A  
*Project Summary and Land Use Rationale*



City of New Westminster, BC.  
511 Royal Avenue New Westminster, BC V3L 1H9

April 08, 2024.

RE: Design Rationale and Summary for a Multi Family Residential Development at 1135 Salter Street, New Westminster, BC.

The proposed project is a multi-family residential development in the Queensborough Main Street Development. This project aims to provide housing that reflects the diversity of the surrounding community. The project will add 45 units of stratified units to the **Ewen Avenue Multi-Family areas**. The project is proposed to cater to a variety of family types. To make this possible and accomplish the same objective we have included a variety of proposed units that also includes few tandem units for which a variance is requested. A variance is also requested for the external stairs to the electrical closets, which by the nature of the development (FCL requirements), the main floor sits significantly above the ground plane. Therefore, the separation of the buildings is not truly represented by the extent of the external stair project into open spaces.

The form and character of the buildings was developed to maintain a harmony in design with the neighbourhood. The buildings were designed in compliance with the guidelines for **Ewen Avenue Multi-Family areas**. The site features two vehicular accesses that are designed to include pedestrian plazas with additional seating that are well shaded and also sidewalks that encourages residents and well as public to use the future park. Ample ornamental planting around the mini plazas add a more welcoming interface.

The units of Buildings that face the Future Basran Ave and the Future North - South Road have direct access from the sidewalk in the public realm, that are surrounded by soft landscapes merging mildly with the surroundings as well as providing additional privacy. Units of Building 08 has entries via a path along the south property line that is intended to be shared with the future park to be developed. All units have access to a sidewalk that leads to the open amenity areas that has been designed with a very definite style to distinguish it from other areas. All private open spaces are well screened by the thoughtful inclusion of shrubs and trees in the common amenity spaces and sidewalks.

The site has design features that encourages an effective public interaction through common seating areas and multiple sidewalks. The proposed 1.5m sidewalk along the West of the property can be accessed by public which will eventually take the users to future park to be developed. The intention of North-South path can be modified for various future scenarios. However, the path will still remain accessible from Basran Ave to the Proposed park at Salter st.

The onsite landscape for this project promises to ensure that the residents have an enhanced outdoor experience. The individual open spaces for all units are protected with fences for security. Ornamental shrubs and trees to add appeal and texture to the proposed built environment. Proposed trees and shrubs are chosen for not only for their low footprint factor but also owing to their mainly evergreen nature and limited maintenance and leaf litter. A common amenity area is provided in the centre of the site with a safe distance from main roads and additional traffic noise. The amenity area comprises of seating areas for the leisure of the residents as well as to supervise children playing in the nearby play area.

The close interface of the building footprint with the proposed new property line allows for this 'eyes on the road' philosophy with roads and the lane bounding two sides of the property. We have tried to ensure that there aren't any residual spaces that can be used for unauthorized activity and offer threats to the security of the development. All the private open spaces are contained and separated and the other setback areas are planted with low bushes not offering any unwanted gathering opportunities and (or) risks.

Appendix B

*Architectural and Landscape Drawings*

# MAPLE MEWS

## PROPOSED TOWNHOUSE DEVELOPMENT

1135 SALTER ST., NEW WESTMINSTER, BC



### CONTACT LIST

<b>ARCHITECT</b>	Architecture Panel Inc.	Unit 206, 1493 Foster Street White Rock, BC, Canada	Ruchir Dhall	(604) 385 3600
<b>LANDSCAPE ARCHITECT</b>	Architecture Panel Inc.	Unit 206, 1493 Foster Street White Rock, BC, Canada	Ruchir Dhall	(604) 385 3600
<b>CIVIL CONSULTANTS</b>	Gursimer Design & Mgmt.		Nirvair Bagri	(778) 895 6358
<b>LAND SURVEYOR</b>	Target Land Surveying	112 - 10422 168th St. Surrey, BC V4N 1R9	Adam Fulkerson	(604) 583 6161
<b>PROJECT OWNERS</b>	1080894 B.C. LTD	Unit 119, 8166 128 St Surrey, BC	Paul Bal/Mohan Marwaha	(778) 999 4298/ (604) 583 0810
<b>ARBORIST</b>	Diamond Head Consulting	3559 Commercial Street Vancouver, BC V5N 4E8	Max Rathburn	(604) 733 4886
<b>AHJ</b>	City of New Westminster			

### DRAWING INDEX - DOCUMENTATION

#### ARCHITECTURAL DRAWING INDEX

<b>COVER</b>	A0.01	COVER SHEET
<b>SITE</b>	A1.01	SURVEY & DEDICATION PLAN
	A1.03	NEIGHBOURHOOD CONTEXT PLAN
<b>PLANS</b>	A2.01	SITE PLAN
	A2.02	TRANSPORTATION PLAN
	A2.03	OPEN AREA PLAN
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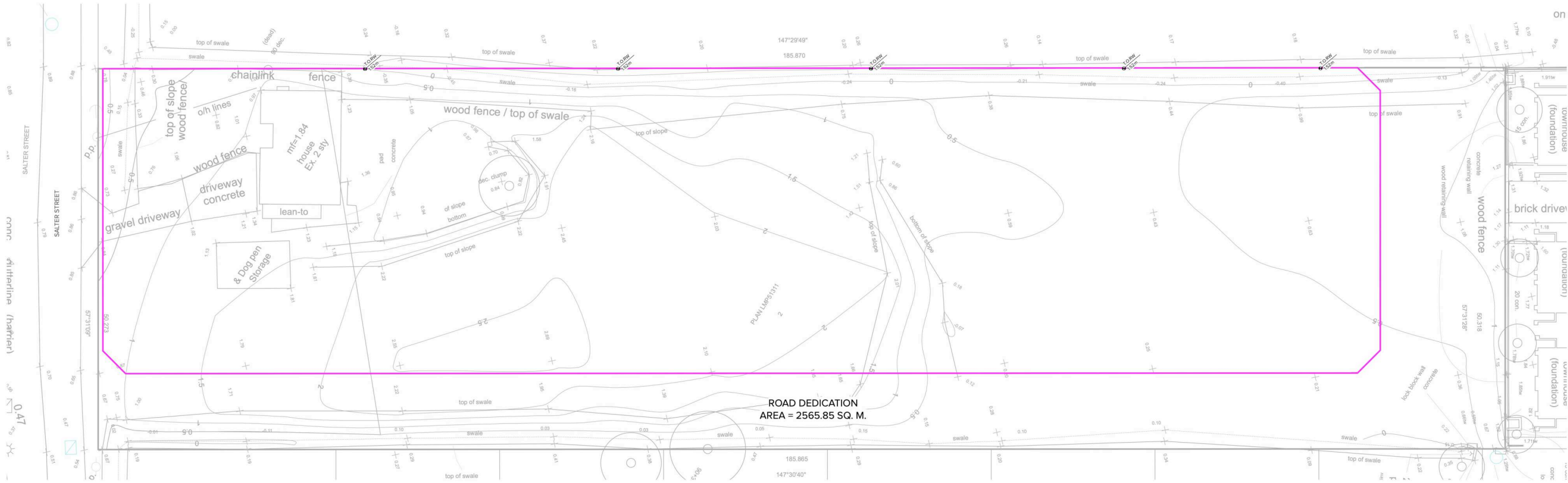
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Sheet Title  
**SURVEY & DEDICATION  
 PLAN**

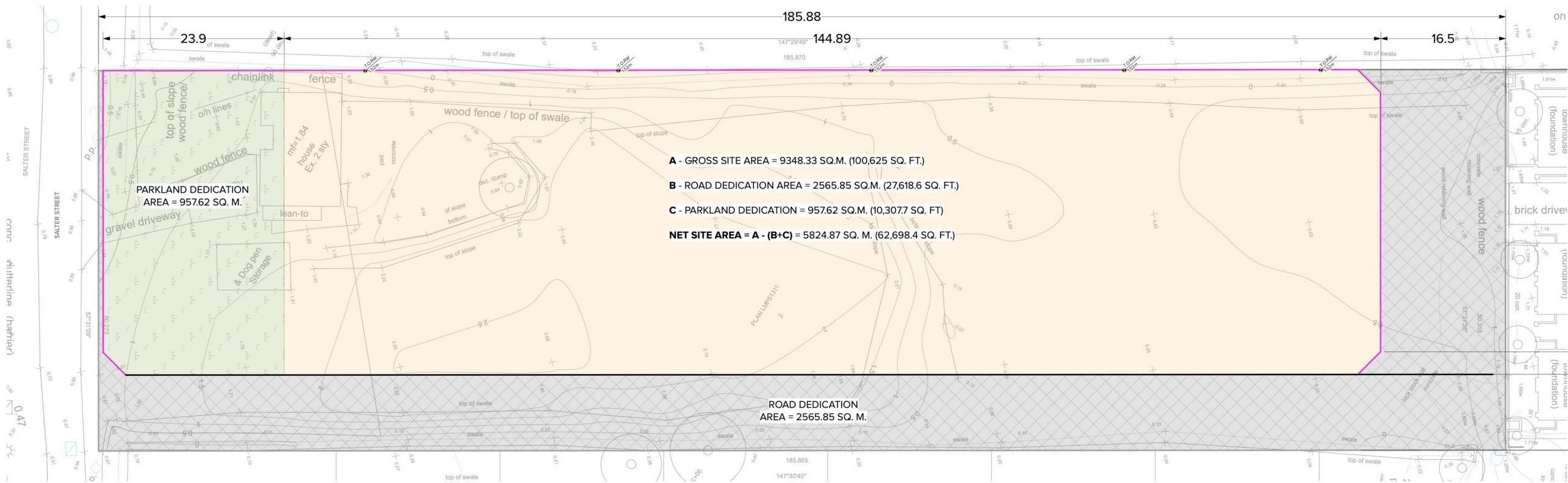
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**1** SURVEY  
 Scale: NTS



**2** PLAN SHOWING DEDICATION  
 Scale: NTS

**LEGEND**

ROAD DEDICATION	
PARKLAND DEDICATION	
NET SITE	





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Sheet Title  
 NEIGHBOURHOOD  
 CONTEXT PLAN

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26	A1.03
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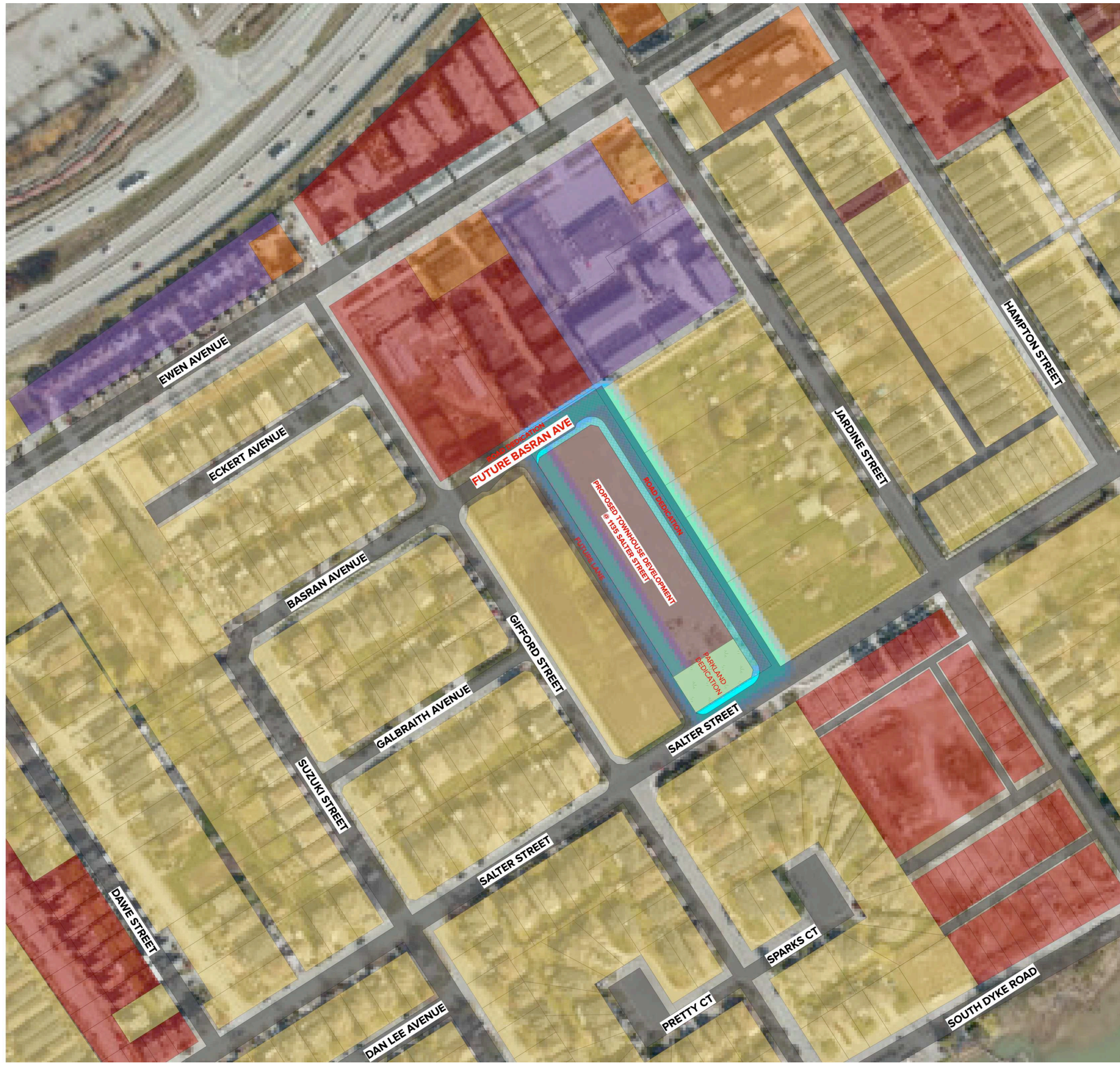
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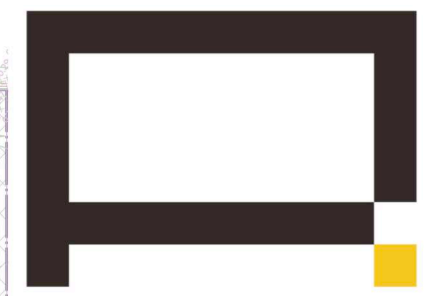
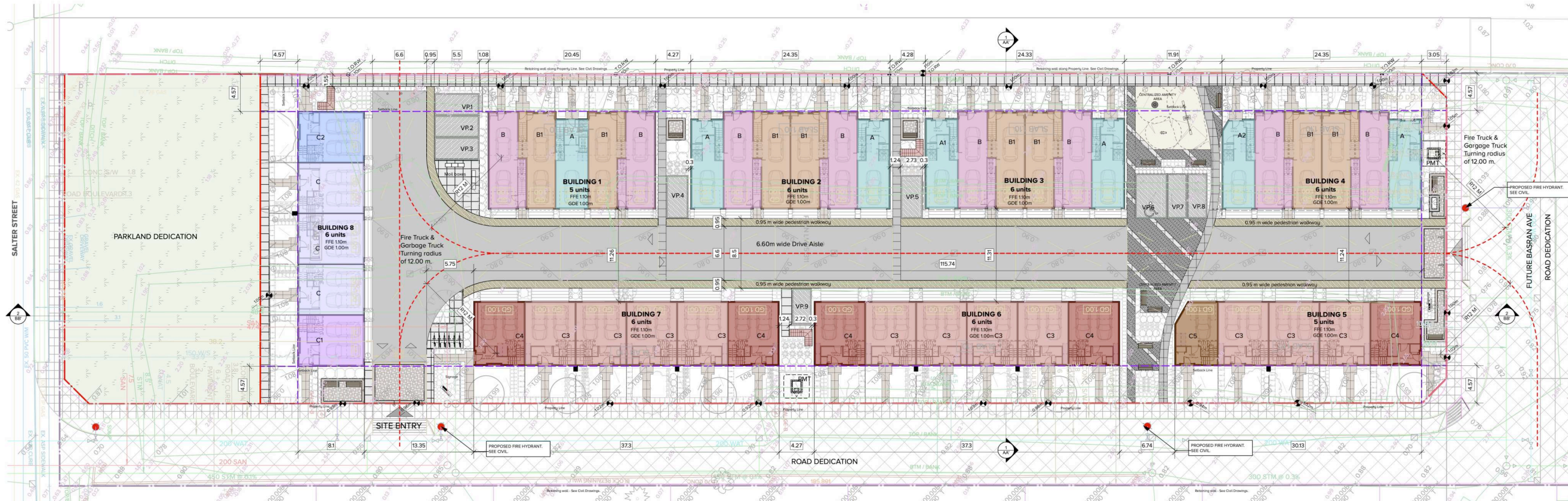
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- LEGEND:**
- EXISTING/PROPOSED TOWNHOUSE DEVELOPMENT
  - EXISTING APARTMENT (LOW RISE)
  - EXISTING SINGLE DETACHED
  - EXISTING COMMERCIAL
  - PARK/AGRICULTURAL LAND
  - INSTITUTIONAL

1 NEIGHBOURHOOD CONTEXT PLAN  
 Scale: 1:1000







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 SITE PLAN

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## DESIGN RATIONALE AND SUMMARY

The proposed project is a multi-family residential development that is located in the City of New Westminster and is included in the Queensborough Main Street Development. This project aims to provide housing that reflects the diversity of the surrounding community. The project will add 45 units of stratified units to the *Ewen Avenue Multi-Family areas*. The project is proposed to cater to a variety of family types. To make this possible and accomplish the same objective we have included a variety of proposed units that also includes few tandem units for which a variance is requested.

The form and character of the buildings was developed to maintain a harmony in design with the neighbourhood. The buildings were designed in compliance with the guidelines for *Ewen Avenue Multi-Family areas*. The site features two vehicular entries that are designed to include pedestrian plazas with additional seating that are well shaded and also sidewalks that encourages residents and well as public to use the future park. Ample ornamental planting around the mini plazas that vary in size and variety adds a more welcoming interface.

The units of Buildings that face the Future Basran Ave and the Future North - South Road have direct access from the sidewalk in the public realm, that are surrounded by soft landscapes merging mildly with the surroundings as well as providing additional privacy. Units of Building 08 has entries via a path along the south property line that is intended to be shared with the future park to be developed. All units have access to a sidewalk that leads to the open amenity areas that has been designed with a very distinct separation of areas. All private open spaces are well screened by the thoughtful proposal of shrubs and trees from common amenity spaces and sidewalks. Colors featured on the *Benjamin Moore historical Vancouver true colors* are used to create a serene color palette and is intentionally utilized to bring out the design features and forms as well as contributes to the overall quality of the community. The site has design features that encourages an effective interaction from the public through the seating areas as well multiple sidewalks. The proposed 1.5m North - South sidewalk along the West of the property can be accessed by public which will eventually take the users to future park to be developed. The intention of North-South path can be modified for various future scenarios. However, the path will still remain accessible from Basran Ave to the Proposed park at Salter st.

The onsite landscape for this project promises to ensure that the residents have an enhanced outdoor experience. The individual open spaces for all units welcomes interactions with passerby but are also protected with fences for security. Ornamental shrubs and trees to add color and texture to the buildings. Proposed trees and shrubs are chosen for not only for their low footprint factor but also owing to their mainly evergreen nature and limited maintenance and the leaf litter.

A common amenity area is provided in the center of the site away from noise and from main roads. The amenity area comprises of seating areas for the leisure of the residents as well as to supervise children playing in the nearby play area.

The close interface of the building footprint with the proposed new property line allows for this 'eyes on the road' philosophy with roads and the lane bounding two sides of the property. We have tried to ensure that there aren't any residual spaces that can be used for unauthorized activity and offer threats to the security of the development. All the private open spaces are contained and separated and the other setback areas are planted with low bushes not offering any unwanted gathering opportunities and (or) risks.

### DEVELOPMENT REPORT

AREA CALCULATION	PERMISSIBLE/ MINIMUM REQ	PROPOSED	RT-3 ZONE COMPLIANCE
<b>BUILDING HEIGHT</b>	10.7 m	9.76 m	<span style="background-color: green; width: 100%;"></span>
<b>GROSS SITE AREA INCLUDING ROAD &amp; PARLAND DEDICATION</b>		9348.33 sq m	
<b>NET SITE AREA (EXCLUDING PARKLAND AND ROAD DEDICATION)</b>		5824.87 sq. m.	
<b>SITE COVERAGE</b>	40%	37.12% (2162.23 sq.m.)	<span style="background-color: green; width: 100%;"></span>
<b>FAR</b>	0.8	0.793	<span style="background-color: green; width: 100%;"></span>
<b>MINIMUM SETBACK PROVIDED</b>			
FRONT - NORTH	3.05 m	3.05 m	<span style="background-color: green; width: 100%;"></span>
REAR - SOUTH	4.57 m	4.57 m	<span style="background-color: green; width: 100%;"></span>
SIDE - EAST & WEST	4.57 m	4.57 m	<span style="background-color: green; width: 100%;"></span>
<b>DISTANCE BETWEEN BUILDINGS</b>			
DISTANCE BETWEEN 2 SIDE WALLS FACE EACH OTHER OF BLDG	4.27 m	1.24 m	Bldgs 2 & 3; 6 & 7
DISTANCE BETWEEN 2 SIDE WALLS FACE EACH OTHER OF BLDG	4.27 m	4.27 m	Bldgs 1 & 2
DISTANCE BETWEEN 2 SIDE WALLS FACE EACH OTHER OF BLDG	4.27 m	11.91 m	Bldgs 3 & 4
DISTANCE BETWEEN 2 SIDE WALLS FACE EACH OTHER OF BLDG	4.27 m	6.74 m	Bldgs 5 & 6
DISTANCE BETWEEN FRONT AND REAR OF THE BUILDING	10.97 m	11.31 m	<span style="background-color: green; width: 100%;"></span>

COMPLIANCE  VARIANCE REQUESTED

### DENSITY CALCULATION

NUMBER OF UNITS/ AREA IN ACRE = 45/ 1.43 = 31.47 UNITS/ ACRE

### UNIT AREA CALCULATION

AREA CALCULATION	NO. OF BEDROOMS	UNITS	LEVEL 1 (GARAGE LEVEL)(UNINHABITABLE)	LEVEL 1 (STAIR + FOYER)	LEVEL 2	LEVEL 3	PROPOSED UNIT AREA	PROPOSED UNIT AREA	RT-3A Compliance	TOTAL AREA
			sq.m.	sq.m.	sq.m.	sq.m.	sq.ft	sq.m.	area - 79.01 sq.m.	sq.m.
<b>PROPOSED UNITS</b>		<b>45</b>								
<b>UNIT A</b>	2 - Bedroom	5	43.85	11.48	40.54	43.25	1025.11	95.27		476.35
<b>UNIT A1</b>	2 - Bedroom	1	43.85	11.72	40.54	43.25	1027.69	95.51		95.51
<b>UNIT A2</b>	2 - Bedroom	1	42.71	11.11	40.54	43.25	1021.12	94.90		94.90
<b>UNIT B</b>	3 - Bedroom	8	49.14	5.54	45.21	45.21	1032.53	95.96		767.68
<b>UNIT B1</b>	2 - Bedroom	8	48.04	5.22	42.34	42.34	967.32	89.90		719.20
<b>UNIT C</b>	3 - Bedroom	3	49.96	14.21	48.67	52.83	1245.04	115.71		347.13
<b>UNIT C1</b>	3 - Bedroom	1	50.13	14.67	50.49	53.67	1278.61	118.83		118.83
<b>UNIT C2</b>	3 - Bedroom	1	50.13	14.67	50.45	53.63	1277.75	118.75		118.75
<b>UNIT C3</b>	3 - Bedroom	11	48.65	13.54	45.9	50.09	1178.54	109.53		1204.83
<b>UNIT C4</b>	3 - Bedroom	5	48.49	13.67	47.7	50.88	1207.81	112.25		561.25
<b>UNIT C5</b>	3 - Bedroom	1	38.62	13.29	47.7	50.81	1202.97	111.80		111.80

### BUILDING AREA CALCULATION

AREA CALCULATION	(EXCLUDING BALCONY)	
LEVEL	AREA (sq.m.)	AREA (sq.ft)
<b>BUILDING 1</b>	466.99	5024.81
<b>BUILDING 2</b>	564.26	6071.44
<b>BUILDING 3</b>	562.5	6052.50
<b>BUILDING 4</b>	561.89	6045.94
<b>BUILDING 5</b>	552.64	5946.41
<b>BUILDING 6</b>	662.62	7129.79
<b>BUILDING 7</b>	662.62	7129.79
<b>BUILDING 8</b>	584.71	6291.48
<b>GROSS AREA</b>	<b>4,618.23 sq.m.</b>	<b>49,692.15 sq.m.</b>

### UNIT TYPES

- A** SINGLE GARAGE UNITS : 6 UNITS
- A1** SINGLE GARAGE UNITS : 1 UNIT
- A2** SINGLE GARAGE UNITS : 1 UNIT
- B** TANDEM UNITS : 8 UNITS
- B1** TANDEM UNITS : 8 UNITS
- C** SIDE-BY-SIDE GARAGE UNITS : 3 UNITS
- C1** SIDE-BY-SIDE GARAGE UNITS : 1 UNIT
- C2** SIDE-BY-SIDE GARAGE UNITS : 1 UNIT
- C3** SIDE-BY-SIDE GARAGE UNITS : 11 UNITS
- C4** SIDE-BY-SIDE GARAGE UNITS : 5 UNITS
- C5** SIDE-BY-SIDE GARAGE UNITS : 1 UNIT
- TOTAL NUMBER OF UNITS: 45**

### ELEVATION LEGENDS:

- EXISTING GRADES
- PROPOSED CIVIL GRADES
- PROPOSED GRADES
- FFE - FINISHED FLOOR ELEVATION
- GDE - GARAGE DOOR ELEVATION





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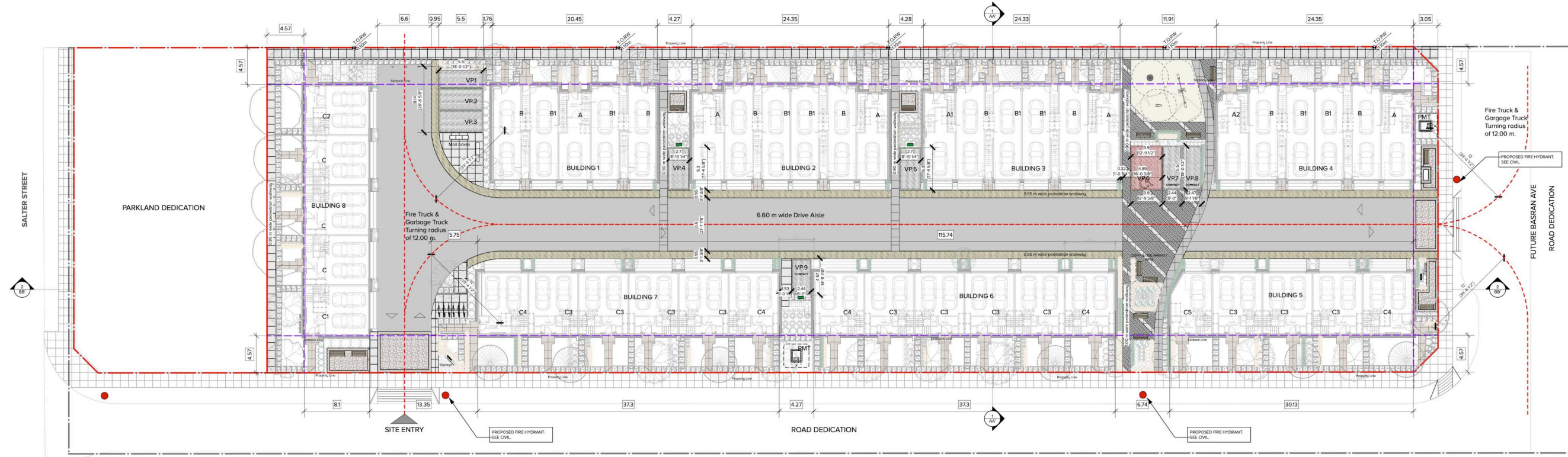
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TRANSPORTATION PLAN

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26	A2.02
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1 TRANSPORTATION PLAN  
Scale: NTS

PARKING REPORT	No. of Units	Required		Proposed	RT-3A ZONE Compliance
STANDARD CAR PARKING - 2 BEDROOM	7	1.4 PER TWO BEDROOM 1.4 X 7	9.8	7	COMPLIANCE
TANDEM UNITS - 2 BEDROOM	8	1.4 PER TWO BEDROOM 1.4 X 8	11.2	16	VARIANCE REQUESTED
STANDARD CAR PARKING - 3 BEDROOM	22	1.5 PER THREE BEDROOM 1.5 X 22	33	43	COMPLIANCE
TANDEM UNITS - 3 BEDROOM	8	1.5 PER THREE BEDROOM 1.5 X 8	12	16	VARIANCE REQUESTED
<b>TOTAL RESIDENTIAL PARKING</b>			<b>66</b>	<b>82</b>	
TOTAL VISITOR PARKING REQUIRED	45	0.2 PER UNIT	9	9	COMPLIANCE
VISITOR PARKING - STANDARD SIZE		SPACE SIZE - 2.70 m x 5.30 m		5	COMPLIANCE
VISITOR PARKING - COMPACT SIZE		SPACE SIZE - 2.44 m x 4.57 m		3	COMPLIANCE
ACCESSIBLE PARKING		SPACE SIZE - 4.20 m x 5.50 m		1	COMPLIANCE
<b>TOTAL VISITOR PARKING</b>			<b>9</b>	<b>9</b>	
LONG TERM BICYCLE PARKING	45	1.5 PER UNIT	67.5	90	COMPLIANCE
VISITOR BICYCLE PARKING			6	6	COMPLIANCE

COMPLIANCE VARIANCE REQUESTED

**NOTE:**  
Parking Garages for all units & visitor parking stalls VP-4, VP-5 & VP-9 proposed to be roughed-in for Level 2 for EV charging





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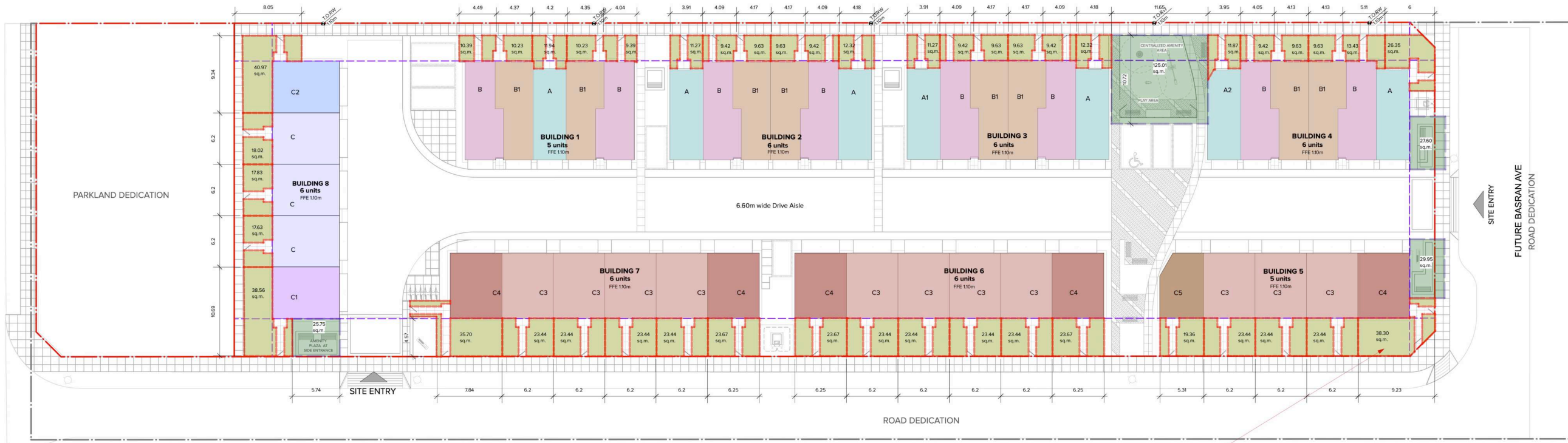
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 OPEN AREA PLAN

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1 OPEN SPACE CALCULATION PLAN  
 Scale: NTS

**LEGEND**  
 PER UNIT OPEN SPACE [Green Box]  
 AMENITY AREA [Light Green Box]

Open spaces provided for each unit meets Bylaw requirements. All entry paths have consciously removed from the calculations

PER Section 418.23 (Open space guidelines) & PER 120.210 (Usable area definition) every unit is provided with more than or equal to 10% of open space

OPEN AREA CALCULATION	AREA	BUILDING 1 Open space/ Unit	BUILDINGS 2,3 & 4 Open space/ Unit	BUILDING 5 Open space/ Unit	BUILDING 6 Open space/ Unit	BUILDING 7 Open space/ Unit	BUILDING 8 Open space/ Unit
	Sq. m.	Sq. m.	Sq. m.	Sq. m.	Sq. m.	Sq. m.	Sq. m.
UNIT A	95.27	11.94 (12.53%)	11.27 (11.82%)	-	-	-	-
UNIT A1	95.51	-	11.27 (11.80%)	-	-	-	-
UNIT A2	94.9	-	11.87 (12.50%)	-	-	-	-
UNIT B	95.96	9.59(10%)	9.59 (10%)	-	-	-	-
UNIT B1	89.9	10.23 (11.37%)	9.63 (10.71%)	-	-	-	-
UNIT C	115.71	-	-	-	-	-	17.63 (15.23%)
UNIT C1	118.83	-	-	-	-	-	38.56 (32.44%)
UNIT C2	118.75	-	-	-	-	-	40.97 (34.50%)
UNIT C3	109.53	-	-	23.44 (21.40%)	23.44 (21.40%)	23.44 (21.40%)	-
UNIT C4	112.25	-	-	38.30 (34.12%)	23.67 (21.08%)	23.67 (21.08%)	-
UNIT C5	111.8	-	-	19.36 (17.31%)	-	-	-

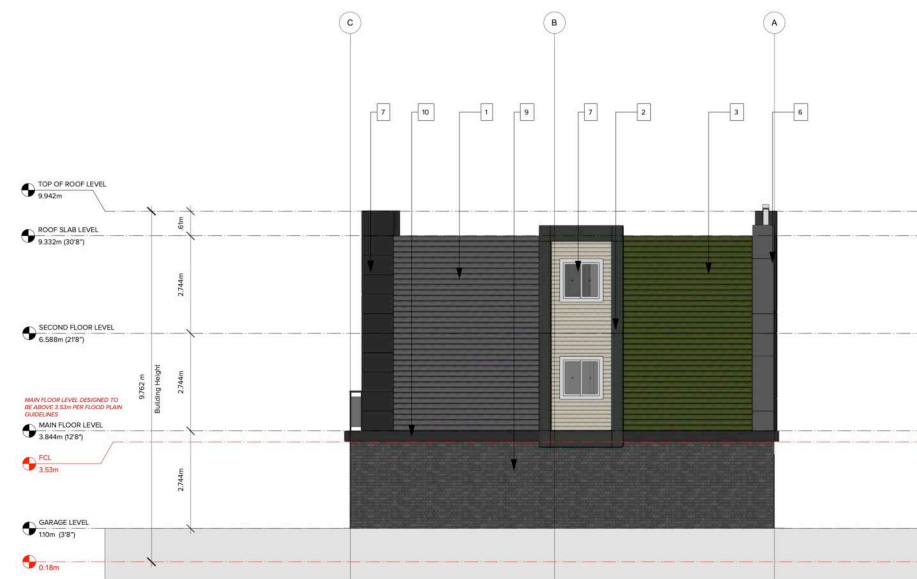
CENTRALIZED AMENITY SPACE: 120.20 Sq.m.  
 AMENITY PLAZA AT MAIN ENTRANCE: 25.75 Sq.m.  
 AMENITY PLAZA AT BASRAN AVE. ENTRANCE: 57.55 Sq.m.



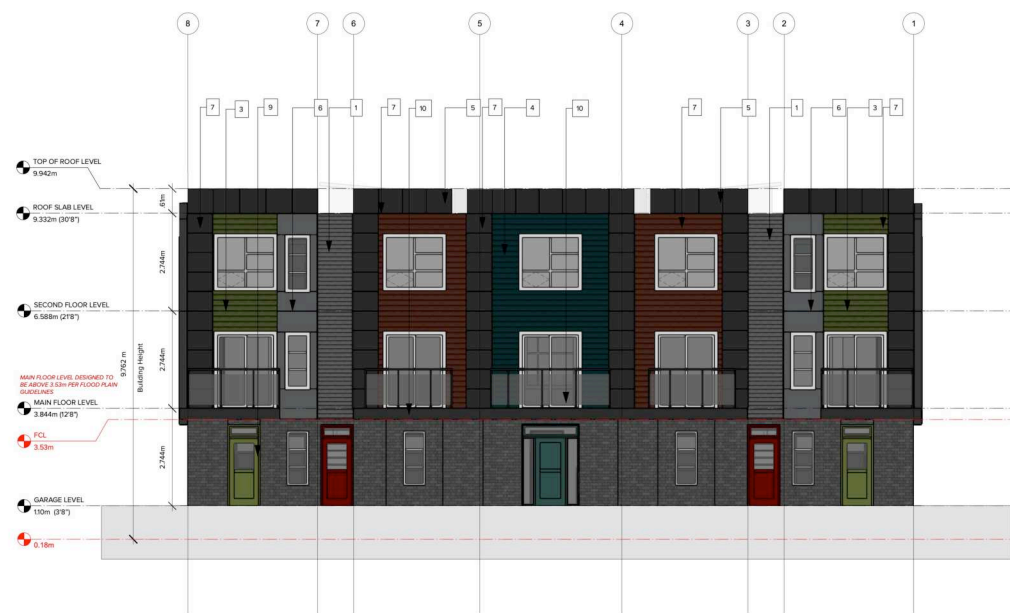
2 VIEW OF UNITS ON NORTH-EAST SHOWING OPEN SPACE FOR INDIVIDUAL UNITS  
 Scale: NTS



1 EAST ELEVATION  
Scale: 1:96



2 SOUTH ELEVATION  
Scale: 1:96



3 WEST ELEVATION  
Scale: 1:96



4 NORTH ELEVATION  
Scale: 1:96

**FINISHES**

1. 6" HORIZONTAL HARDIE SIDING, EDWARDIAN GREY, SEE BM CHART BELOW
2. 6" HORIZONTAL HARDIE SIDING, DUNBAR BUFF, SEE BM CHART BELOW
3. 6" HORIZONTAL HARDIE SIDING, VICTORIAN PERIOD, SEE BM CHART BELOW
4. 6" HORIZONTAL HARDIE SIDING, PENDRELL GREEN, SEE BM CHART BELOW
5. 6" HORIZONTAL HARDIE SIDING, STRATHCONA RED, SEE BM CHART BELOW
6. SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - AMHEARST GREY
7. SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - BLACK
8. 1" X 1" MILLED FINISH HEMLOCK BEAM
9. ENDICOTT THIN BRICK GLAZED GRAY-SN4
10. FASCIA BOARD PAINTED TO MATCH BENJAMIN MOORE BLACK

**BENJAMIN MOORE'S HISTORICAL TRUE COLOURS AS PER EVEN AVE MULTI-FAMILY GUIDELINES**



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Project  
**1135 SALTER ST.**

Owner  
**1080894 BC LTD.**

Sheet Title  
**BUILDINGS 1 - ELEVATIONS**

Sheet No.  
**A4.01**

Drawn By  
**BF/SS**

Reviewed By  
**RD**

Total Sheets  
**26**

Checked By  
**RD**

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**DP Application**

Contractors

AHJ  
**City of New Westminster**

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Documents  
**DP Application**

No	Date	Issue Notes
C	11-03-22	DP Re-submission
D	02-11-22	DP Re-submission
E	03-08-23	DP Re-submission
F	12-10-23	DP Re-submission
G	03-01-24	DP Re-submission
H	18-01-24	DP Re-Submission
I	16-04-24	DP Re-Submission





1 EAST ELEVATION  
Scale: 1:96



2 SOUTH ELEVATION  
Scale: 1:96



3 WEST ELEVATION  
Scale: 1:96



4 NORTH ELEVATION  
Scale: 1:96

- FINISHES**
1. 6" HORIZONTAL HARDIE SIDING, EDWARDIAN GREY, SEE BM CHART BELOW
  2. 6" HORIZONTAL HARDIE SIDING, DUNBAR BUFF, SEE BM CHART BELOW
  3. 6" HORIZONTAL HARDIE SIDING, VICTORIAN PERidot, SEE BM CHART BELOW
  4. 6" HORIZONTAL HARDIE SIDING, PENDRELL GREEN, SEE BM CHART BELOW
  5. 6" HORIZONTAL HARDIE SIDING, STRATHCONA RED, SEE BM CHART BELOW
  6. SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - AMHEARST GREY
  7. SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - BLACK
  8. 1" X 1" MILLED FINISH HEMLOCK BEAM
  9. ENDICOTT THIN BRICK GLAZED GRAY-SN4
  10. FASCIA BOARD PAINTED TO MATCH BENJAMIN MOORE BLACK

**BENJAMIN MOORE'S HISTORICAL TRUE COLOURS**  
AS PER EVEN AVE MULTI-FAMILY GUIDELINES



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Project  
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Sheet Title  
**BUILDING 2 - ELEVATIONS**

Sheet No.  
**A4.02**

Drawn By  
**BF/SS**

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**RD**

Total Sheets  
**26**

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**RD**

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Documents  
**DP Application**

No	Date	Issue Notes
C	11-03-22	DP Re-submission
D	02-11-22	DP Re-submission
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F	12-10-23	DP Re-submission
G	03-01-24	DP Re-submission
H	18-01-24	DP Re-Submission
I	16-04-24	DP Re-Submission

Scale





1 EAST ELEVATION  
Scale: 1:96



2 SOUTH ELEVATION  
Scale: 1:96



3 WEST ELEVATION  
Scale: 1:96



4 NORTH ELEVATION  
Scale: 1:96

- FINISHES**
1. 6" HORIZONTAL HARDIE SIDING, EDWARDIAN GREY, SEE BM CHART BELOW
  2. 6" HORIZONTAL HARDIE SIDING, DUNBAR BUFF, SEE BM CHART BELOW
  3. 6" HORIZONTAL HARDIE SIDING, VICTORIAN PERidot, SEE BM CHART BELOW
  4. 6" HORIZONTAL HARDIE SIDING, PENDRELL GREEN, SEE BM CHART BELOW
  5. 6" HORIZONTAL HARDIE SIDING, STRATHCONA RED, SEE BM CHART BELOW
  6. SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - AMHEARST GREY
  7. SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - BLACK
  8. 1" X 1" MILLED FINISH HEMLOCK BEAM
  9. SMOOTH TEXTURED FACE BRICK ENDICOTT GLAZED GRAY-SN4
  10. FASCIA BOARD PAINTED TO MATCH BENJAMIN MOORE BLACK

**BENJAMIN MOORE'S HISTORICAL TRUE COLOURS**  
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Project  
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Sheet Title  
**BUILDING 3 - ELEVATIONS**

Sheet No.  
**A4.03**

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**26**

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No	Date	Issue Notes
C	11-03-22	DP Re-submission
D	02-11-22	DP Re-submission
E	03-08-23	DP Re-submission
F	12-10-23	DP Re-submission
G	03-01-24	DP Re-submission
H	18-01-24	DP Re-Submission
I	16-04-24	DP Re-Submission

Scale





1 EAST ELEVATION  
Scale: 1:96



3 WEST ELEVATION  
Scale: 1:96



2 SOUTH ELEVATION  
Scale: 1:96



4 NORTH ELEVATION  
Scale: 1:96

**FINISHES**

1. 6" HORIZONTAL HARDIE SIDING, EDWARDIAN GREY, SEE BM CHART BELOW
2. 6" HORIZONTAL HARDIE SIDING, DUNBAR BUFF, SEE BM CHART BELOW
3. 6" HORIZONTAL HARDIE SIDING, VICTORIAN PERidot, SEE BM CHART BELOW
4. 6" HORIZONTAL HARDIE SIDING, PENDRELL GREEN, SEE BM CHART BELOW
5. 6" HORIZONTAL HARDIE SIDING, STRATHCONA RED, SEE BM CHART BELOW
6. SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - ROCKY COAST
7. SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - BLACK
8. 1" X 1" MILLED FINISH HEMLOCK BEAM
9. SMOOTH TEXTURED FACE BRICK ENDICOTT GLAZED GRAY-SN4
10. FASCIA BOARD PAINTED TO MATCH BENJAMIN MOORE BLACK

**BENJAMIN MOORE'S HISTORICAL TRUE COLOURS  
AS PER EVEN AVE MULTI-FAMILY GUIDELINES**



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Sheet Title  
**BUILDING 4 - ELEVATIONS**

Sheet No.  
**A4.04**

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Reviewed By  
**RD**

Total Sheets  
**26**

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No	Date	Issue Notes
C	11-03-22	DP Re-submission
D	02-11-22	DP Re-submission
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F	12-10-23	DP Re-submission
G	03-01-24	DP Re-submission
H	18-01-24	DP Re-Submission
I	16-04-24	DP Re-Submission

Scale





**1 SOUTH ELEVATION**  
Scale: 1:96



**2 EAST ELEVATION**  
Scale: 1:96



**3 NORTH ELEVATION**  
Scale: 1:96



**4 WEST ELEVATION**  
Scale: 1:96

- FINISHES**
- 6" HORIZONTAL HARDIE SIDING, EDWARDIAN GREY, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, DUNBAR BUFF, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, VICTORIAN PERidot, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, PENDRELL GREEN, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, STRATHCONA RED, SEE BM CHART BELOW
  - SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - ROCKY COAST
  - SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - BLACK
  - 1" X 1" MILLED FINISH HEMLOCK BEAM
  - ENDICOTT THIN BRICK GLAZED GRAY-SN4
  - FASCIA BOARD PAINTED TO MATCH BENJAMIN MOORE BLACK

**BENJAMIN MOORE'S HISTORICAL TRUE COLOURS AS PER EVEN AVE MULTI-FAMILY GUIDELINES**



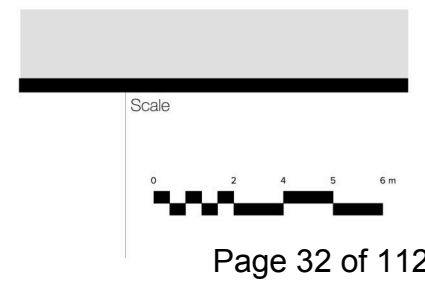
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Project  
**1135 SALTER ST.**  
Owner  
**1080894 BC LTD.**  
Sheet Title  
**BUILDING 5 - ELEVATIONS**

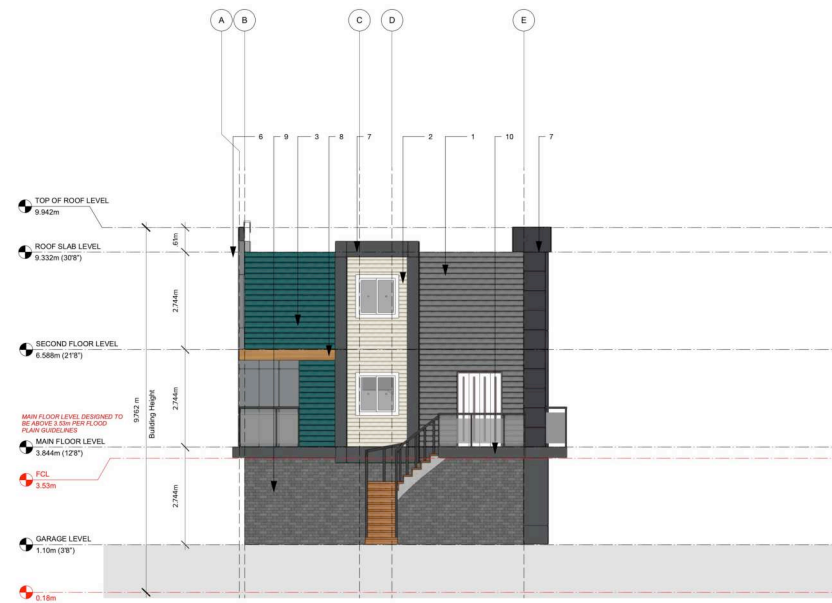
Sheet No.  
**A4.05**  
Drawn By  
**BF/SS**  
Reviewed By  
**RD**  
Total Sheets  
**26**  
Checked By  
**RD**  
Status  
**DP Application**

Contractors  
**AHJ City of New Westminster**  
Consultants  
**Architecture Panel Inc.**  
Documents  
**DP Application**

No	Date	Issue Notes
C	11-03-22	DP Re-submission
D	01-11-22	DP Re-submission
E	03-08-23	DP Re-submission
F	12-10-23	DP Re-submission
G	03-01-24	DP Re-submission
H	18-01-24	DP Re-submission
I	16-04-24	DP Re-Submission





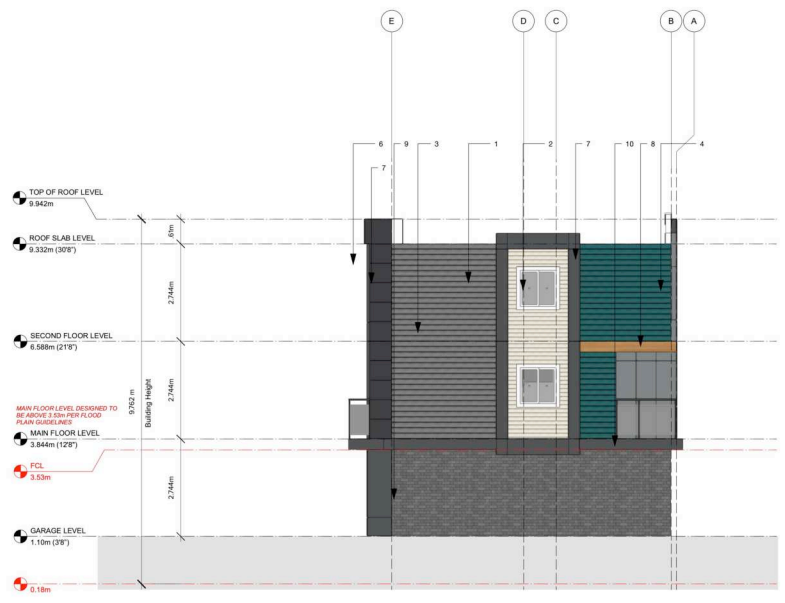


**1 SOUTH ELEVATION**  
Scale: 1:96



**2 EAST ELEVATION**  
Scale: 1:96

- FINISHES**
- 6" HORIZONTAL HARDIE SIDING, EDWARDIAN GREY, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, DUNBAR BUFF, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, VICTORIAN PERidot, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, PENDRELL GREEN, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, STRATHCONA RED, SEE BM CHART BELOW
  - SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - ROCKY COAST
  - SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - BLACK
  - 1" X 1" MILLED FINISH HEMLOCK BEAM
  - ENDICOTT THIN BRICK GLAZED GRAY-SN4
  - FASCIA BOARD PAINTED TO MATCH BENJAMIN MOORE BLACK



**3 NORTH ELEVATION**  
Scale: 1:96



**4 WEST ELEVATION**  
Scale: 1:96

**BENJAMIN MOORE'S HISTORICAL TRUE COLOURS**  
AS PER EVEN AVE MULTI-FAMILY GUIDELINES

HISTORICAL TRUE COLOURS				
VC-1 Oxford Ivory	VC-2 Oxford Cream	VC-3 Pendrell Cream	VC-4 Harris Cream	VC-5 Dunbar Buff
VC-6 Edwardian Buff	VC-7 Edwardian Cream	VC-8 Mount Pleasant Buff	VC-9 Strathcona Gold	VC-10 Dunbar Gold
VC-11 Kilbuck Gold	VC-12 Mount Pleasant Tan	VC-13 Bull Terrier	VC-14 Dunbar Gray	VC-15 Hastings Gray
VC-16 Corrie Sage	VC-17 Victorian Peridot	VC-18 Pendrell Green	VC-19 Corrie Green	VC-20 Vancouver Green
VC-21 Harris Green	VC-22 Pendrell Seagull	VC-23 Edwardian Powder	VC-24 Harris Gray	VC-25 Harris Gray
VC-26 Edwardian Pearl Gray	VC-27 Strathcona Red	VC-28 Harris Red	VC-29 Pendrell Red	VC-30 Hastings Red
VC-31 Mount Pleasant Brown	VC-32 Dunbar Brown	VC-33 Harris Brown	VC-34 Strathcona Marigold	VC-35 Olive Black



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Project  
**1135 SALTER ST.**  
Owner  
**1080894 BC LTD.**  
Sheet Title  
**BUILDING 6 - ELEVATIONS**

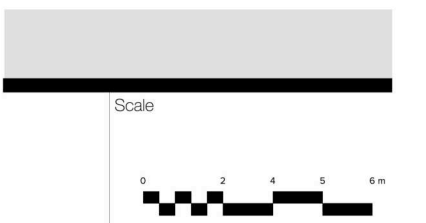
Sheet No.  
**A4.06**  
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Reviewed By  
**RD**

Total Sheets  
**26**  
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City of New  
Westminster**

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Documents  
**DP Application**

No	Date	Issue Notes
C	11-03-22	DP Re-submission
D	02-11-22	DP Re-submission
E	03-08-23	DP Re-submission
F	12-10-23	DP Re-submission
G	03-01-24	DP Re-submission
H	18-01-24	DP Re-submission
I	16-04-24	DP Re-Submission



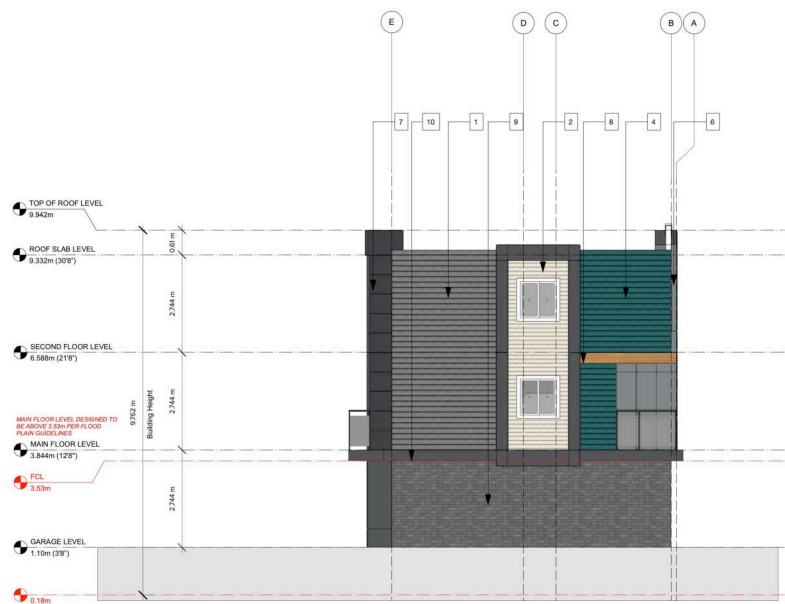


1 SOUTH ELEVATION  
Scale: 1:96



2 EAST ELEVATION  
Scale: 1:96

- FINISHES**
- 6" HORIZONTAL HARDIE SIDING, EDWARDIAN GREY, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, DUNBAR BUFF, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, VICTORIAN PERidot, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, PENDRELL GREEN, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, STRATHCONA RED, SEE BM CHART BELOW
  - SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - ROCKY COAST
  - SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - BLACK
  - 1" X 1" MILLED FINISH HEMLOCK BEAM
  - ENDICOTT THIN BRICK GLAZED GRAY-SN4
  - FASCIA BOARD PAINTED TO MATCH BENJAMIN MOORE BLACK



3 NORTH ELEVATION  
Scale: 1:96



4 WEST ELEVATION  
Scale: 1:96

**BENJAMIN MOORE'S HISTORICAL TRUE COLOURS**  
AS PER EVEN AVE MULTI-FAMILY GUIDELINES

HISTORICAL TRUE COLOURS				
VC-1 Outlook Ivory	VC-2 Outlook Cream	VC-3 Pendrell Cream	VC-4 Harbly Cream	VC-5 Outlook Buff
VC-6 Edwardian Buff	VC-7 Edwardian Cream	VC-8 Mount Pleasant Buff	VC-9 Strathcona Gold	VC-10 Dunbar Gold
VC-11 Kibbino Gold	VC-12 Mount Pleasant Tan	VC-13 Bull Tackle	VC-14 Dunbar Grey	VC-15 Hedderston Grey
VC-16 Corrie Sage	VC-17 Victorian Peridot	VC-18 Pendrell Green	VC-19 Corrie Green	VC-20 Vancouver Green
VC-21 Harbly Green	VC-22 Pendrell Seagull	VC-23 Edwardian Pewter	VC-24 Harbly Grey	VC-25 Harbly Grey
VC-26 Edwardian Pewter Grey	VC-27 Strathcona Rust	VC-28 Nelson Rust	VC-29 Pendrell Rust	VC-30 Hedderston Rust
VC-31 Mount Mansfield	VC-32 Dunbar Brown	VC-33 Harbly Brown	VC-34 Strathcona Mansfield	VC-35 Olive Black



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Project  
**1135 SALTER ST.**  
Owner  
**1080894 BC LTD.**  
Sheet Title  
**BUILDING 7 - ELEVATIONS**

Sheet No.  
**A4.07**  
Drawn By  
**BF/SS**  
Reviewed By  
**RD**

Total Sheets  
**26**  
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**RD**  
Status  
**DP Application**

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**AHJ  
City of New  
Westminster**

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**Architecture Panel Inc.**  
Documents  
**DP Application**

No	Date	Issue Notes
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F	12-10-23	DP Re-submission
G	03-01-24	DP Re-submission
H	18-01-24	DP Re-submission
I	16-04-24	DP Re-Submission





**1 WEST ELEVATION**  
Scale: 1:96



**2 SOUTH ELEVATION**  
Scale: 1:96

- FINISHES**
- 6" HORIZONTAL HARDIE SIDING, EDWARDIAN GREY, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, DUNBAR BUFF, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, VICTORIAN PERidot, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, PENDRELL GREEN, SEE BM CHART BELOW
  - 6" HORIZONTAL HARDIE SIDING, STRATHCONA RED, SEE BM CHART BELOW
  - SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - ROCKY COAST
  - SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - BLACK
  - 1" X 1" MILLED FINISH HEMLOCK BEAM
  - SMOOTH TEXTURED FACE BRICK ENDICOTT GLAZED GRAY-SN4
  - FASCIA BOARD PAINTED TO MATCH BENJAMIN MOORE BLACK



**3 EAST ELEVATION**  
Scale: 1:96



**4 NORTH ELEVATION**  
Scale: 1:96

**BENJAMIN MOORE'S HISTORICAL TRUE COLOURS**  
AS PER EVEN AVE MULTI-FAMILY GUIDELINES



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Project  
**1135 SALTER ST.**  
Owner  
**1080894 BC LTD.**  
Sheet Title  
**BUILDING 8 - ELEVATIONS**

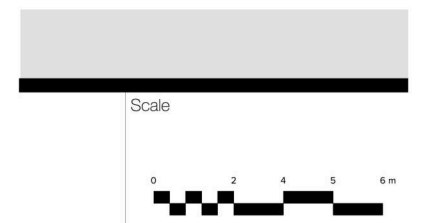
Sheet No.  
**A4.08**  
Drawn By  
**BF/SS**  
Reviewed By  
**RD**

Total Sheets  
**26**  
Checked By  
**RD**  
Status  
**DP Application**

Contractors  
**AHJ  
City of New  
Westminster**

Consultants  
**Architecture Panel Inc.**  
Documents  
**DP Application**

No	Date	Issue Notes
C	11-03-22	DP Re-submission
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F	12-10-23	DP Re-submission
G	03-01-24	DP Re-submission
H	18-01-24	DP Re-submission
I	16-04-24	DP Re-Submission





1 BIRDS EYE VIEW TO SITE SHOWING MAIN ENTRANCE  
Scale: NTS



2 VIEW TO SITE FROM SOUTH  
Scale: NTS



3 VIEW TO SITE FROM SE LOOKING AT ENTRANCE  
Scale: NTS



4 BIRD EYE VIEW TO SITE FROM SW  
Scale: NTS



5 BIRD EYE VIEW TO SITE FROM SW SHOWING MASSING ON THE WEST  
Scale: NTS



6 BIRDS EYE VIEW TO SITE FROM EAST LOOKING WEST OVER THE ROOFS OF ADJACENT SINGLE DETACHED LOTS  
Scale: NTS

THE ADJACENT ELEVATIONS OF THE BUILDINGS ON NORTH WEST & NORTH-EAST AS SHOWN HERE ARE IMAGINED TO BE BUILT UNDER SAME FLOOD PLAIN CRITERIA AND HAVE BEEN CAREFULLY CONSIDERED TO HAVE 2 FLOORS ABOVE WITH 2.75 M FLOOR HEIGHT.



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Owner  
1080894 BC LTD.

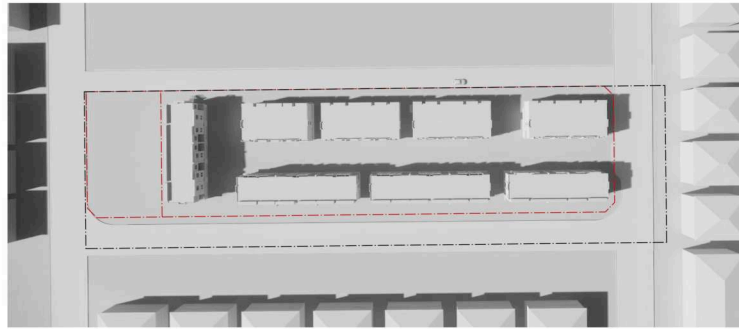
Sheet Title  
MASSING STUDY

Total Sheets	Sheet No.
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Drawn By	Checked By
BF/SS/LT	RD
Reviewed By	Status
RD	
Contractors	Consultants
	Architecture Panel Inc.

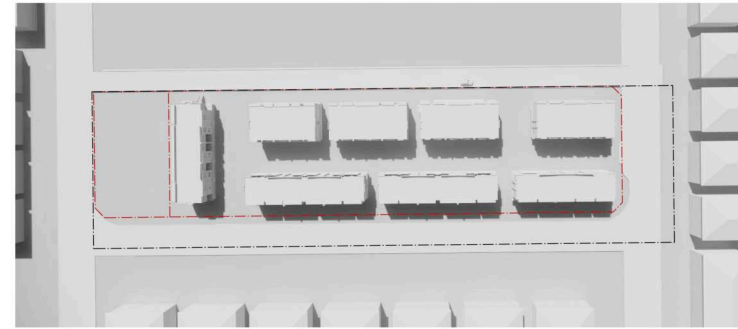
AHJ  
City of New Westminster  
Documents

No	Date	Issue Notes
C	11-03-22	DP Re-submission
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F	16-10-23	DP Re-submission
G	03-01-24	DP Re-Submission
H	18-01-24	DP Re-submission
I	16-04-24	DP Re-Submission

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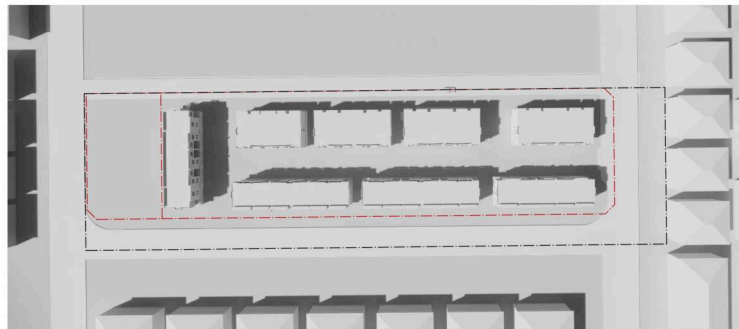
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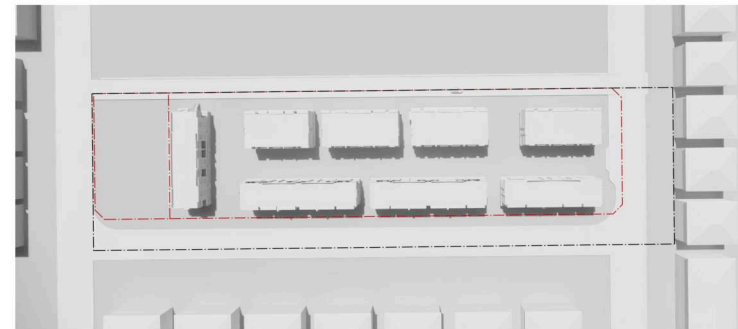
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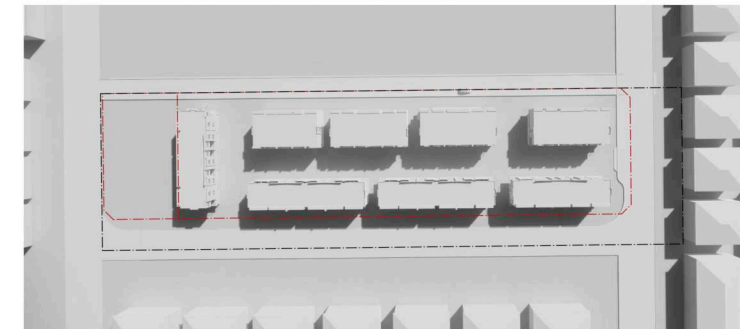
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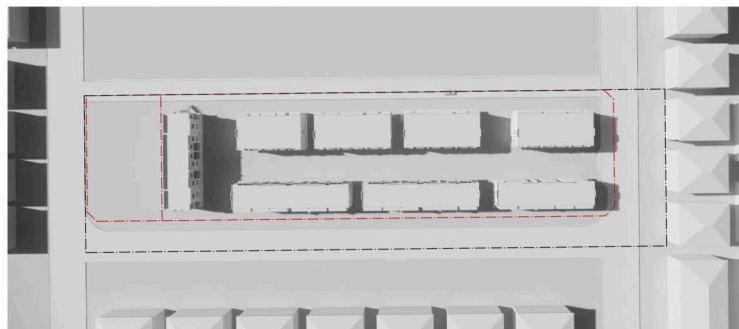
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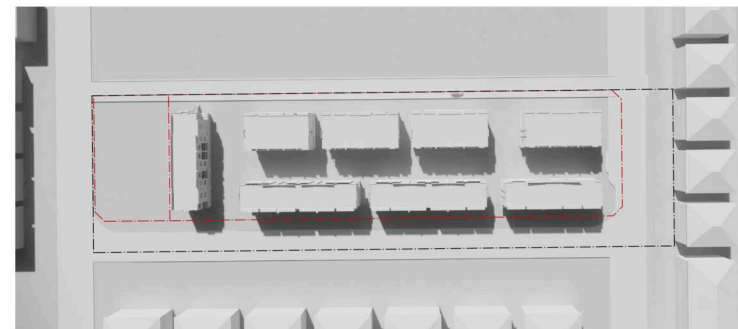
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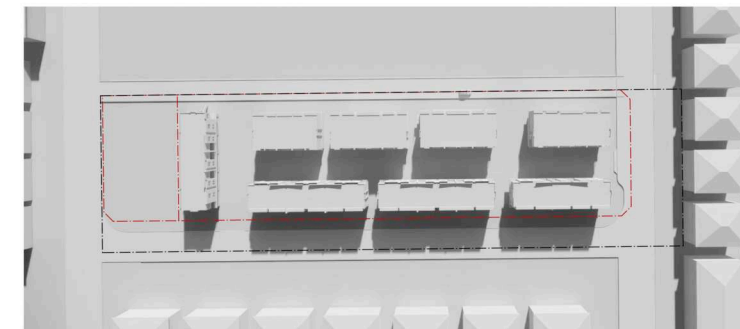
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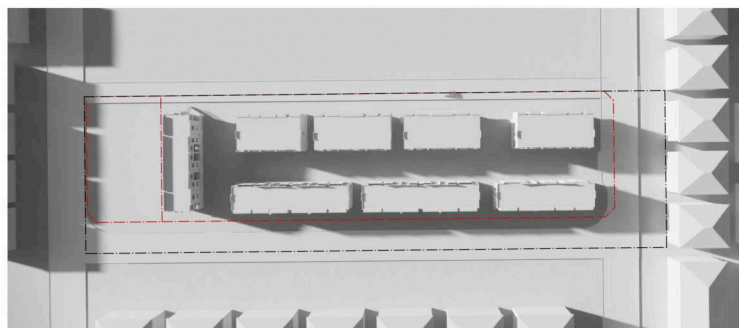
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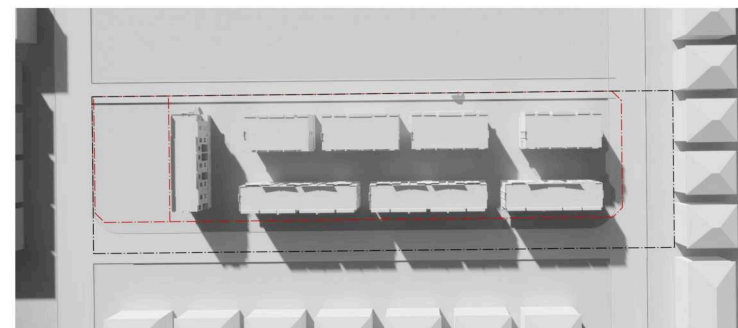
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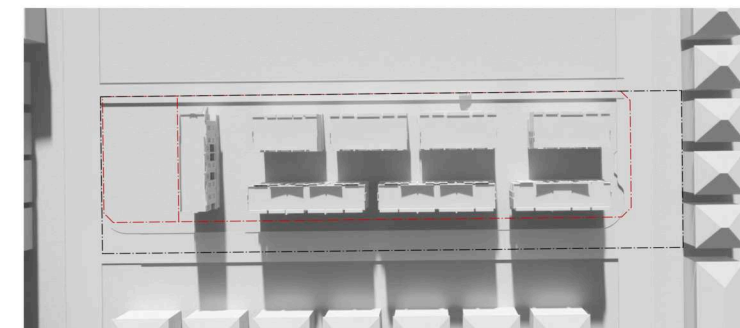
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Scale: NTS



10 JAN 9 AM  
Scale: NTS



11 JAN 1 PM  
Scale: NTS



12 JAN 3 PM  
Scale: NTS



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Sheet Title  
**SHADOW STUDY**

Total Sheets 26	Sheet No. A5.02
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Reviewed By RD	Status
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City of New Westminster

Documents

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I	16-04-24	DP Re-Submission

Scale

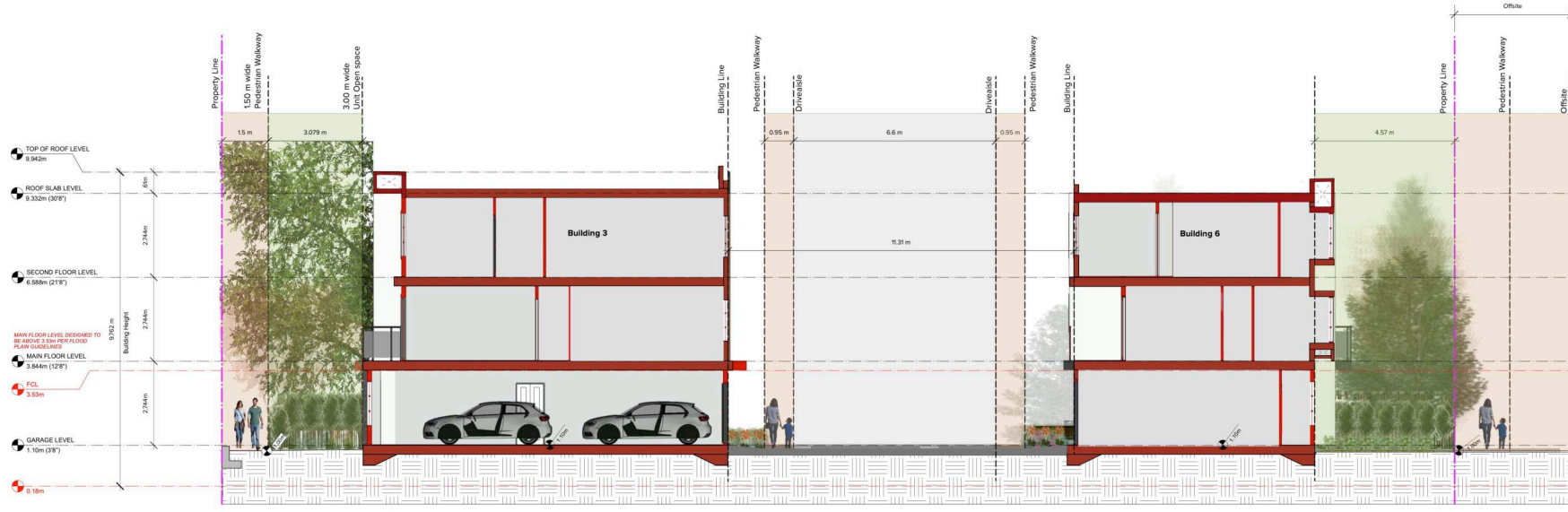


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1 SECTION AA'  
Scale: 1:100



2 SECTION BB'  
Scale: 1:100

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**SITE SECTIONS**

Total Sheets	Sheet No.
26	A5.03
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I	16-04-24	DP Re-Submission

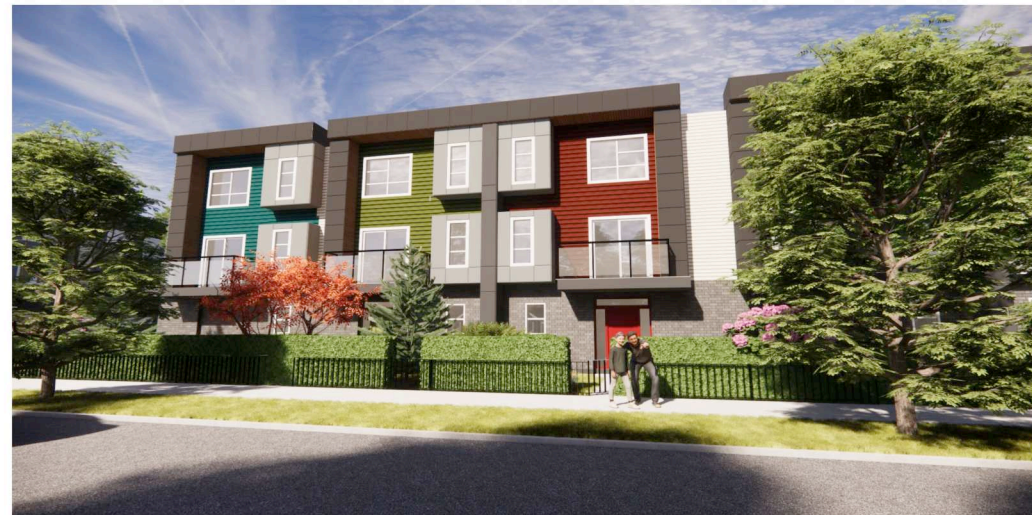




1 VIEW OF PEDESTRIAN ENTRY TO AMENITY AREA IN BETWEEN BUILDINGS 5 & 6  
Scale: NTS



2 VIEW OF MAIN ENTRANCE- BASRAN AVE.  
Scale: NTS



3 VIEW SHOWING USE OF HISTORICAL TRUE COLOURS  
Scale: NTS



4 INTERNAL ROADSCAPE  
Scale: NTS



5 VIEW OF SEATING OPPORTUNITIES IN AMENITY AREA IN BETWEEN BUILDINGS 5 & 6  
Scale: NTS



6 VIEW OF CENTRAL AMENITY PLAZA  
Scale: NTS



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**PERSPECTIVES**

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I	16-04-24	DP Re-Submission



Scale



1 KEY PLAN  
Scale: 1:250

## DESIGN RATIONALE AND SUMMARY

This multi-family residential proposed project is located in the City of New Westminster's Queensborough Area. The project aims to provide housing which reflects the diversity of the surrounding community and provides opportunities to create a vibrant, family oriented neighborhood.

Owing to the central location of this site, it requires intricate landscape treatment in almost all directions and edges of the site. The main objective of this design is to create communal vibes with equal importance given to privacy of each unit. Every part of site is used to accentuate the overall design with careful use of Landscaping elements. Several techniques like delineation for way-finding, access control, safety and aesthetics in dealing with the design issues has precipitated this design scheme.

We are proposing an addition of textural paving distinctions to identify the varied use entrances and accentuation with the built form edge. The dense development zones and their respective demarcations have been attempted by allocating a variety of hardscape finishes such as the stained concrete, Belgard concrete hard pressed slabs, and in-situ concrete panels directing the movement and circulation.

The multi-user nature of the residential development demands privacy for the various units and their accessible spaces. The element used to define these spaces (private patios from one another) is Taxus.

The flanking and the landscape buffer zones of the site have been very strongly designed in favor of the native trees and shrubs. They are chosen for not only for their low footprint factor but also owing to their mainly evergreen nature and limited maintenance and the leaf litter.

The outdoor amenity has been designed with a very distinct separation of areas. Thoughtful use of shrubs and trees to screen private spaces from common amenity spaces. Also part of the amenity is treated as play area.

Three small plazas with seating opportunity are proposed near the two vehicular entry points of the site. The three plazas vary in size with shrubbery on the sides to for a more welcoming interface.



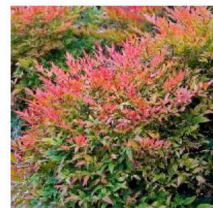
Hemerocallis x 'Lemon Yellow'



Vaccinium Ovatum



Acer Palmatum



Nandina Domestica



Acer Rubrum

See Tree Schedules, Tables and Descriptions on L3

## GENERAL NOTES

All materials and workmanship to CLS Standards, latest edition. Soil depths and subgrade preparation, soil quality and plant sizes to meet or exceed that standard.

Plant sizes in this list are specified according to the BC Landscape Standard's latest edition. Container sizes are specified as per 'CNTA Standards'. Both plant size and container size are the minimum acceptable sizes. The installers are advised to search and review, make plant material available to the Landscape Architect for optional review at the source of supply. Area of search to include Lower Mainland and Fraser Valley. 'Substitutions' must obtain written approval from the Landscape Architect prior to making any substitutions to specified material. Unapproved substitutions will be rejected. Allow a minimum of five working days prior to delivery for request to substitute. Substitutions are subject to the Landscape Standard.

All plant material must be provided from the certified 'Disease Free' nursery. All plant material must conform to the latest edition of the 'BC Landscape Standard'. Provide certification upon request. All landscaping and landscape materials to conform to the latest edition of the CLS standards.

Min. growing medium depths over prepared subgrade shall be:  
Lawn areas 300mm  
Ground Cover Areas 450mm  
Shrub Areas 450mm  
Tree Pits 300mm  
(around root balls)

Growing medium shall have physical and chemical properties as described in the standards for 'Ground' areas, except for the areas over structures where the medium shall conform to the requirements for level 1 applications. Processing and mixing of the growing medium shall be done off-site using a mechanized screening process. Proposed growing medium shall be tested by a recognized laboratory. The contractor shall guarantee that the soil submitted for testing is a sample representative of the soil to be used at the site.

On-Site or imported soils shall satisfy the requirements of the standards for growing medium. Soils shall be virtually free from subsoil, wood including woody plant parts, weed or reproductive parts of the weeds, plant pathogenic organisms, toxic material, stones over 30mm, and foreign objects.

All planting beds shall receive min. 50mm bark mulch.  
The contractor shall maintain clean working conditions, remove all refuse and debris and present the site in a safe and clean condition upon completion of all works.  
Plant species and varieties may not be substituted without the approval of the Landscape architect.  
All wood fences to be cedar, with one coat of clear penetrating preservative.

All engineering drawings (Civil, Mechanical, Envelope and Electrical) to supersede the Landscape drawings where applicable. These Landscape drawings are to be considered overriding only in case of soft landscape (planting).

**All soft landscape areas to be serviced by High Efficiency Irrigation System.**



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Owner  
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Sheet Title  
LANDSCAPE KEY PLAN

Total Sheets 6	Sheet No. L1.01
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Reviewed By RD	Status
Contractors	Consultants Architecture Panel Inc.
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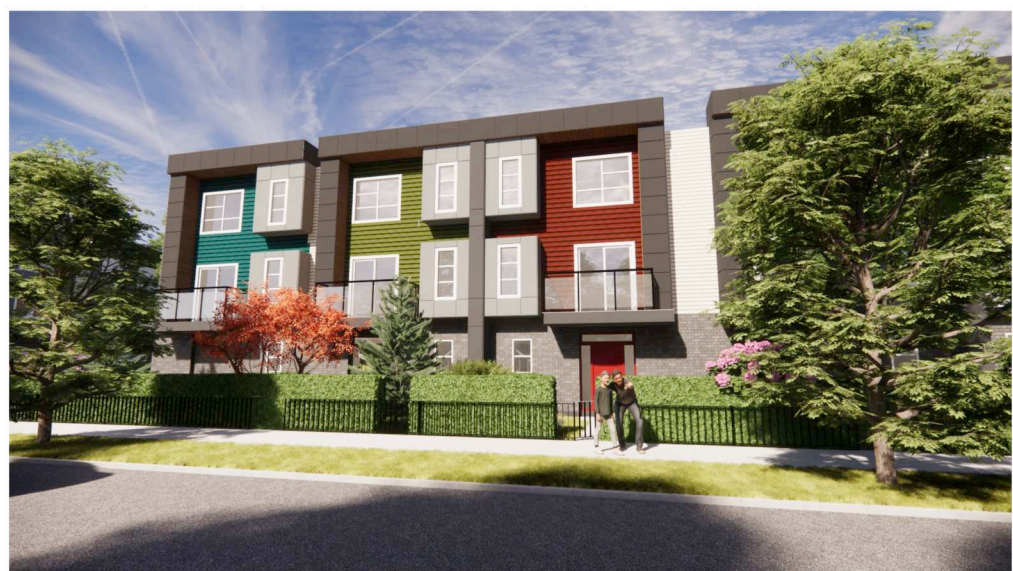
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1 CONCEPT PLAN  
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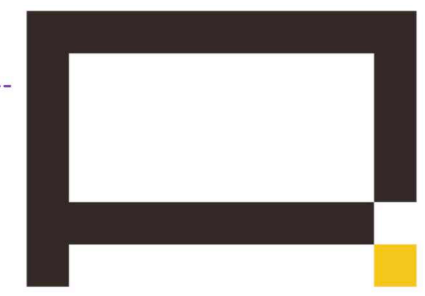
2 VIEW SHOWING THOUGHTFULLY DESIGNED PATIOS  
Scale: NTS



3 VIEW OF SEATING ALONG NORTH-EAST AMENITY PLAZA  
Scale: NTS



4 VIEW SHOWING TAXUS HEDGE SCREENING BETWEEN PATIOS & COMMON SPACES  
Scale: NTS



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Sheet Title  
**CONCEPT PLAN**

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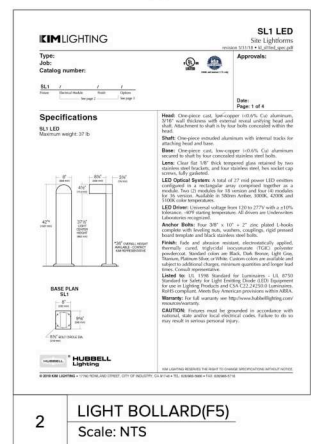




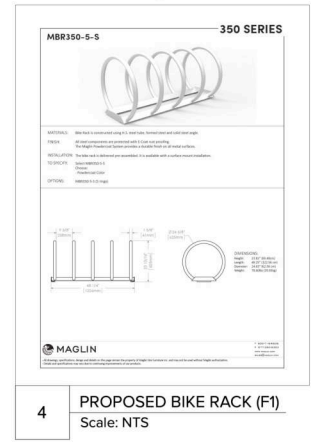
1 HARDSCAPE PLAN  
Scale: 1:200

- Furniture Legend (F)**
- F1 Maglin Bike Rack, Cast Aluminum Bike Rack (See L1.03/4)
  - F2 Maglin Outdoor Bench (See L1.03/5)
  - F3 Columbia Cascade Timber riding structure (See L1.03/8)
  - F4 Ameristar 4' Fence. (See L1.05/1)
  - F5 Maglin Bollard. (See L1.03/3)
  - F6 Cedar Privacy Fence. (See L1.05/3)
  - F7 Signage. (See L1.05/11)
  - F8 Columbia Cascade Rotating Structure (See L1.03/7)
  - F9 Columbia Cascade See Saw Structure (See L1.03/6)

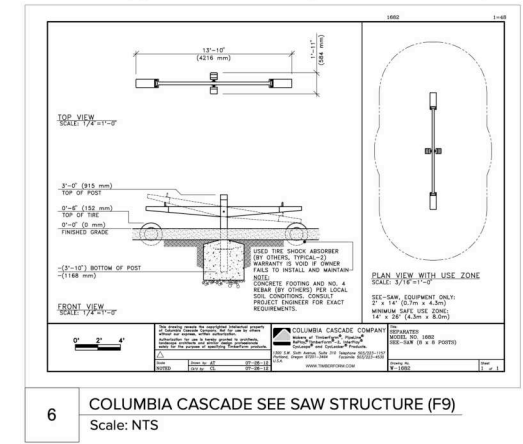
- Paving Legend (P)**
- P1 CIP Concrete with saw cut joints Light Broom Finish Natural Colour
  - P2 Belgard Venetian Cobble Series Colour Sandalwood Blend. (See L1.05/4)
  - P3 Abbotsford Concrete Texada Hydra pressed Slab Natural (See L1.03/9)
  - P4 Asphalt Road
  - P5 Belgard Classic Standard Paving System. Colour: Harvest. (See L1.05/2)
  - P6 Belgard Classic Standard pavers Colour: Natural with Charcoal border. (See L1.05/2)
  - P7 CIP Concrete with saw cut joints Light Broom Finish Stained with integral colour - Charcoal
  - P8 Belgard Moduline series plank pavers Size: 4" x 18" Colour: Grey & Charcoal



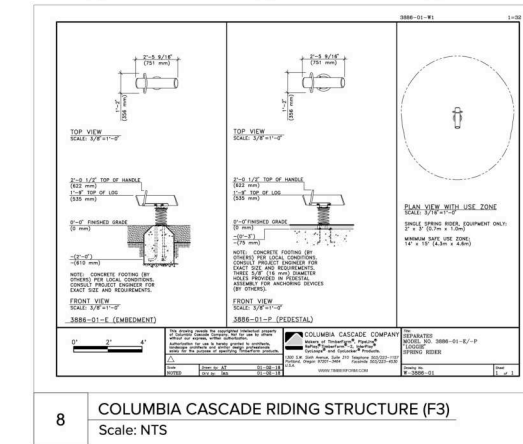
2 LIGHT BOLLARD (F5)  
Scale: NTS



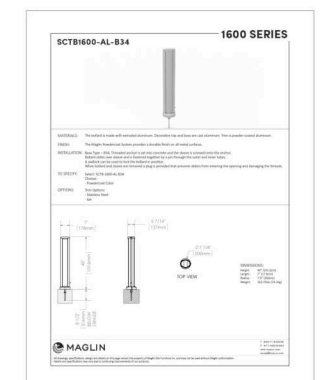
4 PROPOSED BIKE RACK (F1)  
Scale: NTS



6 COLUMBIA CASCADE SEE SAW STRUCTURE (F9)  
Scale: NTS



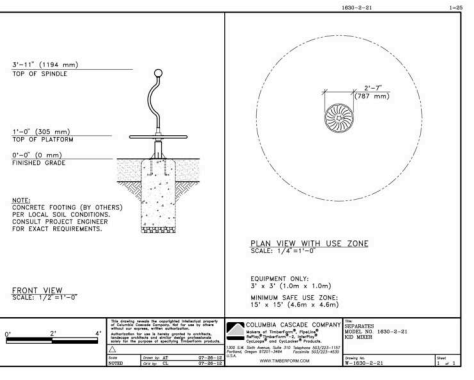
8 COLUMBIA CASCADE RIDING STRUCTURE (F3)  
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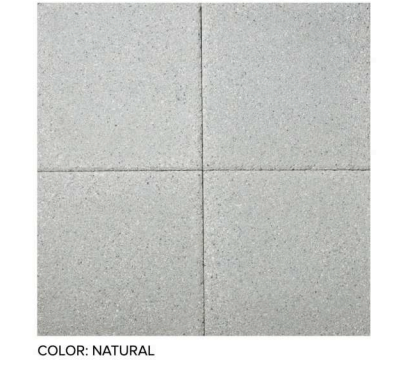
3 PROPOSED BOLLARD (F5)  
Scale: NTS



5 PROPOSED OUTDOOR BENCH (F2)  
Scale: NTS



7 COLUMBIA CASCADE ROTATING STRUCTURE (F8)  
Scale: NTS



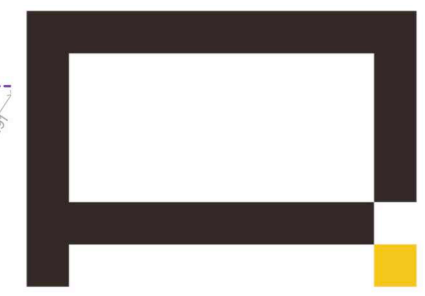
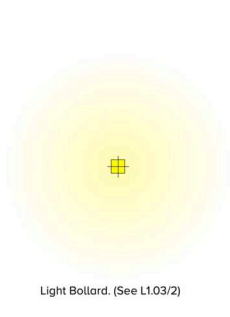
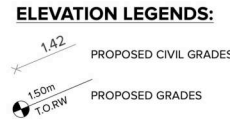
9 BELGARD TEXADA HYDRAPRESSED SLAB (P3)  
Scale: NTS



10 BELGARD MODULINE SERIES PLANK PAVERS (P8)  
Scale: NTS



COLOR: CHARCOAL



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Sheet Title  
HARDSCAPE PLAN

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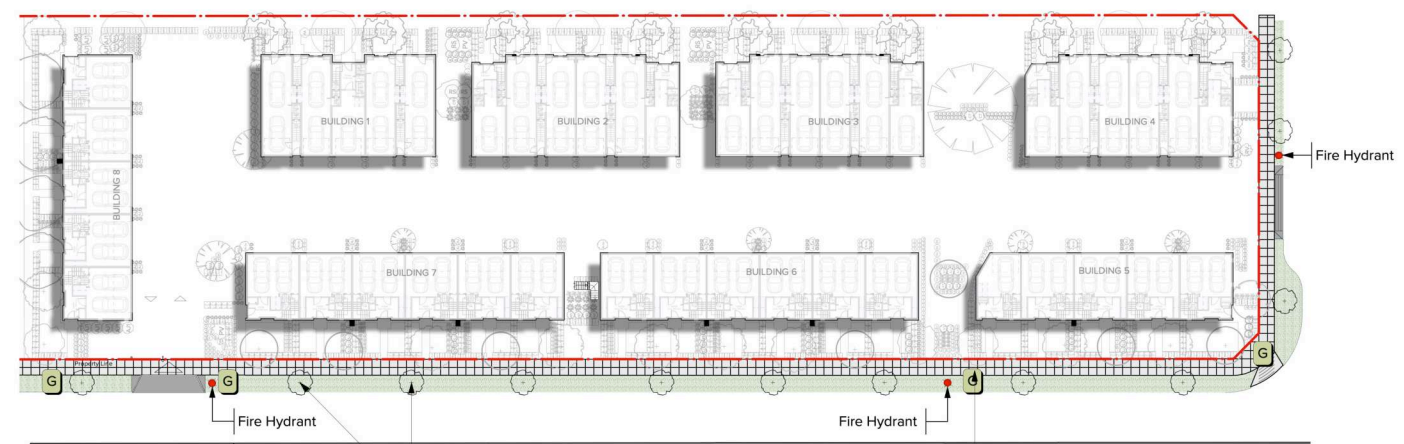
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H	08-04-24	DP Re-Submission





1 PLANTING PLAN  
Scale: 1:200



2 OFF-SITE PLAN  
Scale: 1:400  
Retaining wall. See civil drawings.  
Street tree selection, procurement, and installation are to be undertaken by the City Arborist or their delegates.  
Broom Finish Cast In Place Concrete with Saw Cut Joints

**List of Proposed Trees**

Image	ID	Quantity	Latin Name	Common Name	Scheduled Size
	NY SY	7	Nyssa sylvatica	black tupelo	7 cm. cal.
	GSKY	8	Gleditsia triacanthos inermis 'Sky Skyline Honeylocust'		7 cm. cal.
	A.Rub	5	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	7 cm. cal.
	A.Ob	5	Acer palmatum 'Oshio-Beni'	Oshio-Beni Japanese Maple	3m ht. 5 cm cal, multi step
	Lq.SG	2	Liquidambar styraciflua	American Sweetgum	7 cm. cal.
	P.Par	6	Pinus parviflora 'Templehof'	Japanese White Pine	3.5 m. ht.
	Ma.Gr	1	Magnolia grandiflora	Southern Magnolia	7 cm. cal.
	Pomo	7	Picea omorika	Serbian Spruce	3.5 m. ht.
	Am.lv	1	Amelanchier laevis	Allegheny Serviceberry	7 cm. cal.
	Q.H	4	Quercus Heritage	Heritage Oak	7 cm. cal.

Non-Netted SOD

Note: An automatic irrigation system is going to be provided for the softscape throughout the site.



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Sheet Title  
PLANTING/ OFF-SITE

Total Sheets	6	Sheet No.	L1.04
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Appendix C

*Draft Official Community Plan Amendment*  
*Bylaw No. 8454, 2024*

**CORPORATION OF THE CITY OF NEW WESTMINSTER**

**OFFICIAL COMMUNITY PLAN AMENDMENT BYLAW (1135 SALTER STREET) NO. 8454, 2024**

**A bylaw to amend Official Community Plan Bylaw No. 7925, 2017**

---

WHEREAS:

- A. The Council has adopted Official Community Plan Bylaw No. 7925, 2017 and wishes to amend the Official Community Plan that was adopted by that bylaw;
- B. The Council has considered the consultation matters set out in s. 475 of the *Local Government Act* including whether any consultation on this bylaw that the Council considers to be required should be early or ongoing;
- C. The Council has specifically considered whether consultation on this bylaw is required with the board of the Greater Vancouver Regional District; First Nations; the Councils of adjacent municipalities; the Greater Vancouver Water District and the Greater Vancouver Sewerage and Drainage District; the Provincial and Federal governments and their agencies; and any other persons, organizations, and authorities it considers will be affected;
- D. The Council has consulted on this bylaw with the Board of Trustees of School District No. 40 and has sought its input as to the matters set out in section 476(2) of the *Local Government Act* in respect of the bylaw;
- E. The Council has, between first and second readings of this bylaw, considered the bylaw in conjunction with:
  - i. The City's Capital Expenditure Program (as contained in the Five-Year Financial Plan (2024 - 2028) Bylaw No. 8442, 2024); and
  - ii. Metro Vancouver's Integrated Solid Waste and Resource Management Plan, Integrated Liquid Waste and Resource Management Plan, and Drinking Water Management Plan;
- F. The Council has held a Public Hearing on this bylaw to amend the Official Community Plan;

NOW THEREFORE the Council of the Corporation of the City of New Westminister, in open meeting assembled, enacts as follows:

- 1. This bylaw may be cited for all purposes as "Official Community Plan Amendment Bylaw (1135 Salter Street) No. 8454, 2024".
- 2. The following land that is the subject of this bylaw is shown hatched on the map attached hereto as Schedule "A", and is referred to in this bylaw as the "Subject Land":

1135 Salter Street (Legal Description: LOT 2 WEST HALF BLOCK 18 DISTRICT LOT 757 GROUP 1 NEW WESTMINSTER DISTRICT GROUP 1 PLAN LMP51311; PID: 025-131-249)

3. The Official Community Plan (OCP) is amended by altering the land use designation of the Subject Land:

- a. From “(RL) Residential – Low Density” to “(RM) Residential – Multiple Unit Buildings” for the area labelled “Area 1” in Schedule “A” of this bylaw;
- b. From “(RL) Residential – Low Density” to “Parks, Open Space and Community Facilities” for the area labelled “Area 2” in Schedule “A” of this bylaw;

And by amending Map 11 and Schedule C Land Use Designation Map included in the Queensborough Community Plan (Schedule D of the OCP) accordingly.

4. The Official Community Plan (OCP) is amended by altering the Ewen Avenue Multi-Family – Residential Development Permit Area #1 boundaries, shown on Map B Residential Development Permit Areas included in the Queensborough Community Plan (Schedule D of the OCP), by including the area of the Subject Land labelled “Area 1” in Schedule “A” of this bylaw.

5. The Official Community Plan and its schedules are further amended by making such consequential changes as are required to give effect to the amendments particularized in this bylaw, including changes to the format and numbering of the plan, maps and map legends, and the table of contents.

GIVEN FIRST READING this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

GIVEN SECOND READING this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

PUBLIC HEARING held this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

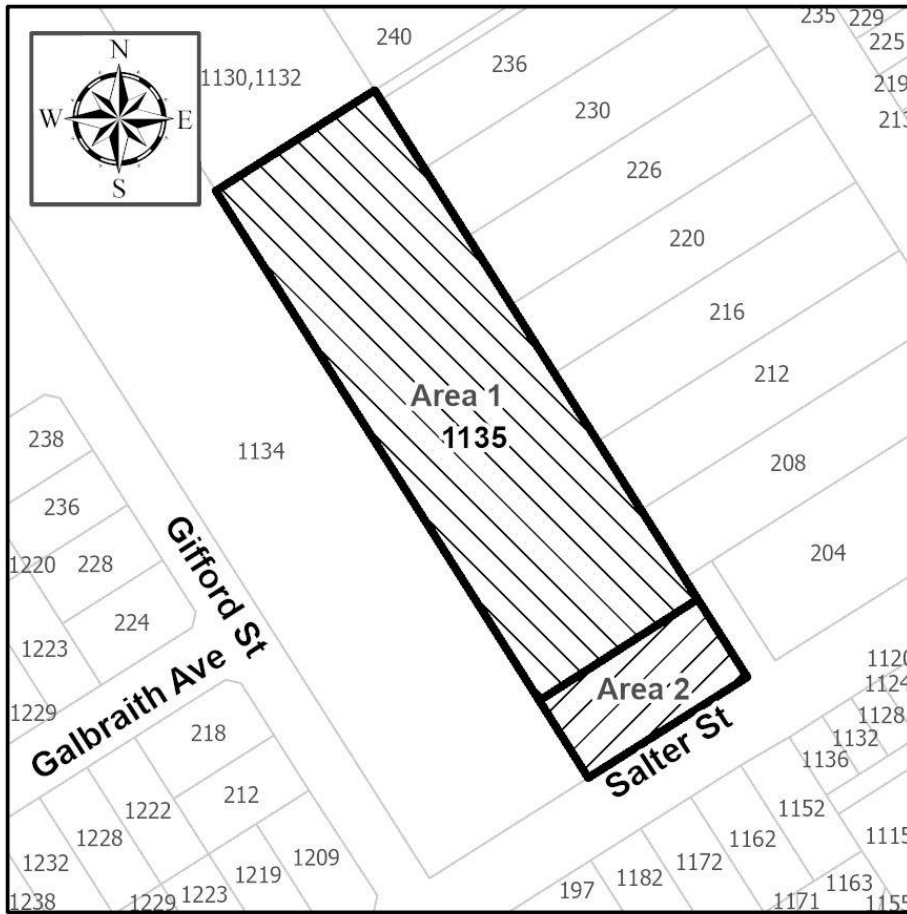
GIVEN THIRD READING this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

ADOPTED and the Seal of the Corporation of the City of New Westminster affixed this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Mayor Patrick Johnstone

\_\_\_\_\_  
Hanieh Berg, Corporate Officer

**SCHEDULE "A"**



Appendix D  
*Draft Zoning Amendment Bylaw  
No. 8455, 2024*



**CORPORATION OF THE CITY OF NEW WESTMINSTER**

**ZONING AMENDMENT BYLAW (1135 SALTER STREET) NO. 8455, 2024**

A Bylaw to Amend Zoning Bylaw No. 6680, 2001.

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WHEREAS the Local Government Act authorizes a municipality to zone areas of land and to make regulations pursuant to zoning;

WHEREAS the Council has adopted a zoning bylaw under Part 14 of the Local Government Act, and wishes to amend the bylaw;

NOW THEREFORE THE CITY COUNCIL of the Corporation of the City of New Westminster in open meeting assembled ENACTS AS FOLLOWS:

1. This bylaw may be cited for all purposes as “Zoning Amendment Bylaw (1135 Salter Street) No. 8455, 2024”.
2. The following land that is the subject of this bylaw is shown hatched on the map attached hereto as Schedule “A”, and is referred to in this bylaw as the “Subject Land”:  
1135 Salter Street (Legal Description: LOT 2 WEST HALF BLOCK 18 DISTRICT LOT 757 GROUP 1 NEW WESTMINSTER DISTRICT GROUP 1 PLAN LMP51311; PID: 025-131-249)
3. Zoning Bylaw No. 6680, 2001 is hereby amended as follows:
  - a) Rezoning the Subject Land from “Queensborough Neighbourhood Residential Dwelling Districts (RQ-1)” to “Queensborough Townhouse Districts (RT-3)” for the area labelled “Area 1” in Schedule “A” of this bylaw;
  - b) Rezoning the Subject Land from “Queensborough Neighbourhood Residential Dwelling Districts (RQ-1)” to “Parks Districts (P-10)” for the area labelled “Area 2” in Schedule “A” of this bylaw; and
  - c) Amending the Zoning Map annexed as Appendix “A” to Zoning Bylaw No. 6680, 2001 to reflect this rezoning.

GIVEN FIRST READING this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

GIVEN SECOND READING this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

PUBLIC HEARING held this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

GIVEN THIRD READING this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

ADOPTED and the Seal of the Corporation of the City of New Westminster affixed this

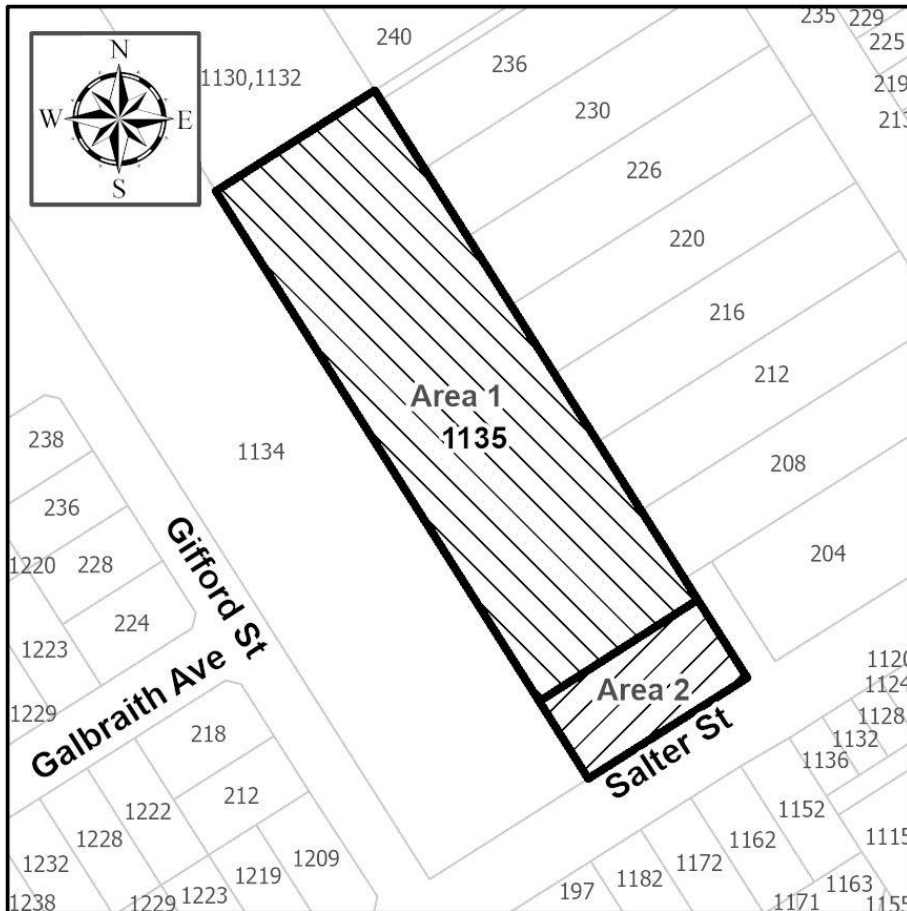
\_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Mayor Patrick Johnstone

\_\_\_\_\_  
Hanieh Berg, Corporate Officer

**Schedule "A" to Zoning Amendment Bylaw No. 8455, 2024**

**Map Showing Land to be Rezoned**



Appendix E

*Evaluation Criteria Questions for Considering  
Variance Requests*

### **Information Question**

1. What is the intent of the bylaw which the applicant is seeking to have varied?

### **Assessment Questions**

2. Is there a community benefit to the granting of the variance; beyond that received by the owner or occupant of the property?
3. Is there a hardship involved in adhering to the pertinent bylaw? A hardship must relate to the location, size, geometry or natural attributes (e.g. slope, floodplain, rock formation, natural vegetation) of the site and not the personal or business circumstances of the applicant.
4. If the answer to question #2 is 'No,' but the answer to question #3 is 'Yes,' can it still be demonstrated that the proposal still meets the intent of the bylaw?
5. Is this the most appropriate mechanism for achieving the end result of the proposed variance?
6. Is the proposed variance relatively minor?

### **Building Specific Criteria (Side Yard Setbacks)**

- Does the decreased setback still provide adequate space between the building and the adjacent building (or a building that could be built under the existing zoning) in terms of liveability and open space proportionate to the size of the building?
- Does the decreased setback still provide for appropriate massing along the street?
- Does the decreased setback create privacy issues for the adjacent property in terms of windows, decks, or balconies?

Appendix F  
*Engineering Services Memo*

## Memorandum

**To:** Dilys Huang, Development Planner

**Date:** March 13, 2024

**From:** Christian Medurecan, Engineering Technologist

**File:** PRJ-007694  
DRF00203

**Subject:** WORKS AND SERVICES REQUIREMENTS FOR 1135 SALTER STREET – REZ00198, DP000828, DVP00677, OCP00032

---

We are responding to your Development Application resubmission as referenced above dated January 3, 2024 for the proposed 45 Unit Townhouse Development.

Provided the applicant is successful in obtaining a Development Permit, the Engineering Department requirements include but may not necessarily be limited to the following:

1. The developer is required to submit a subdivision application and follow the subdivision processes. For more information on the requirements, see our webpage at <https://www.newwestcity.ca/subdivision-process#subdivision-process>.
2. The developer shall, at a minimum, familiarize themselves with the following documents and plans:
  - 2.1. Master Transportation Plan
  - 2.2. Active Transportation Network Plan
  - 2.3. Official Community Plan (OCP)
  - 2.4. Zoning Bylaw No. 6680, 2001
  - 2.5. Subdivision and Development Control Bylaw No. 7142, 2007
  - 2.6. Erosion & Sediment Control Bylaw No. 7754, 2016
  - 2.7. Tree Protection and Regulation Bylaw No. 7799, 2016
  - 2.8. Street and Traffic Bylaw No. 7664, 2015
3. Submission of an application for subdivision for the additional Lot (Park Land) accompanied by a BC Land Surveyor's Proposed Subdivision and Topographic Survey Plan. The Subdivision Application Form can be found on the City's Website under 'Subdivision Process' or at the Engineering Front Counter at City Hall.

Terms and conditions by which the Park Land would be turned over to the City, these include but are not limited to the following:

- 3.1. Site shall be delivered at "existing or natural grade" meaning the pre-development site grade unless otherwise agreed upon by the Director of Parks & Recreation
- 3.2. All site grading and drainage plans to be reviewed and approved by the City to ensure there are no future erosion and sediment risks
- 3.3. Site shall be delivered as a clean site free of all construction debris or encumbrances to develop a neighborhood park (i.e. above or below grade infrastructure or utilities)
- 3.4. Site shall be delivered with a minimum of 300mm of imported topsoil and seeded lawn mix (per specifications provided by the Parks & Recreation Department)
- 3.5. Provision of storm, sanitary, water and electrical service connections
- 3.6. Provision of geotechnical, hydrological and/or environmental reports concerning the property

4. The property is located within a designated floodplain area and no areas suitable for habitation may be constructed with the bottom of a wooden floor system or top of concrete pad elevation lower than elevation 3.53 meters Geodetic Survey of Canada Datum the “Flood Construction Level” (FCL). Prior to subdivision approval you will need to have obtained a **fill permit** and completed the placement of fill. The completion of the fill placement would be signified by a letter from a qualified Professional Geotechnical Engineer certifying that the site fill placement has been completed such that the homes can be built at the designated FCL and the lots can be safely used for the intended townhouse / multiunit residential use. There may be additional requirements identified at the time of development permit and building permit application stages and you should discuss any plans for new construction with the Planning and Building divisions of the Climate Action, Planning and Development Department.
5. A Geotechnical Engineering Report is required from a qualified geotechnical engineer to satisfy potential differential settlement problems for all roads, sidewalks, underground utilities and other required off-site servicing improvements. The report shall also address any anticipated short and long term settlement and potential differential settlement issues. At the completion of the site preparation your geotechnical engineer will be required to certify the off-site works and services have been built in accordance with the design drawings, the Master Municipal Specifications and the Subdivision and Development Control Bylaw and are expected to perform within the design tolerances for the designated design life of the infrastructure
6. All site drainage works shall be designed and constructed in accordance with the City’s Erosion and Sediment Control Bylaw 7754, 2016. The developer shall retain a qualified professional to ensure that the design and implementation of the erosion and sediment controls meets the requirements outlined in the Bylaw.
7. Onsite storm sewer water management will be required to limit the post development flow to pre-development flow. The onsite works shall be designed in accordance with the City’s *Subdivision & Development Control Bylaw* and *Integrated Storm Water Management Plan*.
8. A Stormwater Management Plan (SWMP) detailing the proposed storm drainage servicing for the development and the impact on the downstream system is required and shall be in accordance with the City’s Design Criteria. Detention and Retention facilities shall be designed to meet the rainwater management targets of the City’s *Integrated Stormwater Management Plan (ISMP)*.
9. All existing trees are to be protected in accordance with the City’s Tree Protection and Regulation Bylaw No. 7799, 2016 and any trees identified for removal will need to have a permit approved and in place prior to removal.
10. Provision of easement, dedications and statutory rights-of-way that may be required to meet the capacity, functionality and design objectives for all modes of travel of the City including access to the proposed development. To be confirmed through a complete review of a full application with required technical information, studies and analysis. At a minimum, the City will be requiring, but not necessarily limited to the following:
  - 10.1. Dedication along the easterly property line (approximately 10.0m wide)
  - 10.2. Dedication along the northerly property line (approximately 16.5m wide)
  - 10.3. 3.0m x 3.0m truncation at the corner of the North-South Road and Basran Avenue
  - 10.4. 3.0m x 3.0m truncation at the corner of the North-South Road and Salter Street
  - 10.5. 3.0m x 3.0m truncation at the corner of Basran Avenue and the West property line



- 10.6. Statutory Right of Way along the North/South pathway at the west property line for 'Public Access'
  - 10.7. Statutory Right of Way along the East/West pathway at the south property line for 'Public Access'
  - 10.8. Statutory Right of Way along the East/West midblock pathway for 'Public Access'
11. All construction to be in accordance with the most current MMCD (Platinum Edition), City of New Westminster Subdivision and Development Control Bylaw No. 7142, 2007, Design Criteria and Supplementary Specifications unless specified elsewhere.

### **WORKS AND SERVICES – OFF-SITE**

12. Under the City of New Westminster Subdivision and Development Control Bylaw No. 7142, 2007 and amendments thereto, the developer for the above noted property is also required to enter into a Works and Services Agreement with the City addressing off-site servicing requirements prior to issuance of a building permit. The off-site services shall include, but are not necessarily limited to the following:

#### **ROADWORKS**

The subject site is bounded by Salter Street to the south. According to the City's Master Transportation Plan (MTP) Salter Street is classified as a neighborhood collector road.

##### **Salter Street**

- 12.1. Reconstruction of the Salter Street frontage completed with new sidewalk, curb and gutter, trees, landscaping (including drainage and irrigation), traffic calming measures, street lighting, underground electrical and telecommunication servicing. Salter Street shall be reconstructed up to road centerline based on the following minimums:
- Reconstruction of the existing road structure shall be based on the analysis of a Benkelman Beam Test, or other approved method, carried out on the existing road which is to be upgraded. If the test results are proven satisfactory, the minimum requirement shall be a mill and overlay.
  - 1.8m wide unobstructed sidewalk
  - 2.0m wide landscaped front boulevard
  - Raised cross-walk
  - Speed hump

##### **Proposed North/South Road**

- 12.2. Construction of half (10.0m wide) of the ultimate (20.0m wide) North/South Road frontage completed with new sidewalk, curb and gutter, trees, landscaping (including drainage and irrigation), traffic calming measures, street lighting, underground electrical and telecommunication servicing. Half of the ultimate North/South Road shall be constructed based on the following minimums:
- 1.8m wide unobstructed sidewalk
  - 2.0m wide landscaped front boulevard
  - 3.0m wide travel lanes (each direction)

- 3 (three) speed humps

#### **Basran Avenue**

- 12.3. Construction of the Basran Avenue frontage complete with new sidewalk, curb and gutter, trees, landscaping (including drainage and irrigation), street lighting, underground electrical and telecommunication servicing, Basran Avenue shall be constructed in its entirety based on the following minimums:

- 1.8m wide unobstructed sidewalks (both sides)
- 2.0m wide landscaped front boulevards (both sides)
- 0.5m wide landscaped back boulevard (south side)
- 3.0m wide travel lanes (each direction)
- 2.4m wide parking lane (south side)
- 1 (one) speed hump

#### **Vehicular Site Access**

- 12.4. All vehicle access requirement should meet City Bylaws specifications

### **UNDERGROUND UTILITIES**

#### **Sanitary**

- 12.5. Provision of adequate sanitary sewer mains to service the development complete with manholes and a single service connection with a manhole or inspection chamber at property line. Sanitary mains shall be constructed along all proposed frontages. Size and location to be determined by the Developer's consulting engineer and approved by the City.

#### **Storm**

- 12.6. Provision of adequate storm sewer mains to service the development complete with manholes, catch basins and a single service connection with a manhole or inspection chamber at property line. Storm mains shall be constructed along all proposed frontages. Size and location to be determined by the Developer's consulting engineering and approved by the City.

#### **Water**

- 12.7. Provision of adequate water mains to service the development for fire and domestic demands complete with fire hydrants and a single service connection with a suitable water meter with back flow prevention. Water mains shall be constructed along all proposed frontages with an Automatic Flushing Device installed at the end of the water main on Basran Avenue for water quality and redundancy purposes. Size and location to be determined by the Developer's consulting engineer and approved by the City.

#### **Electrical, Telecommunication and Gas**

- 12.8. All costs associated with the design and conversion of the existing overhead electrical and telecommunication utilities on the roadways adjacent to the site with an underground

system for the development. Please contact Marc Rutishauser in the City Electrical Operations Department at (604) 527-4533 for electrical servicing details. Contact Telus and Shaw directly for telecommunication servicing details.

- 12.9. City communication conduit shall be provided in accordance with the City's intelligent City Design requirements as it pertains to the Fiber Optic Network and Street Lighting Design. Please contact Phil Kotyk, Fiber Network Operations Manager at (604) 527-4641 for City communication servicing details.
- 12.10. All costs associated with the design and construction of gas servicing for the development. Please contact Fortis BC directly for servicing details.
- 12.11. All third party utility construction drawings shall include the Civil Design Drawings base plan and must be submitted to the City's Engineering Services Division for review and approval. The developer's consulting engineering shall ensure that the design of all third party utilities, including New Westminster Electrical, have been coordinated with the Civil Design Drawings. Coordination of the drawings must be completed prior to issuance of the Works and Services Agreement.

#### **STREET LIGHTING**

- 12.12. Roadway lighting for all street frontages shall be provided and upgraded for safety and to produce accurate and comfortable night time visibility using energy efficient lighting such as LED. Design of roadway lighting shall be in accordance with the City of New Westminster Design Criteria Section 6 and the MMCD (Platinum Edition) Design Guidelines Section 6.0 Roadway Lighting (for LED).

#### **BOULEVARD TREES**

- 12.13. The boulevards shall be prepared for boulevard trees complete with a 900mm, New Westminster Planting Blend or approved equal, growing medium for the full width of the boulevard, including drainage and irrigation. Boulevard landscaping and irrigation shall be provided in suitable locations to the satisfaction of the Parks Department. For further information, please contact Sylvain Martel, Senior Arborist at (604) 527-4625.
  - 12.14. Boulevard trees will be selected, purchased, installed and maintained by the Parks Department.
13. The preparation of detailed design drawings by a qualified Professional Engineer for the off-site works and services to the satisfaction of the City and in accordance with the City's Design Criteria, Supplemental Specification and Detail Drawings, and Master Municipal Construction Documents. The engineering design drawings for the proposed works may include the following plans:
    - Road works
    - Storm drainage collection facilities
    - Sanitary sewer collection facilities
    - Water distribution facilities
    - Street lighting
    - Street trees, landscaping
    - Topographical and lot grading plans

- Erosion and sediment control plans
  - Electrical power supply and distribution facilities
  - Telecommunication facilities
  - Gas facilities
14. Under the Works and Services Agreement with the City the developer must address the following requirements:
- 14.1. Employment and retention of a Professional Engineer to prepare and seal the design drawings; to provide a Resident Engineer for inspection of all design and construction related problems; to prepare, certify and seal “As-Constructed” drawings, including landscape & irrigation drawings and to certify that all materials supplied and works performed conform to City standards as contained within the Subdivision and Development Control Bylaw and/or the Master Municipal Construction Documents.
- 14.2. The developer will be required to post a security deposit for 120% of the estimated construction cost of the offsite servicing works including GST. The security deposit shall be in the form of an Irrevocable Letter of Credit or cash deposit. The security deposit will be reduced once the off-site works are completed to the satisfaction of the City less a 10% holdback. Upon issuance of a Certificate of Completion by the City, the 10% security deposit will be held for a two year maintenance period.
15. The following payments and deposits shall be paid at the time of execution of the Works and Services Agreement:
- 15.1. Payment to cover the cost of preparing the Works and Services Agreement, currently **\$2,067.00** plus tax.
- 15.2. Payment of **four percent (4%)** of the estimated construction costs to cover engineering and administrative costs incurred by the City.
- 15.3. Under the Works and Services Agreement, the developer will be required to pay a deposit **\$5,000.00** to cover any charges for emergency works and signage.
- 15.4. Payment of a flat fee in the amount of **\$955.00** per tree for the selected, purchased, installed, and maintained by the Parks Department.
- 15.5. Signing of a latecomer waiver clause.
16. Submission of any easement or right of way documents required by the City in relation to the proposed development.
17. The following charges shall be paid at the time of Building Permit Issuance:
- 17.1. Payment of applicable Greater Vancouver Sewerage & Drainage District (GVS&DD) Development Cost Charges in accordance with Bylaw 187, 1996 and amendments.
- 17.2. Payment of applicable New Westminster Development Cost Charges in accordance with Bylaw 7311, 2009 and amendments.

- 17.3. Payment of applicable School Site Acquisition charges in accordance with School District #40 Capital Bylaw No. 2008-1.
- 17.4. Payment of applicable Regional Transportation Development Cost Charges in accordance with Bylaw No. 124-2018.
- 17.5. Payment of applicable Greater Vancouver Water District Development Cost Charges in accordance with Bylaw 257, 2022 and amendments.

Should you have any further questions, please contact the undersigned at 604-636-4463 or [cmedurecan@newwestcity.ca](mailto:cmedurecan@newwestcity.ca).

Regards,



Christian Medurecan, ASCT, CPWI-2, BC-CESCL  
Engineering Technologist

- cc
- L. Leblanc, Director of Engineering Services
  - K. Agyare-Manu, Senior Manager Engineering Services
  - H. Maghera, Engineering Development Services Supervisor
  - C. Dobrescu, Utilities and Special Projects Engineer
  - G. Otieno, Infrastructure Engineer
  - M. Anderson, Manager Transportation
  - G. Hermanson, Transportation Planner
  - E. Mashig, Manager, Park Horticulture & Open Space Planning
  - M. Rutishauser, Manager, Electrical Engineering Design & Planning
  - J. Krevs, Senior Plan Reviewer

## Appendix G

### *Applicant-Led Consultation Summary Report*



## **APPLICANT-LED CONSULTATION REPORT**

An applicant-led public consultation was commissioned on this project in the months of September and October. To accomplish a successful applicant-led consultation, we followed the following strategy as outlined by the City.

**Notification** - Create plenty of opportunities to notify the stakeholders and residents of the virtual meeting along with capture any queries or concerns in the lead up to the virtual meeting

**Virtual Meeting** - Present the proposed development and answer any questions and capture any concerns that need to be addressed.

**Create Report** - Compile and create a summary of the process and include it in the report.

## **NOTIFICATION**

An applicant-led virtual open house was held on the 22 September, 2022. Below we outline the methods used for notification of the consultation.

An extensive plan for exposure of our virtual open house was undertaken with the following steps.

- Construction of a dedicated website advertising the timings, coordinates and links to the said virtual open house
- Physical flyers (pre approved by the city) and hand delivered to a list of stakeholders and residents provided by the city
- Advertisements published in the New West Record 2 weeks in advance of the event.




## 1. ADVERTISEMENTS

The following advertisement was published in the New West Record on the 8th and 15th of September, 2022. It invited participants to a scheduled zoom meeting to put forth their opinions and questions to the consultants.

### MAPLE MEWS VIRTUAL OPEN HOUSE


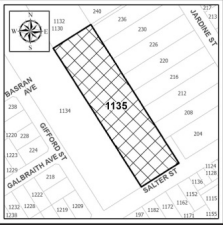
Proposed Townhouse Project  
at 1135 Salter St.,  
New Westminster



The Design Team and the developers invite you to a scheduled Zoom meeting where they will be available to review and answer any questions that you may have.

**DATE:** 22 September 2022  
**WEBSITE:** [www.1135maplemews.com](http://www.1135maplemews.com)  
**BE HEARD NEW WEST PAGE:**  
[www.beheardnewwest.ca/1135-salter-st](http://www.beheardnewwest.ca/1135-salter-st)

**REZONING:** From Queensborough Neighbourhood Residential Dwelling Districts (RQ1) to Queensborough Townhouse Districts (RT-3 or RT-3A)  
**PROJECT NAME:** Maple Mews  
**EMAIL:** [info@1135maplemews.com](mailto:info@1135maplemews.com)  
**PHONE:** 604 583 0810



## 2. FLYERS

The following flyer copy was distributed to all the relevant property owners within 100 meter radius of the subject property. The flyers were hand delivered to these properties on 9th September, 2022.





Proposed Townhouse Project  
at 1135 Salter St.,  
New Westminster

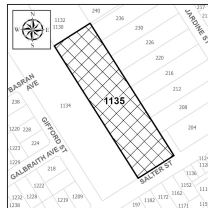


The proposed project is a multi-family residential development that is located in the City of New Westminster's Queensborough Area. This project aims to provide housing that reflects the diversity of the surrounding community and provides opportunities to create a vibrant, family oriented neighbourhood.

The project will add 45 stratified units to the Ewen Avenue Multi-Family areas.

The project has modern sensibilities but with a reference to the traditional by using historic, vibrant colors. The project includes a variety of proposed unit designs to cater to a variety of families. It also includes few units with tandem parking spaces for which a variance is requested.

The form and character of the buildings was developed to maintain a harmony in design with the neighbourhood. For more information on the proposed development and to provide feedback via online survey, please visit :



[www.1135maplemews.com](http://www.1135maplemews.com)

**MAPLE MEWS VIRTUAL OPEN HOUSE**

The Design Team and the developers invite you to a scheduled Zoom meeting where they will be available to review and answer any questions that you may have.

**DATE:** 22 September 2022 | **Time:** 5:30 PM - 7:30 PM  
**WEBSITE:** [www.1135maplemews.com](http://www.1135maplemews.com)  
**BE HEARD NEW WEST PAGE:** [www.beheardnewwest.ca/1135-salter-st](http://www.beheardnewwest.ca/1135-salter-st)

**REZONING:** From Queensborough Neighbourhood Residential Dwelling Districts (RO-1) to Queensborough Townhouse Districts (RT-3 or RT-3A)  
**PROJECT NAME:** Maple Mews  
**EMAIL:** [info@1135maplemews.com](mailto:info@1135maplemews.com)  
**PHONE:** 604 583 0810





**From:** salvia architecturepanel.com salvia@architecturepanel.com  
**Subject:** Proposed Townhouse Project at 1135 Salter St, New Westminster  
**Date:** September 12, 2022 at 11:34 AM  
**To:** qbpresidents@yahoo.ca  
**Cc:** Ruchir Dhall ruchir@architecturepanel.com, mohanmarwaha56@gmail.com



Good Morning Laurie,

We are the architectural firm representing the client that is proposing a new townhouse project with 45 fa at Salter St.. Please find attached below a flyer with details of this development along with a website listed below. Please don't hesitate to reach out if you have any questions or concerns.

<https://www.1135maplemews.com/>

Thanks and regards,

Salvia Dhall,  
Studio Director  
MDM,CSM®  
(604) 385 3600, (604) 825 0670  
[salvia@architecturepanel.com](mailto:salvia@architecturepanel.com)



ARCHITECTURE PANEL INC.  
ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

The information contained in this communication is confidential, may be privileged and is intended for the exclusive use of the above named addressee(s). If you are not the intended recipient(s), you are expressly prohibited from copying, distributing, disseminating, or in any other way using any information contained within this communication. If you have received this communication in error please contact the sender by telephone or by response via mail.

We have taken precautions to minimize the risk of transmitting software viruses, but we advise you to carry out your own virus checks on any attachment to this message. We cannot accept liability for any loss or damage caused by software viruses.



FLYER 8 Sept  
2022.pdf



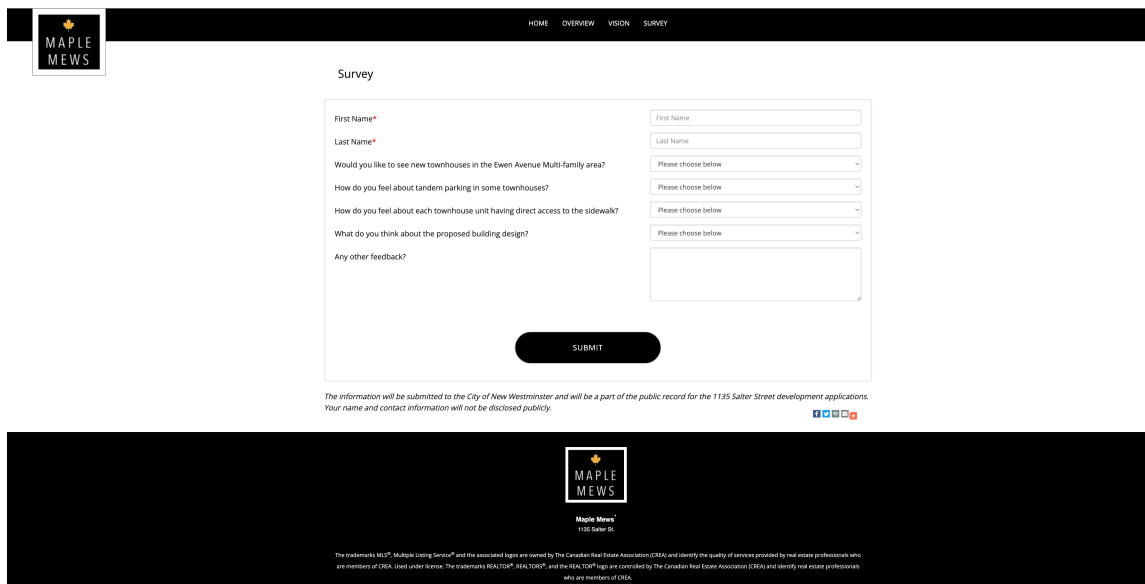
## ARCHITECTURE **PANEL** INC.

A flyer was also sent to the Queensborough Residents Association by email on 12th September, 2022. Please find a copy of the email attached below.

### 3. WEBSITE

The following website was designed to create more awareness about the project and advertise the virtual information meeting as well as capture inputs via an online survey. Attached below are a few images of the website.

<https://www.1135maplemews.com/>



Home and Survey Pages from the website



HOME OVERVIEW VISION SURVEY ADMIN LOGOUT HELP

**Edit Contact-Me/Evaluation Request** Mohan Back to Admin

Personal Infor

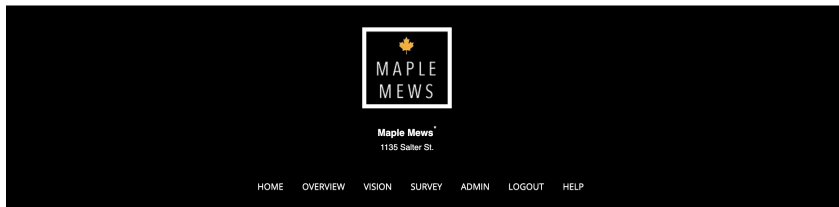
First Name  
Last Name  
Address  
Telephone #  
Cellphone #  
Workphone #  
Fax #  
Email  
Email Consent  
Preferred Contact By

Send Date Sep 12, 2022

Message What do you think about the proposed building design?: Neutral  
Would you like to see new townhouses in the Ewen Avenue Multi-family area?: Like  
How do you feel about tandem parking in some townhouses?: Like  
How do you feel about each townhouse unit having direct access to the sidewalk?: Neutral  
Any other feedback?: More housing is desperately needed in Metro Vancouver and this should get done as soon as possible. It is ridiculous that it has sat for so long waiting to be rezoned from residential to residential!

Notes HomePage Contact Request

Save Return



HOME OVERVIEW VISION SURVEY ADMIN LOGOUT HELP

**Edit Contact-Me/Evaluation Request** Mohan Back to Admin

Personal I

First Name  
Last Name  
Address  
Telephone #  
Cellphone #  
Workphone #  
Fax #  
Email  
Email Consent  
Preferred Contact By

Send Date Sep 12, 2022

Message What do you think about the proposed building design?: Neutral  
Would you like to see new townhouses in the Ewen Avenue Multi-family area?: Like  
How do you feel about tandem parking in some townhouses?: Neutral  
How do you feel about each townhouse unit having direct access to the sidewalk?: Like  
Any other feedback?: The building design shouldn't be like ordinary or you could see everywhere. It should be classy looks expensive but affordable

Notes HomePage Contact Request

Save Return



*Above are images of 2 surveys and their responses.*



**No phone calls were received including any call from the Residents Association.**

## **VIRTUAL MEETING SUMMARY**

Applicant led consultation was successfully held virtually on the 22nd of September 2022 between 5:30pm to 7:30pm.

There were a total of 4 queries presented at the virtual meeting listed below with their responses.

**Query 1** - Neighbouring property's owner's relative had a concern about preloading and block wall between subject property and the neighbouring property to the east. They wanted to know how that will effect the levels.

**Response 1** - They were informed that preloading and block wall will be removed before starting construction. The eventual development on the subject property (including separation road) will not have any significant level difference from their property.

---

**Query 2** - There was a query about the proposed onsite and offsite trees on the perimeter of the proposed development. They wanted to know how effective the landscape separation would be in terms of providing screening from adjoining properties.

**Response 2** - It was conveyed that the boulevard trees in tandem with the yard hedging and onsite trees would create effective screening and requisite separation. The landscape site plan was screen shared to demonstrate this concept and address any issues.

---

**Query 3** - There was a query requesting more information about the colours used in this project. Also, they wanted to know if the developers had done any other project in the area before.

**Response 3** - It was explained the the colour palette was chosen from the Vancouver Historic Colour Palette as mandated by the OCP. They were also informed this was the developers first project in the area.

---

**Query 4** - Fellow architect attended the meeting to test the waters and assess the response for a comparable project in the area that they are considering.

**Response 4** - No response required.

Appendix H

*Summary of Proposed Sustainability Measures*

# Sustainability comments

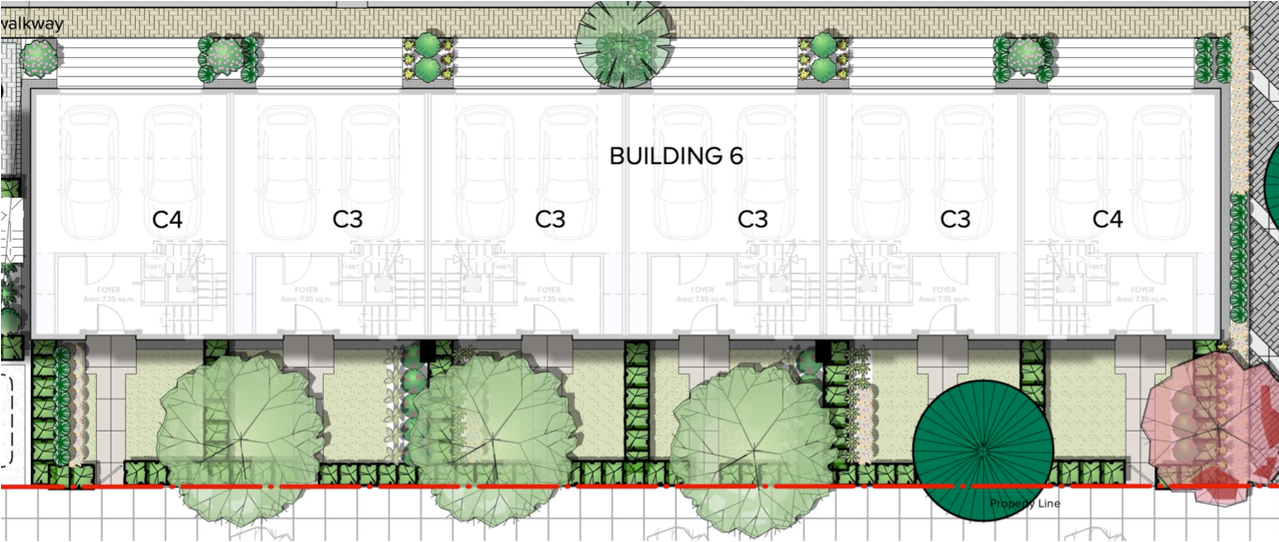
Response to City Comments 8 April, 2024.

City Comments 4 April 2024

*API response in Yellow.*

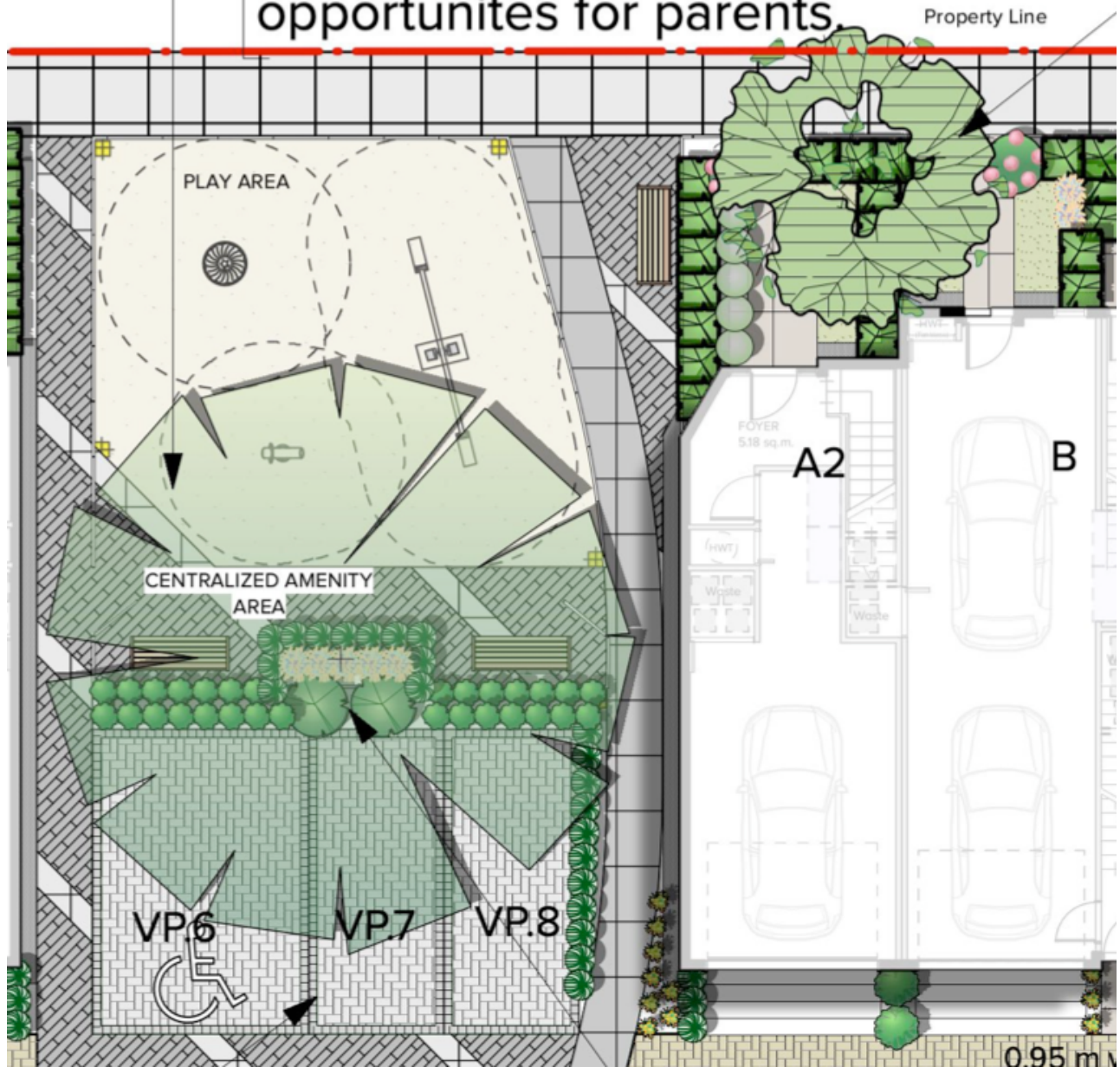
4. A few months ago, we had provided feedback from Squamish Nation, who recommended that projects consider the following:

- Climate resilient standards (e.g., HEPA smoke filters, passive cooling, and increased stormwater drainage capacity)
  - API: Individual residential units have a dedicated open area with a tree in each yard. All common amenity areas have been shaded naturally with tree canopies. Refer Images below.



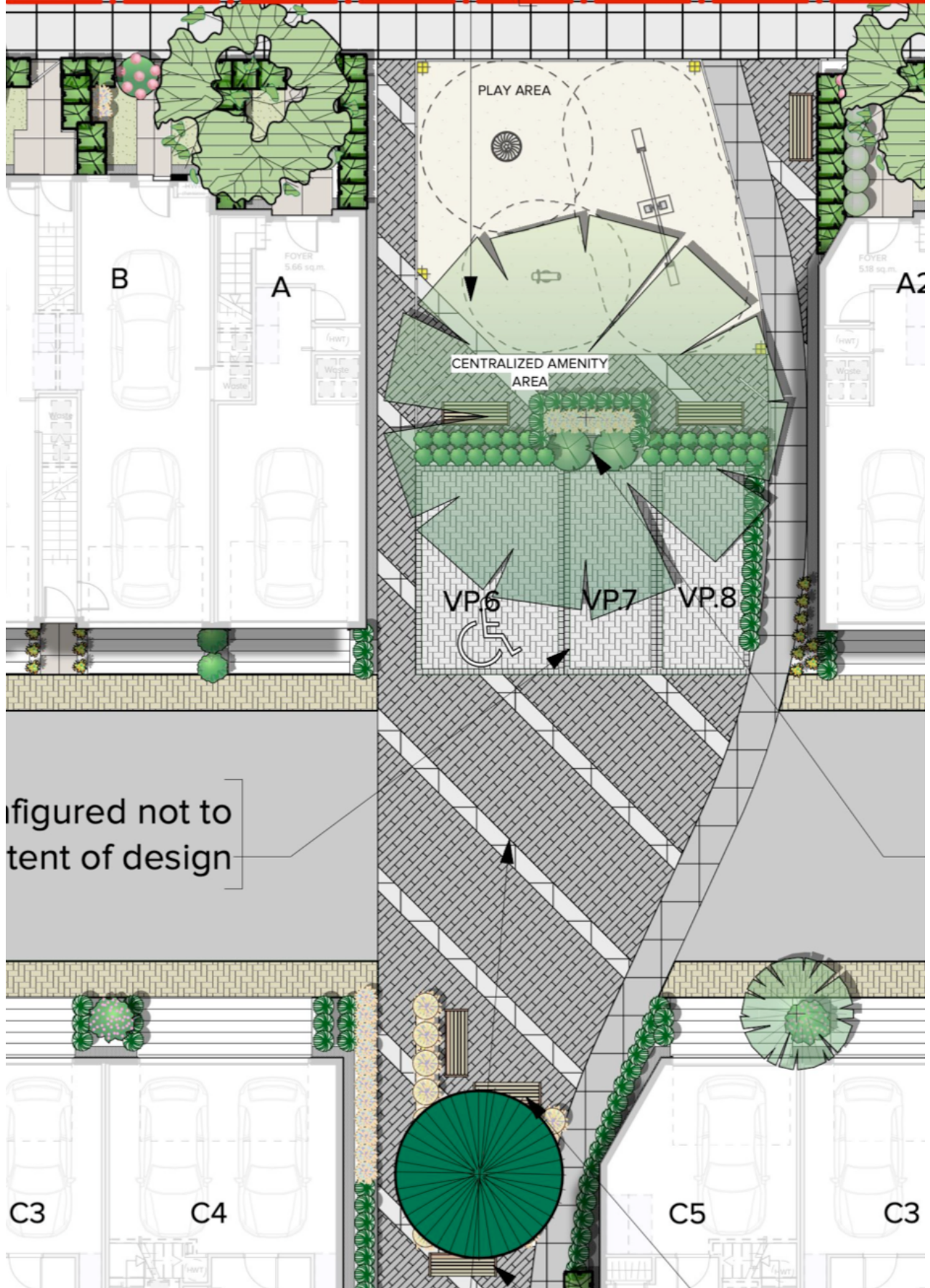
and

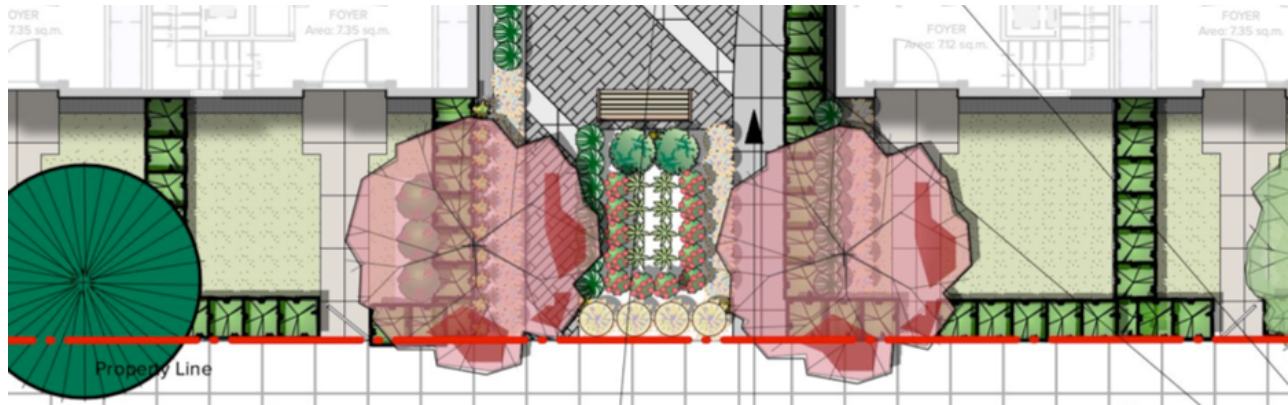
Redesigned, expanded and reinvigorated centralized amenity area with plenty of play equipments & well shaded seating opportunities for parents



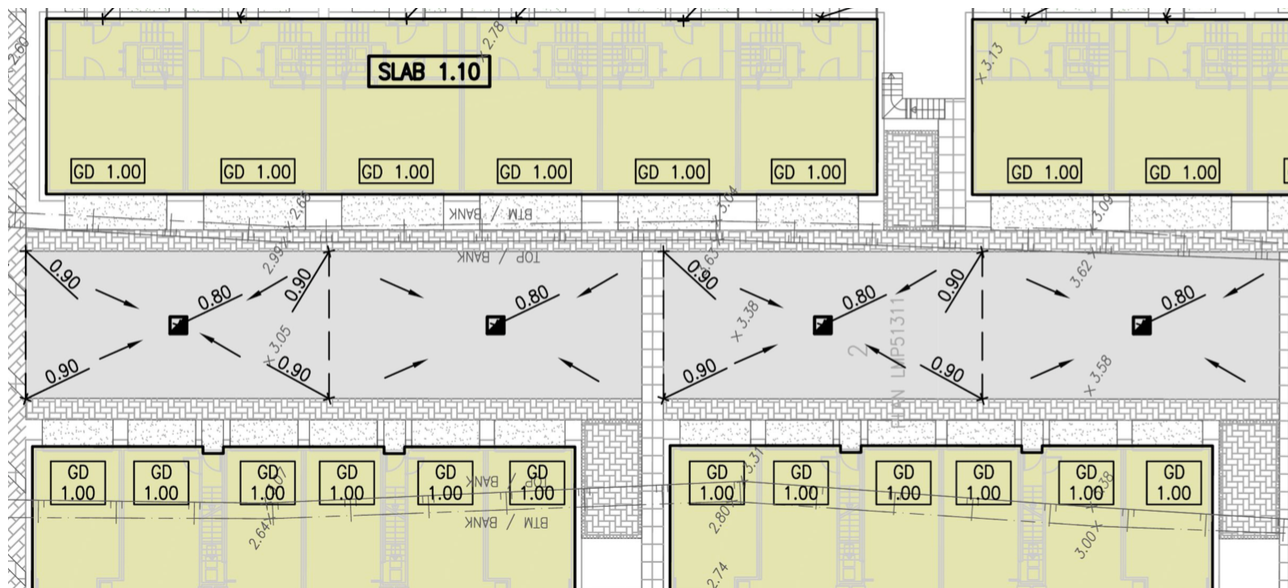


- We have tried to limit asphalt usage on site, and proposed concrete paver alternatives with a lesser heat absorption capacity. Refer Image below.

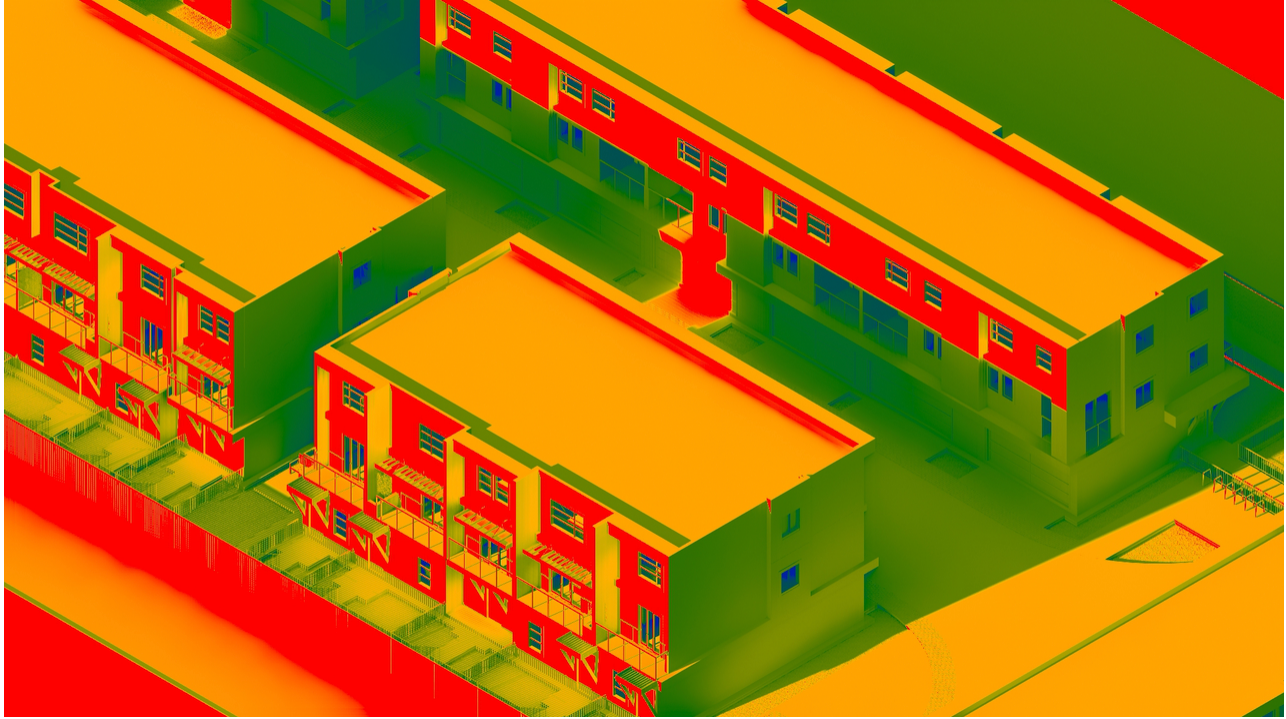




- Storm water drain system is optimized to maximize surface run-off. Catch basins are placed at regular intervals for efficient storm water drainage. Refer Image below.



- Vertical and horizontal solar protection elements have been consciously included for passive cooling. Their effects can be noted from the thermal analysis image included below.



- *Building design features to mitigate against climate impacts (e.g. increased temperatures, increased risk to (wildfire) smoke, increased rainfall and wind, external flood risks)*
  - API: Building response to heat mapping is depicted in the thermal analysis. (Red-Hot, Green-Cool)
  - Vertical solar control elements balance the intensity of heat in hot weather. Fenestrations counter the sun exposed surface and allow ventilation and comfort. Refer Image below.



- Risk of increased rainfall can be managed on site through roof drains and an efficient storm water drainage system as mentioned previously.
- Site grades allow a higher Finished Floor elevation, reducing risks to external flood.

- *Net zero carbon emissions (considering clean power/heat, building envelope, renewables, and embodied carbon)*

API: Indeed. High performance building envelope systems are visualized to be used and the flat roof also allows for insulation to be placed on the outside with much better efficiency compared to the internal batt insulation. Further, a compact design with moderate floor-to-ceiling heights, use of flat roofing systems and modulating the window sizes have been consciously done to achieve minimizing the embodied carbon.

- *Highest sustainability standards as possible (including considerations for water consideration, stormwater management, waste management, transportation, environmental conservation, and food security)*

API: Water consideration has been given special thought by utilizing native planting that reduces leaf litter and consumes limited resources such as water and maintenance. Native vegetation and bird friendly plants proposed contribute towards a sustainable on-site environment. Shrub varieties- Vaccinium Ovatum, Ribes Sanguineum, Rosa Nutkana, Mahonia Aquifolium, Mahonia Nervosa, Arctostaphylos Uva Ursi- Kinnikinnick are planted throughout the site. A compact design layout also allows for consolidated water use and self supporting building elements for not just water but also solar and wind protection. The most efficient waste management system with curb-side pickup is proposed to eliminate any need for a garbage enclosure or facility.

Overall, a design solution with emphasis on sustainability and conservation of resources is intentionally proposed which will stand well in growing climate of efficiency.

*Such time, you had mentioned to us that the above will be included as necessary – could you provide more detailed information in terms of what climate/sustainability measures are proposed as part of the project for response?*

API: As would have been obvious to the reader of this document, the design of the site not only talks about solar/wind protection by utilizing the features such as the fins and shades but also proposes to use high efficiency envelope systems. This is only enhanced by a site planning layout that supports inter building sustainability measures and consolidation of landscape features to help the overall efficiency.

## Appendix I

*New Westminster Design Panel  
December 13, 2022 Meeting Minutes*

**NEW WESTMINSTER DESIGN PANEL**  
**MINUTES**

**Tuesday, December 13, 2022**

**Meeting held electronically and open to public attendance**  
**Council Chamber, City Hall**

**PRESENT**

Winston Chong*	Architectural Institute of BC (AIBC)
Bryce Gauthier*	BC Society of Landscape Architects (BCSLA)
Brad Howard *	Development Industry Representative (UDI)
Caroline Inglis*	Architectural Institute of BC (AIBC)
Narjes Miri*	Architectural Institute of BC (AIBC)
Stanis Smith*	Architectural Institute of BC (AIBC)

**REGRETS**

Micole Wu	BC Society of Landscape Architects (BCSLA)
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**GUESTS**

Mary Chan Yip*	PMG Landscape
Robert Ciccozzi *	Ciccozzi Architecture
Ruchir Dhall*	Architecture Panel Inc.
Amin Nikfarjam*	Ciccozzi Architecture
Damon Oriente*	Architecture Panel Inc.

**STAFF PRESENT**

Dilys Huang	Development Planner
Katie Stobbart	Committee Clerk

\*Denotes electronic attendance

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1. **CALL TO ORDER AND LAND ACKNOWLEDGEMENT**

Winston Chong opened the meeting at 3:00 p.m. and recognized with respect that New Westminster is on the unceded and unsurrendered land of the Halkomelem speaking peoples. He acknowledged that colonialism has made invisible their histories and connections to the land. He recognized that, as a City, we are learning and building relationships with the people whose lands we are on.

2. **CHANGES TO THE AGENDA**

There were no changes to the agenda.

3. **ADOPTION OF MINUTES FROM PREVIOUS MEETINGS**

3.1 **Minutes of July 26, 2022**

MOVED and SECONDED

THAT the minutes of the July 26, 2022 New Westminster Design Panel meeting be adopted.

**Carried.**

All members present voted in favour of the motion.

3.2 **Minutes of November 23, 2022**

MOVED and SECONDED

THAT the minutes of the November 23, 2022 New Westminster Design Panel meeting be adopted.

**Carried.**

All members present voted in favour of the motion.

#### **4. REPORTS AND PRESENTATIONS**

##### **4.1 102-128 East Eighth Avenue and 721 Cumberland Street: Rezoning and Development Permit for Infill Townhouses**

Dilys Huang, Development Planner, provided a presentation titled “102-128 East Eighth Avenue and 721 Cumberland Street” to give an overview of the proposal.

**Procedural Note:** Bryce Gauthier joined the meeting at 3:12 p.m.

Robert Ciccozzi and Amin Nikfarjam, Ciccozzi Architecture, provided a presentation titled “102-128 East Eighth Avenue and 721 Cumberland Street,” and Mary Chan Yip, PMG Landscape, provided an overview of the landscape portion of the proposal.

In response to questions from the Panel, Mr. Ciccozzi, Mr. Nikfarjam, and Ms. Chan Yip advised:

- The adaptable units were not required to be accessible. The amenity space is easily reached from the accessible parking, and there is access from the street to the adaptable units. Could potentially look at locating the accessible stalls closer to the adaptable units;
- The four separate archetypes are arranged back-to-back to make them appear as separate projects;
- The allocation of 31 more stalls than the City requires was market-driven, as people buying townhouses are likely to want two parking stalls. This was negotiated to 1.5 stalls per unit and an abundance of bicycle parking to satisfy both the City and clients;
- Shared outdoor amenities include a children’s play area with climbing structure and seating for parents; picnic tables and a barbecue located centrally and close to the mailbox area for socializing; a fenced dog run area; and community garden plots along the south edge of the site;
- This is not a phased development; units will be built and occupied all at once;
- Adaptable units reach the garbage room either via the street or via the elevator down to the parking area; and
- There is no weather protection for the terraced upper level decks, as adding roofs would change the massing of the project.

The Panel provided the following comments on the proposal:

- The variety in architectural character is good and the colours work; it is a much-needed family-friendly project with generously sized, well laid-out homes;
- The architects may want to consider mixing up the clusters of archetypes to make them feel less cookie-cutter;
- Suggest adding pick-up/drop-off zones in the public area of the parkade or off the street to facilitate deliveries;
- Potentially flip buildings 5-8 so all patios face the centre spine of the site to create opportunities for community space and better activate the lane;
- There is a stark transition between buildings 2 and 3, while 3 and 4 are quite similar—suggest either toning down scheme 1 so there is less of a difference between 1 and 2 or pushing scheme 2 so the transition is not as stark;
- Aesthetically, the detailing for the contemporary is the weakest of the archetypes—there may be too big a range of styles, and it would be nice to have a more subtle transition rather than a dramatic change;
- Suggest including benches along the central spine to provide areas of rest;
- The panel supports the City’s efforts for parking reduction, and would like to see a further reduction in parking spaces—consider managing with TDM opportunities (e.g. car-share);
- Potentially look at the opportunity for a car-share program on-site to decrease the reliance on two cars per household;
- Suggest incorporating bike wash/maintenance areas; and
- Recommend looking again at on-site accessibility, particularly around garbage access, parking, drop-off, etc.

**MOVED and SECONDED**

THAT the New Westminster Design Panel support the project at 102-128 East Eighth Avenue and 721 Cumberland Street subject to the applicant working with staff to further review the accessibility of the project, along with consideration of the Panel’s above comments.

**Carried.**

All members present voted in favour of the motion.

#### **4.2 1135 Salter Street: Official Community Plan Amendment, Rezoning, Development Variance Permit, and Development Permit for Townhouse Development**

Dilys Huang, Development Planner, provided a presentation titled “1135 Salter Street” to give an overview of the proposal.

Ruchir Dhall, Architecture Panel Inc., provided a presentation titled “1135 Salter Street,” and Damon Oriente, Architecture Panel Inc., provided an overview of the landscape portion of the proposal.

In response to questions from the Panel, Mr. Dhall and Mr. Oriente advised:

- There are seating areas for the public at both vehicular entries, as well as two small seating areas. Between buildings 3 and 4, there is a paved area as well as a children’s play area with a grassy area beyond that;
- There has been a lot of thought given to various types of units;
- The desire was to create harmony through the use of the Vancouver historic colour palette;
- DPA guidelines state that the roof design should minimize the overall massing, to which end the flat roof was chosen. There are a number of guidelines—including height and floodplain elevation requirements—which made determining the best height a tight design exercise;
- Adaptable units have not yet been proposed, but could look at which units would be best for incorporating;
- This proposal is not within the Agricultural Land Reserve;
- There is currently no design for the future park space, as the Parks and Recreation Department has asked to design and implement the park space programming, which will likely include consultation;
- Based on the current drawings, the flood construction levels are met; and
- The main central drive aisle is as narrow as it can be for functionality.

The Panel provided the following comments on the proposal:

- Amenity spaces are lacking in terms of design intent;

- There is a need for the sidewalk along the property line, but it does intrude on back yards which are small and shaded;
- The one potential amenity that would make the project more livable (the park) is cut off from the project;
- The historic Vancouver colours should be carried all the way through, including the central area;
- There are street trees along the street and in front yards, including trees with wide canopies—in ten years that may be a very shaded frontage and grass may not grow. May want to consider balancing the quantity of trees with light access;
- The repetition of a single building type feels austere;
- Would like to see at least some units designed to be accessible in the future;
- The architectural character of the buildings needs further inspiration—the buildings feel top-heavy and the outward-facing elevations lack character and colour;
- These are meant to be family-friendly homes but lack indoor kid-friendly play areas, especially for the A and B units;
- Flat roofs create the opportunity to add value through usable roof decks;
- There is a lack of information relating to neighbourhood context—would like to understand the layout of the site in terms of existing and future conditions, shadowing and overlook, mail and parcel delivery, etc.;
- The end units facing south and north have too many materials on one plane, particularly with the corrugated panel and transition between the materials;
- In Building 1, upper floor unit layout has laundry and bathroom blocking the window. Suggest rearranging that layout so the window is more practical;
- Consider more material transitions in the road paving to help transition the sudden stop a little better;
- May want to add more interest to the elevations and make them more comfortable for residents by providing more weather protection on balconies;
- A mid-block development such as this needs to have a proposed idea of what will neighbour it; and
- The City should provide some guidance for what is required for the road dedication and why traffic needs to go in that direction.

**MOVED and SECONDED**

THAT the New Westminster Design Panel not support the proposed development at 1135 Salter Street.

**Carried.**

Caroline Inglis and Narjes Miri voted in opposition.

**5. STANDING REPORTS AND UPDATES**

There were no items.

**6. NEW BUSINESS**

There were no items.

**7. END OF MEETING**

The meeting ended at 5:29 p.m.

**8. UPCOMING MEETINGS**

The next meeting is to be determined.

Certified Correct,

Original Signed  
Winston Chong  
Chair

Original Signed  
Katie Stobbart  
Committee Clerk



# 1135 Salter Street

OCP Amendment, Rezoning, Development Variance Permit, and  
Development Permit Applications

**Advisory Planning Commission – May 21, 2024**

Dilys Huang, Development Planner II



NEW WESTMINSTER

# Site Context



- Site Area (Gross):
  - 9,348.33 sq. m. (100,625 sq. ft.)
- Site Area (Net):
  - 5,824.87 sq. m. (62,698.37 sq. ft.)
- Currently vacant site



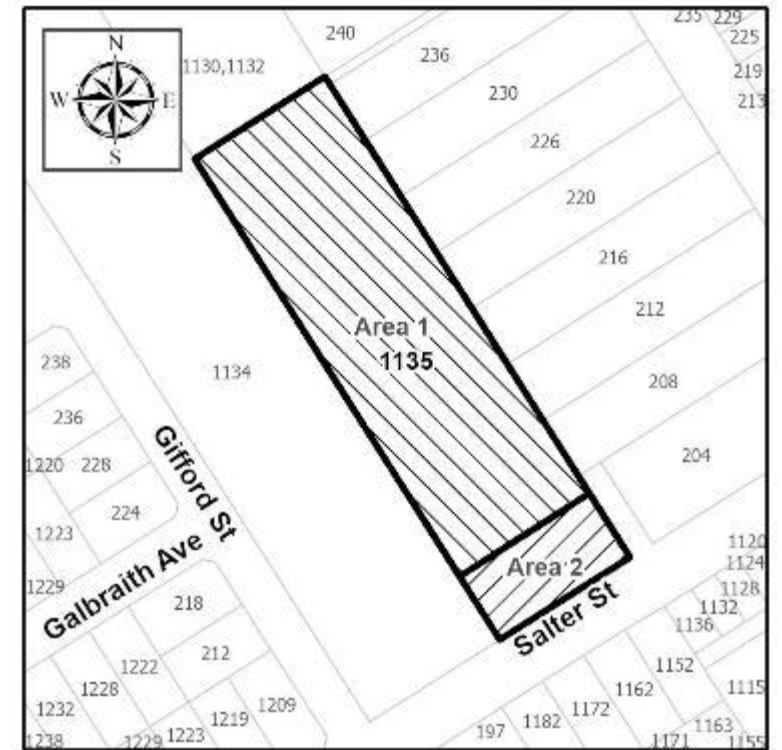
# Policy Context

## Queensborough Community Plan

- Designation:
  - (RL) Residential – Low Density → “(RM) Residential – Multiple Unit Buildings” (Area 1) and “Parks, Open Space, and Community Facilities” (Area 2)
- Development Permit Area:
  - Subject to Ewen Avenue Multi-Family – Residential DPA & Flood Hazard DPA

## Zoning

- Queensborough Neighbourhood Residential Dwelling Districts (RQ-1) → “Queensborough Townhouse Districts (RT-3)” (Area 1) and “Parks Districts (P-10)” (Area 2)
  - Development Variance Permit to facilitate tandem parking spaces and external stairs to access electrical rooms





# Streetscape



*View from new proposed north-south road*

*View from future Basran Avenue*



# Land Use Question

Does the Advisory Planning Commission support consideration of a townhouse proposal aligned with the “(RM) Residential – Multiple Unit Buildings” land use designation at this location?

# Recommendation

THAT the Advisory Planning Commission provide a motion of support or non-support for the proposed Official Community Plan amendment, rezoning, and Development Variance Permit applications.

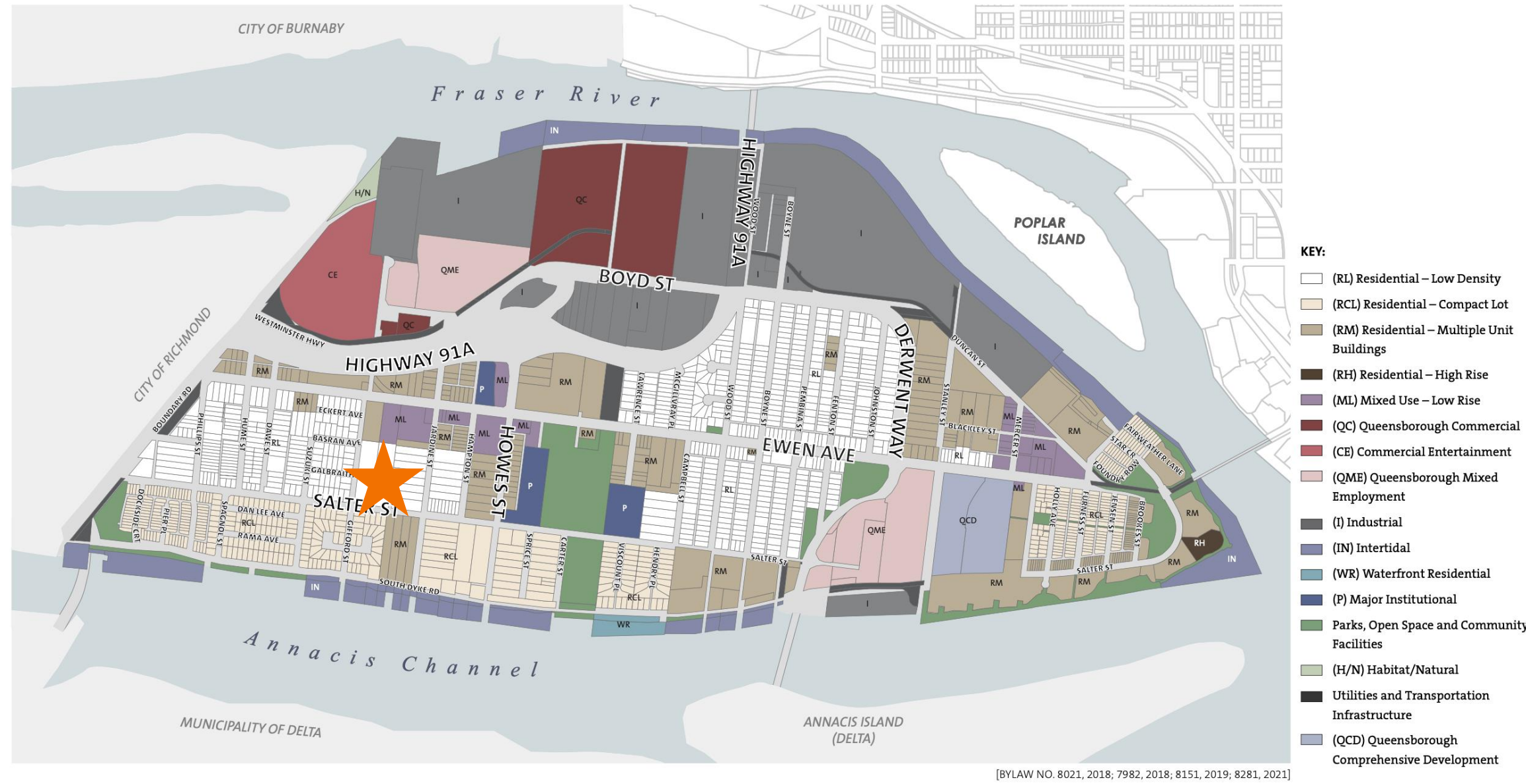


PROPOSED TOWNHOUSE DEVELOPMENT

135 Salter St., New Westminster, BC

APC : 21 MAY 2024

**MAP 11**  
Land Use Designation Map



CURRENT ZONING:

**Queensborough Neighbourhood Residential Dwelling Districts (RQ-1)**

PROPOSED ZONING:

**Queensborough Townhouse Districts (RT-3)**

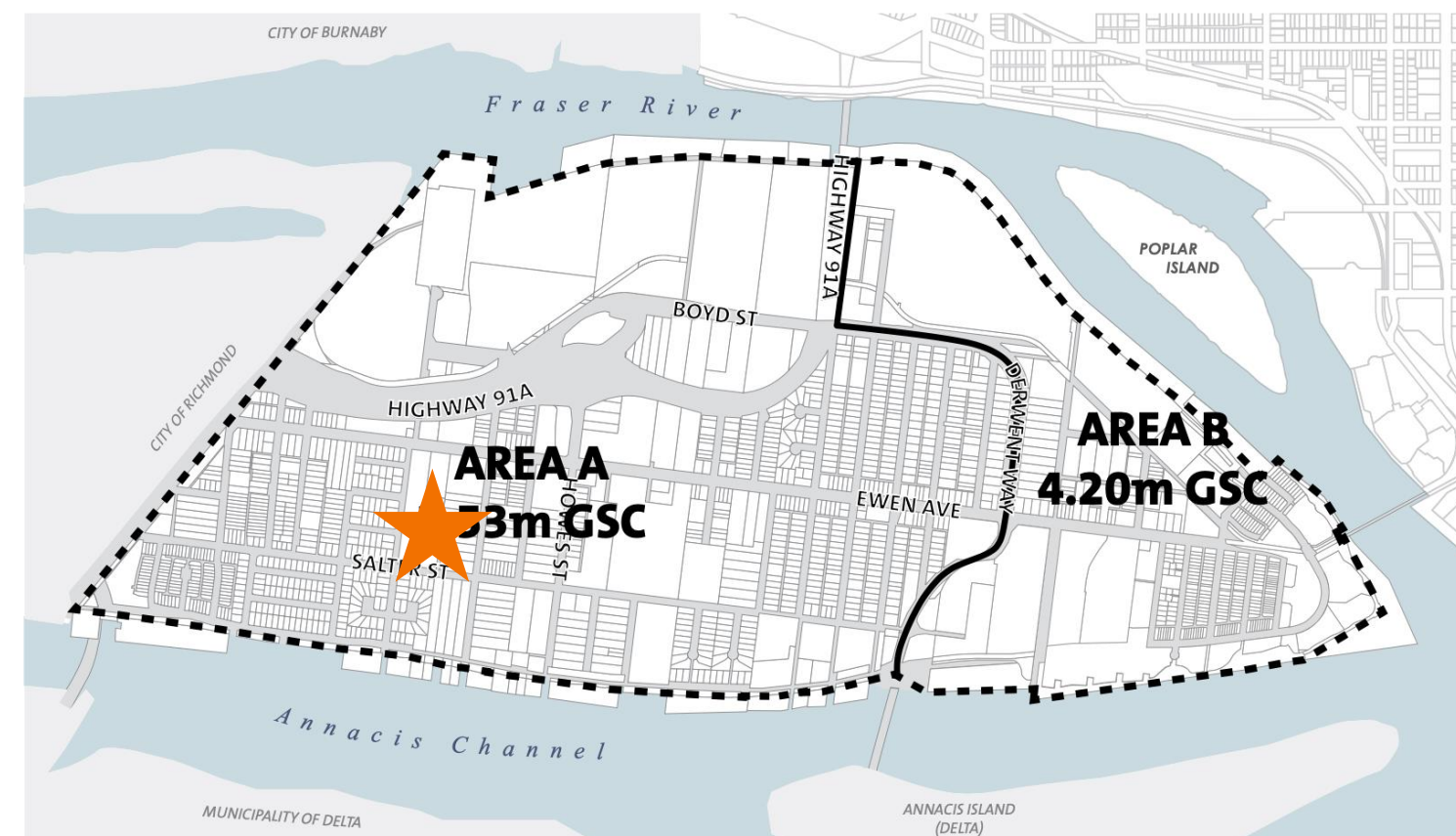
CURRENT OCP:

**(RL) Residential – Low Density**

PROPOSED OCP:

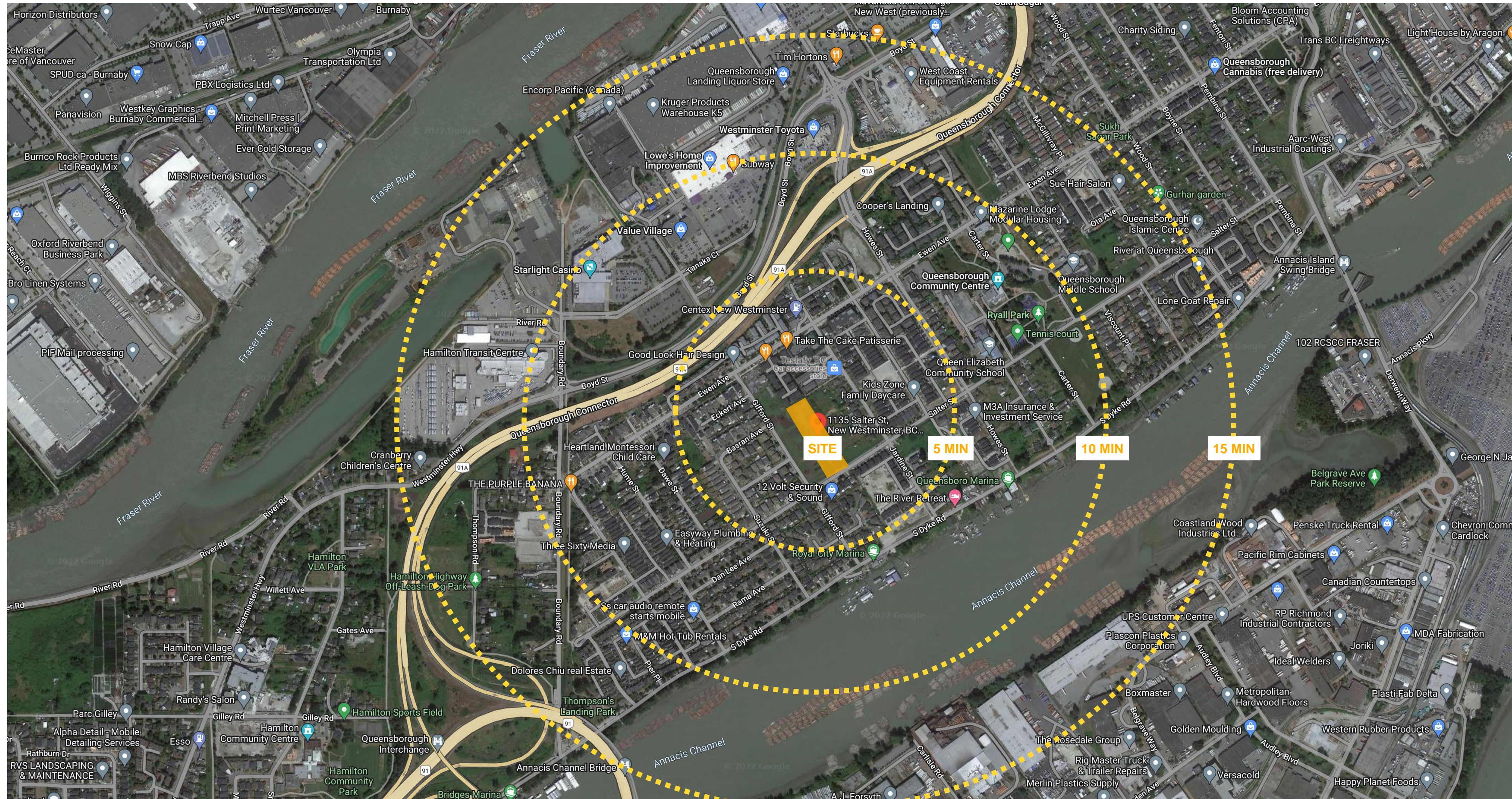
**(RM) Residential – Multiple Unit Buildings**

**Map B**  
Residential Development Permit Areas



**Map 12. Flood Construction Levels**

# NEIGHBOURHOOD CONTEXT



- The Site is strategically located in the Queensborough area within minutes of walking distance from the parks, schools, shopping, amenities and other such facilities.
- The proposal seeks to integrate seamlessly into the family oriented neighbourhood with other such multi-family developments and offers pedestrian connectivity while offering its own parkland dedication to construct a well worked out residential fabric.

# SITE CONTEXT



APARTMENTS



RETAIL



TOWNHOUSES

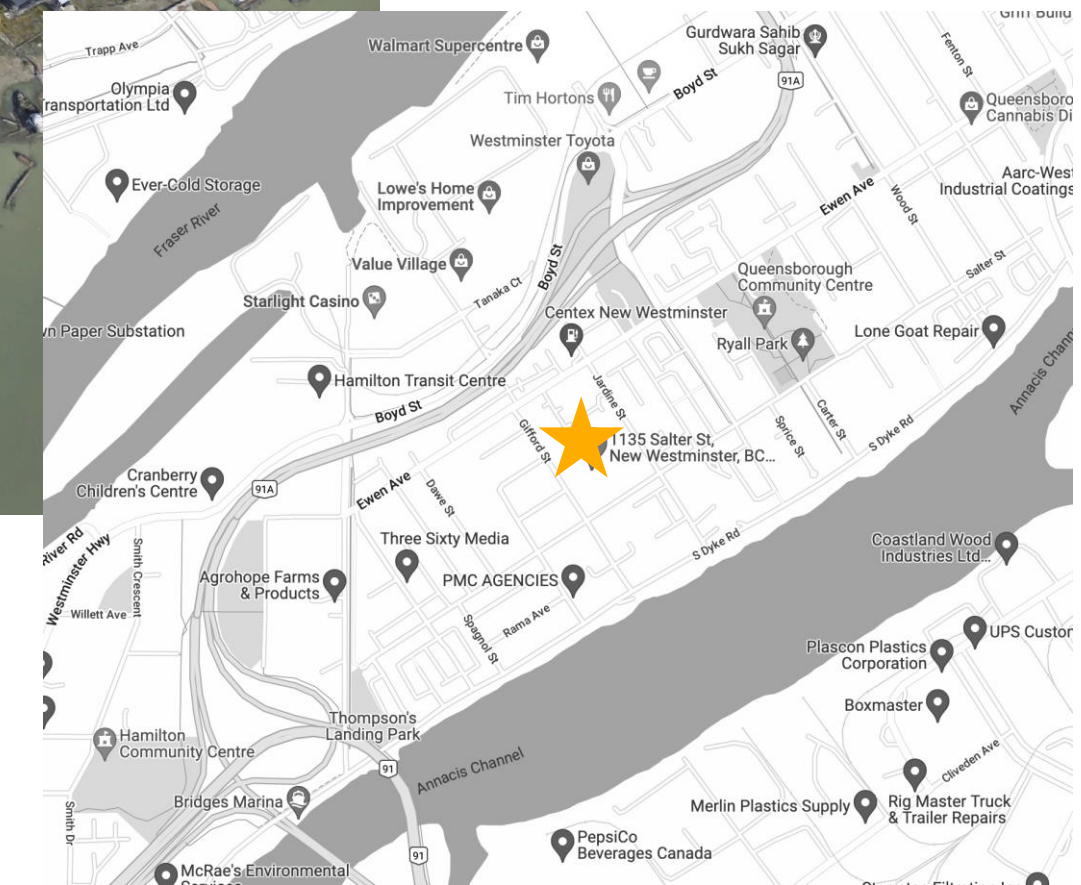


MIXED USE DEVELOPMENT



TOWNHOUSES

SITE



- The site is conveniently located close to major highways while still being in a quiet residential neighbourhood.
- All the major conveniences are just a few blocks away like big chain grocery stores and shopping and restaurants.
- The area around the site is fast changing to provide more housing options for families.



## NEIGHBOURHOOD CONTEXT 2



- The proposed development creates a nice transition between the existing single family homes and the existing apartment buildings.
- This project contributes to the development of more connections to the commercial areas within the community by dedicating land for a new road and sidewalks for pedestrian accessibility as well.

- EXISTING/PROPOSED TOWNHOUSE DEVELOPMENT
- EXISTING APARTMENT (LOW RISE)
- EXISTING SINGLE DETACHED
- EXISTING COMMERCIAL
- PARK/AGRICULTURAL LAND
- INSTITUTIONAL

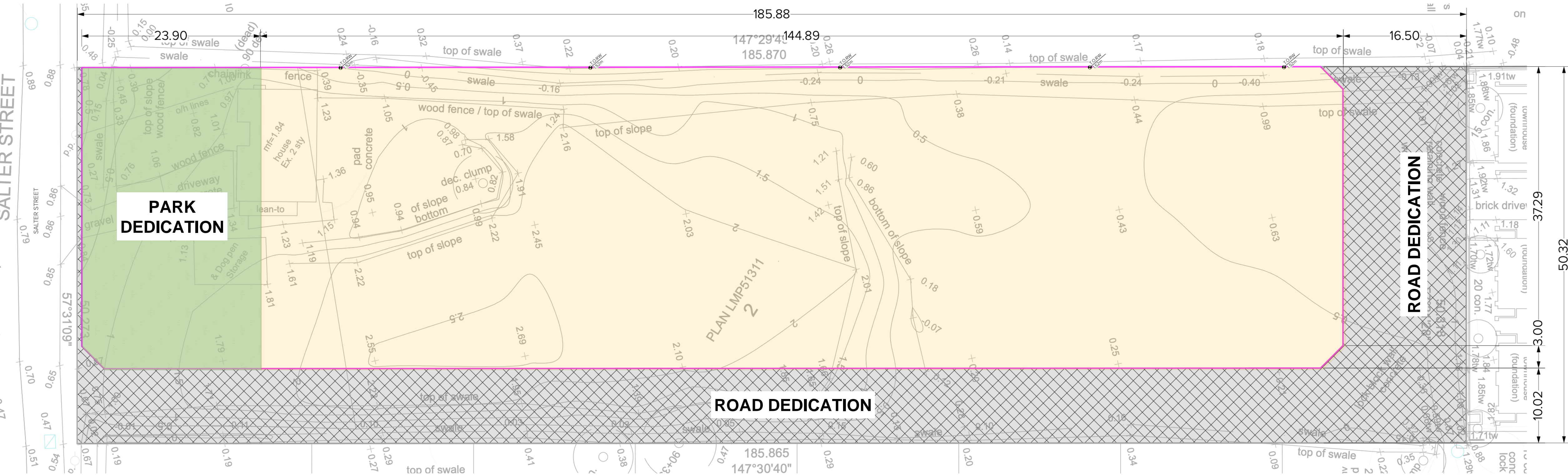
# BASE PLAN

**A** - GROSS SITE AREA = 9348.33 SQ.M. (100,625 SQ. FT.)

**B** - ROAD DEDICATION AREA = 2565.85 SQ.M. (27,618.6 SQ. FT.)

**C** - PARKLAND DEDICATION = 957.62 SQ.M. (10,307.7 SQ. FT.)

**NET SITE AREA = A - (B+C) = 5824.87 SQ. M. (62,698.4 SQ. FT.)**



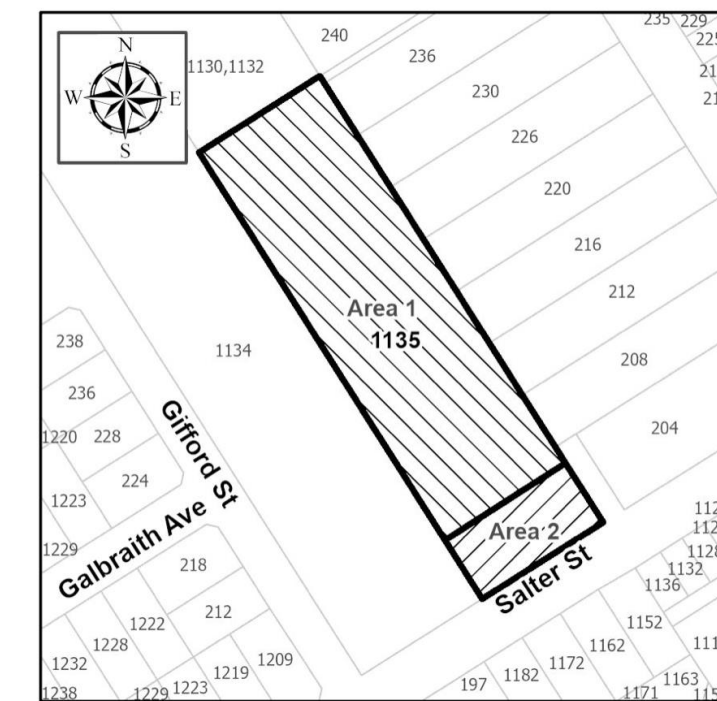
1 PLAN SHOWING DEDICATION  
Scale: NTS

- 957.62 SQ. M. of area is dedicated for Parkland which gives plenty of outdoor amenity opportunities for the residents within the development and also nearby communities.
- 2565.85 SQ. M. is set aside for Road Dedication for future roads that will serve all the adjacent properties as well and provide better connectivity.
- The overall Net Site Area left to be developed is 5824.87 SQ. M. (Gross Site Area 9345 SQ. M.)

# PROPOSAL



- 45 Townhouse Units proposed.
- 2 Bedroom and 3 bedroom options proposed.
- Multiple garage configurations proposed Eg, 1 garage, 2 side by side garage, tandem garage.
- 35% (32 out of the 92 total spaces) requesting variance by providing Tandem Parking.
- Required Visitor vehicular and bike parking proposed at convenient locations.
- Each unit provides plenty of personal outdoor amenity space (more than 10% per unit area).
- Approximately 207 SQ. M. of Outdoor Amenity Space proposed within the development.
- Buildings sited in such a way so as to provide visual permeability and plenty of green areas.
- Buildings are set back to provide further separation from the street and neighbouring properties and future developments.
- Pathways proposed within the site for pedestrian access to individual units.
- Main vehicular entry provided from future Basran Ave.



# PROJECT STATISTICS



## DEVELOPEMENT REPORT

AREA CALCULATION	PERMISSIBLE/ MINIMUM REQ	PROPOSED	RT-3 ZONE COMPLIANCE
<b>BUILDING HEIGHT</b>	10.7 m	9.76 m	
<b>GROSS SITE AREA INCLUDING ROAD &amp; PARLAND DEDICATION</b>		<b>9348.33 sq m</b>	
<b>NET SITE AREA (EXCLUDING PARKLAND AND ROAD DEDICATION)</b>		<b>5824.87 sq. m.</b>	
<b>SITE COVERAGE</b>	40%	<b>37.12% (2162.23 sq.m.)</b>	
<b>FAR</b>	0.8	<b>0.793</b>	
<b>MINIMUM SETBACK PROVIDED</b>			
FRONT - NORTH	3.05 m	3.05 m	
REAR - SOUTH	4.57 m	4.57 m	
SIDE - EAST & WEST	4.57 m	4.57 m	
<b>DISTANCE BETWEEN BUILDINGS</b>			
DISTANCE BETWEEN 2 SIDE WALLS FACE EACH OTHER OF BLDG	4.27 m	1.24 m	Bldgs 2 & 3; 6 & 7
DISTANCE BETWEEN 2 SIDE WALLS FACE EACH OTHER OF BLDG	4.27 m	4.27 m	Bldgs 1 & 2
DISTANCE BETWEEN 2 SIDE WALLS FACE EACH OTHER OF BLDG	4.27 m	11.91 m	Bldgs 3 & 4
DISTANCE BETWEEN 2 SIDE WALLS FACE EACH OTHER OF BLDG	4.27 m	6.74 m	Bldgs 5 & 6
DISTANCE BETWEEN FRONT AND REAR OF THE BUILDING	10.97 m	11.31 m	

 COMPLIANCE      style="background-color: #FFC0CB; width: 20px; height: 10px; display: inline-block;"> VARIANCE REQUESTED

## BUILDING AREA CALCULATION

LEVEL	AREA (sq.m.)	AREA (sq.ft)
<b>BUILDING 1</b>	466.99	5024.81
<b>BUILDING 2</b>	564.26	6071.44
<b>BUILDING 3</b>	562.5	6052.50
<b>BUILDING 4</b>	561.89	6045.94
<b>BUILDING 5</b>	552.64	5946.41
<b>BUILDING 6</b>	662.62	7129.79
<b>BUILDING 7</b>	662.62	7129.79
<b>BUILDING 8</b>	584.71	6291.48
<b>GROSS AREA</b>	<b>4,618.23 sq.m.</b>	<b>49,692.15 sq.m.</b>

## UNIT TYPES

<b>A</b>	SINGLE GARAGE UNITS : 6 UNITS	
<b>A1</b>	SINGLE GARAGE UNITS : 1 UNIT	
<b>A2</b>	SINGLE GARAGE UNITS : 1 UNIT	
<b>B</b>	TANDEM UNITS : 8 UNITS	
<b>B1</b>	TANDEM UNITS : 8 UNITS	
<b>C</b>	SIDE-BY-SIDE GARAGE UNITS : 3 UNITS	
<b>C1</b>	SIDE-BY-SIDE GARAGE UNITS : 1 UNIT	
<b>C2</b>	SIDE-BY-SIDE GARAGE UNITS : 1 UNIT	
<b>C3</b>	SIDE-BY-SIDE GARAGE UNITS : 11 UNITS	
<b>C4</b>	SIDE-BY-SIDE GARAGE UNITS : 5 UNITS	
<b>C5</b>	SIDE-BY-SIDE GARAGE UNITS : 1 UNIT	
<b>TOTAL NUMBER OF UNITS: 45</b>		

## ELEVATION LEGENDS:

×	2.45	EXISTING GRADES
—	1.42	PROPOSED CIVIL GRADES
○	1.50m T.O.R.W	PROPOSED GRADES
FFE -		FINISHED FLOOR ELEVATION
GDE -		GARAGE DOOR ELEVATION

# PROJECT STATISTICS



PARKING REPORT					
	No. of Units	Required		Proposed	RT-3 ZONE Compliance
STANDARD CAR PARKING - 2 BEDROOM		1.4 PER TWO BEDROOM			
	7	1.4 X 7	9.8	7	COMPLIANCE
TANDEM UNITS - 2 BEDROOM		1.4 PER TWO BEDROOM			
	8	1.4 X 8	11.2	16	VARIANCE REQUESTED
STANDARD CAR PARKING - 3 BEDROOM		1.5 PER THREE BEDROOM			
	22	1.5 X 22	33	43	COMPLIANCE
TANDEM UNITS - 3 BEDROOM		1.5 PER THREE BEDROOM			
	8	1.5 X 8	12	16	VARIANCE REQUESTED
<b>TOTAL RESIDENTIAL PARKING</b>			<b>66</b>	<b>82</b>	
TOTAL VISITOR PARKING REQUIRED	45	0.2 PER UNIT	9	9	COMPLIANCE
VISITOR PARKING - STANDARD SIZE		SPACE SIZE - 2.70 m x 5.30 m		5	COMPLIANCE
VISITOR PARKING - COMPACT SIZE		SPACE SIZE - 2.44 m x 4.57 m		3	COMPLIANCE
ACCESSIBLE PARKING		SPACE SIZE - 4.20 m x 5.50 m		1	COMPLIANCE
<b>TOTAL VISITOR PARKING</b>			<b>9</b>	<b>9</b>	
LONG TERM BICYCLE PARKING	45	1.5 PER UNIT	67.5	90	COMPLIANCE
VISITOR BICYCLE PARKING			6	6	COMPLIANCE

COMPLIANCE VARIANCE REQUESTED

**NOTE:**  
 Parking Garages for all units & visitor parking stalls VP-4, VP-5 & VP-9 proposed to be roughed-in for Level 2 for EV charging

# OPEN SPACE CONFIGURATION

Distinct paving connecting amenity area and breezeway to create a welcoming and open connection from Salter St.



1 OPEN SPACE CALCULATION PLAN  
Scale: NTS

- LEGEND**
- PER UNIT OPEN SPACE
  - AMENITY AREA

Open spaces provided for each unit meets Bylaw requirements. All entry paths have consciously removed from the calculations

**PER Section 418.23 (Open space guidelines) & PER 120.210 (Usuable area definition) every unit is provided with more than or equal to 10% of open space**

OPEN AREA CALCULATION	AREA	BUILDING 1 Open space/ Unit	BUILDINGS 2,3 & 4 Open space/ Unit	BUILDING 5 Open space/ Unit	BUILDING 6 Open space/ Unit	BUILDING 7 Open space/ Unit	BUILDING 8 Open space/ Unit
	Sq. m.	Sq. m.	Sq. m.	Sq. m.	Sq. m.	Sq. m.	Sq. m.
UNIT A	95.27	11.94 (12.53%)	11.27 (11.82%)	-	-	-	-
UNIT A1	95.51	-	11.27 (11.80%)	-	-	-	-
UNIT A2	94.9	-	11.87 (12.50%)	-	-	-	-
UNIT B	95.96	9.59(10%)	9.59 (10%)	-	-	-	-
UNIT B1	89.9	10.23 (11.37%)	9.63 (10.71%)	-	-	-	-
UNIT C	115.71	-	-	-	-	-	17.63 (15.23%)
UNIT C1	118.83	-	-	-	-	-	38.56 (32.44%)
UNIT C2	118.75	-	-	-	-	-	40.97 (34.50%)
UNIT C3	109.53	-	-	23.44 (21.40%)	23.44 (21.40%)	23.44 (21.40%)	-
UNIT C4	112.25	-	-	38.30 (34.12%)	23.67 (21.08%)	23.67 (21.08%)	-
UNIT C5	111.8	-	-	19.36 (17.31%)	-	-	-

CENTRALIZED AMENITY SPACE: 124.40 Sq.m.  
AMENITY PLAZA AT MAIN ENTRANCE: 25.75 Sq.m.  
AMENITY PLAZA AT BASRAN AVE. ENTRANCE: 57.55 Sq.m.

# BUILDING EXPRESSION



### Prominent EMF features.

- Prominent and heavy base
- Vertical and horizontal separations
- Intimate and scalable interface with the ground level.
- Use of historic colours but very carefully avoiding imitation
- Matching the style with riverside neighbourhood
- Have clean roof forms

**2 EAST ELEVATION**  
Scale: 1:96

Townhouse expression developed using a language of **portals**. The primary element bunching two upper liveable levels, providing weather and solar regulation.

Distinct entrance to each townhouse with direct access to the street with a landscape buffer

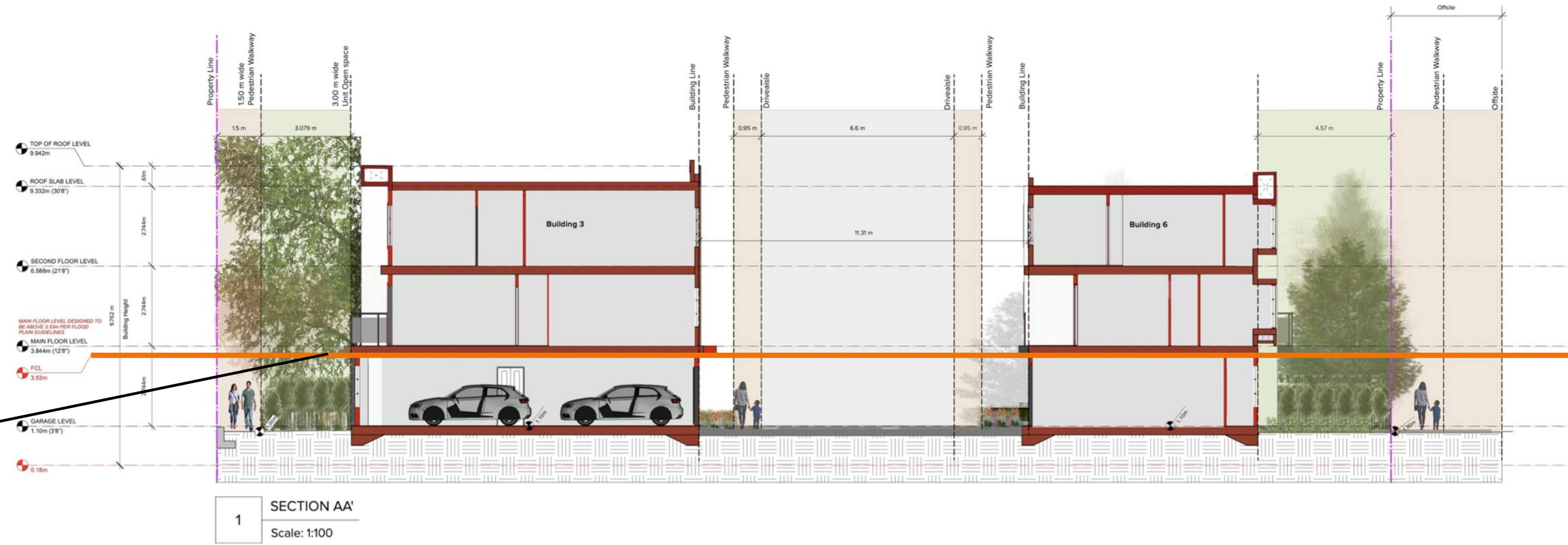
### FINISHES

- 6" HORIZONTAL HARDIE SIDING, EDWARDIAN GREY, SEE BM CHART BELOW
- 6" HORIZONTAL HARDIE SIDING, DUNBAR BUFF, SEE BM CHART BELOW
- 6" HORIZONTAL HARDIE SIDING, VICTORIAN PERIDOT, SEE BM CHART BELOW
- 6" HORIZONTAL HARDIE SIDING, PENDRELL GREEN, SEE BM CHART BELOW
- 6" HORIZONTAL HARDIE SIDING, STRATHCONA RED, SEE BM CHART BELOW
- SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - ROCKY COAST
- SMOOTH FINISH PANELS PRIMED FOR PAINT, BENJAMIN MOORE - BLACK
- 1" X 1" MILLED FINISH HEMLOCK BEAM
- ENDICOTT THIN BRICK GLAZED GRAY-SN4
- FASCIA BOARD PAINTED TO MATCH BENJAMIN MOORE BLACK

### BENJAMIN MOORE'S HISTORICAL TRUE COLOURS AS PER EVEN AVE MULTI-FAMILY GUIDELINES



# SECTIONS

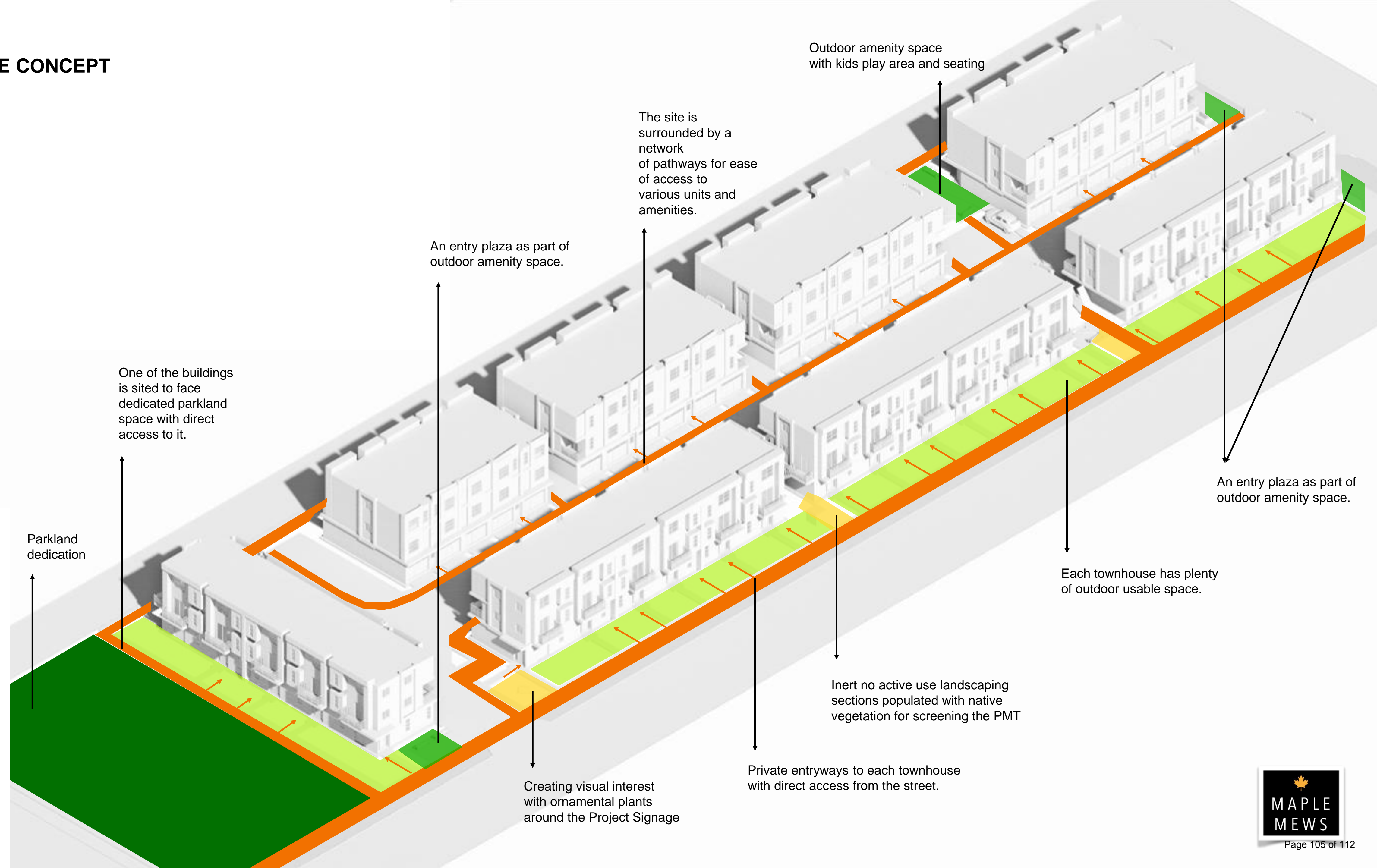


FCL  
3.53m





# LANDSCAPE CONCEPT



# LANDSCAPE Concept Plan



2 VIEW SHOWING THOUGHTFULLY DESIGNED PATIOS  
Scale: NTS

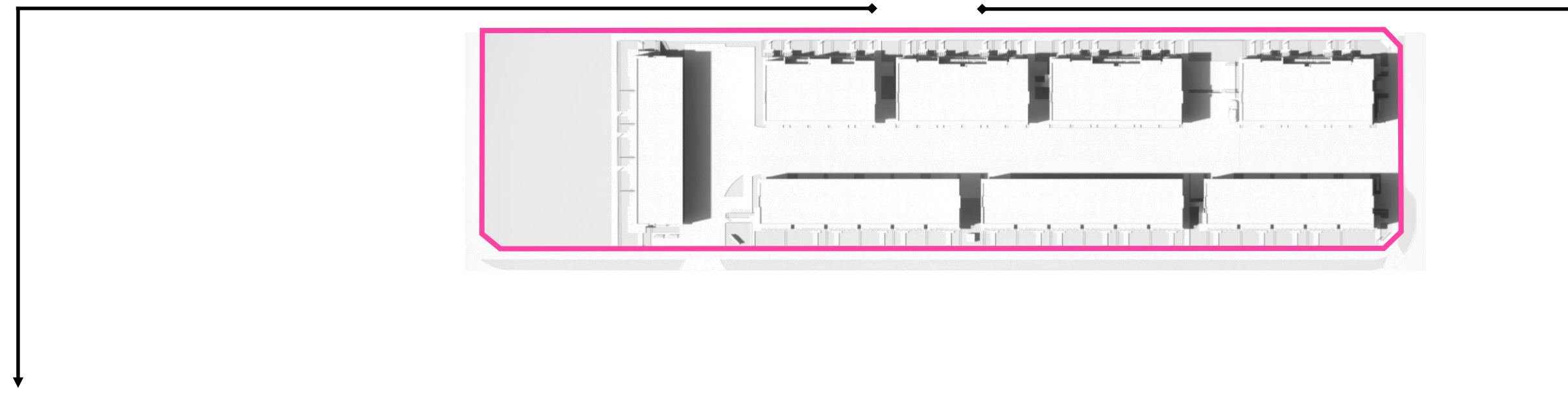


3 VIEW OF SEATING ALONG NORTH-EAST AMENITY PLAZA  
Scale: NTS



4 VIEW SHOWING TAXUS HEDGE SCREENING BETWEEN PATIOS & COMMON SPACES  
Scale: NTS

## LANDSCAPE



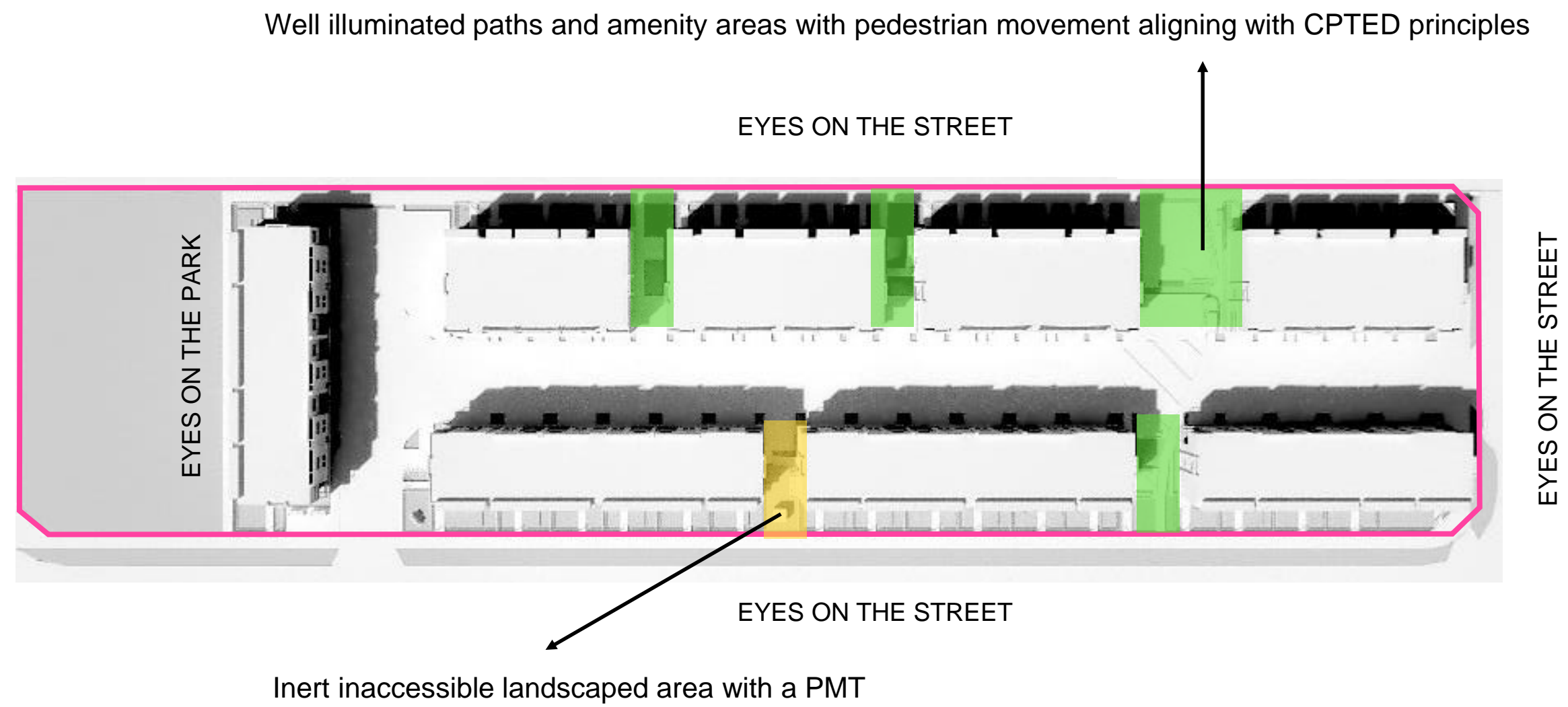
- Breezeways created between buildings to provide better connectivity
- Small amenity areas interspersed within the site to provide opportunities for natural environment and a space to relax.



- Each Townhouse provided with private outdoor space
- Hedging provides separation between private and public spaces
- Each townhouse has a tree that provides shade and visual interest through the seasons.

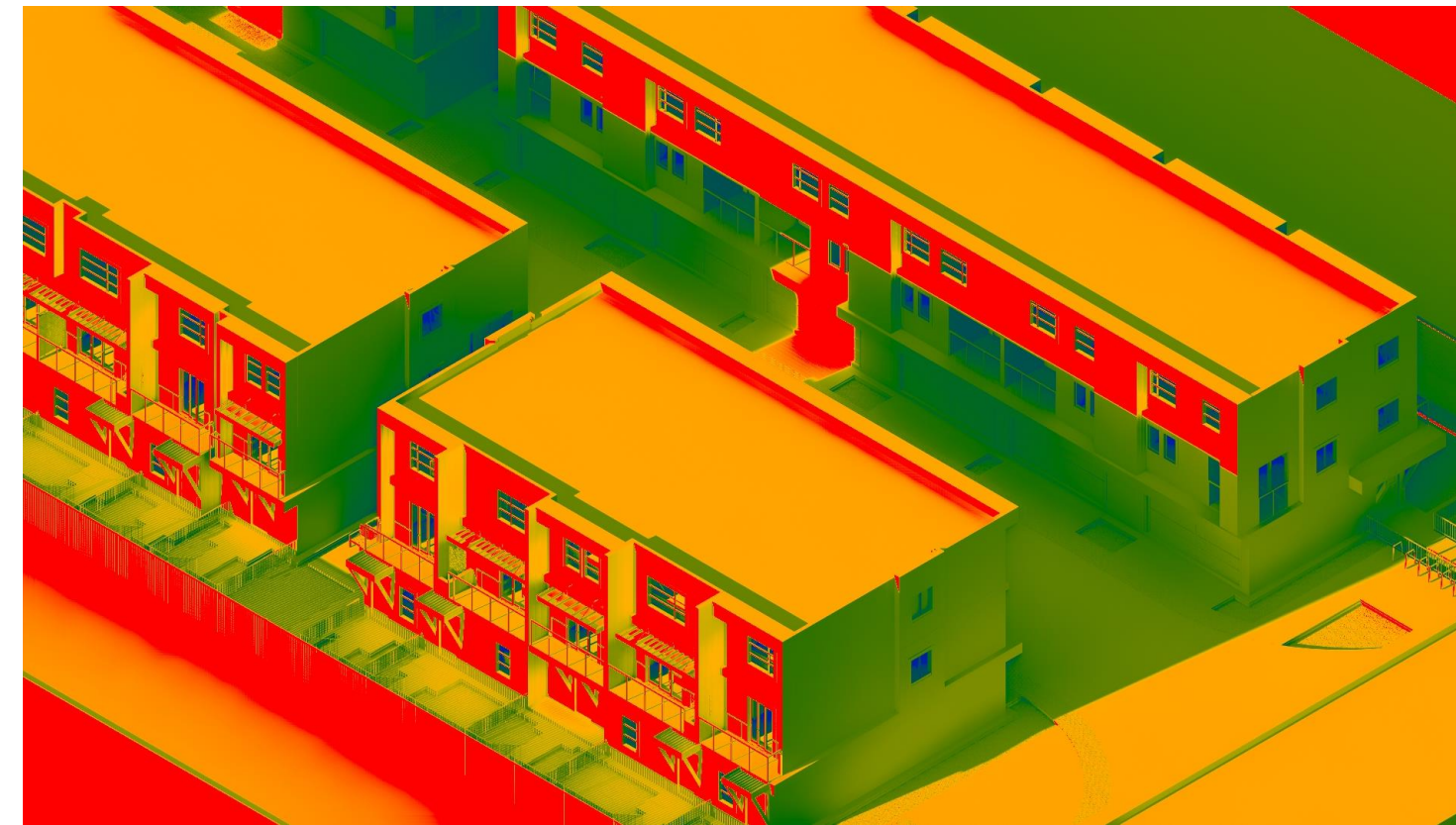
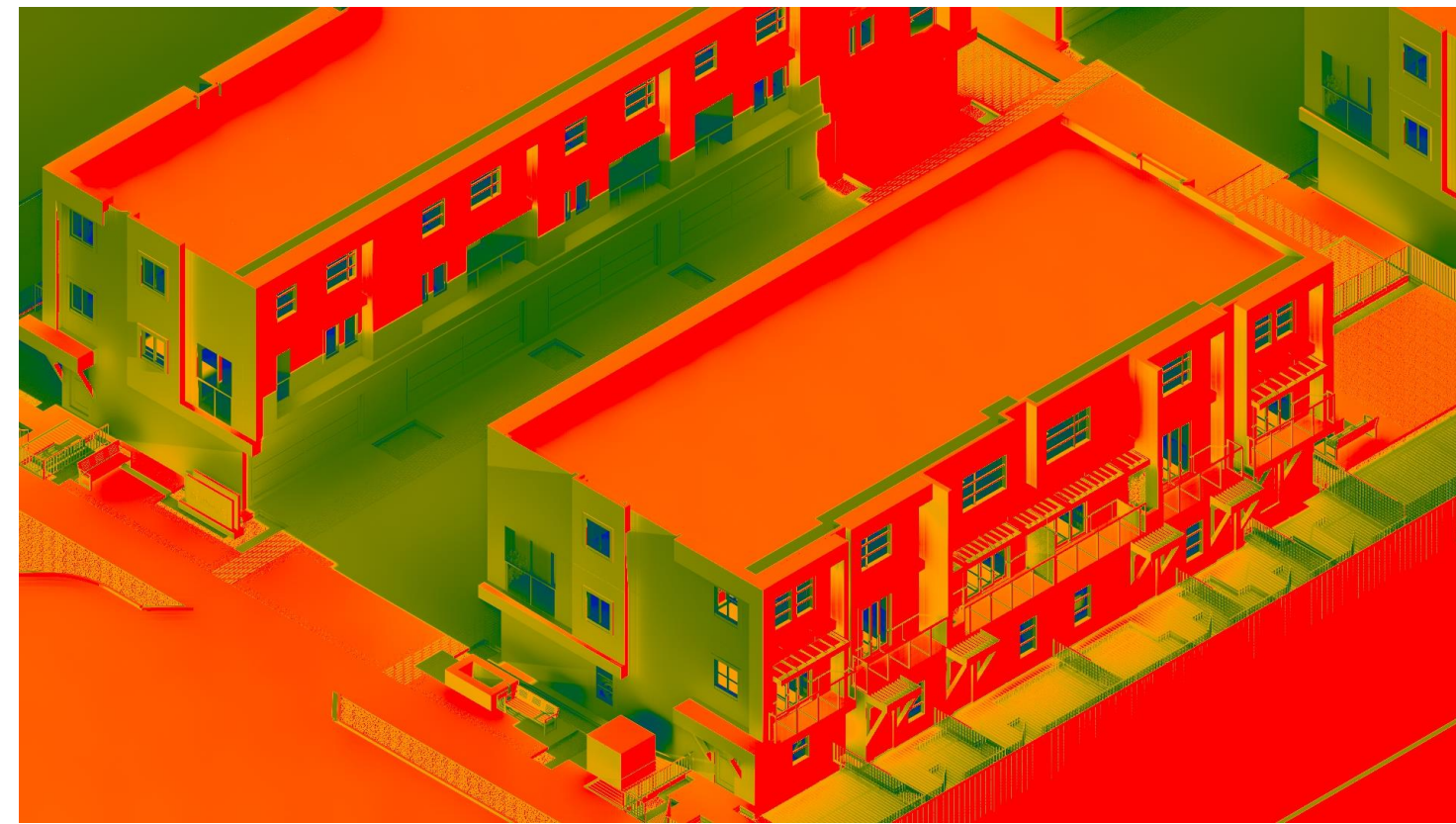
# CPTED

- Strong expression of individual entry and patio encourage CPTED principles and 'eyes on the street'.
- Extensive windows from all living levels also provide 'eyes on the street' surveillance.

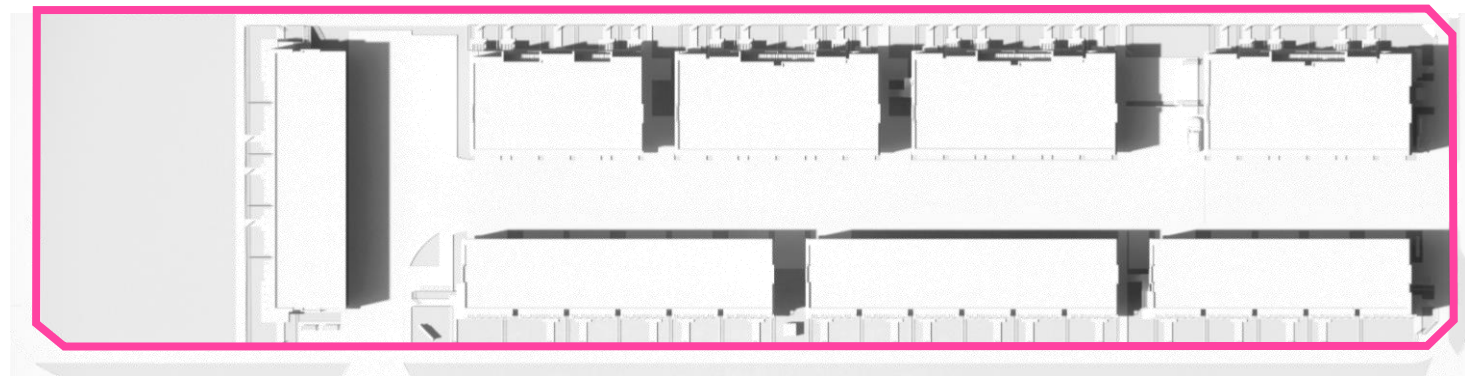


# SUSTAINABILITY

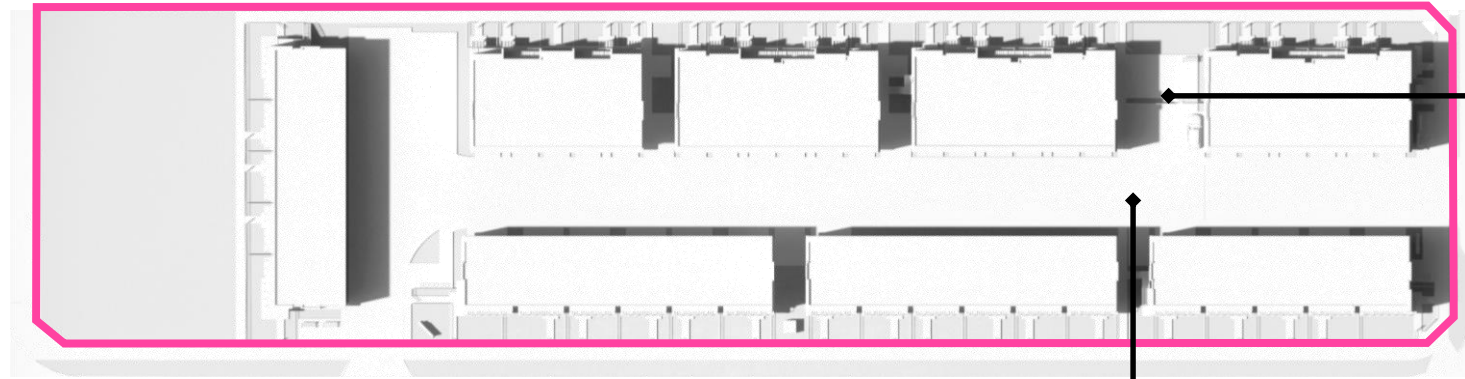
- Vertical solar control elements
- Bike Parking
- High Performance Envelope
- Use of native vegetation/bird friendly plants
- Design of units with operable openings
- Parking spots roughed in with EV level 2 charging capabilities.
- The design allows for storm detention(to be detailed further)

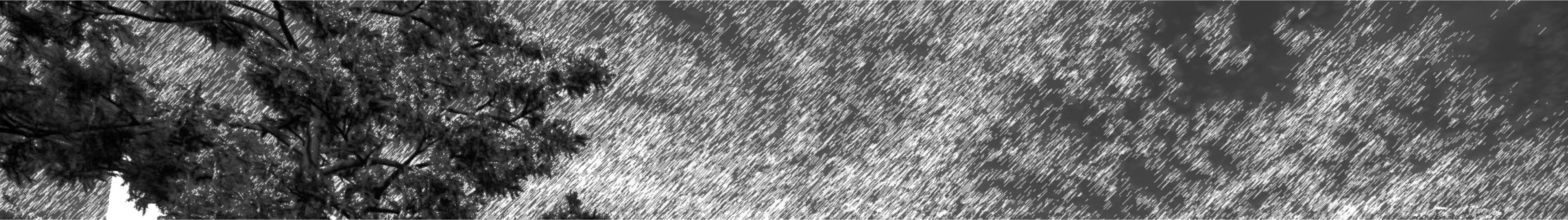


# PERSPECTIVES



# PERSPECTIVES





PROPOSED TOWNHOUSE DEVELOPMENT

135 Salter St., New Westminster, BC

APC : 21 MAY 2024

