

**COMMUNITY HERITAGE COMMISSION  
AGENDA**

Wednesday, December 7, 2022, 6:00 p.m.

Meeting held electronically and open to public attendance

Council Chamber, City Hall

We recognize and respect that New Westminster is on the unceded and unsurrendered land of the Halkomelem speaking peoples. We acknowledge that colonialism has made invisible their histories and connections to the land. As a City, we are learning and building relationships with the people whose lands we are on.

	Pages
1. <u>CALL TO ORDER AND LAND ACKNOWLEDGEMENT</u> The Chair will open the meeting and provide a land acknowledgement.	
2. <u>INTRODUCTIONS</u>	
3. <u>CHANGES TO THE AGENDA</u> Additions or deletion of items.	
4. <u>ADOPTION OF MINUTES FROM PREVIOUS MEETINGS</u>	
4.1 September 7, 2022	3
5. <u>REPORTS AND PRESENTATIONS</u> Staff and guest reports and presentations for information, discussion, and/or action	
5.1 Heritage Designation Application: 109 Third Avenue - 2022-734	8
5.2 Heritage Revitalization Agreement Application: 441 Fader Street - 2022-732	88
5.3 Pre-Application Review: 63 Merivale Street & 250 Agnes Street - 2022-735	148
5.4 Heritage Review (Demolition): 309 Lawrence Street - 2022-737	193
5.5 Heritage Review (Demolition): 413 Rousseau Street - 2022-739	241
6. <u>UNFINISHED BUSINESS FROM PREVIOUS MEETINGS</u>	
6.1 Heritage Values Assessment Update	

7. **NEW BUSINESS**

Items added to the agenda at the beginning of the meeting.

8. **END OF MEETING**

9. **UPCOMING MEETINGS**

This is the last meeting of the 2022 term.





**COMMUNITY HERITAGE COMMISSION**

**MINUTES**

**Wednesday, September 7, 2022**

**Meeting held electronically and open to public attendance**

**Council Chamber, City Hall**

**PRESENT:**

John Davies\*

Alternate Chair/Community Member

Samuel Boisvert\*

Community Member

Jennifer Crews\*

NWHPS Representative

Bozana Djuric\*

Community Member

Lindsay Macintosh\*

Community Member

Virginia McMahon\*

Community Member

Iulia Sincaian\*

Community Member

**GUESTS:**

Nick Di Palma\*

Owner, 933 Fourth Street

Ashley Saran\*

Applicant, 933 Fourth Street

**STAFF PRESENT:**

Rob McCullough\*

Manager, Museums and Heritage Services, Office of the  
CAO

Judith Mosley\*

Senior Heritage Planner, Climate Action, Planning and  
Development

Kathleen Stevens\*

Heritage Planning Analyst, Climate Action, Planning and  
Development

Lisa Wambaa

Planning Assistant, Climate Action, Planning and  
Development

Carilyn Cook

Committee Clerk, Legislative Services

\*Denotes electronic attendance

**1. CALL TO ORDER AND LAND ACKNOWLEDGEMENT**

John Davies, Alternate Chair, opened the meeting at 6:00 p.m. and recognized with respect that New Westminster is on the unceded and unsurrendered land of the Halkomelem speaking peoples. He acknowledged that colonialism has made invisible their histories and connections to the land. He recognized that, as a City, we are learning and building relationships with the people whose lands we are on.

**2. CHANGES TO THE AGENDA**

None.

**3. ADOPTION OF MINUTES FROM PREVIOUS MEETINGS**

**3.1 July 6, 2022**

MOVED and SECONDED

**THAT** the minutes of the July 6, 2022 Community Heritage Commission meeting be adopted with the following amendments:

- The final bullet point on page 7 referencing that “a tree should be at least 100 years old” should be removed as, neither the Commission nor the City have a set date as to when trees would be considered to have heritage value due to their age as there are other values which could contribute to the significance of a tree; and,
- It should be noted that Heritage Revitalization Agreements (HRA) are typically used to off-set costs of conservation work for applicants and in this instance an HRA is not appropriate as there is not a demonstrated need nor urgency for use of an HRA to save, conserve, and maintain the tree.

**Carried.**

All Commission members present voted in favour of the motion.

**4. REPORTS AND PRESENTATIONS**

**4.1 Heritage Review (Demolition): 933 Fourth Street**

Kathleen Stevens, Heritage Planning Analyst, reviewed the September 7, 2022 report advising that the owners of 933 Fourth Street wish to demolish the 112 year old building on the property. She noted that the building is not legally protected nor listed on the City’s Heritage Register or Inventory; however, under the 100 year and Older Heritage Review Policy, a Heritage Assessment and review by the Commission is required. Ms. Stevens stated that the house is in

fair condition, noting numerous interventions have been made to the building which are outlined in the Report.

Discussion ensued and Commission members provided the following comments:

- The Heritage Assessment is incomplete as it does not include a general history of the site, nor any mention of who built the house (except what was included in the staff report), the original and subsequent owners, the context of the neighbourhood and architectural style, nor events or notable associations;
- The Heritage Assessment only addresses the physical features and alterations that have been completed on the house which is not enough information to determine if the house has sufficient heritage merit;
- The building seems to have a good degree of preserved exterior fabric although with unsympathetic alterations of the front entrance and windows;
- This may be a good candidate for conservation through a Heritage Revitalization Agreement due to the lot coverage and positioning on the property;
- There is not a lot known about the building architect; and,
- The addition to the house does not appear to be architecturally sound.

In response to comments from the Commission, Nick Di Palma, owner, shared that any reassessment that needs to be done on the property would be a financial burden on their family. He noted that a site visit may be the best way to address comments that have been brought up by Commission members and that the assessment includes an accurate description of the site and that, personally, he does not feel that the home is safe for his family to be in.

Ashley Saran, applicant, advised that Nickel Bros. determined that the house was not in good enough shape to be moved to another site, and that there was confusion over what was required for the Heritage Assessment.

MOVED and SECONDED

**THAT** the Community Heritage Commission recommend the Director of Climate Action, Planning and Development issue a Demolition Permit for the house at 933 Fourth Street, and that the applicant consider deconstruction as an alternative to demolition waste.

**Carried.**

All members of the Committee present voted in favour of the motion.

#### **4.2 38 Tenth Avenue – Demolition of 1913 Building**

Lisa Wambaa, Planning Assistant, reviewed the September 7, 2022 update report regarding the demolition of a 1913 building located at 38 Tenth Avenue, noting that while the building was not legally protected by bylaw and was not listed on the City's Heritage Register nor Inventory, it was previously reviewed by the Community Heritage Commission at the July 6, 2022 meeting due to its age and City policy.

Discussion ensued and Commission members provided the following comments:

- Prior to issuance of the Demolition Permit, even further investigation could have taken place to further explore the history and possible heritage value of the building; and,
- The house still has a significant amount of original material; however, the house has seen better days and there are better examples of this style of house elsewhere.

#### **5. NEW BUSINESS**

In light of the confusion over the requirements for the Heritage Assessment for 933 Fourth Street, a Commission member queried if it would be appropriate to create an ad hoc sub-committee to provide direction and content to applicants requiring a Heritage Assessment for their property so that they know what is expected by the City and the Community Heritage Commission.

In response, Judith Mosley, Senior Heritage Planner, and Kathleen Stevens, Heritage Planning Analyst, advised that an internal review would be undertaken to determine if this was a one-off scenario, noting that in this instance there was some miscommunication with the applicant as to what was required. As such, and in order to not hold up the process and increase costs to the applicant, staff determined that it was still appropriate to address the project at this meeting.

#### **6. END OF MEETING**

The meeting ended at 6:28 p.m.

## 7. **UPCOMING MEETINGS**

Remaining scheduled meetings, which take place at 6:00 p.m. unless otherwise noted:

- October 4
- November 2
- December 7

Certified correct,

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Councillor Jaimie McEvoy

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Carilyn Cook, Committee Clerk

# **REPORT**

## ***Climate Action, Planning and Development***

**To:** Community Heritage Commission      **Date:** December 7, 2022

**From:** Kathleen Stevens,  
Heritage Planning Analyst      **File:** HER00870

**Item #:** 2022-734

**Subject:** Heritage Designation Application: 109 Third Avenue

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### **PURPOSE**

To review the value of the heritage house and its draft Statement of Significance, and to provide a recommendation to Council on its heritage recognition and protection.

### **SUMMARY**

An application has been received to protect 109 Third Avenue (the G.R. Speck House) through a Heritage Designation Bylaw, which is the strongest form of heritage protection. The house, in the Queen's Park neighbourhood, has strong aesthetic, cultural, historic, scientific and social value; and has been previously recognized through inclusion on the Heritage Inventory and Heritage Conservation Area protection.

### **GUIDING POLICY AND REGULATIONS**

#### **Heritage Designation Bylaw**

A Heritage Designation Bylaw is a regulation that places long-term legal protection on the land title of a property. Any changes to a protected heritage property must first receive approval from Council (or its delegate, the Director of Climate Action, Planning and Development) through a Heritage Alteration Permit (HAP). Future development is no longer entitled, but could be permitted through an HAP. HAP applications are evaluated by staff against the Standards & Guidelines for the Conservation of Historic Places in Canada, as well as the Heritage Conservation Area design guidelines, where appropriate.

## **Heritage Register**

A Heritage Register is an official list identified by the City of physical or intangible elements in the city that have heritage merit. The City encourages owners of buildings on the Heritage Register to retain and protect the structure, while continuing its use, density entitlement, and function. In support of this, inclusion on the Heritage Register allows Council to temporarily withhold a Building or Demolition Permit, or to order a heritage impact assessment, toward finding alternative options to demolition. Properties listed on a Heritage Register are eligible for special provisions in the BC Building Code and the Homeowner Protection Act, which support life safety while retaining heritage features.

## **Heritage Inventory**

The Heritage Resource Inventory is an unofficial list of properties considered to have heritage value. The Inventory was created in the 1980s and was the City's first large scale attempt to identify its heritage resources. Inclusion on the Inventory does not provide heritage protection, but does indicate heritage value.

## **Queen's Park Heritage Conservation Area**

The subject property is protected under the Queen's Park Heritage Conservation Area. The Conservation Area policy places a layer of heritage protection over all properties within the area, regardless of construction age. Properties are classified in two categories: Protected and Non-Protected. Building Permit applications for some kinds of work (e.g. new buildings; demolition; or changes affecting the front, sides, or visible roofline of Protected properties) and subdivision applications require a Heritage Alteration Permit (HAP) and are reviewed for design guidelines compliance. For Protected Properties, an HAP and additional review is also given for exterior changes that do not require a Building Permit.

## **BACKGROUND INFORMATION**

### **Site Characteristics and Context**

109 Third Avenue is located in the Queen's Park neighbourhood on the north side of Third Avenue, mid-block, between First Street and Second Street. The site is 848 square metres (9,127 square feet) and the house, constructed in 1911, has a Floor Space Ratio (FSR) of 0.418. The FSR is the ratio of the total floor area of the house to the area of the property. A site context map is included as Attachment A.

### **Current Heritage Protection**

The property was included in the Heritage Inventory in 1986 and was classified as a Protected property in the Queen's Park Heritage Conservation Area in 2017. Its Inventory listing is included as Attachment B.

## **ITEMS FOR DISCUSSION**

### **Heritage Designation Application**

The owner proposes to increase the protection of the 1911 house at 109 Third Avenue through a Heritage Designation Bylaw, which is the strongest form of heritage protection. This application for Designation is not accompanied by an application for a Heritage Revitalization Agreement or other proposed changes, and is voluntary. In addition to designating the exterior of the building, this application also proposes to protect the following character defining elements in the designation bylaw:

- twenty-two (22) leaded stained glass windows;
- three (3) wood mullioned windows; and
- interior woodwork in the front hall, living room and dining room.

*Is Heritage Designation an appropriate application type (tool) to consider for this site?*

### **Heritage Value**

The property has already been recognized for heritage value through inclusion on the Inventory (Attachment B) and in the Heritage Conservation Area. The house has strong aesthetic value for its Arts & Crafts design, its twenty-two original stained glass windows, as well as its concrete foundations and stairwell sidewalls, parged and scored to represent stone blocks. It has strong cultural value for its association with architect E.J. Boughen; for the first family that lived in the house, the Speck family; and its location in the historic Queen's Park neighbourhood. It has strong historic value for its age (1911) and for being representative of the regional building boom and its continuous use as a single-family dwelling. It has scientific value because those who see it can better understand and appreciate a much earlier era. Further information is in the Statement of Significance and Background Material, including photos (Attachment C) which is discussed below.

*Is there sufficient heritage value in the house to warrant Heritage Designation?*

### **Statement of Significance**

A Statement of Significance (SOS) (Attachment C) has been prepared to reflect the site's historic context and heritage value as well as list the building's character defining elements.

*Is the SOS appropriately comprehensive?*

*Are there elements missing which could or should be included?*

*Are there any additions or revisions needed to this draft?*



**FEEDBACK FROM THE COMMISSION**

The Community Heritage Commission is being asked to review the application and provide feedback in relation to:

- 1) the heritage value of the property, and
- 2) the proposed Statement of Significance.

The following options are available for consideration by the Commission:

- 1) That the Community Heritage Commission recommend that Council support protecting 109 Third Avenue through a Heritage Designation Bylaw and its inclusion on the City's Heritage Register.
- 2) That the Community Heritage Commission recommend that Council not support a Heritage Designation Bylaw application for 109 Third Avenue nor its inclusion on the City's Heritage Register.
- 3) That the Community Heritage Commission provide an alternative recommendation, stemming from elements identified in their discussion.

**APPENDICES**

Attachment A: Site Context Map

Attachment B: Heritage Inventory Listing

Attachment C: Proposed Statement of Significance and Background Material

This report was prepared by: Kathleen Stevens, Heritage Planning Analyst

This report was reviewed and approved by: Judith Mosley, Senior Heritage Planner

Attachment A  
*Site Context Map*



1: 1,000



0.1	0	0.03	0.1 Kilometers
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NAD\_1983\_UTM\_Zone\_10N  
CNW GIS Services

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



Attachment B

*Heritage Inventory Listing*



**G.R. Speck House**  
**109 Third Avenue**  
 1911; E.J. Boughen, architect  
 Shingle Style Cottage--- Late Victorian Period

109 Third Avenue was designed by E.J. Boughen for George R. Speck, who operated a bicycle and sporting goods business in New Westminster. The front gabled, Shingle style house creates visual interest in its roof line and variety of eave levels. The use of wood trim as decoration and the inset sleeping porch in the front gable show an influence from the Chalet style.



**110 Third Avenue**  
 1902  
 Craftsman Style Cottage --- Modern Period

Built in 1902, this house has a low pitched, front gabled roof with gable dormers and full-width porch. Alterations include the decorative shutters, iron railings, and exterior cladding of wide siding. Mrs. M. F. Frazelle, a dressmaker, lived here in 1906 and then Richard Featherstone in 1925.

Attachment C

*Proposed Statement of Significance  
and Background Material*

**Statement of Significance  
And Background Report  
109 Third Avenue  
New Westminster, BC**



**November 2022**

**Schueck**  
HERITAGE CONSULTING



# Statement of Significance

109 Third Avenue, New Westminster, BC

November 2022

## Description:

Constructed in 1911, the G.R. Speck House is located at 109 Third Avenue in the Queen's Park neighbourhood of New Westminster, British Columbia. It is a 2 ½ -storey, wood-frame house designed in the Arts & Craft style, with narrow wood lap siding and wood shingles, stickwork in the gable ends, a curved wall sleeping porch on the second level and a full-width front porch with wood railing system, posts and brackets.

## Heritage Values:

The G.R. Speck House has strong aesthetic, cultural, historic, scientific and social values.



*Image courtesy of CNW. Nov 2022*

The subject house has strong aesthetic value for its Arts & Crafts design, in particular for its complicated roof form, curved sleeping porch, and deep overhanging eaves with narrow decorative rafter ends. Of note is the full width front porch with an elegant wooden railing system and square-cut wooden posts topped by decorative brackets and with a ceiling comprised of tongue-and-groove wood with decorative rafter ends that mirror those in the eaves. The house has additional aesthetic value for the concrete foundations and stairwell sidewalls which have been made to represent stone blocks, and which have arched openings that reflect the curved walls of the sleeping porch. The original style of cladding includes narrow lap siding on the body of the house, wood shingles in the gable ends and on the dormers, as well as stickwork in the gable ends. There are 22 original stained glass windows that range from full windows and transoms on the exterior to sliding door and wall panels on the inside. There are also a number of original wood frame windows that range from plain glass to diamond-pane. Overall, the house is a beautifully proportioned and superb example of an Arts & Crafts home.

The G.R. Speck House has strong cultural value for its association with architect E.J. Boughen and for the first family that lived in the house, the Speck family.

Edmund John Boughen (1874-1967) was born in London, England. It is unclear when Boughen moved to Canada, but a review of Canada Census records shows that 16 year old E. J. Boughen was living in West Durham, Ontario in 1891 with his siblings and parents, Frederick and Caroline Boughen. By 1901,



Boughen was married to Isabella Mary Ennis (1876-1947) and they were living in Manitoba, where they had two children. They moved to New Westminster in either 1910 or 1911 and had another child. At first listed as a builder in the New Westminster City Directories, Boughen became an architect and designed a number of residential houses in both the Arts & Crafts and Craftsman styles. An example of an extant residential design in New Westminster, and one that has similarities to the G.R. Speck house, is his own house located at 315 Fourth Avenue, which he named E-Dee-Nie. Boughen moved to Vancouver at some point around World War I, where he intermittently continued his practice until about 1950. In addition to residential houses, he also designed lovely and functional commercial buildings throughout the Lower Mainland, including the addition to the extant Mah Society building at 137-139 E Pender Street in Chinatown in Vancouver and a diminutive and extant commercial building on 41<sup>st</sup> Avenue in the Kerrisdale neighbourhood of Vancouver.

The first owners of the subject house were George Rodger Speck (1877-1948) and his wife Ethel (nee Hewitt) Speck (1879-1927). Moving to New Westminster in 1904, George quickly established himself as a successful businessman, owning a bicycle and sporting goods store on Columbia Street in New Westminster. The respect he received from the community is best represented by the E.O.S. Schofield biography: British Columbia: From the Earliest Times to the Present, Biographical Vol III, in which there is a write-up about Speck: "He is one of the leading concerns of the kind in New Westminster, which is steadily increasing in representative patronage. His success is the more creditable to him as it can be ascribed to no advantageous circumstances but is due only to his own indefatigable efforts."<sup>1</sup> The Specks lived in the house from 1911 until 1922, at which point they moved into another Boughen-designed house a few streets over.

Of further cultural value is the location of the subject house in the historic Queen's Park neighbourhood (developed 1859) and in the Queen's Park Heritage Conservation Area (established 2017). It represents what makes this neighbourhood special by being a custom-designed grand house in the Arts & Crafts style built in the pre-World War One era, as well as through its garden setting and generous side yards, mature trees and shrubs, and historic concrete perimeter wall. It further reflects the values of the neighbourhood through the use of a palette of materials typical for the neighbourhood, and for its connection to two important people: businessman George R. Speck and architect E.J. Boughen. Adding to the heritage significance of the house is the care that each successive set of owners has given it and how carefully they have conserved and restored it, from the overall design to the smallest details, resulting in a house that looks today as it did when it was first constructed.

The house has strong historic value for its age (1911) and for being representative of the regional building boom. It has important connections to the Queen's Park neighbourhood and the growth of that neighbourhood as an elite area in which to live. Third Avenue was and is an important street on which to have a house as it is adjacent the formal entry to Queen's Park (the park). Additionally, the house is valued for its continued use as a single-family dwelling and for the way it contributes to the community's sense of identity by being highly visible to passersby. It has scientific value because people

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<sup>1</sup> Ibid.

who see it can better understand and appreciate a much earlier era. It is unknown if there are any spiritual associations with this property<sup>2</sup>.

### **Character-defining Elements**

Key elements that define the heritage character of the house include:

Location on Third Avenue, between First and Second Streets.

The original form, scale and massing as expressed by its:

- 2 ½ storey height
- Complicated roof style: steep front facing gable, wide shed dormers on each side that themselves have gable wall dormers set in the middle
- Full width, covered front porch

Its Arts & Crafts design and architectural elements such as the:

- Use of natural and local materials
- Exterior cladding of narrow wood lap siding, wood shingles, smooth gable end with stickwork
- Deep overhanging eaves with narrow rafter ends
- Design of the front porch, including the ceiling, posts, brackets and rail system
- Wide front steps with concrete wing walls made to represent stone blocks and with large arched openings
- Concrete property perimeter wall that matches the house and porch foundations

Windows - 22 original stained glass windows, that include:

On the main floor:

- Dining Room: Set of 3 windows in a bay, each with a stained glass transom.
- Between the Dining Room and the Living Room: Set of double pocket doors, each with an inset panel of leaded stained glass windows.
- Living Room: Piano window and picture window (triple) with leaded stained glass transom.
- Between the Living Room and the Front Hall: Two sets of leaded stained glass windows each set above a low wall with posts that divide the spaces.
- Front Hall: Leaded stained glass piano window.
- Front Door: Leaded stained glass transom above the door assembly and leaded stained glass sidelights, one on each side of the door.
- Stair landing, lower level: Narrow, horizontal leaded stained glass window.

On the second floor:

- Stair landing, upper level: Narrow, horizontal leaded stained glass window.

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<sup>2</sup> To determine if there is spiritual value, extensive consultation with First Nations and other cultural groups would need to take place.

- Ensuite: Narrow, horizontal leaded stained glass window.
- Front southeast bedroom: Narrow, horizontal leaded stained glass window, and oval stained glass window.
- Front southwest bedroom: Narrow, horizontal leaded stained glass window.
- Rear northeast bedroom: Narrow, horizontal leaded stained glass window.
- Rear northwest bedroom: Narrow, horizontal leaded stained glass window.

On the third floor:

- East side gable: Narrow, horizontal leaded stained glass window.

Original wood frame windows, that include:

- Main bathroom (east centre main floor): 2 single wood frame with top sash 4/3 and bottom sash single, and one single wood frame diamond paned window with "Aroua Glass".
- South side, third floor/attic: 3/5 wood frame double window.
- North side, third floor/attic: Fixed diamond shaped mullioned window.

Interior Elements:

- Fir board & batten panelling in the front hall and stairwell.
- Coffered ceiling in the dining room.
- Plate rail.
- Fireplace mantel.
- White maple inlaid fir baseboards.
- Door and window casings.
- Pocket doors between the dining and living rooms that have leaded stained glass upper panels showing a landscape.
- Leaded stained glass panels between the front hall and the living room.
- Wood posts between the front hall and the living room.
- Wood floors on the main and upper levels (oak floor with contrasting inlay borders in the front hall, living room and dining room and fir floors on the upper level.).
- Front hall stairwell.

## Background Material

### Context

The house is located in the Queen's Park neighbourhood of New Westminster, British Columbia. The lot is on the northwest side of Third Avenue, near First Street and the formal entrance to Queen's Park (the park). The subject house sits in a residential neighbourhood with single-family houses, which range in age, style and size. The property is zoned Single Detached Residential District (Queen's Park)(RS-4). Its designation in the Official Community Plan is Residential – Detached and Semi-detached Housing (M-RD).



*Image courtesy of CNW CityView Maps.*



## Photographs of the House (November 2022)



*Oblique view of southeast (front) and northeast side. Courtesy CNW.*



*View of southeast (front). Courtesy Schueck Heritage Consulting.*



*View of northwest (rear). Courtesy the Applicants.*



*View of northwest (rear). Courtesy the Applicants.*



## The Building

The subject property was designed by architect E. J. Boughen in the Arts & Crafts style and constructed in 1911.

The Arts & Crafts Movement began in England in the middle of the Nineteenth Century, in part as a reaction against the negative effects of the Industrial Revolution on society, and in particular against the increase in mass-produced products. A key voice expressing concern at the time was John Ruskin (1819-1900) who “believed that the effects of mass production essentially debased the former stature of the decorative arts, and in the process had also done the same bad turn to individual craftspeople”<sup>3</sup>.

The resulting Arts & Crafts Movement was “more an ideology than a style...[and] emerged in England among a circle of artists and architects that centred on William Morris (1834-96) and Phillip Webb (1831-1915)”<sup>4</sup> who were inspired by Ruskin. Morris, Webb and their followers strongly believed that a building’s design must be “appropriate to the purpose for which the building was intended”<sup>5</sup>.

This design philosophy reached Canada at the turn of the Twentieth Century, where local architects enthusiastically designed buildings that were contemporary, appropriate to their location, and that used local materials in a way that supported the crafts.



*Subject house, circa September 1911, by S. J. Ritchie. Possibly used with a newspaper article about the house from the Daily Columbian Newspaper September 11, 1911. Unsubstantiated.*

The subject house is a 2 ½ storey single-family house with a complicated roof style. It is predominantly a steep front facing gable but has wide shed dormers on each side that themselves have gable wall dormers set in the middle. (See historic photo dated c. 1911 at left.) The gable on the front elevation is closed in the middle (which provides a roof for the sleeping porch) and at the bottom (which provides a roof for the front porch).

The front elevation has a wide set of wooden steps with a low concrete closed railing on either side. The steps lead to a deep and full-width front porch that is supported by two sets of triple square-cut wooden posts and one set of double square-cut wooden posts. There are also single pilasters on either side of the porch where it meets the house which match the front posts in size and design and also have the

<sup>3</sup> Paul Duchscherer, *The Bungalow – America’s Arts and Crafts Home*. (New York: Penguin Studio, 1995, p. 3.

<sup>4</sup> Harold Kalman, *A History of Canadian Architecture*, Volume 2. (Toronto/New York/Oxford: Oxford University Press, 1994), p. 619.

<sup>5</sup> Ibid.

decorative brackets. The triple set are located in the two corners of the porch and the double-set is located adjacent the stairs. Each set have wooden horizontal ties at the very top and decorative wooden knee brackets. They sit atop wide concrete pedestals that have been made to represent stone blocks. Interestingly, each set of posts give the appearance of being made from one piece rather than being comprised of individual posts and brackets. The brackets have an uncommon design and suggest to some an Asian influence.



*Image courtesy of CNW. Nov 2022*

While the shape of the brackets is less commonly found, they are not rare or unique. Examples of this style of bracket can be found in California Arts & Crafts style homes on the exterior and on the interior. Below are two examples:



*Interior of house located in San Leandro, California. Source: The Bungalow: America's Arts & Crafts Home by Paul Duchscherer and Douglas Keister, p. 134. Decorative bracket similar to subject house outlined in red.*



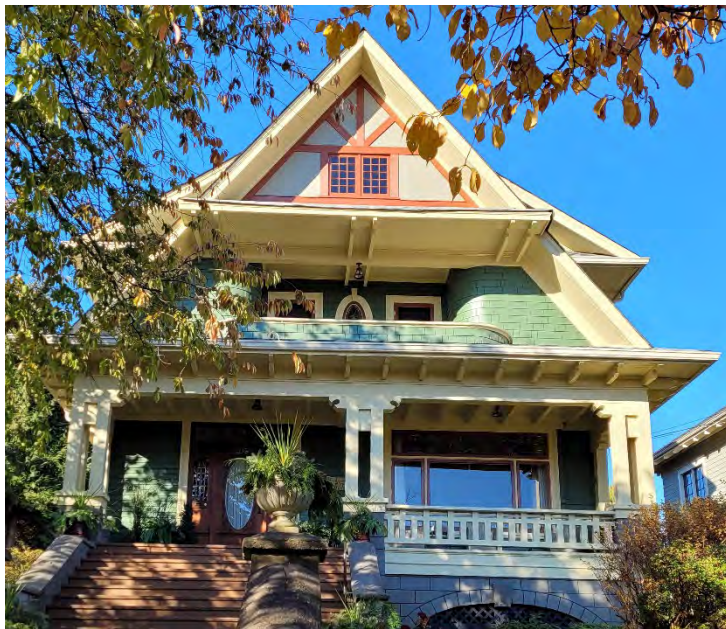
*Close-up of house located in Alameda, California. Source: The Bungalow: America's Arts & Crafts Home by Paul Duchscherer and Douglas Keister, p. 78. Decorative bracket similar to subject house outlined in red.*

There is some discussion about the subject house having strong "Anglo-Japanese" influences and also "Swiss- Chalet" influences. "The Orientalism [sic] that is usually seen in variations of the Craftsman [Arts & Crafts] style enjoyed a minor vogue but could only draw on a limited range of effects that were definitively Oriental, such as the pagoda-like upswept gable peaks seen on many Craftsman-style houses. Another influence that could be successfully fused with the Craftsman style was that of the Swiss Chalet. The term 'Japo-Swiss' was coined at the time [World War I era] to describe the unlikely



union of influences from both Japan and Switzerland.”<sup>6</sup> Some feel that the brackets, the railing system and the roof line of the subject house have an Anglo-Japanese influence, but this is open to interpretation.

The Swiss influence on Arts & Crafts designs tended to be seen in the roof form, in particular with steep front gables. It was also seen in deep overhanging eaves and decorative elements such as carved beam ends, rafter tails and/or barge boards, flower boxes, and in the railing design, which was typically comprised of plain boards that have shapes cut out so that, when in position, would result in decorative negative spaces.<sup>7</sup> In terms of the subject house, the aspects that could relate to a Swiss influence would be the steep gable roof and deep overhanging eaves (with the understanding that these types of gables and eaves are also common to other styles).



*Image courtesy of Schueck Heritage Consulting. Nov 2022*

The railing system around the three sides of the porch is comprised of square wooden spindles with horizontal wood ties in a repetitive pattern that subtly reflects the posts. The roof of the porch has tongue-in-groove wood with exposed decorative rafters. The porch is supported by concrete walls with low, wide arches on the front and sides. The same material and design are used on the wing walls of the front stairs.

On the second level of the house, there is a sleeping porch, set back with curved wall and a short, curved rail system. There is a shed roof providing protection (originating from the closed gable) and which has three sets of narrow double rafter ends that match the rafter ends on the rest of the house. The gable end has decorative stickwork.

The house is clad in narrow lap siding, except in the sleeping porch and on the shed dormers which are clad in wood shingles. The front gable end appears to have a smooth finish underneath the stickwork.

The house contains 22 leaded stained glass windows, all original to the house according to the current owner. These might have been provided by the Westminster Glass Company<sup>8</sup>. The inclusion of stained

<sup>6</sup> Paul Duchscherer and Douglas Keister. The Bungalow: America's Arts & Crafts Home. The Penguin Group, New York, 1995, p. 69.

<sup>7</sup> Ibid.

<sup>8</sup> Anecdotal information from local historian Jim Wolf.

glass windows was typical for Arts & Crafts houses, both inside and out. What makes this house special is that it appears all of the original stained glass windows have been preserved.

There are some wood frame windows; a paired set of 3/5 casement windows in the front gable, two small 2/2 wood frame casement windows on the rear elevation, two single hung 4/3 wood frame windows on the east elevation, one single hung wood frame window on the west elevation, a triangular fixed wood frame window in the rear gable end, a diamond mullioned fixed window on the east elevation (second level) and a series of wood frame (possibly fixed) windows along the basement level.

See Appendix A for photographs provided by the homeowner.

The interior has a number of original, noteworthy elements. As described by the owner, these include:

- Fir board & batten panelling in the front hall and stairwell
- Coffered ceiling in the dining room
- Plate rail
- Fireplace mantel
- White maple inlaid fir baseboards
- Door and window casings
- Pocket doors between the dining and living rooms that have leaded stained glass upper panels showing a landscape
- Leaded stained glass panels between the front hall and the living room
- Wood posts between the front hall and the living room
- Wood floors on the main and upper levels (oak floor with contrasting inlay borders in the front hall, living room and dining room and fir floors on the upper level.)
- Front hall stairwell

See Appendix B for photographs provided by the homeowner.

The following set of photographs is particularly interesting as it shows the house shortly after it was constructed in 1911 and how it looks in November 2022. Note how in all of the photos below, covering 1911, c. 1950, c. 1982 and 2022, how the house, including the type of cladding, the windows, porch details, etc. appears to have been carefully conserved/restored.



*Subject house, circa September 1911, by S. J. Ritchie  
(See source info on previous page)*



*Subject house, Nov 2022. Image courtesy of CNW.*



*Subject house, c. 1950. Image courtesy  
of NWMA, IHP 4348.*



*Subject house, c. 1982. Image courtesy of NWMA,  
IHP 14490.*



## The People

### Architect

#### *Edmund John Boughen*

The G. R. Speck House was designed by architect Edmund John Boughen (1874-1967). Born in London, England, E. J. Boughen came to New Westminster, possibly in around 1910 and definitely by 1911. According to anecdotal sources, Boughen rented a room at 1214 Fifth Avenue for 1 ½ years, from about 1910 or 1911 until 1912, when the property was sold<sup>9</sup>.

A review of Canada Census records shows that 16 year old E. J. Boughen was living in West Durham, Ontario in 1891 with his siblings and parents, Frederick and Caroline. By 1901, Boughen was married, and he and his wife Isabella Mary Ennis (1876-1947) were living in Manitoba, where his occupation is listed as “farmer”. They had two children in Manitoba: Caroline C. (b. 1903) and Edna L. (b. 1905). In the 1911 Canada Census, Boughen, Isabella, and the two girls were living in New Westminster, and his occupation is listed as “contractor”. In the 1911 City Directory, Boughen’s residence is listed as 407 Seventh Avenue and his occupation is listed as “architect”. Their son, Frederick James, was born in New Westminster in 1913. (Frederick (1913-2011) became an auto mechanic and married Happy Edith Esplen in Ladner, BC in 1939.)

Based on available death and marriage certificates from the BC Museum, Boughen was married at least three times. First to Isabella Mary Ennis (1876-1947), then to Ellen Lenore (1886-1953) and finally to Ada May Bellafontaine (1891-1988)<sup>10</sup>.

Boughen designed commercial and residential buildings in New Westminster and produced most of his designs there during the period 1910-1912. His own house was constructed in 1911 and is an impressive Arts & Craft style house located at 315 Fourth Avenue in the Queen’s Park neighbourhood, which he named E-Dee-Nie.



*Boughen’s house, E-Dee- Nie, still extant at 315 Fourth Ave, NW. Image courtesy of Google Maps.*

Anecdotal sources suggest that Boughen used pattern books for most of his residential work. This was certainly a popular approach in the United States and in Canada during this time period, but no information has been found to confirm if the

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<sup>9</sup> Appendix E: Heritage Assessment for 1214 Fifth Avenue, written August 2021 by Dewhirst Lessard Consulting, p. 19. Unsubstantiated.

<sup>10</sup> It is possible that Boughen had other children and/or other wives, but the information in this report is all that could be found on-line.

subject house was taken from or based on a pattern book, or which, if any, of Boughen's buildings in New Westminster were based on pattern books.

There is some confusion regarding Boughen's arrival to British Columbia from England, which likely stems from his death certificate, which says that, at the time of his death in 1967, he had been in both the Province and in Canada for 56 years, which would have put his arrival as 1911. However, this is not confirmed by the City Directories nor by Canada Census. Often the person being asked to supply information for a death certificate is not always certain. Hopefully the information discovered in the Canada Census records as part of this report shows that Boughen was actually in Ontario as early as 1891, then in Manitoba in around 1901, and finally in New Westminster in around 1910/11.

At some point just before or during World War 1, Boughen moved to Vancouver, where he continued to practice until 1950. Interestingly, his death certificate states that the last year he worked as an architect was 1930; however, that is not accurate either. He apparently did not practice between 1925 and 1945, an inference made because his name is not listed in the membership records of the Architectural Institute of BC for that time period. But his name reappears in 1946 and there are signed drawings by Boughen at the Vancouver Archives from the period 1946 to 1950.<sup>11</sup> Therefore it is reasonable to conclude that he was practicing up until at least 1950.

Boughen died in 1967 in Coquitlam at the age of 92.

Walsh	Bosworth, Raymond M., agent Great Northern Railway, 321 Third Ave.
d office,	Botlinger, A., emp. Dom. Wood Pipe Co.
Hotel.	<b>Boughen, E. J., contractor and bldr., 314 Warren Ave.</b>
Mrs. H.	Bourne, F. A., emp. Brunette Sawmill, 426 First.
Colum-	Bourne, H. O., barrister, 426 First.
st Iron	Bourne, Miss J. A., nurse, 426 First.
Central	Bourke, D. D., retired, 1316 Cariboo.
	Bourke, Hubert, mech. asst. Schaaque Machine Works, 1313 Cariboo.

*Excerpt from New Westminster & Fraser Valley Directory, 1909, p.76*

Botting Wm guard Penitentiary h 69 Columbia E
Bouck A L prin Westminster Modern Business School lvs 430 Ash
Boudgem Edward watchman S & B Lum Co h 65 10th
<b>Boughen Edmund J archt 5 678 lvs 407 7th Ave</b>
Boulter P clk Russell Hotel
Boulton George R blksmith h 521 16th
Boulton Guy W N sec treas The Peoples Trust Co Ltd lvs 45 Buchanan Ave
Boulton Wm studt Columbian College lvs same

*Excerpt from Henderson's Greater Vancouver Directory, Part 2, 1911, p.1352*

<sup>11</sup> Biographical Dictionary of Architects in Canada 1800 – 1950 "Boughen, Edmund J."

## Owners

There have been five families that have owned the subject house to date.

1911-1922	George Rodger and Ethel Amelia (nee Hewitt) Speck
1922-1924	No listing in the on-line Directories
1925-1934	Guichon Family
1934-1955+ <sup>12</sup>	Robert Medley and Edith (nee Deffett) Ingalls
1958-2014 <sup>13</sup>	Fenwick and Marjorie Kirkpatrick
2014-present	Erik and Kathleen Langstroth

### *George Rodger and Ethel Amelia (nee Hewitt) Speck: 1911-1921*

George Rodger Speck was born in 1877 in Walters Falls, Ontario. His parents, William and Mary (nee Milson) were originally from England. After meeting and marrying in Ontario, they established a farm and started a family. George was the eldest child. When George was ten years old, his father died, and George helped his mother run the farm. In 1899, at the age of 22, George married Ethel Hewitt and in 1904, they relocated to New Westminster, where he joined his brother, Alexander, who had a mercantile business<sup>14</sup>.

In 1906, George borrowed some money and purchased a bicycle business located on Columbia Street and expanded it to include sporting goods. Within a short period of time, he was able to pay back the loan. According to the Schofield biography: "He is one of the leading concerns of the kind in New Westminster, which is steadily increasing in representative patronage. His success is the more creditable to him as it can be ascribed to no advantageous circumstances but is due only to his own indefatigable efforts."<sup>15</sup>

George and Ethel had two children, Stanley Lloyd and Nola Blanche. In 1911 they moved into their new, Boughen-designed house at 109 Third Avenue in the Queen's Park neighbourhood. They lived in the house for



*George Rodger Speck. Photo from the Schofield Biography, p. 363. Courtesy of University of British Columbia. Library. Rare Books and Special Collections. FC3811 .S364 1914*

<sup>12</sup> The on-line Directories only go as far as 1955. It is possible that the Ingalls lived in the house later than 1955.

<sup>13</sup> Anecdotal information supplied by Kathleen Langstroth, unsubstantiated.

<sup>14</sup> E.O.S. Scholefield. *British Columbia: From the Earliest Times to the Present, Biographical Vol III*. The J.S. Clarke Publishing Company, Vancouver, 1914, p. 362.

<sup>15</sup> Ibid.

approximately 11 years, before moving to 324 Third Avenue in 1922. George passed away in 1948 at the age of 71. He lived at this house on Third Avenue until the time of his death.

tiser" lvs 726 5th  
 Speal W O rms 732 Columbia  
 Spearin Mrs S J lvs 720 Royal Ave  
**Speck Alexander of W R Janes lvs cor**  
**13th and 2nd Ave (Burnaby)**  
**Speck George R sporting goods 670-672**  
**Columbia lvs 209 3rd Ave**  
 Speedy John pressman "Daily News"  
 lvs n s Columbia nr Keary  
 Spencer Alpheus L stableman S & B  
 Lum Co h 1005 Cornwall

Excerpt of Henderson's Greater Vancouver Directory, Part 2, 1911, p. 1414 showing both Alexander and George Speck. This is also a good example of how Directories can sometimes be inaccurate, as it shows George living at "209 3<sup>rd</sup> Ave" rather than at "109 3<sup>rd</sup> Ave".

Sovereign Garnet & Phys an I M C A  
 r 217 5th Ave  
 Sovik C lumberman h 210 Allan  
 Sovik P lumberman r 210 Allan  
 Sparrow Harry A atttdt Public Hospital  
 for Insane  
 Spears E groundman B C E Ry  
~~Spears S groundman B C E Ry~~  
**Speck Geo R sporting gds 670 Columbia**  
**h 109 3rd Ave**  
~~Spence Robt baker City Bakery~~  
 Spencer Alphues L foreman h 413  
 12th

Excerpt of Henderson's Greater Vancouver Directory, Part 2, 1912, p. 1527 now shows George Speck at the correct address of "109 3<sup>rd</sup> Ave".

**WHEN YOU WANT ANY KIND OF  
 REPAIRING DONE**

Such as Guns, Umbrellas, Typewriters,  
 or any light automatic machinery re-  
 paired, go to

**ALEX. SPECK**  
 Columbia St. "Man on the Wheel."

**FOR SALE CHEAP.**  
 Large steam whistle  
 Four horse power engine.  
 One straw cutter.  
 One top for express wagon.  
 Also a good assortment of new and  
 second hand goods.

**SPECK & CRANDELL**  
 Speck Block, Near Tram Office.  
 Phone 275.

Newspaper ad for shop  
 owned by Alexander Speck,  
 George's brother.

### *Guichon Family: 1925-1933*

The second family to live in the house was the Guichon family. The online Directories do not list them at all until 1925, at which point there is an Alfred Guichon noted at the subject address. Alfred is listed as being retired in 1925. Also at this address were Miss M. A. Guichon from 1925 to 1930 and Miss J. E. Guichon, from 1931 to 1933.

It is unlikely that this Alfred Guichon is related to Laurence (sometimes spelled 'Laurent') and Perrone (nee Rey) Guichon as has been suggested by the current owner. The dates for information discovered and cross-referenced through birth, marriage and death certificates do not support this claim.

There was an Alfred Laurent Guichon, son of Laurence (sometimes spelled 'Laurent') and Perrone (nee Rey) Guichon who was born in 1897 (or 98) in Port Guichon. The occupation on the birth certificate for his father was "farmer". Alfred married Mary Ann McCarry in 1929. His marriage certificate lists his occupation as "farmer" and his residence as Ladner, BC. Alfred's death certificate also stated that his occupation was farmer. At the time of his death in 1988 at the age of 90, he was living in Delta. The Alfred Guichon listed in the online Directory as living at the subject property in 1925 states that he was retired, which strongly suggests that this Alfred was at least in his 60s. The Alfred who was the son of Laurence/Laurent and Perrone Guichon would have only been 27 years old in 1925.

Laurence/Laurent and Perrone were from France and had at least nine children, based on a preliminary search of the BC Genealogy website:

Laurence/Laurent Guichon 1836-1902 and Perrone (nee Rey) Guichon 1854-1922: married in 1879.

Children<sup>16</sup>:     John Louis - b. 1881  
                     Frank Vincent - b. 1883  
                     Josephine Elizabeth – b. 1886  
                     Felix Peter – b. 1888  
                     Victor Ernest – b. 1890  
                     Francis Catherine – b. 1893  
                     Philip Anthony and Henri Frederic – b. 1894  
                     Alfred Laurent – b. 1898

Laurence/Laurent had a brother, Joseph Guichon. He married Perrone's sister(?) Josephine Rey in 1878. Joseph Guichon 1844 – 1921 and Josephine (nee Rey) Guichon 1856 – 1929: married 1878.

Children<sup>17</sup>:     Laurent P. – b. 1879  
                     Margaret Jane – b. 1886  
                     Alice Laura – b. 1890  
                     Virginia Kathleen Theresa – b. 1898

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<sup>16</sup> Not necessarily an exhaustive list.

<sup>17</sup> Not necessarily an exhaustive list.



It is possible that the Miss J. E. Guichon listed as a resident of the subject house 1931-33 was Laurence/Laurent and Peronne's daughter Josephine Elizabeth (b. 1886). Joseph and Josephine Guichon had a daughter named Margaret Jane, which might be the Miss M. A. Guichon listed as a resident of the subject house 1925-30, except that this is unlikely because a marriage certificate was found for her dated 1913, so she would not likely be Miss Guichon in 1925.

A great deal more research would be required to determine the relationship of the Alfred Guichon listed in the online Directories to the well-known New Westminster family of Laurence/Laurent Guichon.

Guffin Wallace lab City r 1887 E 40  
 Gugelman Godfrey sausage mkr Pac  
 Meat Co r 889 Hornby  
 Gugin Albt h Lynn Val N Van  
 Gugson Alfd jntr h 1379 E 10  
~~Ernest r 1379 E 10~~  
**Guichon Alfd retired h 109 3rd av**  
**N Westr**  
 —Annie r 2104 E 4  
 —Miss E r 109 3rd av N Westr  
 —Josephine wid J h 2104 E 4  
 —Virginia r 2104 E 4  
 Guide Jos r 1075 Burnaby  
 Guide C amp D Burns r 272 Keefer

Excerpt of Wrigley Henderson  
 Amalgamated BC Directory, 1925, p. 872  
 showing Alfred Guichon. Note that  
 Josephine, widow of Laurence/Laurent's  
 brother Joseph, and some of her children  
 are living at 2104 E. 4<sup>th</sup> Ave in Vancouver.

VITAL STATISTICS ACT.

SCHEDULE D.—Particulars of Birth.

District Registrar of Births, Deaths, and Marriages,  
*New Westminster*, B.C.:

I, the undersigned, in pursuance of the provisions of the "Vital Statistics Act" in that behalf, the undersigned certifies  
 the correctness of the particulars of birth hereinafter contained, that is to say:—

Place of birth.	<i>September 25/1898</i>
Name of birth.	<i>Alfred Laurent Guichon</i> B.C.
Sex of child.	<i>Male</i>
Name of child.	<i>Alfred Laurent Guichon</i>
Name and surname of father.	<i>Laurent Guichon</i>
Name and maiden surname of mother.	<i>Peronne Rey</i>
Place of birth.	Father: <i>St Albans, Savoy France</i> Mother: <i>Messaugy, Savoy France</i>

Excerpt of birth certificate for Alfred Laurent Guichon, filed  
 after his birth. Filed 1918. Birth 1898. See appendix for full  
 copy.

*Robert Medley and Edith (nee Deffett) Ingalls: 1934-1955+*

Robert Medley and Edith Ingalls lived in the subject house from 1934 until at least 1955. Robert (1885-1958) was born in New Brunswick, Canada. He came to New Westminster in 1908 at the age of 23. He married Edith Elizabeth Deffett (1892-1979). She was born in Surrey, England. Her death certificate does not indicate where she lived or for how long.

Robert was a pilot for the Canadian Government, according to the online Directory 1934-1941, after which he is listed as a Master Mariner with Cliff Tugboat company. His death certificate lists his occupation as both a pilot and a Master Mariner. The address listed as residence on both Robert's and Edith's death certificates was 129 Princess Street, New Westminster.

<b>THIRD AV (N Westr) west from 300 1st St District M</b>	
103	*Mackenzie D E
105	*Gifford J S
106	Archibald R
109	Ingalls R M
110	Featherstone Mrs M
114	Colley J F
115	*Turnbull G H
117	*Latham H P
121	*Patchell W A
125	*Mannering E
125	McNee Mrs M
<b>2nd St intersects</b>	

*Excerpt from Sun BC Directory, 1934,  
p. 1951 showing R.M. Ingalls at the  
subject address.*



*Google St View image of 129 Princess St, NW.*

No information is available on the Kirkpatrick family: (1958-2014)<sup>18</sup>

Langstroth Family: (2014-present)

<sup>18</sup> Dates provided by the current owner. Unsubstantiated.

## Appendix A: Photographs of the Stained Glass Windows

Photos and descriptions courtesy of the applicant, August 2022

Dining Room Bay Windows: Leaded Stained Glass Glasgow Rose/McIntyre Rose

East Side: Double Hung Set of 3 Windows



Dining Room Bay Windows: Leaded Stained Glass Glasgow Rose/McIntyre Rose

East Side: Left/North Double Hung Weighted Window:

Without Sash Width: 29 1/4" x Height: 25 1/4". With Sash Width: 33 3/4" x Height 29 1/4"



Dining Room Bay Windows: Leaded Stained Glass Glasgow Rose/McIntyre Rose

East Side: Centre Double Hung Window (Stationary):

Without Sash Width: 47 ¼" x Height: 25 ¼". With Sash Width: 51 ¾" x Height 29 ¾"



Dining Room Bay Windows: Leaded Stained Glass Glasgow Rose/McIntyre Rose

East Side: Right/South Double Hung Weighted Window:

Without Sash Width: 29 ¼" x Height: 25 ¼". With Sash Width: 33 ¾" x Height 29 ¾"

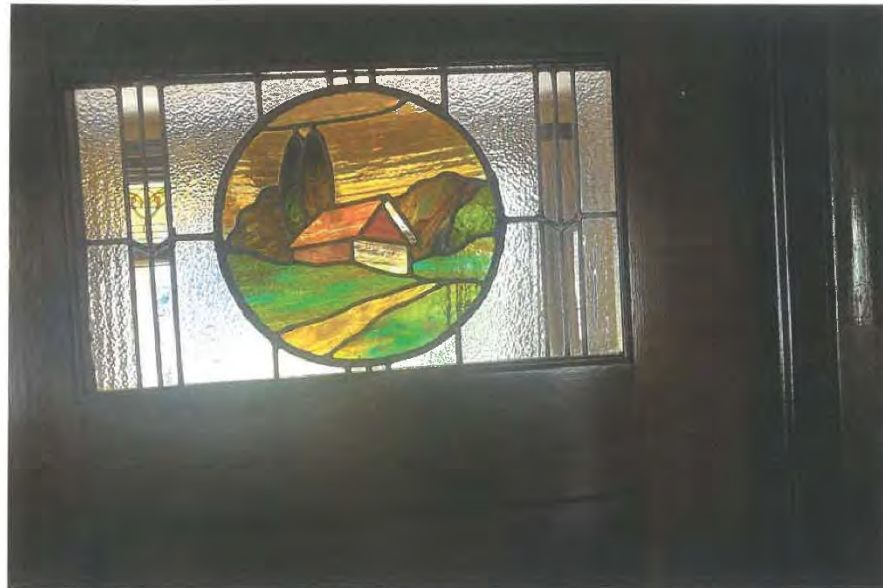
Pocket Doors: Inset Leaded Stained Glass Picture Panel between Dining Room and Living Room



Dining/Living Room: East Side Pocket Door – Leaded Stained Glass Tree & Lake Picture Panel:

Width 23 3/16" x Height 13 1/4"

Dining/Living Room: West Side Pocket Door – Leaded Stained Glass House & Path Picture Panel:  
Width 23 3/16" x Height 13 1/4"





Living Room: East Side Leaded Stained Glass Sunrise Picture Awning Window



Living Room: East Side Leaded Stained Glass Sunrise Picture Awning Window:

Without Sash: Width 59" x Height 15 3/16". With Sash: Width 63 1/2" x Height 19 11/16"

Living Room: Front/South Leaded Stained Glass Stationary Transom Window



Living Room: Front/South Leaded Stained Glass Stationary Transom Window:

Without Sash: Width 115" x Height 15 1/4". With Sash Width 119 1/2" x Height 19 3/4"



Front Hall: Leaded Stained Glass Picture Panels between Living Room and Front Hall





Front Hall: Leaded Stained Glass Castle & Path Picture Panel between Living Room and Front Hall

South Panel: Width 11 1/4" x Height 35 3/16"

Front Hall: Leaded Stained Glass Path to Stonewall Picture Panel between Living Room and Front Hall

North Panel: Width 11 ¼" x Height 35 3/16"



Front Door: Leaded Stained Glass Stylized Egyptian Patterned Transom and Side Lights (South Facing)

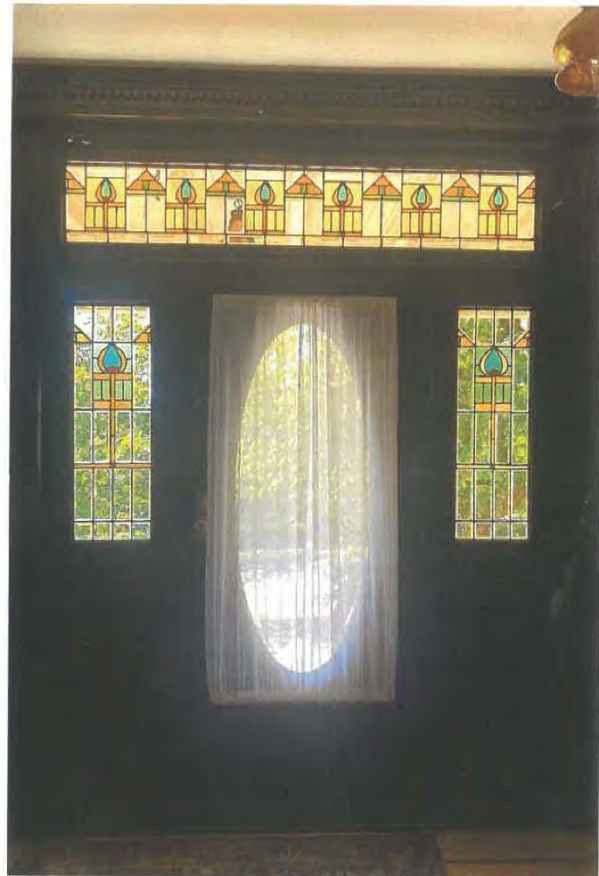


Note: Catch/Stop Chain on Right side



Front Door: East Side: Leaded Stained Glass Stylized Egyptian Patterned Inset Panel:

Width 11 ¼" x Height 35 ¼"



Front Door: Centre: Hinged Leaded Stained Glass Stylized Egyptian Patterned Transom:

Without Sash: Width 71" x Height 35 ¼". With Sash: Width 74 ½" x Height 39 ¾"



Front Door: Centre Hinged Transom:

Note: Right Hand Side: Brass Mechanism for Opening and Closing Transom



Front Door: West Side: Leaded Stained Glass Stylized Egyptian Patterned Inset Panel:

Width 11 ¼" x Height 35 ¼"

Front Hall: West Side: Leaded Stained Glass Awning Window

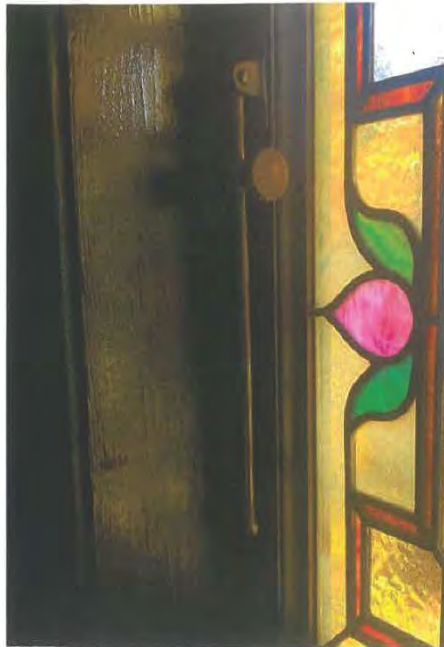


Front Hall: West Side: Leaded Stained Glass Awning Window

Without Sash: Width 47 1/4" x Height 17 3/16 ". With Sash: Width 51 1/4" x Height 21 11/16"

Stair Landing: West Side: Lower Leaded Stained Glass Awning Window

Without Sash: Width 47 3/16" x Height 17 1/4". With Sash: Width 51 11/16" x Height 21 3/4"



Note: Left Hand Side Brass Casement Window Stay

Note: Right Hand Side Brass Awning Window Stay



Stair Landing: West Side – Lower and Upper Awning Windows



Stair Landing: West Side: Upper Leaded Stained Glass Awning Window

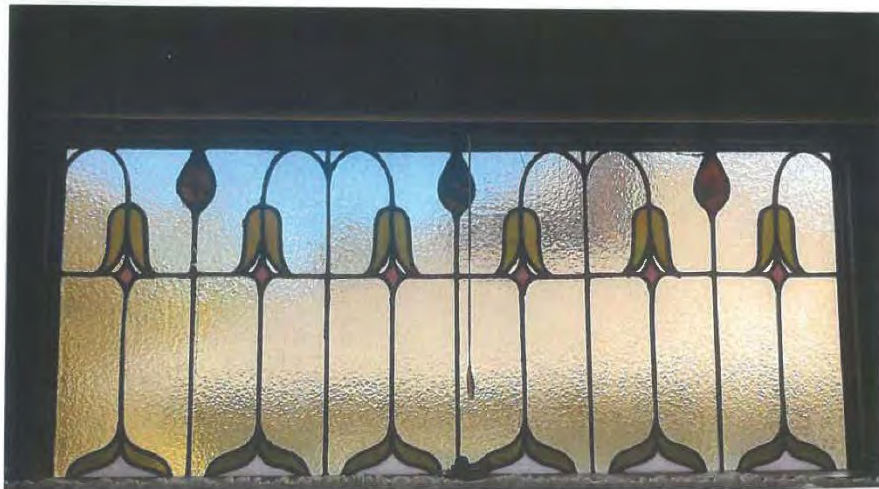
Without Sash: Width 41 3/8" x Height 13 3/8". With Sash: Width 45 7/8" x Height 17 7/8"





North Side: Ensuite leaded Stained Glass Drop Leaf Lily Awning Window

Without Sash: Width 35 ½" x Height 17 ½". With Sash: Width 40" x Height 22"



Bedroom: Back East Side: North/East: Leaded Stained Glass Drop Leaf Lily Awning Window

Without Sash: Width 41 ¼" x Height 17 ¼". With Sash: Width 45 ¾" x Height 21 ¾"

Front East Bedroom: South/East: Leaded Stained Glass Drop Leaf Lily Double Hung Weighted Window

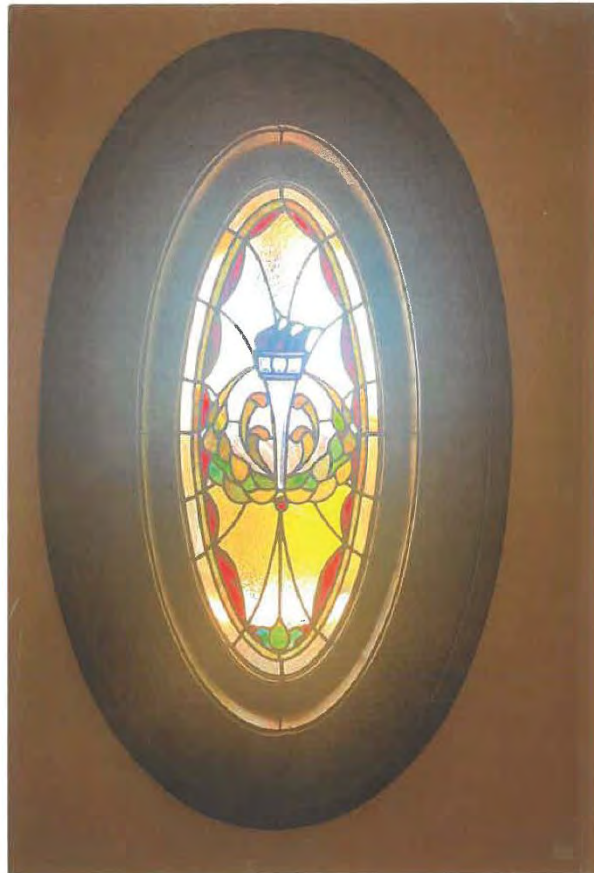
Without Sash: Width 41 ¼" x Height 17 ¾". With Sash: Width 45 ¾" x Height 21 ¾"



Front East Bedroom: South Facing Leaded Stained Glass "Olympic Torch" Stationary Oval Window

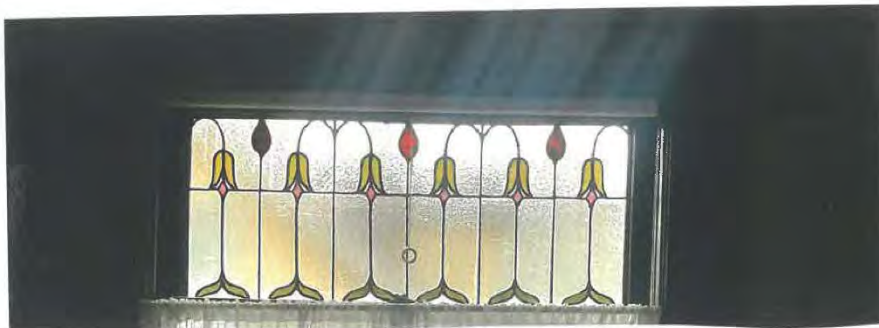
Without Sash: Width x Height 33 ¾" x 14". With Sash: Width 38 ¼" x Height 17 ¾" x 18 ½"

South Facing: Interior View of Oval Olympic Torch Window



Front West Bedroom: South/West: Leaded Stained Glass Drop Leaf Lily Double Hung Weighted Window

Without Sash: Width 41 1/4" x Height 17 5/16". With Sash: Width 45 3/4" x Height 21 13/16"



Back West Bedroom: North/West: Leaded Stained Glass Drop Leaf Lily Double Hung Weighted Window

Without Sash: Width 41 1/4" x Height 17 1/4". With Sash: Width 45 3/4" x Height 21 3/4"



Main Bathroom: East Centre: Diamond Wood Mullioned Window with Aaura Glass



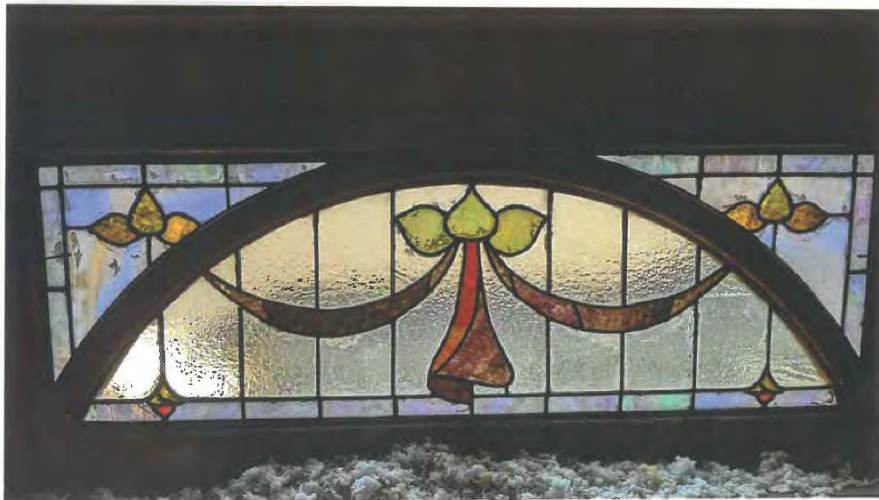
Main Bathroom: East Centre: 32 Light Diamond Wood Mullioned Window with Aaura Glass

With Sash: 35 ½" x 22 ¼"



Attic: East Side Gable: Leaded Stained Glass Stationary Window

(Matches the Stationary Upper Landing Window on West Side)



Attic: East Side Gable: Leaded Stained Glass Stationary Window

Without Sash: Width 41 3/8" x Height 13 3/8". With Sash: Width 45 7/8" x Height 17 7/8"

Attic: Front (South): Double Casement 15 Light Wooden Mullioned Windows

Each Window Sash: Width 34  $\frac{3}{4}$ " x Height 25"

Total Dimension Including Centre Post: Width 38  $\frac{1}{2}$ " x Height 25"



Attic: Back (North): Triangular 4 Light Wooden Mullioned Window

With Sash: Width 59 x Height 35"

## Appendix B: Photographs of the Interior Elements

Photos and descriptions courtesy of the applicant, August 2022

Woodwork Trim and Panelling in Front Hall

South



West





North



East



Front Hall Stairs



**Front Hall Stairs**



Front Hall Stairs



Fir Door, Window and Baseboard Trim Inlaid with White Maple Accent



Front Hall Paneling





Woodwork Trim and Panelling in Front Hall



Main Floor Principal Rooms: Maple Inlaid Baseboard and Door and Window Trim Main Floor



Dining Room Coffered Ceiling



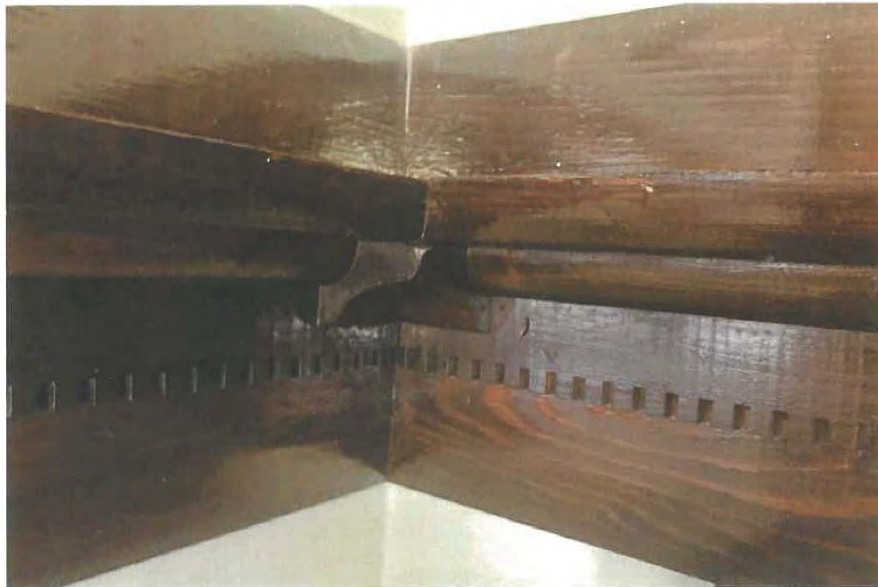


Dining Room Dentalled Plate Rail and Casings





Dining Room Dented Plate Rail and Casings



Dining Room Mantel



Mantel Details





Mantel Details





Main Floor Principal Rooms: Maple Inlaid Baseboard and Door and Window Trim Main Floor



Main Floor Principal Rooms: Maple Inlaid Baseboard and Door and Window Trim Main Floor



## Appendix C: Definitions

The following definitions of heritage value are quoted directly from the “Canadian Register of Historic Places: Writing Statements of Significance” guide:

Aesthetic value refers to the sensory qualities of a historic place (seeing, hearing, touching, smelling and tasting) in the context of broader categories of design and tradition. A place may have aesthetic significance because it evokes a positive sensory response, or because it epitomizes a defined architectural style or landscape concept. Visual aesthetic value is typically expressed through form, colour, texture or materials. It is possible for historic places to have other aesthetic values as well, such as auditory ones. Historic places with aesthetic significance may reflect a particular style or period of construction or craftsmanship, or represent the work of a well-known architect, planner, engineer or builder.

Historical and cultural values are sometimes combined and refer to the associations that a place has with past events and historical themes, as well as its capacity to evoke a way of life or a memory of the past. Historical or cultural value may lie in the age of a heritage district, its association with important events, activities, people or traditions; its role in the development of a community, region, province, territory or nation; or its patterns of use. Historical or cultural value can lie in natural or ecological features of the place, as well as in built features.

Scientific value refers to the capacity of a historic place to provide evidence that can advance our understanding and appreciation of a culture. The evidence is found in the form, materials, design and/or experience of the place. Scientific value can derive from various factors, such as age, quality, completeness, complexity or rarity. Scientific value may also be present when the place itself supplements other types of evidence such as written sources, such as in archaeological sites.

Social value considers the meanings attached to a place by a community in the present time. It differs from historical or cultural value in that the value may not have an obvious basis in history or tradition and relates almost entirely to the present time. Social value may be ascribed to places that perform a key role within communities, support community activities or traditions, or contribute to the community’s sense of identity. Places with social value include sites that bring the community together and create a sense of shared identity and belonging.

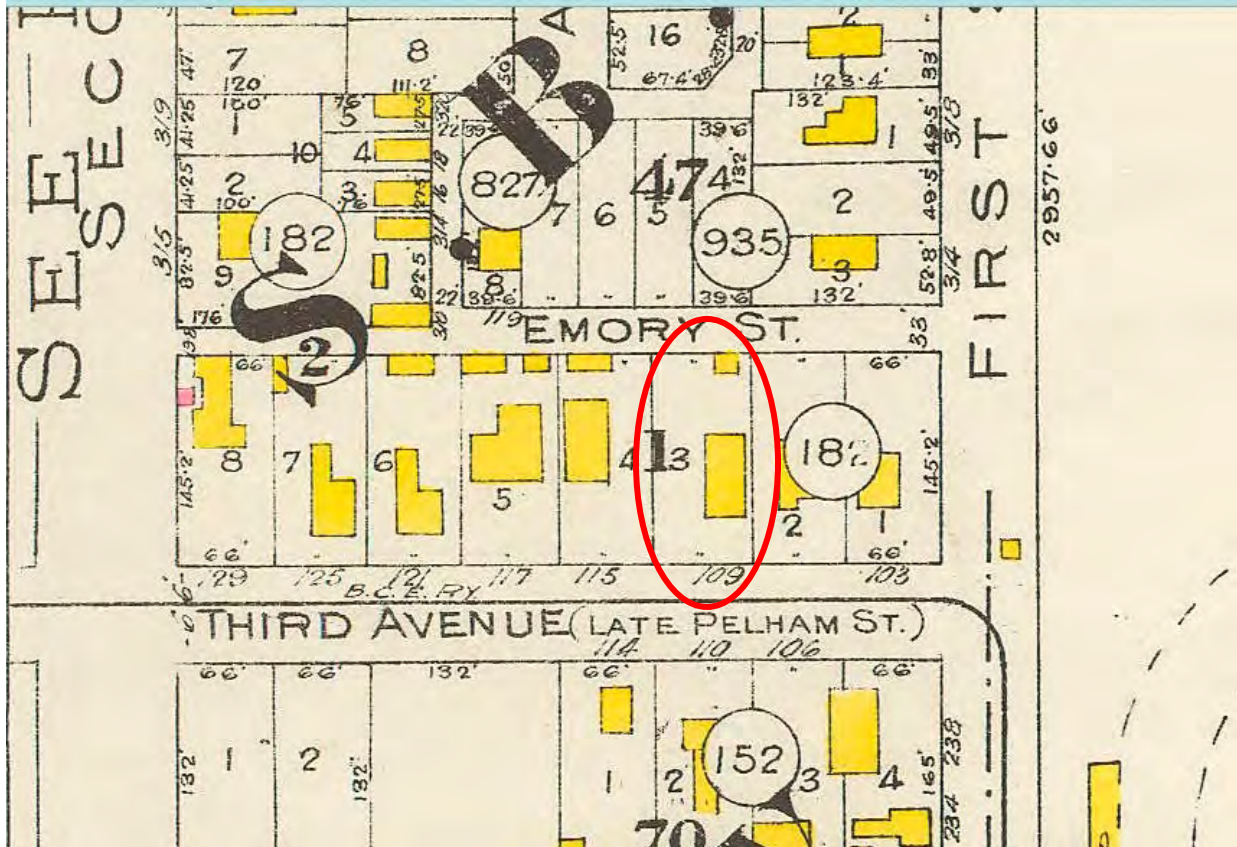
Spiritual value is ascribed to places with religious or spiritual meanings for a community or a group of people. Sacred and spiritual places could include places of mythological significance, landscape features associated with myth and legends, burial sites, rock cairns and alignments, fasting/vision quest sites etc., places representing particular belief system(s) or places associated with sacred traditions, ceremonial practices or rituals of a community/group of people.<sup>19</sup>

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<sup>19</sup> Historic Places Program Branch, “Canadian Register of Historic Places: Writing Statements of Significance,” Parks Canada, November 2006, pp. 12-13.



## Appendix D: Background Information



Close-up of Goad's Atlas of the City of New Westminster, 1913. Plate 121  
Subject property outlined in red.









## MR. G. R. SPECK'S HOUSE.

Saturday, Sept. 9.

G. R. Speck has moved into his new home on Third avenue, near the Third avenue entrance to the exhibition grounds. The house has a southern aspect, faces across Columbian College campus, and sits well back from the street. The architect, Mr. E. J. Boughen, has designed a house of very attractive exterior and equally desirable interior. The owner is well pleased and those who have had the pleasure of going through the building are delighted with the comfort, convenience and elegance which has been obtained. The house measures 30x40 and embraces eight rooms, and cost complete \$7,000.

The house is pannelled in fir. In the dining room and parlors the fir is inlaid with white maple, white plaster above the panelling adds much to the general effect. The rooms are very attractively laid out and are connected by means of sliding doors between the parlors, a sliding door between the two best rooms has been made very ornate by means of a landscape of very attractive character which has been worked out in glass.

The plumbing system is complete in every particular and for the heating, Mr. Speck has installed a new system of which he is the agent and which is said to be of a very economical and desirable character. The building has been neatly painted in dark brown with light trimmings. The shingles are stained natural color.

Mr. Speck proposes fixing up the grounds in front of the house in keeping with the district in which the house is located.

Article in the Daily Columbian,  
September 9 or 19, 1911.

Publication information  
unsubstantiated.

in the cause in all campaigns and at all elections but never seeking office for himself. He has made an excellent professional record, is interested and active in matters of public moment and, above all, a courteous and upright gentleman, combining in his character all of the qualities of a desirable and useful citizen.

#### GEORGE R. SPECK.

There is much that is creditable in the life record of George R. Speck, who is one of the foremost business men of New Westminster, British Columbia, for at the age of ten years he was not only thrown practically upon his own resources but became the main support of his widowed mother, being the breadwinner of the family by giving at that tender age all of his time to the operation of the home farm, his father having previously died. He is a self-made man in the truest and most flattering sense of the word and that he has attained success in business must largely be accredited to the fact that he has always made it his motto to give his whole attention to the nearest duty at hand and strictly and everlastingly pursued his efforts in the attainment of the goal.

Born in Grey county, Ontario, February 2, 1877, Mr. Speck is a son of William and Mary (Milson) Speck, natives of Yorkshire, England. The father came to Canada as a young man, while the mother was brought to this country by her parents. Both families settled in Grey county, Ontario, where the father and mother subsequently married and continued their residence. The mother is still living in Grey county but the father passed away in 1887.

George R. Speck was reared under the parental roof and early grounded in the old-fashioned virtues of honesty and industry. When he was ten years of age, however, heavy responsibilities descended upon his shoulders, his father dying at that period, and he became at that early age the mainstay of his widowed mother and the family. Soon after his father's demise he took charge of the operation of the farm, subsequently taking over the whole management of the place and continuing in the operation and cultivation of the homestead until 1904, which year marks his removal to British Columbia. Locating in New Westminster, he accepted a position with his brother Alexander, who was there engaged in the mercantile business, remaining in that connection for two and one-half years. Not content, however, to remain in a dependent position, he in 1906 set out for himself and established himself independently although he had a capital of but one hundred and twenty dollars. The confidence reposed in him by others, however, enabled him to borrow four hundred dollars and he then purchased of Thomas Mobray a bicycle business for twenty-eight hundred dollars, paying five hundred dollars down as the first cash payment. The shrewdness of his judgment and his ability and industry, however, won the day and within the short period of fourteen months he had paid for his business in full and had returned the four hundred dollars which he had borrowed. He has since added a full and complete line of sporting goods and by giving his whole attention to his affairs has built up an extensive and profitable enterprise. His is one of the leading concerns of the kind in New Westminster, which is steadily increasing in representative patronage. His success is the more creditable to him as it can be ascribed to no advantageous circumstances but is due only to his own indefatigable efforts.

In October, 1899, Mr. Speck was united in marriage to Miss Ethel Hewitt, of Grey county, Ontario, and to this union were born two children, Stanley Lloyd and Nola Blanche. The family reside in a handsome home at No. 109 Third avenue, in New Westminster, which is the property of Mr. Speck. A public-spirited and progressive man, he takes an active interest in all measures and movements undertaken to benefit the city or to promulgate its commercial expansion, although he has never cared to accept public positions. He gives his support to the conservative party, the platform and principles of which appeal to

*George Rodger Speck. Photo from the Scholefield Biography, p. 363. Courtesy of University of British Columbia. Library. Rare Books and Special Collections. FC3811 .S364 1914, p. 362. See next page for concluding sentences.*



him as the best form of government for the majority. Fraternally he is a member of Amity Lodge, No. 27, I. O. O. F.; of Westminster Lodge, No. 630, C. O. F.; and Westminster Lodge, No. 6380, L. O. O. M. The career of Mr. Speck should be an inspiration to others for it is proof of the fact that opportunity waits for all who know how to embrace her and that success is but ambition's answer.

#### ARTHUR JULIUS BIRD.

Arthur Julius Bird, an architect actively engaged in practice in Vancouver, was born in Bradford, Yorkshire, England, July 25, 1875, a son of Charles Bird, B. A., F. G. S., and Margaret Wrightson Bird. The father, a graduate of the London University, with the degree of Bachelor of Arts, has long been recognized as an English educator of prominence and was a former head master of Sir Joseph Williamson's school at Rochester, England. He was an authority on geology, the author of a number of geological works, and was a fellow of the Geological Society of England.

Arthur Julius Bird pursued his education in Sir Joseph Williamson's school at Rochester and in 1892 was articled to Edward Burgess, a prominent architect of London, England, serving until 1896, when he became assistant to Mr. Burgess and so continued until 1903. In that year he became assistant to J. A. Gotch, F. R. I., B. A., and as such remained until 1906, when he entered upon an independent practice at Rochester and was thus engaged until 1907, the year of his arrival in British Columbia. He settled at Vancouver, opened an office and entered upon the practice of his profession, in which he has continued to the present time. He has been eminently successful, gaining a large clientage, and something of the nature of his business is indicated in the fact that among other buildings designed by him is Blenheim Court, Washington Mansions, Trafalgar Mansions, the Lotus Hotel and others.

On the 20th of December, 1906, Mr. Bird was united in marriage to Miss Alice Edith Wills, of Kettering, Northamptonshire. In politics he is independent, nor does he take active part in political work. He holds membership in the Press Club and the Vancouver Automobile Club, and has pleasant association with representatives of his chosen profession through his membership in the British Columbia Society of Architects. At all times prompted by a laudable ambition, he has so developed his native powers and talents through continuous study and experience that he is now occupying an enviable position among the architects of Vancouver.

#### KILBURN K. REID.

Kilburn K. Reid, who since September, 1910, has held the position of accountant with the firm of H. A. Belyea & Company of New Westminster, was born in Centreville, New Brunswick, on the 18th of May, 1887. His parents were George and Elizabeth (Starrett) Reid, both natives of Williamstown, New Brunswick. The father, who successfully followed general agricultural pursuits throughout his active business career, is now living retired at Centreville, New Brunswick. The mother is deceased, having there passed away on the 18th of August, 1912, at the age of sixty-two years.

Kilburn K. Reid was reared under the parental roof and in the acquirement of an education attended the public schools of Centreville and Mount Allison Academy at Sackville, New Brunswick. After putting aside his text-books he was offered and accepted a position as accountant with D. Fraser & Sons, lumber manufacturers of Plaster Rock, New Brunswick, remaining with that firm for about three and a half years, when he resigned. In December, 1909, he came

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*George Rodger Speck. Photo from the Scholefield Biography, p. 363. Courtesy of University of British Columbia. Library. Rare Books and Special Collections. FC3811 .S364 1914, p. 365.*

**PROVINCE OF BRITISH COLUMBIA**  
**PROVINCIAL BOARD OF HEALTH—DIVISION OF VITAL STATISTICS**  
**REGISTRATION OF DEATH**

Reg. No. (Office use only)  
**006406**

**1. PLACE OF DEATH**  
 Name of city or place New Westminster Name of Municipality (if any) \_\_\_\_\_  
 Street or road Royal Columbian Hospital House No. \_\_\_\_\_  
 (If death occurred in a hospital or institution, give the name instead of street and number)

**2. LENGTH OF STAY**  
 In Municipality where death occurred In Province In Canada (if immigrant)  
 (in years, months and days) 44 yrs. 44 yrs. Life

**3. PRINT FULL NAME OF DECEASED** SPECK, GEORGE RODGER  
 (Surname or last name) (Given or Christian names)

**4. PERMANENT RESIDENCE OF DECEASED:**  
 Name of city or place New Westminster Name of Municipality (if any) \_\_\_\_\_  
 Street or road Third Street House No. 324

**5. SEX** Male **6. CITIZENSHIP** Canadian **7. RACIAL ORIGIN** England **8. Single, Married, Widowed or Divorced** Widowed **9. BIRTHPLACE (Province or Country)** Walters Falls, Ontario

**10. Date of Birth** February 2nd, 1877 **11. AGE** 71 Years 4 Months 20 Days If less than one day  
 (Month by name) (Day) (Year) hrs. or min.

**12. (a) Trade, profession or kind of work as spinner, grader, clerk, etc.** Gun & Locksmith  
**(b) Kind of industry or business, as paper mill, lumber, bank, etc.** Proprietor  
 (If labourer specify kind of work above)

**13. Date deceased last worked at this occupation** May 22/48 **14. Total years spent in this occupation** Life

**15. If married, widowed or divorced give name of husband or maiden name of wife of deceased** Ethel Amelia Hewitt

**16. Name of father** Speck, John William  
 (Surname or last name) (Given or Christian names)

**17. Maiden name of mother** Milson, Mary  
 (Surname or last name) (Given or Christian names)

**18. Birthplace** England **19. Birthplace** England  
 (Province or Country) (Province or Country)

**19. I certify the foregoing to be true and correct to the best of my knowledge and belief.**  
 Given under my hand at New Westminster this 22 day of June 1948  
 Signature of informant Mrs. B. Jones Relationship to deceased Daughter  
 Address 530 Richmond St., New Westminster, B. C.

**20. Burial, Cremation or Removal** Burial Date June 24th 1948  
 (Month by name) (Day) (Year)

Place of Burial New Westminster Cemetery Fraser  
 (Municipality)

**21. Undertaker:** S. BOWELL & SONS Address New Westminster, B. C.  
 Name

**22. Marginal Notations (Office use only)**

**MEDICAL CERTIFICATE OF DEATH**

**23. DATE OF DEATH** June 22nd 1948  
 (Month by name) (Day) (Year)

**24. I HEREBY CERTIFY that I attended deceased from** November 6th 1945  
 to June 22nd 1948, and last saw him alive on June 22nd 1948

**I. CAUSE OF DEATH**

Immediate cause	DURATION		
	Yrs.	Mos.	Dys.
(a) <u>Coronary Sclerosis</u>			
(b) <u>Myocardial infarction</u>			
(c) <u>Acute Cholelithiasis</u>			
Morbid conditions, if any, giving rise to immediate cause (stated in order proceeding backwards from immediate cause).			
(d) <u>Chronic Nephritis</u>			
(e) <u>Hypertension</u>			
Other morbid conditions (if important) contributing to death but not causally related to immediate cause.			

**25. If a woman, was the death associated with pregnancy?**

**26. Was there a surgical operation?** Yes Date of operation June 2nd 1948  
 State findings Hypertension of Prostate Was there an autopsy? Yes

**27. If death was due to external causes (violence) fill in also the following:**  
 Accident, suicide or homicide? \_\_\_\_\_ Date of injury \_\_\_\_\_ 19\_\_\_\_  
 Manner of injury \_\_\_\_\_ (State which) \_\_\_\_\_  
 Nature of injury \_\_\_\_\_ (How sustained) \_\_\_\_\_  
 Specify whether injury occurred in industry, in home or in public place \_\_\_\_\_

Signed by George Rodger Speck Designation M.D. M.D., Coroner, etc.  
 Address 715 Columbia St., New Westminster, B.C. Date June 23rd 1948  
New Westminster  
Deputy (District Registrar)

**28. I hereby certify that the above return was made to me at** New Westminster  
 Dated June 25th 1948  
 District Registration No. 715

George Rodger Speck Death Certificate 1948

MARGIN RESERVED FOR BINDING. WRITE PLAINLY, WITH UNFADING INK. THIS IS A PERMANENT RECORD.

CITIZENSHIP (NATIONALITY) is defined in terms of the country to which the person owes allegiance. The term "Canadian" should be used as descriptive of a person who was born in Canada or who has rights of Citizenship in Canada, unless he or she has subsequently become the citizen of another country.

RACIAL ORIGIN is defined in terms of the people or race to which the person—traced through the father—belongs, whether English, Irish, Scottish, French, German, Russian, Ukrainian, etc. The terms "Canadian" or "American" should not be used for RACIAL ORIGIN, as they express CITIZENSHIP (NATIONALITY).

In case of stillbirth consult reverse side before making out certificate.





House located in Alameda, California. Source: *The Bungalow: America's Arts & Crafts Home* by Paul Duchscherer and Douglas Keister, p. 78. Decorative brackets similar to subject house outlined in red.



House located in San Leandro, California. Source: *The Bungalow: America's Arts & Crafts Home* by Paul Duchscherer and Douglas Keister, p. 134. Decorative bracket similar to subject house outlined in red.

**Voluntary Designation Application for 109 Third Avenue House Built for George R. and Ethel A. Speck in 1911**

**Style: Late Edwardian with Arts and Crafts Influences and Anglo Japanese Detailing on the Exterior**

We would like to voluntarily designate the exterior, the 22 leaded stained glass and 3 wood mullioned windows, as well as the interior woodwork in the front hall and living and dining rooms of the house at 109 Third Avenue. We believe it is a “one of a kind” designed home that has unique interior and exterior characteristics, many of which were handmade when it was built in 1911. The exceptional craftsmanship of the era includes the fir board and baton panelling in the front hall and stairway, the dining room coffered ceiling, plate rail and mantel, the white maple inlaid fir baseboards, door and window casings and the leaded stained glass windows. The exterior details reflect the Japanese influence which had a small window of popularity at the time this house was built but was rarely incorporated into homes in this area.

This 1911 house was designed by Edmund John (E.J.) Boughen for George R. Speck and his wife Ethel. Since Boughen had just arrived in New Westminster in the same year, this may have been one of the first houses he designed in New Westminster. In the original announcement about the construction of the house the cost was estimated to be \$5000.00, however, the final cost was much closer to \$7000.00. The Speck house was built at the end of the Edwardian era and architecturally it reflects the transition into the Arts and Crafts style with its big, square columns and solid hand rails on the exterior. There are also definite Anglo-Japanese influences in its design which are most noticeable in the detailing of the “bottle opener” brackets that surround the first floor under the soffits and on the front and back porches and the balcony. The house has a steep pitched main roof and several lesser roofs which are slightly turned up alluding loosely to the look of a Japanese pagoda. These characteristics make it a very unique design not only for New Westminster but Lower Mainland as well. The original roof design also had an upturned flair about midway between the peak of the roof and gutter line which can be seen in the original photo of the house, if you look closely. Unfortunately this detail has been lost over the years due to numerous reroofings. The foundation and front wall were “parged” and scored in black to look like they were made of blocks.

Apparently one of E. J. Boughen’s trademark design features was the use of stained glass. This home has 22 leaded stained glass windows including one in the attic gable on the east side of the house. It is believed that all of the leaded stained glass windows were purchased from catalogues readily available and very popular during the early 1900s. When Speck and his family moved into the house an article in the local paper (included in this application) described the house as conveying “comfort, convenience and elegance to all whom had had the pleasure of going through the building”.

Speck owned a hardware and bicycle store and had recently become the agent for a line of decorative radiators which were showcased in the house. The same newspaper article states that the “plumbing system is complete in every particular and for the heating “. (sic)

All the baseboards, window and door trims throughout the house are made of fir and have an elongated radius curve on one edge. The door and window casings and baseboards in the large principal rooms on

*Information provided by the current owners in August 2022, continued next page.  
Note that no sources are provided and therefore some of the information is unsubstantiated and should be considered anecdotal.*



the main floor are inlaid white maple. Thankfully the woodwork has never been painted, however, at some point all of the wood trim was revarnished which resulted in reducing the original contrast intended between the two woods. Fortunately it is still visible, albeit not as strikingly an accent as was originally intended. The pocket doors between the dining room and the living room each have a complementary landscape leaded stained glass panel. There are also leaded stained glass pictorial panels dividing the front hall and living room.

The wood floors on both levels are original. The main level has oak floors with a contrasting inlay border in the principal rooms; front hall, living room and dining room. The second floor has fir floors. Unfortunately there is no original period lighting in the house. However, the current lighting is of the same era of the house and reflects what would have been appropriate for a home of this grandeur. Many of these fixtures can be found in the original lighting catalogues of the times.

The trio of Glasgow Rose leaded stained glass windows in the dining room bay are eye-catching to say the least. The sunrise picture window and the leaded stained glass transom front window in the living room are examples of the exceptional quality of the craftsmanship of the leaded stained glass art available in catalogues at the time.

The second floor has a bathroom and 4 bedrooms off a central hall. Each bedroom has a leaded stained glass dropped lily panel in the upper sash. The two front bedrooms share access to the second floor front balcony with each room having its own half glass wood panelled door with the original screen doors. This feature allows for air flow during hot summer weather. There is an oval "Olympic Torch" leaded stained glass window centred between these doors.

The third floor attic is almost 16 feet wide with a high ceiling and runs the length of the house. In the front third floor gable there are two 15 light wood mullioned casement windows with brass window stays. In the rear gable there is a triangular mullioned window that mimics the starburst bargeboard pattern of the 3 exterior gables facing north, south and east.

The unfinished basement has a ceiling height close to 8 feet with cement and rock foundation walls.

#### Additional Notes:

Mrs. Perrone Guichon, the widow of Laurent Guichon, bought the house in November of 1921 and lived here briefly with 4 of her 8 children until her unexpected death in April 1922. Mr. Laurent Guichon came to Canada in 1861 from France and apparently after arriving in British Columbia, headed up the Fraser in search of gold during the Gold Rush. He struck gold and when he returned to New Westminster bought a large tract of land in north Delta and founded Port Guichon. Guichon was a successful businessman and also built a hotel at the corner of 4<sup>th</sup> Street and Columbia but it was destroyed in the Great Fire of 1898. After the fire he built the Guichon Building at the same site which still exists today.

Dr. Fenwick Kirkpatrick and his wife Marjorie lived and raised their family here from 1958 until 2014. They lived in the house longer than any of its owners.

*Information provided by the current owners in August 2022, continued from previous page. Note that no sources are provided and therefore some of the information is unsubstantiated and should be considered anecdotal.*

## Appendix E: Bibliography and Sources

Biographical Dictionary of Architects in Canada 1800 – 1950

<http://dictionaryofarchitectsincanada.org/>

British Columbia Archives – Genealogical Search

<https://search-collections.royalbcmuseum.bc.ca/Genealogy>

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[www.historicplaces.ca](http://www.historicplaces.ca)

Vancouver Heritage Foundation Website

[www.vancouverheritagefoundation.org/discover-heritage/vancouver-house-styles-hub/](http://www.vancouverheritagefoundation.org/discover-heritage/vancouver-house-styles-hub/)

# **REPORT**

## ***Climate Action, Planning, and Development***

**To:** Community Heritage Commission      **Date:** December 7, 2022

**From:** Kathleen Stevens,  
Heritage Planning Analyst      **File:** HER00784/ HER00785/  
HER00786

**Item #:** 2022-732

**Subject:** Heritage Revitalization Agreement Application: 441 Fader Street

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### **PURPOSE**

To review the application's heritage elements and provide a recommendation to Council.

### **PROJECT SUMMARY**

An application has been received for a Heritage Revitalization Agreement (HRA) at 441 Fader Street, a corner property in the Sapperton neighbourhood. Through stratification, the project would retain a 1930 heritage house and construct a new infill house with a rental secondary suite, fronting Major Street. As part of the HRA, the existing 1930 house would be retained in its current location, legally protected with a Heritage Designation Bylaw, and listed on the City's Heritage Register.

Stratification and higher density are the primary Zoning Bylaw relaxations proposed through the HRA. The heritage house would have a density of 0.28 floor space ratio (FSR) and the infill house 0.39 FSR. The project's combined total density would be 0.67 which would result in 268 sq. ft. (24.9 sq. m.) more than permitted by the site's current zoning.

Some additional relaxations are required, including the rear setback for the infill house, and to allow compact parking spaces, one for each unit with access from the rear lane. Additionally, the existing lot size (5,106.3 sq. ft./474.4 sq. m.), which is below the minimum required in the zone, would be regularized with this application.



## **GUIDING POLICY AND REGULATIONS**

### **Official Community Plan (OCP) Land Use Designation**

The Official Community Plan (OCP) sets out the City's anticipated land use for the future, for the purposes of guiding development applications. In the OCP, this property is designated Residential Detached and Semi-Detached Housing (RD). This designation envisions a mix of low density residential units including houses, duplexes, secondary suites, and laneway or carriage houses. The proposed application is consistent with the RD designation.

### **Projects with Heritage Assets**

The OCP encourages the use of Heritage Revitalization Agreements when a heritage asset on the site is appropriately incorporated into a development. Through this type of agreement, the OCP land use designation indicates that the development may be used to permit the housing forms listed in Residential – Ground oriented Infill Housing (RGO) designation. RGO is intended to allow a mix of ground oriented infill housing forms which are complementary to the existing neighbourhood character, and may include single detached dwellings, single detached dwellings on a compact lot, and other forms. The proposed application is consistent with this designation.

### **Zoning Bylaw**

The existing zoning for the site is RS-1 Single Detached Residential District. The intent of this district is to allow single detached dwellings with secondary suites and a laneway or carriage house. In this zone, the maximum floor space ratio (FSR) for principal houses is 0.5 and a laneway house up to 0.1 FSR would also be permitted. The proposed application would require relaxations to the Zoning Bylaw (as noted in the following sections of the report). As such, a Heritage Revitalization Agreement is proposed to permit the proposal.

### **Heritage Revitalization Agreement**

A Heritage Revitalization Agreement (HRA) is a negotiated agreement between the City and a property owner for the purposes of heritage conservation. In exchange for long-term legal protection through a Heritage Designation Bylaw and exterior restoration, certain zoning relaxations may be considered (as noted above). An HRA is not precedent setting, as each one is unique to a specific site. The *Policy for the Use of HRAs* lays out the process for HRAs and the relaxations which may be considered.

### **Heritage Related Design Guidelines**

Council endorsed *The Standards and Guidelines for the Conservation of Historic Places in Canada* in 2008 as a basis for assessing heritage projects within the city. These are national guidelines for best practice in heritage conservation and design. All HRA proposals are carefully evaluated using this document to ensure conservation work on

the exterior of the heritage building is in compliance. Additionally, the design of the adjacent new buildings are reviewed against the principles and guidelines in this document.

### **Heritage Designation Bylaw**

A heritage asset which is the subject of an HRA is also protected by a Heritage Designation Bylaw. This Bylaw is a regulation that places long-term legal protection on the land title of a property. Any changes to a protected heritage property must first receive approval from City Council (or its delegate, the Director of Climate Action, Planning and Development) through a Heritage Alteration Permit (HAP). Future development is no longer entitled, but could be permitted by Council with an HAP. HAP applications are also evaluated by staff against the Standards and Guidelines and the Heritage Conservation Area guidelines, where appropriate.

### **Heritage Register**

A heritage asset which is protected by a Heritage Designation Bylaw is also listed on the City's Heritage Register. The Heritage Register is an official list of properties identified by the City as having heritage value or heritage character. The City created a Heritage Register in 1994 and currently has over 200 properties listed, which include single family dwellings (the majority of listings), commercial buildings, parks, roads and a tree. A property, building or feature may only be added or removed from the Register by order of Council.

The Heritage Register is used to identify heritage assets in the city, both those that have been legally protected through Designation, and those that are not legally protected but have heritage merit. It is also a planning tool through which the City can work with property owners to identify opportunities for retaining buildings with heritage merit. Beyond the advantage to the community of protecting the city's heritage, property owners may also benefit directly from retaining a heritage building. For example, properties listed on a Heritage Register are eligible for special provisions in the BC Building Code and the Homeowner Protection Act.

## **BACKGROUND INFORMATION**

### **Site Characteristics and Context**

The subject property is 5,106.3 sq. ft. (474.4 sq. m.) in size. It is located in the Sapperton neighbourhood, an area of single-detached dwellings, on a corner lot with frontages on Fader Street and Major Street, both classified as local roads. A site context map and aerial image is provided in Attachment A.

## Project Description

The proposal is to retain the 1930 house and protect it through a Heritage Designation Bylaw in exchange for the construction of an infill house.

With the removal of an unsympathetic rear addition, the heritage house has a density of 0.277 FSR and is 1,414 sq. ft. (131.4 sq. m.). The new house would have a density of 0.386 FSR and be approximately 1,968.7 sq. ft. (182.9 sq. m.). The total site density would be 0.67 FSR. This is 0.06 FSR above the maximum permitted outright.

The heritage house would remain in its current location and setback. Due to the current undersized lane width (16.0 ft. / 4.9 m.), relaxations would be required to reduce the rear yard setback for the infill house and reduce the minimum parking space length, consistent with compact parking space length (15.0 ft. / 4.57 m.). Though not typically required, in order to support the use of the Crosstown and Central Valley Greenways along Fader Street, enclosed bike storage is being proposed, attached to the infill house. Project drawings are provided in Attachment B.

The proposal is consistent with the intent of the City's family-friendly policy and goals of providing more "missing middle" and rental housing forms (laneway/carriage houses, town/row houses, duplexes and triplexes).

## Proposed Relaxations

Under the City's *Policy for the Use of Heritage Revitalization Agreements*, and the OCP, regulatory land use (Zoning Bylaw) relaxations may be considered through an HRA. In this case, there are five relaxations proposed: a different arrangement, size, and ownership model of the units (stratification); regularization of existing site area, increased density; reduced parking space size; and a reduced setback for the infill house. A summary is provided in Tables 1 and 2 below and additional project statistics are available in Attachment C.

*Table 1: Summary of Proposed Density, Siting and Parking Relaxations*

Attributes	Zoning	Proposed	Relaxation	%
<b>Minimum Site Area</b>	6,000 sq. ft. (557.4 sq. m.)	5,106.3 sq. ft. (474.4 sq. m.)	No change	--
<b>Maximum Floor Space Ratio*</b>	0.61	0.67	0.06	9.8% larger
<b>Minimum Parking Space Length</b>	17.39 ft. (5.3 m.)	15.02 ft. (4.58 m.)	2.37 ft. (0.72 ft.)	14% smaller
<b>Rear Yard Setback (Infill House)</b>	22.6 ft. (6.9 m.)	21 ft. (6.4 m.)	1.6 ft. (0.5 m.)	7% smaller

\* includes 0.51 FSR for non-protected principal building, built to Step 3 of the Energy Step Code, and 0.1 for detached accessory dwelling unit built to Step 2 of the Energy Step Code.

Table 2: Unit Distribution

	Unit 1	Unit 2	Unit 3
<b>Current RS-1 zone</b>	Ownership house	Rental suite	Rental laneway house
<b>Proposal</b>	Ownership house	Rental suite	Ownership heritage house

The primary relaxations proposed are stratification and density. The remainder include siting for the new infill house and parking space size. These are considered minor and are proposed in order to meet the heritage best practice of keeping the heritage house in-situ in its current location and providing a 17 ft. (5.2 m.) distance between the two buildings. Additionally, the existing lot size, below the minimum required in the zone, would also be regularized.

## **ITEMS FOR DISCUSSION**

### **Heritage Value of the House**

As detailed in the prepared Statement of Significance for this house (Attachment D) the house is considered to have aesthetic, cultural, historic, scientific and social value. It was built in 1930 and has aesthetic value for its Cottage Style that includes a front gable, chamfered roof with decorative wood brackets, horizontal wood cladding with wood shingles in the gable end, enclosed front porch with matching gable roof, and the wood casings on the windows; as well as being representative of working-class dwellings and by being part of a streetscape that includes different types, scales and eras of houses.

It has cultural value for its association with first owners, the Anderson family, and long-term owners, the Robson family; as well as being part of the micro- and close-knit neighbourhood dubbed “the layman’s Queen’s Park” by local residents<sup>1</sup> and by being a representative component of an early working-class neighbourhood with its own special characteristics.

It has historic value for its age and location in Sapperton and for being on the site of the Old Sapperton Public School. The house has further historic value by being part of the Sapperton neighbourhood where “New Westminster began”<sup>2</sup> and for its proximity (one block away) to the 400 block of Wilson and Garret Streets, noted as being one of the oldest working-class neighbourhoods in the city<sup>3</sup>.

As well, it has some scientific value as it provides information that helps people understand and appreciate the era in which it was built, as well as the people and neighbourhood associated with it. Lastly, it has some social value for its connection to the community today and the way it contributes to the community’s sense of identity by providing architectural stability to the neighbourhood and by being a well-maintained historic building within a streetscape of older and historic single-family houses.

<sup>1</sup> McBride Sapperton Neighbourhood Context Statement, p. 4. Available at: [https://www.newwestcity.ca/database/files/library/4\\_McBride\\_Sapperton.pdf](https://www.newwestcity.ca/database/files/library/4_McBride_Sapperton.pdf)

<sup>2</sup> Ibid.

<sup>3</sup> Ibid, p. 6.



*Does the Statement of Significance provide an accurate representation of the heritage values of the building?*

*Is the heritage value of the house sufficient to warrant long term legal protection and heritage status through a Heritage Designation Bylaw?*

## Heritage Conservation Work

Although the house has had numerous unsympathetic interventions, it is very restorable with a high level of heritage value. Details are available in the Heritage Conservation Plan, which is included in full in this report in Attachment D. A summary of the retained and restored elements of the house is provided in Table 3.

*Table 3: Summary of Heritage Conservation Work*

Building Element	Action	Material
Location (prominence on corner)	Preserve	House is remaining in its current location
Foundation	Preserve	Concrete, full height
Form and Massing	Preserve/ Restore/ Rehabilitate	Retain two storey structure with front-facing medium-pitch gable roof, and projecting front porch. Remove rear addition added after 1955.
Wood Elements: fascia, decorative eave brackets, soffit material, and the hexagonal roof vent	Preserve/ Restore	Wood: retain original or replace in-kind, as required
Main body siding (front gable shingles, clapboard siding, corner boards)	Restore/ Rehabilitate	Remove faux stone cladding Wood: patching or replace in-kind, as required
Front porch	Restoration/ Rehabilitate	Remove mock wood dentils and Tudor stickwork. Wood: retain and repair original or replace in-kind, as required (gable roof, square posts, oval-lite screen door, front door frame, and tongue-and-groove wood ceiling); replace front steps and railing, respectful of the era and design of house.
Front door	Rehabilitate	Wood: replace with period-appropriate design
Windows	Rehabilitate	Remove vinyl window inserts. Wood and glass: replace with period-appropriate wood-frame windows
Window casing and trim	Rehabilitate	Wood: replace with period-appropriate design
Chimney	Preserve/ Rehabilitate	Bricks and concrete (repair deteriorating mortar where required)

Building Element	Action	Material
Exterior paint palette	Restore	Bute taupe tone body colour with ivory trim and black sash or original colour scheme, if can be determined.
Roofing material	Preserve/ Restore	Black or dark grey asphalt roof shingles

*Is the level of retention proposed appropriate for this project?*

*Are there exterior building elements not addressed which could or should be?*

*Is the Heritage Conservation Plan sufficiently comprehensive and detailed?*

### **Design Relationship with the Infill House**

The City's policies, including the *Standards and Guidelines*, strongly encourage developments which include a historic building to be respectful of the existing heritage assets. Respectful development does not necessarily mean the new building must be physically smaller than the heritage building, or that the site should not be developed, rather that the site or new building's design should consider the heritage building, and allow the heritage building to be the focus of the development. The guidelines identify that new building should not be overwhelming, or detracting from the historic features.

This project proposes a two storey infill house, 21.8 ft. (6.6 m.) high, with a compact 681 sq. ft. (63.3 sq. m.) footprint, located at the rear of the property. The infill house has been designed to reduce massing with the second floor built into the roof and the inclusion of a basement. The infill and heritage houses are proposed to be set apart 5.2 m. (17 ft.) to provide separation as well as an area for both private outdoor space and landscaping.

The new infill house features traditional design elements with its simple roofline: side gabled roof and two shed dormers, complementary to the heritage house, a street-oriented front porch as well as wood or wood veneer windows. It can be identified as a contemporary building through materiality: fibre-cement siding and its lack of ornamentation. Drawings of the proposed new house, and its exterior materials are provided in Attachment B.

*Are the massing, and siting elements of the development proposal compatible with and respectful of the heritage house?*

*Does the site plan or the design of the new infill house overwhelm the heritage house?*

### **FEEDBACK FROM THE COMMISSION**

The Community Heritage Commission is being asked to review the application and provide feedback in relation to the following elements:

- The heritage value of the 1930 house, and prepared Statement of Significance;
- The appropriateness and level of the planned heritage conservation work;
- The appropriateness of the planned interventions for the heritage house; and
- Any heritage implications related to the design of the site or infill house.

The Community Heritage Commission is also being asked to provide a recommendation to Council on this application, based on its heritage merits. The following options are offered for the Commission's consideration:

- 1) That the Community Heritage Commission recommend that Council support the Heritage Revitalization Agreement for 441 Fader Street and its inclusion on the City's Heritage Register; or
- 2) That the Community Heritage Commission recommend that Council does not support the Heritage Revitalization Agreement for 441 Fader Street or its inclusion on the City's Heritage Register; or
- 3) The Community Heritage Commission could also provide an alternative recommendation, stemming from elements identified in their discussion.

## **ATTACHMENTS**

Attachment A: Site Context Map

Attachment B: Proposed Project Drawings

Attachment C: Proposed Project Statistics and Relaxations

Attachment D: Heritage Conservation Plan and Statement of Significance

This report was prepared by: Kathleen Stevens, Heritage Planning Analyst

This report was reviewed by: Judith Mosley, Senior Heritage Planner  
Demian Rueter, Manager, Development Planning

Attachment A  
*Site Context Map*





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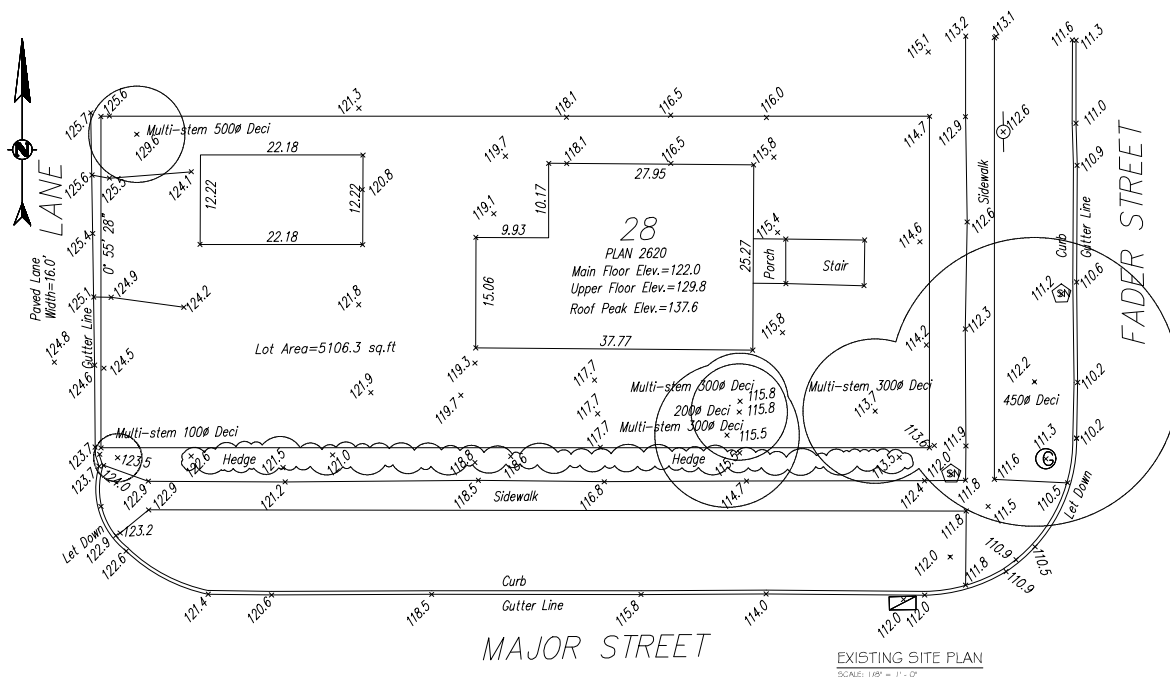
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CNW GIS Services

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

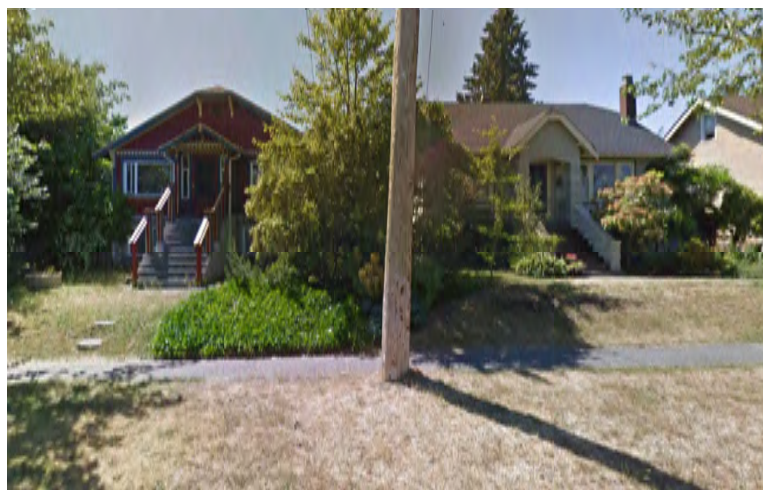
Attachment B

*Proposed Project Drawings*





EXISTING HOUSE FROM GOOGLE



EXISTING HOUSE FROM FADER STREET

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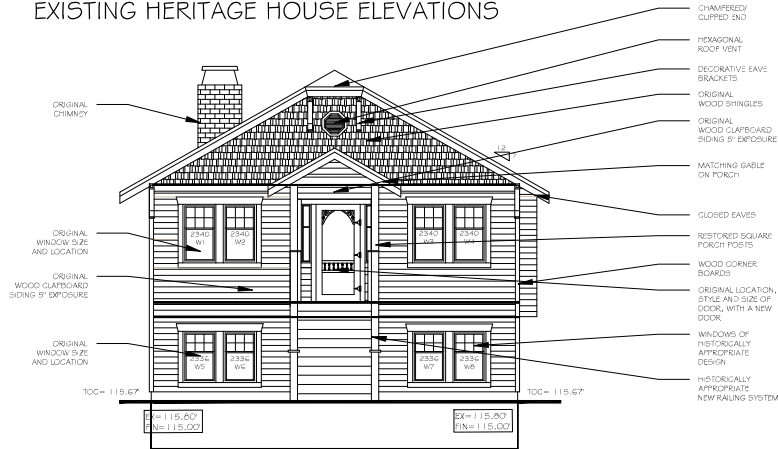
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## EXISTING HERITAGE HOUSE ELEVATIONS



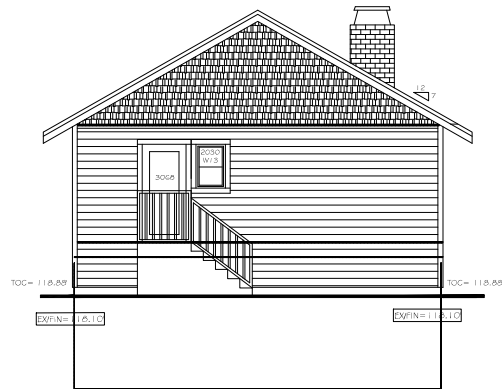
FRONT (EAST) ELEVATION

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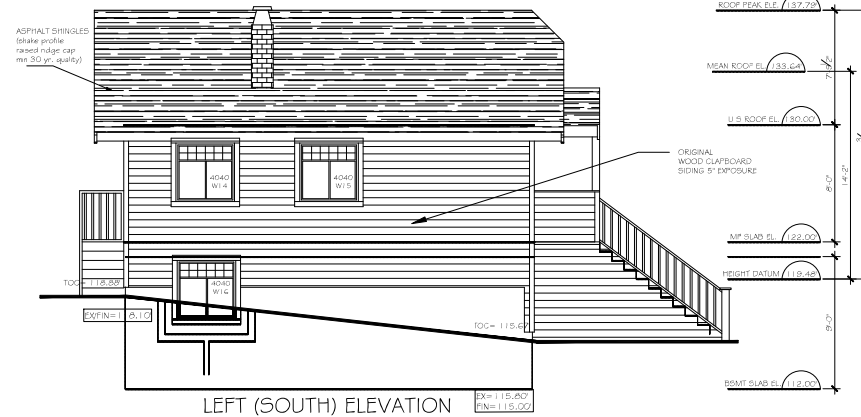
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REAR (WEST) ELEVATION

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LEFT (SOUTH) ELEVATION

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## HERITAGE HOUSE WINDOW SCHEDULE

WINDOW NUMBER	SIZE	MATERIAL	TYPE	RETAIN	REPAIR	REPLACE
#W1	2340	WOOD OR WOOD VENEER	SINGLE HUNG			
#W2	2340	WOOD OR WOOD VENEER	SINGLE HUNG			
#W3	2340	WOOD OR WOOD VENEER	SINGLE HUNG			
#W4	2340	WOOD OR WOOD VENEER	SINGLE HUNG			
#W5	2336	WOOD OR WOOD VENEER	SINGLE HUNG			
#W6	2336	WOOD OR WOOD VENEER	SINGLE HUNG			
#W7	2336	WOOD OR WOOD VENEER	SINGLE HUNG			
#W8	2336	WOOD OR WOOD VENEER	SINGLE HUNG			
#W9	3040	WOOD OR WOOD VENEER	SLIDER			
#W10	4040	WOOD OR WOOD VENEER	SLIDER			
#W11	2020	WOOD OR WOOD VENEER	CASEMENT			
#W12	2020	WOOD OR WOOD VENEER	CASEMENT			
#W13	2020	WOOD OR WOOD VENEER	DOUBLE HUNG			
#W14	4040	WOOD OR WOOD VENEER	SLIDER			
#W15	4040	WOOD OR WOOD VENEER	SLIDER			
#W16	4040	WOOD OR WOOD VENEER	SLIDER			

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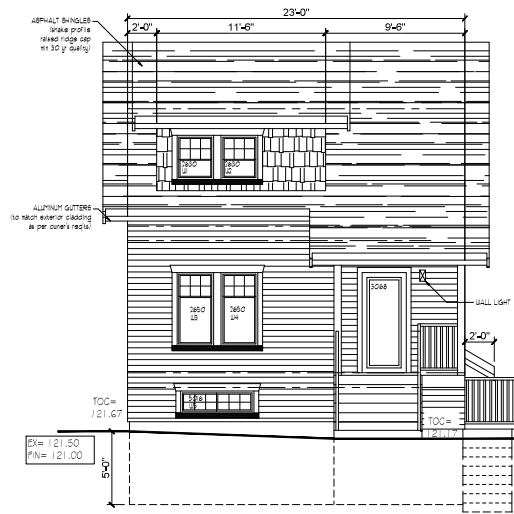
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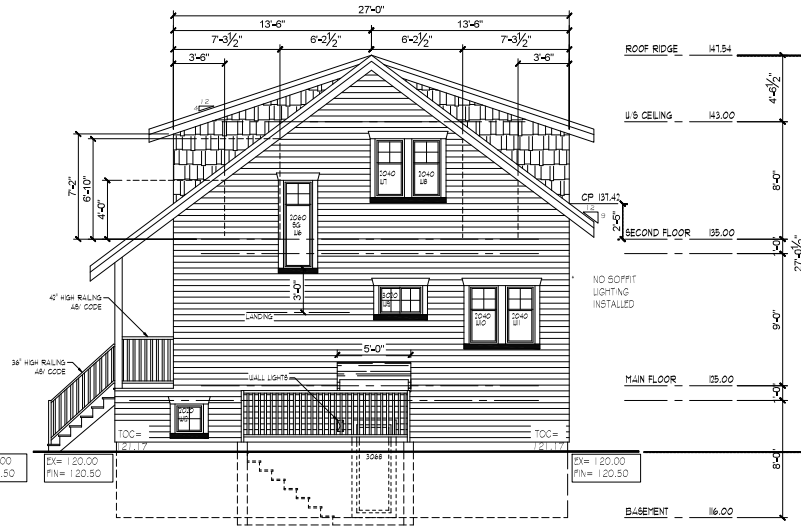
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## PROPOSED INFILL HOUSE ELEVATIONS

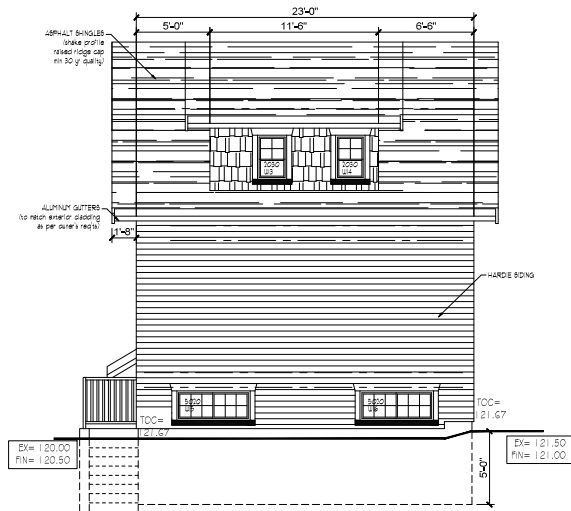


**FRONT (SOUTH) ELEVATION**  
FACING MAJOR STREET  
PROPOSED GLAZED OPENINGS: 67.50 SF



**RIGHT (EAST) ELEVATION**  
FACING FADER STREET

TOTAL WALL AREA: 605.00 SF  
LIMITING DISTANCE: 12.45'  
UNPROTECTED OPENINGS PERMITTED:  
( 75.02% GLAZING ) 156.42 SF  
UNPROTECTED OPENINGS PROPOSED: 74.00 SF



**REAR (NORTH) ELEVATION**

TOTAL WALL AREA: 424.00 SF  
LIMITING DISTANCE: 4.66'  
UNPROTECTED OPENINGS PERMITTED:  
( 7.78% GLAZING ) 32.98 SF  
UNPROTECTED OPENINGS PROPOSED: 32.00 SF



**LEFT (WEST) ELEVATION**  
FACING LANE

TOTAL WALL AREA: 605.00 SF  
LIMITING DISTANCE: 29.02'  
UNPROTECTED OPENINGS PERMITTED:  
( 100% GLAZING ) 605.00 SF  
UNPROTECTED OPENINGS PROPOSED: 64.00 SF

### INFILL HOUSE WINDOW SCHEDULE

WINDOW NUMBER	SIZE	MATERIAL	TYPE	PROPOSED
#W1	2630	WOOD OR WOOD VENEER	DOUBLE HUNG	
#W2	2630	WOOD OR WOOD VENEER	DOUBLE HUNG	
#W3	2630	WOOD OR WOOD VENEER	CASEMENT	
#W4	2630	WOOD OR WOOD VENEER	CASEMENT	
#W5	5016	WOOD OR WOOD VENEER	SLIDR	
#W6	2030	WOOD OR WOOD VENEER	FIXED	
#W7	2040	WOOD OR WOOD VENEER	DOUBLE HUNG	
#W8	2040	WOOD OR WOOD VENEER	DOUBLE HUNG	
#W9	3020	WOOD OR WOOD VENEER	SLIDR	
#W10	2040	WOOD OR WOOD VENEER	DOUBLE HUNG	
#W11	2040	WOOD OR WOOD VENEER	DOUBLE HUNG	
#W12	2020	WOOD OR WOOD VENEER	CASEMENT	
#W13	2030	WOOD OR WOOD VENEER	DOUBLE HUNG	
#W14	2030	WOOD OR WOOD VENEER	DOUBLE HUNG	
#W15	3020	WOOD OR WOOD VENEER	SLIDR	
#W16	5020	WOOD OR WOOD VENEER	SLIDR	
#W17	2040	WOOD OR WOOD VENEER	DOUBLE HUNG	
#W18	2030	WOOD OR WOOD VENEER	DOUBLE HUNG	
#W19	2630	WOOD OR WOOD VENEER	CASEMENT	
#W20	2630	WOOD OR WOOD VENEER	CASEMENT	
#W21	2630	WOOD OR WOOD VENEER	CASEMENT	
#W22	2630	WOOD OR WOOD VENEER	CASEMENT	

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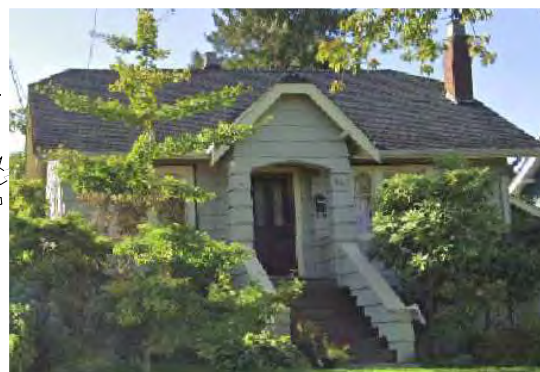
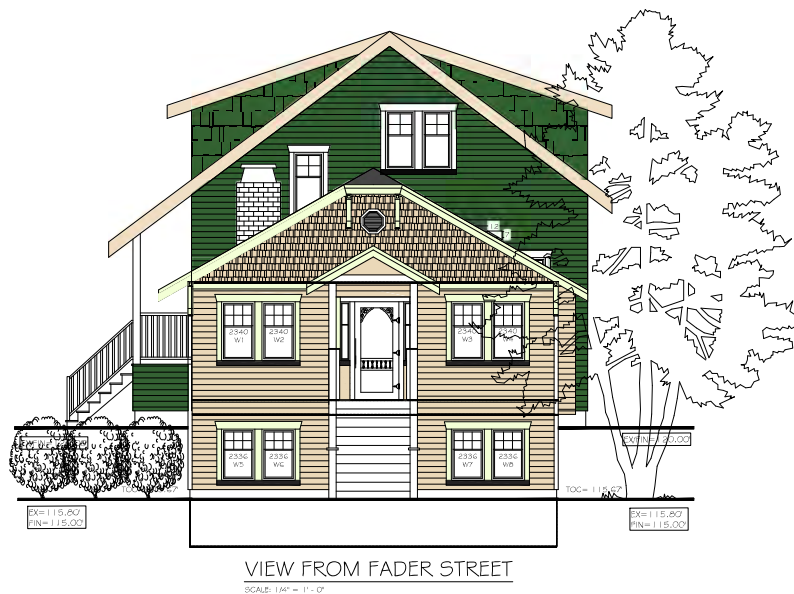
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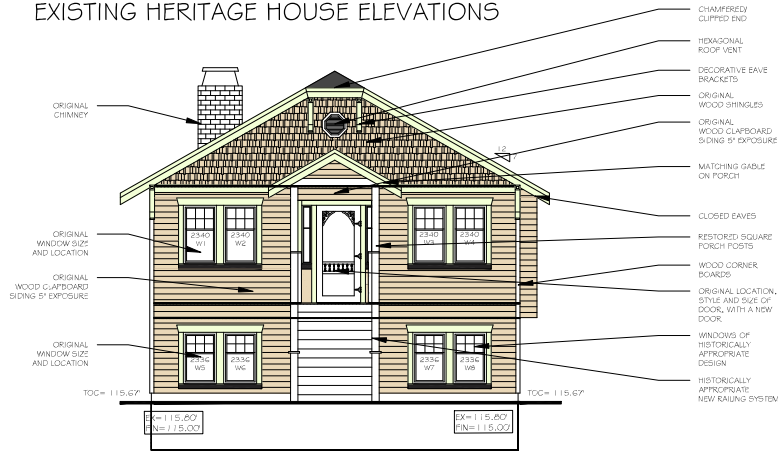
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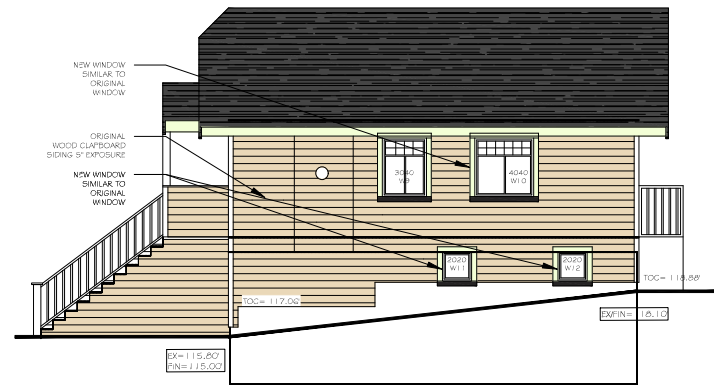
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## EXISTING HERITAGE HOUSE ELEVATIONS



FRONT (EAST) ELEVATION

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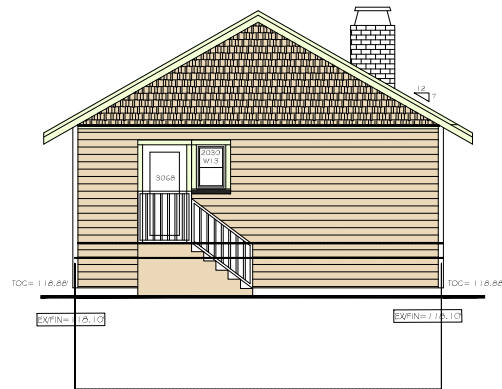


RIGHT (NORTH) ELEVATION

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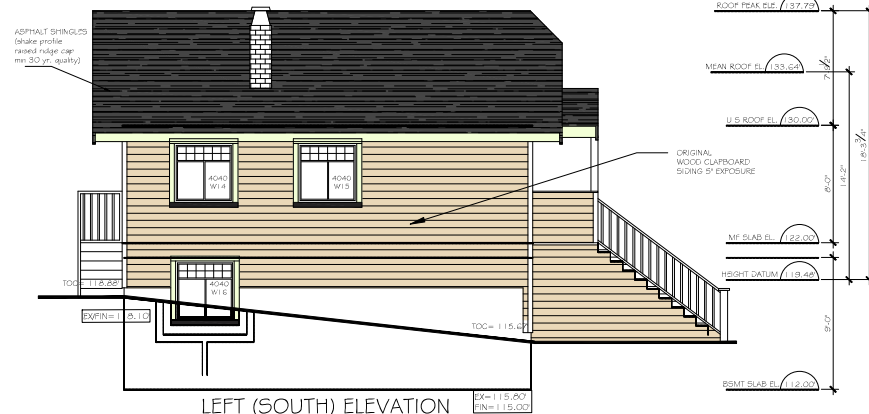
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- OXFORD IVORY (BENJAMIN MOORE VC-1)
- GLOSS BLACK (BENJAMIN MOORE VC-35)
- DARK GREY OR BLACK ASPHALT SHINGLES



REAR (WEST) ELEVATION

SCALE: 1/4\"/>



LEFT (SOUTH) ELEVATION

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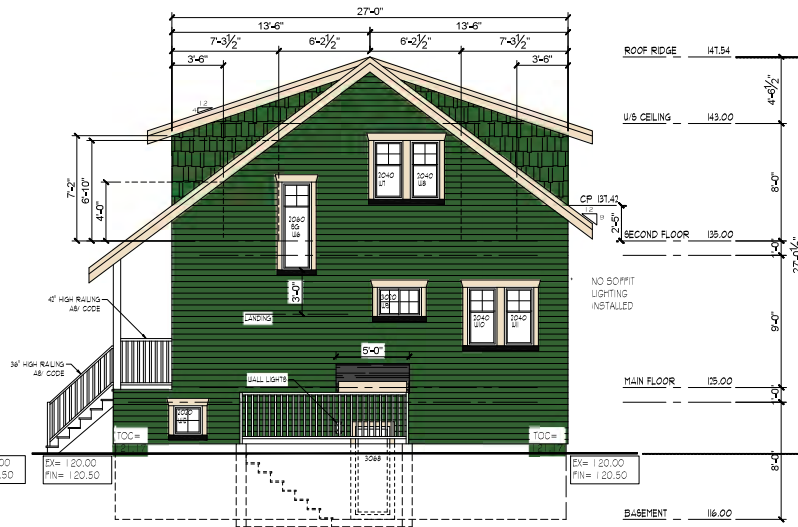
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# PROPOSED INFILL HOUSE ELEVATIONS

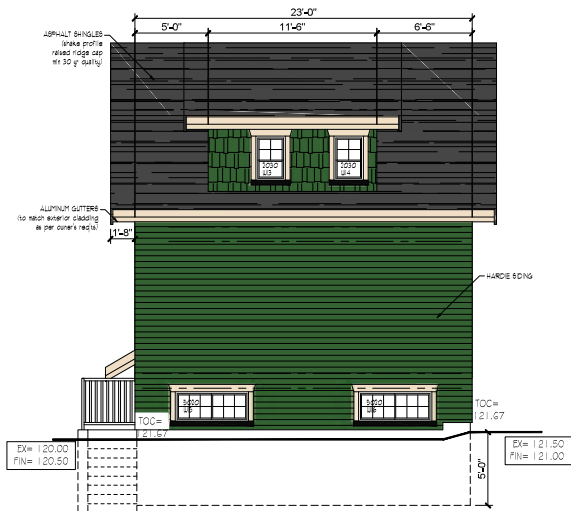


**FRONT (SOUTH) ELEVATION**  
FACING MAJOR STREET  
PROPOSED GLAZED OPENINGS: 61.50 SF



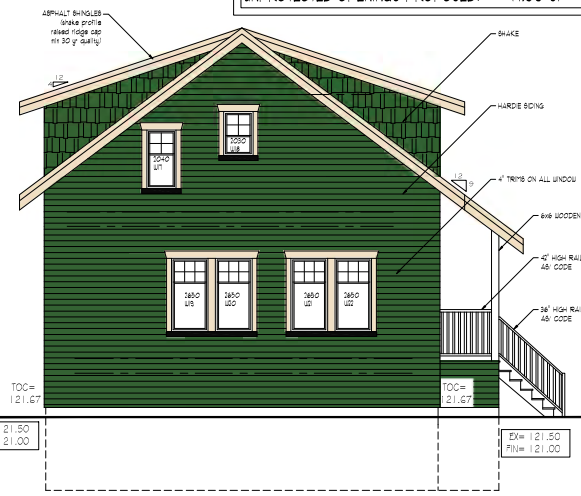
**RIGHT (EAST) ELEVATION**  
FACING FADER STREET

TOTAL WALL AREA:	605.00 SF
LIMITING DISTANCE:	12.45'
UNPROTECTED OPENINGS PERMITTED: ( 25.0% GLAZING )	156.42 SF
UNPROTECTED OPENINGS PROPOSED:	74.00 SF



**REAR (NORTH) ELEVATION**

TOTAL WALL AREA:	424.00 SF
LIMITING DISTANCE:	4.66'
UNPROTECTED OPENINGS PERMITTED: ( 1.18% GLAZING )	32.98 SF
UNPROTECTED OPENINGS PROPOSED:	32.00 SF



**LEFT (WEST) ELEVATION**  
FACING LANE

TOTAL WALL AREA:	605.00 SF
LIMITING DISTANCE:	29.02'
UNPROTECTED OPENINGS PERMITTED: ( 100% GLAZING )	605.00 SF
UNPROTECTED OPENINGS PROPOSED:	64.00 SF

## COLOUR SCHEME

- CONSENTINO CHARDONNAY (BENJAMIN MOORE)
- FOREST GREEN (BENJAMIN MOORE 2047-10)
- JET BLACK (BENJAMIN MOORE 2120-10)
- DARK GREY OR BLACK ASPHALT SHINGLES

PROPOSED HRA for HERITAGE HOUSE on 441 FADER ST. AND INFILL HOUSE on 247 MAJOR ST. FOR TOMAS MALAPITAN on CITY OF NEW WESTMINSTER, B.C.

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## Attachment C

### *Proposed Project Statistics and Relaxations*

## **ATTACHMENT C: PROPOSED PROJECT STATISTICS AND RELAXATIONS**

A summary of the proposed project statistics are outlined in Tables 4-6. Relaxations being sought through the HRA are highlighted in grey.

*Table 4: Summary of Overall Proposed Project Statistics*

<b>Attributes</b>	<b>RS-1 Zoning</b>	<b>Proposed</b>	<b>Relaxation</b>
<b>Maximum Number of Units</b>	3	3	--
<b>Number of Dwelling Units / Tenure</b>	One single detached dwelling (SDD) with a secondary suite and a detached accessory dwelling unit	Two stratified single detached dwellings (SDD) and one secondary suite	Two stratified single detached dwellings (SDD) and one secondary suite
<b>Minimum Site Area</b>	6,000 sq. ft. (557.4 sq. m.)	5,106.3 sq. ft. (474.4 sq. m.)	No change
<b>Lot Frontage</b>	--	45.2 ft. (13.8 m.)	--
<b>Lot Depth</b>	--	113 ft. (34.4 m.)	--
<b>Site Coverage</b>	35%	27.2%	
<b>Maximum Floor Space Ratio*</b>	0.61	0.662	0.05
<b>Maximum Floor Space</b>	3,114.8 sq. ft. (289.4 sq. m.)	3,382.7 sq. ft. (314.3 sq. m.)	267.9 sq. ft. (24.9 sq. m.)
<b>Minimum Off-Street Parking</b>	3 spaces	3 spaces	--
<b>Minimum Parking Space Setback from Property Line</b>	6 ft. (1.8 m.)	6 ft. (1.8 m.)	--
<b>Minimum Parking Space Width</b>	17.39 ft. (5.3 m.)	15.02 ft. (4.58 m.)	2.37 ft. (0.72 m.)

\* includes 0.51 FSR for non-protected principal building, built to Step 3 of the Energy Step Code, and 0.1 for detached accessory dwelling unit built to Step 2 of the Energy Step Code.

NOTE: grey rows indicate proposed variances, white rows meet City regulations.

Table 5: Proposed Project Statistics for 441 Fader Street (Heritage House)

Attributes	RS-1 Zoning	Proposed	Relaxation
Maximum Floor Space	2,553.2 sq. ft. (237.2 sq. m.)	1,414 sq. ft. (131.4 sq. m.)	--
Maximum Floor Space Ratio	0.50	0.28	--
Maximum Number of Units	2	1	--
Minimum Front Setback (east)*	19 ft. (5.8 m.)	24 ft. (7.3 m.)	--
Minimum Rear Setback (west)*	22.6 ft. (6.9 m.)	60.8 ft. (18.5 m.)	--
Minimum Left Side Setback (south)*	4.52 ft. (1.4 m.)	13.3 ft. (4.1 m.)	--
Minimum Right Side Setback (north)*	4.52 ft. (1.4 m.)	6.6 ft. (2.0 m.)	--
Maximum Height (Roof Peak)	35 ft. (10.7 m.)	18.4 ft. (5.6 m.)	--
Maximum Height (Midpoint)	25 ft. (7.6 m.)	14.2 ft. (4.3 m.)	--
Maximum Attached Accessory Area	10%	2.6%	--

\* existing setback

NOTE: grey rows indicate proposed variances, white rows meet City regulations.



Table 6: Summary of Proposed Project Statistics for 247 Major Street (Infill House)

Attributes	RS-1 Zoning	Proposed	Relaxation
Maximum Floor Space	510.6 sq. ft. (47.4 sq. m.)	1,968.7 sq. ft. (182.9 sq. m.)	1,458.1 sq. ft. (135.5 sq. m.)
Maximum Floor Space Ratio	0.1	0.386	0.286
Maximum Number of Units	1	2	1
Major Street Setback (south) <i>front</i>	4.52 ft. (1.4 m.)	12.54 ft. (3.8 m.)	--
Lane Setback (west) <i>rear</i>	22.6 ft. (6.9 m.)	21.0 ft. (6.4 m.)	1.6 ft. (0.5 m.)
Minimum Side Setback (north) <i>rear</i>	4.52 ft. (1.4 m.)	4.66 ft. (1.4 m.)	--
Minimum Side Setback (east) <i>Separation between buildings</i>	--	17.0 ft. (5.2 m.)	--
Maximum Height (Roof Peak)	35 ft. (10.7 m.)	28.1 ft. (8.6 m.)	
Maximum Height (Midpoint)	25 ft. (7.6 m.)	21.8 ft. (6.6 m.)	--

NOTE: grey rows indicate proposed variances, white rows meet City regulations.

## Attachment D

### *Heritage Conservation Plan and Statement of Significance*

**Heritage Conservation Plan  
441 Fader Street  
New Westminster, BC**



**December 2021  
(Updated May 2022)**

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## 1.0 Introduction

The subject building is located at 441 Fader Street in New Westminster, British Columbia. If approved by Council, a Heritage Revitalization Agreement would allow an infill house (with secondary suite) to be added to the rear of the property, along with some other variations to the Zoning Bylaw. The historic house would retain its current location and orientation and would be restored. It would be given long term legal protection through the Heritage Revitalization Agreement and through a Heritage Designation Bylaw.



## 2.0 Report Scope

The intent of this Heritage Conservation Plan is to provide guidance for the exterior restoration of the house in a way that responds respectfully to the “Standards and Guidelines for the Conservation of Historic Places in Canada”<sup>1</sup> (*Standards and Guidelines*). A detailed approach to the possible restoration, repair and/or replacement of each character defining element is provided, as well as a general maintenance schedule.

A Heritage Conservation Plan also includes a Statement of Significance (SOS), which describes why the building has heritage significance. An SOS is a values-based assessment that considers any aesthetic, cultural, historic, scientific, social and/or spiritual importance of a place. It also identifies the specific elements of the building (called character-defining elements) that should be retained in order for the heritage significance to remain. An SOS was written for this building in July 2020 by this author and has been included in this report.

Site visits were conducted in March and June of 2019 and again in July 2020. The building was visually assessed and photographed, and the general condition of the building and the overall project were discussed.

Photographs included in this report are by the report author unless otherwise indicated.

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<sup>1</sup> The *Standards and Guidelines for the Conservation of Historic Places in Canada* is a consistent, pan-Canadian set of conservation principles and guidelines that provides sound, practical guidance to achieve good conservation practice. *The Standards and Guidelines for the Conservation of Historic Places in Canada*, Second Edition, 2010 [www.historicplaces.ca](http://www.historicplaces.ca)

### 3.0 Definitions

The heritage conservation approach to an historic place first requires an understanding of why that place is important. As part of this understanding, there are some key definitions, taken from the *Standards and Guidelines*, that are helpful to know, and which are used in this report.

**Conservation:** all actions or processes that are aimed at safeguarding the character-defining elements of an historic place so as to retain its heritage value and extend its physical life. This may involve Preservation, Rehabilitation, Restoration, or a combination of these actions or processes.

**Preservation:** the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value.

**Rehabilitation:** the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

**Restoration:** the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

**Replication:** the action of copying exactly a particular element or building and replacing the original with it (this action is not defined in the *Standards and Guidelines* but is included here as this action may form part of the work carried out on this building).

**Historic Place:** a structure, building, group of buildings, district, landscape, archaeological site or other place in Canada that has been formally recognized for its heritage value.

**Heritage Conservation Plan:** a document that provides direction in the heritage conservation of a place, with guidance on specific elements of the place - often forms part of the legal documentation for a Heritage Revitalization Agreement.

**Statement of Significance:** a statement that describes the historic place and that identifies the heritage value and character-defining elements of the historic place.

**Character-defining Element:** the materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of an historic place, which must be retained to preserve its heritage value.

**Heritage Value:** the aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present and future generations. The heritage value of an historic place is embodied in its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings.

The following definitions of heritage value are quoted directly from the guide “Canadian Register of Historic Places: Writing Statements of Significance”.<sup>2</sup>

**Aesthetic** value refers to the sensory qualities of a historic place (seeing, hearing, touching, smelling and tasting) in the context of broader categories of design and tradition. A place may have aesthetic significance because it evokes a positive sensory response, or because it epitomizes a defined architectural style or landscape concept. Visual aesthetic value is typically expressed through form, colour, texture or materials. It is possible for historic places to have other aesthetic values as well, such as auditory ones. Historic places with aesthetic significance may reflect a particular style or period of construction or craftsmanship, or represent the work of a well-known architect, planner, engineer or builder.

**Historical and Cultural** values are sometimes combined and refer to the associations that a place has with past events and historical themes, as well as its capacity to evoke a way of life or a memory of the past. Historical or cultural value may lie in the age of a heritage district, its association with important events, activities, people or traditions; its role in the development of a community, region, province, territory or nation; or its patterns of use. Historical or cultural value can lie in natural or ecological features of the place, as well as in built features.

**Scientific** value refers to the capacity of a historic place to provide evidence that can advance our understanding and appreciation of a culture. The evidence is found in the form, materials, design and/or experience of the place. Scientific value can derive from various factors, such as age, quality, completeness, complexity or rarity. Scientific value may also be present when the place itself supplements other types of evidence such as written sources, as in archaeological sites.

**Social** value considers the meanings attached to a place by a community in the present time. It differs from historical or cultural value in that the value may not have an obvious basis in history or tradition and relates almost entirely to the present time. Social value may be ascribed to places that perform a key role within communities, support community activities or traditions, or contribute to the community’s sense of identity. Places with social value include sites that bring the community together and create a sense of shared identity and belonging.

**Spiritual** value is ascribed to places with religious or spiritual meanings for a community or a group of people. Sacred and spiritual places could include places of mythological significance, landscape features associated with myth and legends, burial sites, rock cairns and alignments, fasting/vision quest sites etc., places representing particular belief system(s) or places associated with sacred traditions, ceremonial practices or rituals of a community/group of people.

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<sup>2</sup> Historic Places Program Branch, “Canadian Register of Historic Places: Writing Statements of Significance,” Parks Canada, November 2006, pp. 12-13.

## 4.0 Location and Site Context

The subject property (identified on the map below with a red rectangle) is located in the Sapperton area of the McBride-Sapperton neighbourhood. It is situated on the north-west corner of Fader and Major Streets, two blocks east of East Columbia Street, one block north of the Royal Columbian Hospital and two blocks south of Hume Park, in a predominantly single-family residential neighbourhood. The setback of the house is in-line with neighbouring houses, and like them, the building sits forward on the lot, but is closer to the north lot line of the property. There is a garage behind the house, constructed in 1976, accessed from the rear lane.

The property is not protected with a Heritage Designation or any other heritage Bylaw, nor is it listed on the Heritage Inventory or Heritage Register.





## 5.0 Policy Context

### Official Community Plan and Zoning

#### Official Community Plan

The property is designated in the Official Community Plan as 'M-RD: Residential-Detached and Semi-Detached Housing'. The purpose of this designation is to "allow low density ground oriented residential uses including gentle infill which increases housing choice and retains existing neighbourhood character" on the mainland portion of the City.

The principal forms and uses are: "single detached dwellings and duplexes. Single detached dwellings may also include a secondary suite and/or a detached accessory dwelling unit (e.g. laneway house, carriage house)." Complementary uses include: "home based businesses, small scale local commercial uses (e.g. corner stores), small scale institutional uses (e.g. child care, care facilities, places of worship), utilities, transportation corridors, parks, open space, and community facilities."

The maximum density contemplated is low density residential. With the use of a Heritage Revitalization Agreement, or similar tool, "a property with heritage value may be eligible for incentives such as a smaller minimum lot size, an increase in density, or reduced parking requirements, which would make it viable to conserve assets with heritage merit.

A Heritage Revitalization Agreement may also be used to permit the housing forms listed in Residential – Ground oriented Infill Housing designation or to formalize an existing, larger scale land use such as a low rise or a place of worship".<sup>3</sup>

#### Zoning

The property is zoned Single Detached Residential District 1 (RS1), the intent of which is "to allow single detached dwellings, secondary suites, and laneway or carriage houses in residential neighbourhoods".<sup>4</sup>

For more information on either the Official Community Plan designation or the Zoning, please consult with the Planning Division at New Westminster City Hall.

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<sup>3</sup> New Westminster Official Community Plan, p.148

<sup>4</sup> [www.newwestcity.ca/zoning-bylaw](http://www.newwestcity.ca/zoning-bylaw). Section 310.

## 6.0 Statement of Significance

The following Statement of Significance was written by Schueck Heritage Consulting in July 2020.

### Description:

Designed in the Cottage Style, the house is a two-storey, wood-frame building with a chamfered (or clipped), medium-pitched front-facing gable roof, with medium overhanging and closed eaves. There is a prominent hexagonal roof vent and decorative wooden brackets on the front elevation. There is a small, enclosed front porch with a matching gable roof located centrally on the front elevation and accessed by straight steep steps. The front gable end is clad in wood shingles and the rest of the house is clad in horizontal wood clapboard siding, with the exception of the front elevation below the water board, which has been recently clad in a veneer of River Rock.

### Heritage Values:

Constructed in 1930, the house has heritage value primarily for its aesthetic, cultural and historic significance.

The house has aesthetic value for its Cottage Style that includes a front gable, chamfered roof with decorative wood brackets, horizontal wood cladding with wood shingles in the gable end, enclosed front porch with matching gable roof, and the wood casings on the windows.

The house has further aesthetic value as identified in the McBride-Sapperton Historic Neighbourhood Context Statement by being representative of working-class dwellings on an appealing street lined with cherry trees and with mature sequoia trees (at the end of the next block), and by being part of a streetscape that includes different types, scales and eras of houses.

There is cultural value for its association with first owners, the Anderson family, and long-term owners, the Robson family. David and Florence Anderson were the first residents of the subject property and lived there from 1931 - 1936. David (1901-1976) was born in Perth, Scotland to Peter and Jessie (nee Benvie) Anderson. He managed an institutional laundry service in New Westminster and married Florence May Gratton in New Westminster in 1929. John William Robson (1876 – 1958) was born in Northumberland, England to John William and Hannah (nee Iceton) Robson and came to New Westminster from England in 1910 at the age of 34. He was married to Jane Ann Robinson and for the last 15 years of his career, he was a Toll Collector for the Provincial Government Bridge. They lived in the house from 1937 to at least 1955.

The house has further cultural value as identified in the McBride-Sapperton Historic Neighbourhood Context Statement by being part of the micro- and close-knit neighbourhood dubbed “the layman’s

Queen's Park" by local residents<sup>5</sup> and by being a representative component of an early working-class neighbourhood with its own special characteristics.

The house has historic value for its age and location in Sapperton and for being on the site of the Old Sapperton Public School. The house has further historic value as identified in the McBride-Sapperton Historic Neighbourhood Context Statement by being part of the Sapperton neighbourhood where "New Westminster began"<sup>6</sup> and for its proximity (one block away) to the 400 block of Wilson and Garret Streets, noted as being one of the oldest working-class neighbourhoods in the city<sup>7</sup>.

There is some scientific value associated with the house as it provides information that helps people understand and appreciate the era in which it was built, as well as the people and neighbourhood associated with it. Restoration of the house would increase this value.

The house has some social value for its connection to the community today and the way it contributes to the community's sense of identity by providing architectural stability to the neighbourhood and by being a well-maintained historic building within a streetscape of older and historic single-family houses. Fader Street is a well-used community pathway, particularly for people walking their dogs or who work at the hospital, as it is a relatively flat and very pleasant street.

The McBride-Sapperton Historic Neighbourhood Context Statement identifies that the First Nations people used the nearby Brunette River and valley, but no information was found of sacred or spiritual value being associated with the subject house or property<sup>8</sup>.

## Character-defining Elements

Key elements that define the heritage character of the house include:

- Location on and orientation to Fader Street.
- The original form, scale and massing as expressed by its:
  - o Two storey height
  - o Gable roof, front facing with a medium pitch
- Its Cottage Style design and architectural elements such as the:
  - o Gable roof with chamfered ends
  - o Medium overhanging, closed eaves
  - o Decorative eave brackets
  - o Hexagonal roof vent in the front gable

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<sup>5</sup> McBride Sapperton Neighbourhood Context Statement, p. 4.

<sup>6</sup> Ibid.

<sup>7</sup> Ibid, p. 6.

<sup>8</sup> To determine if there is sacred and/or spiritual value as it relates to local Indigenous culture, consultation with the local First Nations people would be required.

- Front porch, centred on the house, with a gable roof that matches the main roof, square porch posts and stairs that lead directly to the front door from the walkway
- Original cladding, in particular:
  - Wood shingles in the front gable
  - Wood clapboard siding on the side elevations
  - Wood corner boards on the front elevation
- Location and fenestration pattern of window openings.



## 7.0 Photographs of the Building

All photographs are by the author unless otherwise indicated.



East (front) elevation



West (rear) elevation



North (side) elevation



South (side) elevation

## 8.0 Conservation Plan

### 8.1 Heritage Conservation Standards

The work on the historic house will ideally follow the “Standards and Guidelines for the Conservation of Historic Places in Canada” (*Standards and Guidelines*), developed by Parks Canada as a pan-Canadian approach to heritage conservation. A copy of this document can be found on-line at: [www.historicplaces.ca](http://www.historicplaces.ca).

There are three main approaches to heritage conservation which can be applied to the place as a whole and to its individual elements. These are defined in the *Standards and Guidelines* as follows, and while they have been defined above, are worth repeating:

**Preservation:** the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value.

**Restoration:** the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

**Rehabilitation:** the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

### 8.2 General Guidance

The *Standards and Guidelines* offer a list of 14 specific standards, as well as a series of general guidelines with regard to the preservation, rehabilitation and restoration of an historic building.

Standard 11 in the *Standards and Guidelines* is the most relevant to the overall project and states: “Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place”.

For this proposal, the heritage value and character-defining elements of the heritage house will be retained, and the exterior of the house will be restored to its original design and massing (through removal of a later rear addition) and be painted with an historically appropriate colour scheme. The addition of an infill house on the rear of the property, in order to give the property its highest and best use, would allow the heritage house to be retained, rather than demolished and replaced with a new house that would be built to achieve the maximum allowable density. As part of the approval process, the heritage house would be formally protected with a bylaw, ensuring its retention in the long-term.

The infill house would be both physically and visually compatible with the heritage house. The visual compatibility would be achieved mostly through its design, which is a contemporary interpretation of the Cottage Style of the heritage house, thus providing a good balance between the new house and the heritage house. The physical compatibility between the infill house and the heritage house would be

achieved in part through the infill house having a similar roof form to the heritage house, as well as through the cladding materials and assembly methods. The design of the infill house, including the gable roof and the horizontal siding, would physically and visually relate to the heritage house without mimicking it. Of paramount importance in designing a new building next to an historic one, is that the new building must not pretend to be as old as the historic one, nor should it mimic its design. This difficult balance has been achieved in this proposal.

Designing a new-build or addition that is subordinate to a heritage building is very difficult. 'Subordinate' does not necessarily mean 'smaller'. As it says in the *Standards and Guidelines*: "Subordination is not a question of size; a small, ill-conceived addition could adversely affect an historic place more than a large, well-designed addition."<sup>9</sup> The challenge on the subject property is that the new infill would be constructed on the uphill side of the heritage house. It cannot achieve subordination of size, but it does achieve subordination through design, materials, and colour scheme. The design is a simplified Cottage Style, with clean lines, no corner boards, and no ornamentation. The materials are contemporary and will also have clean lines. For example, the windows will not match those on the heritage house in style or size. They will be contemporary and have more narrow casings and frames than those on the heritage house. The colour scheme for the infill house would be less bright than the heritage house, which also contributes to its overall subordination to the heritage house.

The infill house would be distinguishable from the heritage house for the same reasons that it would be subordinate to and compatible with the heritage house: size, design, materials, and colour scheme.

As noted above, the *Standards and Guidelines* also offers general guidelines for the preservation, rehabilitation and restoration of an historic building. A full list of the guidelines is provided in Section 11 of this report and the most relevant are provided here with the author's comments following. Note that the Guidelines are mostly intended to provide advice for the historic building itself and any proposed changes to it, rather than to provide advice for a new building proposed to be constructed next to it. The author's responses have been made with that understanding.

- *Understand the exterior form and how it contributes to the heritage value of the historic building.* - The house is a two-storey, wood-frame building designed in the Cottage Style, with a chamfered, medium-pitched front-facing gable roof, and a small enclosed front porch with a matching gable roof. The house is clad in horizontal wood clapboard siding, with the exception of the front gable end, which is clad in wood shingles, and a section of the front elevation below the water board, which has been more recently clad in a veneer of River Rock. It is a very good representation of the Cottage Style, and, with restoration of the exterior cladding and an historically appropriate colour scheme, the historic value would be increased.
- *Understand the design principles used by the original designer or builder, and any changes made to the exterior form over time.* - Designed in a Cottage Style, the house was likely intended to appeal to a working-class family with the means to afford a nicely-designed yet simple house in a neighbourhood of similar sized and styles of houses. The changes over time have included different paint schemes and the installation of a veneer of River Rock on a portion of the front elevation, as well as the addition of mock wood dentils and Tudor stickwork on the house and porch, likely in an attempt to give the house more of a 'gingerbread' look. This well-intentioned

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<sup>9</sup> P. 34



attempt to 'pretty-up' the house is not necessary as the original design is elegant in its simplicity and its excellent proportions. At some point, an addition was made to the rear that is not sympathetic to the original house.

- *Retain the exterior form by maintaining proportions, colour and massing, and the spatial relationships with adjacent buildings.* – The more recent and unsympathetic rear addition will be removed, and the house will be given a new and more historically appropriate paint scheme. The house will maintain the existing spatial relationship with the house next door and with the corner intersection, with the understanding that a new infill house is being requested for the rear yard. The size of this new infill would be larger than a garage but would not negatively impact the spatial relationships in the rear yard and lane.
- *Document all interventions that affect the exterior form and ensure that the documentation is available to those responsible for future interventions.* – Photographs of the exterior of the house and a description of character-defining elements form part of this report. In addition, as-found drawings and photographs are part of the application. Consider offering a copy of this report and the as-found drawings to the New Westminster Archives. A set of photographs after the completion of the project could also be offered to the Archives.
- *Select the location for a new addition that ensures that the heritage value of the place is maintained.* – The proposed new infill would be located in the rear yard, close to the rear lane, in a position that would be normal for a garage on this site. Portions of the infill will be visible from the front sidewalk, given that the slope of the land is quite steep, and the back yard therefore sits above the heritage house. However, the infill has been designed to be as narrow as possible, and it has a gable roof with dormers that are close to the same pitch as the heritage house. With a colour scheme that is muted compared to the heritage house, the infill house would not negatively impact the heritage value of the heritage house.
- *Design an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.* – The massing of the infill house and its cladding will be compatible to the exterior form of the heritage house. For example, the cladding on the infill will be horizontal siding in hardiboard on the main parts with shingles on the dormers (as a nod to the gable ends of the heritage house) but without corner boards or ornamentation. These materials and the massing will all read as new and different yet will also be compatible.
- *Remove a non character-defining feature of the building's exterior form, such as an addition built after the restoration period.* - A rear addition was constructed on the rear of the heritage house at some point, most likely after 1955. This is not a character-defining feature and will be removed.



## 8.3 Character-defining Elements

### 8.3a Site

#### Character-defining Element

The location of the house, and its orientation to Fader Street, are character-defining elements.

#### Conservation Approach

Preservation

#### Description

The project intends to retain the location, orientation, and setback of the house.



### 8.3b Form, Scale and Massing

#### Character-defining Element

The form, scale and horizontal massing of the house, as expressed by its two-storey height, front-facing medium-pitch gable roof, and projecting front porch are all character-defining elements.

#### Conservation Approach

Preservation/Restoration/Rehabilitation

#### Description

The overall form, scale and massing identified as character-defining elements will be retained. The small rear addition, constructed at some point after 1955, will be removed.



### 8.3c Roof

#### Character-defining Element

The front-facing medium-pitch gable roof with chamfered ends, medium overhanging closed eaves, with decorative eave brackets and a hexagonal roof vent in the front gable are all character-defining elements.

#### Conservation Approach

Preservation/Restoration

#### Description

The identified character-defining elements will be retained. It was not possible to inspect the condition of the roof for this report, but from the ground the material appears to be in fair condition. However, it likely will require re-cladding soon, at which point using the same asphalt material is appropriate provided it follows the colour scheme included in this report. A qualified person with the proper equipment should inspect the asphalt shingles for wear and tear, damage, and for missing pieces as part of the maintenance routine.

The decorative eave brackets, soffit material, and the hexagonal roof vent should also be assessed, and repairs carried out if necessary. If any pieces are beyond repair, they should be replicated, ensuring that they match the original in terms of design, size, profile, material, and location.



### 8.3d Chimney

#### Character-defining Elements

The internal brick chimney with a double chimney pot is a character-defining element.

#### Conservation Approach

Rehabilitation

#### Description

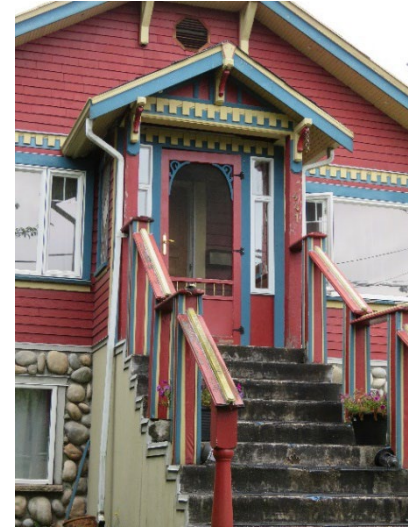
Chimneys are important elements of historic buildings and should be maintained; however, it does not actually need to be a working chimney. The chimney appears to be in good condition, but it should be inspected by a qualified mason who can assess the condition of the bricks, the grout, the flashing, and whether or not there is any moss growth.



Any repointing should match the current in terms of colour, width and consistency. Any new bricks should be of a matching size and colour to the existing. If the flashing needs replacement, ensure that there is a counterflashing. Any moss growth on the chimney should be carefully removed, and if needed, the bricks can be cleaned using a natural bristle brush and a mild rinse detergent. Do not power wash, sand blast or use abrasive cleaning methods.

### 8.3e Front Porch

The following elements are character-defining elements of the front porch:



### 8.3f Exterior Cladding

#### Character-defining Element

The wood shingles in the front gable, the wood clapboard siding on the side elevations, and the wood corner boards on the front elevation are all character-defining elements.

#### Conservation Approach

Restoration

#### Description

##### *Shingles:*

The front gable is clad in wood shingles which appear to be in good condition, but which should be examined by an expert. If individual pieces become damaged or fail in some way over time, it may be possible to repair or replace just those individual pieces. Any replacement shingles should match the existing in terms of design, size, profile and material. The goal is to avoid the appearance of patching.



It is also reasonable to completely replace the shingle siding if – in the future - the overall condition of the shingles eventually becomes too poor to patch and provided that the replacement shingles match the existing in terms of design, size, profile and material. Special attention should be given to the condition of the material underneath to determine if there is any water damage or damage to the underlying material that needs to be repaired or replaced with new.

##### *Clapboard:*

The side elevations are clad in the original clapboard siding and should be retained if at all possible. The builder should assess the condition of the siding prior to work beginning on the project. Extra care should be taken when removing the small rear addition that the siding on the original part of the house is not damaged. The seam between the old and newer siding is currently hidden behind a downspout.

If individual pieces become damaged or fail in some way over time, it may be possible to repair or replace just those individual pieces. Any replacement pieces should match the existing in terms of design, size, profile and material. The goal is to avoid the appearance of patching. As with the shingles, special attention should be given to the condition of the material underneath to determine if there is any water damage or damage to the underlying material that needs to be repaired or replaced with new.

##### *Corner Boards:*

The corner boards appear to be in good condition but should be assessed by the builder prior to working beginning on the project. As with the other original cladding materials, pieces that are damaged or that fail over time may be replaced provided that the replacement pieces match the existing in terms of design, size, profile and material.



#### Other Material:

As part of this project, the faux stone cladding, mock wood dentils, and Tudor stickwork on the front elevation and porch will be removed and replaced with more period-appropriate material. The faux stone cladding should be replaced with wood clapboard siding that matches the original in terms of design, size, and profile. The mock wood dentils and Tudor stickwork should be removed.

### 8.3g Windows

#### Character-defining Element

The location and fenestration pattern of window openings are character-defining elements.

#### Conservation Approach

##### Rehabilitation

#### Description

All of the windows have had vinyl inserts installed. It is possible that the size of one of the windows on the front elevation was changed, but the remainder appear to be the original size and location. One small window, on the basement level of the north side, still retains its original casing and trim. All of the other window openings have wood casings and sills that appear to be newer.



Example of new window insert and wood casing.

All of the newer window inserts should be replaced with period-appropriate wood-frame windows on the front and side elevations. Windows on the rear elevation may be vinyl-framed if desired but should match the design of the other windows.

The one small original window and the wood casings of the other windows have been assessed by a qualified historic window expert. M.R. Windows assessed the windows in May 2022 and provided the following information:



The only original window - at grade on the north elevation.

*"The only existing window that has any original components is on the East Basement 3' x 2'. The original Exterior Sill & 1x6 Exterior Casing/Trims remain, but the original sash has been removed & replaced with a vinyl window at some point. All of the rest of the existing windows have been changed to Vinyl with new Exterior Sills & Trims that are not in the style of the original. This heritage home will require all New Wood Windows complete with Heavy Exterior Sills & Exterior Trims."*

M. R. Windows recommends new wood windows to replace all of the existing windows and that the new windows have a simple design that are in keeping with the age and design of the house. This

approach is the preferred approach. Trying to save and restore the exterior casing and trim of a small window on the basement of the side elevation is not reasonable. This window may be replaced with new, in the same size and shape as the existing and in keeping with the same design as the other windows.

It would be reasonable to add one or two new window openings, with compatible design criteria, on the side elevations if this would improve the indoor liveability.

### 8.3h Colour Scheme

#### Character-defining Element

The colour scheme of an historic building is a character-defining element. If the original colour scheme can be accurately determined, then it is recommended that it be considered as an option. Other reasonable options are colour schemes that were typical for that type and era of building.

#### Conservation Approach

The brand of paint is less important than the quality of the paint. The proper preparation of the surfaces, and the expertise with which the paint is applied, are critical. For example, ensure that any nicks or other damage to the material being painted has been repaired prior to painting. A professional painter with experience painting historic buildings should be retained. Use the finish recommended by the painter. If the painter suggests replacing any historic material on the building because it “would be easier” or “look better”, find another painter.

#### **Exterior Colour Scheme**

<b>Element</b>	<b>Colour</b>
Body: Shingles Clapboard Front porch Gutter/downspouts (or a colour that allows them to disappear)	Bute Taupe Benjamin Moore VC-13
Window and door casings Roof Brackets Roof soffits Fascia boards Hexagonal vent frame	Oxford Ivory Benjamin Moore VC-1
Window and door sashes	Gloss Black (Benjamin Moore VC-35)
Exterior Doors	Consult with Heritage Professional
Roof (asphalt)	Black or dark grey

## 8.4 Non-Character-Defining Elements

The following are not considered to be character-defining elements.

### 8.4a Rear Addition

#### Description

At some point after 1955, a small addition was made to the rear of the house, without a basement or foundation. The gable roof was extended over this addition and was clad in the same siding as the rest of the house. A 'seam' where the newer, matching cladding meets the original is visible on the south elevation, hidden by the gutter downspout. In the gable end of the rear addition, under a deep angular overhang, is a modern set of triangular windows, and a skylight is just visible on the south side of the roof. Entry is through a single door accessed by two narrow steps.

This part of the house may be removed.

### 8.4b Gutters and Rain-Water Leaders

#### Description

The intention of a gutter system is to convey water away from the building and is an important and necessary feature of the building.

A more sympathetic new gutter system should be installed using a standard rectangular profile, 5" pre-finished continuous metal type. The current gutter system blends in well with the house, but there are some portions that are too obvious.

The colour of any new gutters and rain-water leaders should match or blend in with the exterior colour scheme so that they 'disappear'.

## 9.0 Maintenance Plan

At least once per year, a complete inspection of the inside and outside of the building should be carried out and all deficiencies identified. All repair work should be carried out promptly and according to the *Standards and Guidelines*.

A good rule of thumb is to ensure that each approach or method will not harm or remove any of the character-defining elements identified in this document. If damage to any of the building elements is found, be sure to treat the cause as well as the symptom. For example, if some fascia fell off, is it because it was weak from water damage? If so, then determine why the water was able to damage it and take steps to correct it.

Following is a basic, annual maintenance checklist.

Site:

- Keep vegetation, especially plants that are invasive or clingy, away from the building
- Do not plant invasive plant or tree species on the property
- Choose trees that, when mature, will not negatively impact the building
- Ensure that the site is well-drained and/or that run-off is directed away from the building

Foundation:

- Watch for signs of unexpected or significant settlement, deformation, cracking
- Inspect for signs of moisture, efflorescence (white powder on concrete), staining

Wood Shingle and Horizontal Lap Siding Cladding:

- Inspect wood shingles and siding for water damage/ingress, vegetative damage (moss, vines, etc.), insect damage, rot, warping, etc.
- Inspect paint finishes for cracking, peeling, etc.

Front Porch:

- Check underneath for any signs of creatures
- Look for any signs of water damage, softness, or rot of the wooden elements

Roof, Chimney and Gutters:

- Inspect for loose, missing or damaged roofing material
- Inspect shingles for cracks, blisters or curling
- Remove moss and other vegetative growth
- Check flashing for cracks, holes or looseness
- Inspect grouting and re-point chimney as necessary
- Regularly clean chimney bricks using a natural bristle brush and a mild rinse detergent. Do not power wash, sand blast or use abrasive cleaning methods.
- Inspect soffits for any openings where creatures could get in



- Inspect and clean gutters, checking for cracks and other damage
- Flush downpipes

#### Windows and Doors:

- Inspect for broken or cracked glass
- Ensure that windows and doors are operating smoothly and properly
- Check the alignment of the doors regularly
- Check all wood casings for dampness, softness and rot
- Inspect weather stripping and replace as necessary

Cleaning must be done carefully and correctly. Seek the advice of an expert if you suspect painted areas are unstable. They can give you advice on how to remove surface dirt without harming materials or compromising any decoration.

Gentle cleaning examples include diluted TSP, Simple Green, or D/2 Biological Solution.

## 10.0 Historic Information

### *Early Occupants*

1930: House constructed  
1931-1936: Anderson Family  
1937-1955+ Robson Family

The City Directories available on-line go as far as 1955. This date has been chosen as the cut-off date for research.

### *The Anderson Family*

David and Florence Anderson were the first residents of the subject property. David (1901-1976) was born in Perth, Scotland to Peter and Jessie (nee Benvie) Anderson. He managed an institutional laundry service in New Westminster and married Florence May Gratton in New Westminster in 1929. There is no marriage or death certificate for Florence, but we do know that Florence outlived him.

### *The Robson Family*

The second family to reside in the house, and the ones who were there the longest, was the Robson family. Unfortunately, there are no death or marriage certificates for either John W or Jane A Robson. More in-depth research would be required to determine their story. All we know at this point is that John was a clerk with the BC Government and he retired in 1955.

NEW WESTR. STREET GUIDE			FERNDALE	1498
1021 Robinson G H	309 Horney J	405 Blewett F W	es Thomas G	
1025 Benn V	313 Orientals	406 *Hagen H	ws *Evans J H	
1027 Stratford H C	314 Orientals	407 *Lamdin A W J	Kitchener intersects	
1029 Ambrose R	315 Orientals	411 *Delaney D		
1033 Thomson A B	319 *Toritini Mrs M	413 *Lomas D A	FELL AV N (Burnaby	
1037 Young E R	325 Janis F	416 *McNaughton J	north from 6100 Dunda	
1042 Harrison R H E G	321 *Pazurik J M	417 Nixon —	(E-13 on Map)	
3 Lewis S D S	333 Orientals	419 Lowry A P	District J	
1042 (rear) Doyland H	335 Orientals	420 *Davies H K	7 *Tomkins J	
1043 Hodgson J	337 Coldrey J	421 *Salisbury E H	11 *Eshelby F H	
1044 4 Vacant	Stanley intersects	425 *Lutley C H	12 *Hoag L J	
5 Ootmar C	ss Queensborough Sch	Major intersects	38 Nelson O S	
1046 6 Vacant	Johnston begins	429 *Murphy G	47 *Jupp W	
7 Salmon Mrs A D	501 Orientals	430 Bushell M F	55 Frolick J	
1047 Povah W F	505 *Zirald F	432 *Rowse T W	107 *Gaustad O T	
1051 Smith Mrs E J	506 Tsuchida S	433 Owens W W	109 *Hong W H	
1055 Patterson H	507 Occupied	447 *Anderson D	111 *McDonald C	
1057 Fraser Mrs M	515 Vacant	451 Vacant	112 *Jackson G H	
1061 Poulter D E	519 *Pazurik J	453 Walker R G R		
1067 Ife P	519 (rear) Pajerechin J	454 Bolderson E H	FELL AV (N Van) nor	
Thurlow intersects	519 (rear) Toman L	455 *Morrow A T	from 800 W Keith (C	
	519 (rear) Mucha F	459 *Sayer R L	on Map)	
EVELYN RD (N Van) east	525 *Zarzan A	460 *Marcoux J	District N	
from 4300 Mountain	527 Gall J	462 *Hoskin B L	W 15 intersects	
Highway (A-11 on Map)	529 *Lofai M	463 *Chamberlin H C	1509 *McLeod T	
District O	Pembina intersects	465 *Gyde E	W 16 intersects	
Not opened through	606 Queensborough Serv	467 *Hardy M E	1603 Boscariol A	
Hoskins intersects	Sta	469 *Mowry A E	1607 Vacant	
1630 *Ryan H	608 Queensborough Store	470 Davis J T R	1611 Vacant	
	609 Orientals	471 *Thurlo Mrs E		

Directory dated 1931, showing D Anderson at 447 Fader Street. The address was later changed to 441.

ROBINSON—(Cont'd)		ROBINSON—(Cont'd)	
4621	—Bruce L (Constance C) office mgr Westr Cannery h 216 3rd St	—Thos H (Eleanor) asst supt Swifts h 404 7th Ave	
	—Cecil (Sarah E) retired h 124 Durham	—Violet wid E A h 1113 Nanaimo	
Bby	—Cecil L (Marquis I) pntr h 4587 Union N Bby	—Wm hlpr Westr Sht Mtl	
Bby	—Chas A (Nellie I) mach Air Equip	—Wm (Margt) lbrwkr h 2021 Gray Bby	
uller	Serv h 4152 Manor Bby	—Wm F (retired h 530 Holdom N Bby	
3413	—Chas E mlwkr MacMillan Ind r 4651 Kway Bby	—Wm J acct h 4859 Albert N Bby	
1013	—Clarence W (Lillian S) swchmn CNR h 3855 Parker N Bby	—Wm J (Marye) cond BCER h 2004 Gilley Bby	
Bby	—Collin drvr r RR 4	—Wm J (Winnifred G) utility mn NHB 3815 Union N Bby	
4 N	—Daisy E wid T h 81 Springer N Bby	—Wm J (Mary J) improver Western Stl h 2725 Windsor Bby	
	—David clk Westr Iron Wks r RR 4	—Wm S r 2725 Windsor Bby	
206	—Della K mlwkr MacMillan Ind r 1967 15th Ave Bby	—Yvonne E M acct Westr Paper r 404 7th Ave	
Ind	—Doramay studt r 404 7th Ave	ROBLIN F Walter (Moneta) tkt clk CNB h 462 Kelly	
	—Doris E flrwm Kresge r 523 2nd St	ROBOTHAM Earle O J (Margt) wldr Finning Tractor h 4191 Manor Bby	
iders	—E C r RR 1	ROBSON Alex T (Jennie A) sec-treas Timberland Lbr h 221 3rd Ave	
713	—Edith M wid C h 217 St Patrick	—Mrs Annie h 235 9th St	
ne h	—Edw J (Annie L) drvr h 2063 Salisbury Bby	—David M (Minerva) sla mgr Timberland Lbr h 504 4th St	
	—Mrs Elleen prop Red Robin Dairy r 903 14th St	—Geo W (Edith M) emp Westr Brew h 325 Simpson	
and-	—Eleanor M wid W H r 433 E 8th Ave	—Jas G (Jean) pres Timberland Lbr h 101 3rd St	
	—Eliz opr BC Tel r 433 E 8th Ave	—John (Mary A) retired h 712 Spring er N Bby	
idge	—Eliz A clk Famous r 2607 Blenheim Bby	—John W (Jane A) clk BC Govt h 441 Fader	
428	—Etta F wid G S h 249 Sandringham	—Richard M (Anna J) acct BCER h 424 3rd Ave	
ndle	—Mrs Eva M emp Safeway r 4003 Parker N Bby	—Richd T chauff Harry's Taxi h 4361 E Hast N Bby	
-Q r	—F J r RR 1	—Richd W (Eliz) hlpr BCER h 4427 E Pender N Bby	
Bby	—Mrs G r 3640 Kway Bby		
	—G W Morris (Hazel A) mech h 4131 Oxford N Bby		
	—Geo (Alberta M) logr h 4642 Frances N Bby		

Directory dated 1945, showing John W & Jane A Robson at 441 Fader Street.



# Death Certificate of David Anderson

FORM 6  
4-0

PROVINCE OF  
BRITISH COLUMBIA (Canada)

REGISTRATION OF  
**DEATH**

DEPARTMENT OF HEALTH  
Division of Vital Statistics

Registration No.  
(Department use only)  
76-09-006280

15-019

1. Surname of deceased (print or type)  
ANDERSON

2. SEX  
MALE

3. Name of hospital or institution (otherwise give exact location where death occurred)  
Royal Columbian  
City, town or other place (by name)  
New Westminster, B.C.

4. Complete street address: If rural give exact location (not Post Office or Rural Route address)  
Apt. 302, 335 - 5th St.  
City, town or other place (by name)  
New Westminster, B.C.

5. Single, married, widowed, or divorced (Specify)  
Married

6. If married, widowed, or divorced, give full name of husband or full maiden name of wife  
Florence May Gratton

7. Kind of work done during most of working life  
Manager

8. Kind of business or industry in which worked  
Laundry - Institutional

9. Month (by name), day, year of birth  
April 13, 1901

10. AGE (years) (Months) (Days) (Hours) (Minutes)  
74

11. City or place Province (or country) of birth  
Perti, Scotland

12. Native Indian? Yes No If "yes" state name of band

13. Surname and given names of father (print or type)  
ANDERSON, Peter

14. BIRTHPLACE - City or place, Province (or country)  
Scotland

15. Maiden surname and given names of mother (print or type)  
BENVIE, Jessie

16. BIRTHPLACE - City or place, Province (or country)  
Scotland

17. Signature of informant  
X Florence May Anderson

18. Relationship to deceased  
wife

19. Address of informant  
Apt. 302 - 335 5th St. New Westminster

20. Date signed - Month, day, year  
April 1, 1976

21. Burial, cremation or other disposition (specify)  
Cremation

22. Date of burial or disposition (month, day, year)  
APR 9/76

23. Name and address of cemetery, crematorium or place of disposition  
Vancouver Crematorium Ltd., 5905 Fraser St., Vancouver 15

24. Name and address of funeral director (or person in charge of remains) (print or type)  
Columbia Funeral Home, 233 Columbia St. W., New Westminster

**MEDICAL CERTIFICATE OF DEATH**

25. Month (by name), day, year of death  
MARCH 31 1976

26. Part I 4109  
Immediate cause of death  
(a) Acute MYOCARDIAL infarction 3 hrs  
(b) Coronary heart disease  
(c)

27. Autopsy being held? Yes No  
X

28. Does the cause of death stated above take account of autopsy findings? Yes No  
X

29. May further information relating to the cause of death be available later? Yes No  
X

30. If accident, suicide, homicide or undetermined (specify)  
31. Place of injury (e.g. home, farm, highway, etc.)  
32. Date of injury (Month (by name), day, year)

33. How did injury occur? (describe circumstances)

34. If there was a recent surgical operation give date of operation  
35. State operative findings

36. I certify that to the best of my knowledge and belief the above-named person died on the date and from the causes stated herein:  
X DR. H. McPHIE  
305 Brail Street  
Westminster, B.C. V6L 1M6  
Telephone: 526-1666  
Date: Month, day, year  
H. McPhie 4/1/76

37. Name of physician or coroner (print or type)

**DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY**

Notations:

I certify this return was accepted by me on this date at -  
District Registration No. 1104  
Date: Month (by name), day, year April 5/76  
Signature of District Registrar D. Shinton

NEW WESTMINSTER B.C.

4-2302-3,14: 26-9-73



## Historic Context

A description of the City of New Westminster in the British Columbia Directory dated 1930, p.476

# HORNE, TAYLOR & Co., Ltd.

✦

Insurance  
and  
Real Estate

✦

Rents  
Collected,  
Mortgage  
Loans  
Arranged

✦

817 Pender  
St. W.

Phones  
Sey. 3196  
and 3197  
Vancouver

# FUEL

ALDER  
WOOD

for Grates

476
NEW WESTMINSTER

### NEW WESTMINSTER

**FOR NAMES OF RESIDENTS AND FIRMS IN NEW WESTMINSTER SEE VANCOUVER SECTION.**

The City of New Westminster is located on the North Bank of the Fraser River, about 16 m. from the Gulf of Georgia, at the point where Lulu Island divides the river into its main channel and the North Arm. It embraces within its limits the northerly point of Lulu Island, a section known locally as Queensborough. By paved highway, Kingsway, the city is 12 m. from Vancouver. It is also connected with Vancouver by three interurban electric lines, operated by the B.C.E. Ry., and by three steam railways—the C.P.R., G.N.R. and C.N.R. To the south, the city is connected by the G.N.R., running through Blaine on the boundary to Seattle; to the east, by C.P.R., C.N.R. and B.C.E.R. Thus it has connection with the great trans-continental railway systems both of Canada and the United States, while by its ship channel of the Fraser River to the Gulf of Georgia, the city possesses unexcelled shipping facilities by water.

These transportation conditions are ideal for the successful operations of manufacturing industries, and numerous industrial plants have been drawn by these advantages to establish in the city and environs, so that New Westminster is recognized as an established industrial centre, the second in importance in the Province. The city offers for lease industrial sites of ample proportions, and sites can also be acquired from private owners on most favorable terms.

One of the great basic industries of B. C., the manufacture of lumber, finds its natural location on the Fraser River, in and around New Westminster, where there are numerous sawmills, shingle mills, and other plants engaged in the manufacture of lumber products. The list includes the plant of the Canadian Western Lumber Company at Fraser Mills, just outside the city's easterly limits, which has a capacity of 350,000 feet every ten hours. The fish canning industry also finds its natural location along the banks of the Fraser and numerous salmon canning plants are found from the city to Steveston, at the Sandheads, where the river enters the Gulf of Georgia.

Trading in Fraser Valley agricultural products has its centre in the city market, which is civic operated. Pop. 18,500.

### NICHOLSON

a sta. on C.P. Elec Dist., 4 m P.O., under wharf

### NICOAMEI

a sta. and C.P.R. between in Dewdney Pr Deroche for name

### NICOLA

a P.O. and sta. from Merritt, in Pop. 100.

Abbott Harry H  
Almon B trapper  
Batten Mrs A r  
Batten Miss G  
Batten Thos J r  
Beckham F labor  
Brookland Ernest  
Campbell W supt  
Canadian Govern  
Postmaster—V  
Clifford L D b  
Currie Duncan r  
Davies Jas R r  
Davies Richd pal  
Duprat Alex car  
Gardiner Rev J  
Glover F mgr  
Green F L mine  
Grimshire Archd  
Grimshire John 1

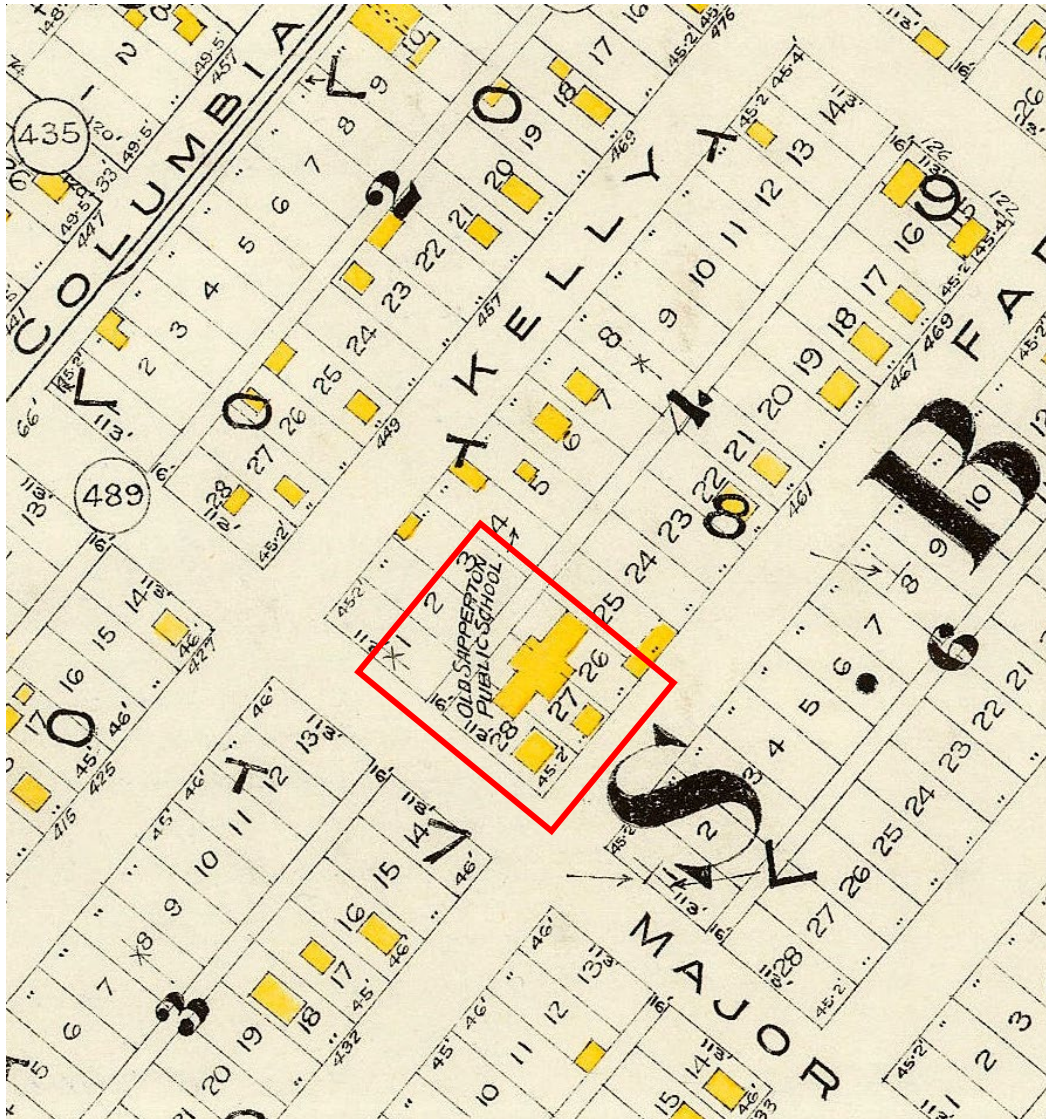
### HAMMOND

Manager 1 and Postx

Hawkins H ranch  
Helmer Ronald f  
Heslop Thos ranch  
Hosper Harold C  
Horrell J ranchin  
Hunter Edna  
Job Chas L pr  
sec Nicola S  
Lambert Frank p  
McDougall Jos t  
Marquart Math  
Marquart Peter  
stables  
Mickle Mrs Lucie  
Nicola Farmers 1  
Nicola Lake Gar  
Nicola Lake St  
gen store  
Nicola Livery Sta  
Nicola School C  
Normandale Coll  
Paige F G blk

### Old Sapperton Public School

This close-up of Sheet 118 of the Goad's Map dated 1913 shows that the subject site was the location of the Old Sapperton Public School.



The McBride-Sapperton Residents' Association web-page, History Tab, has this information about the school:

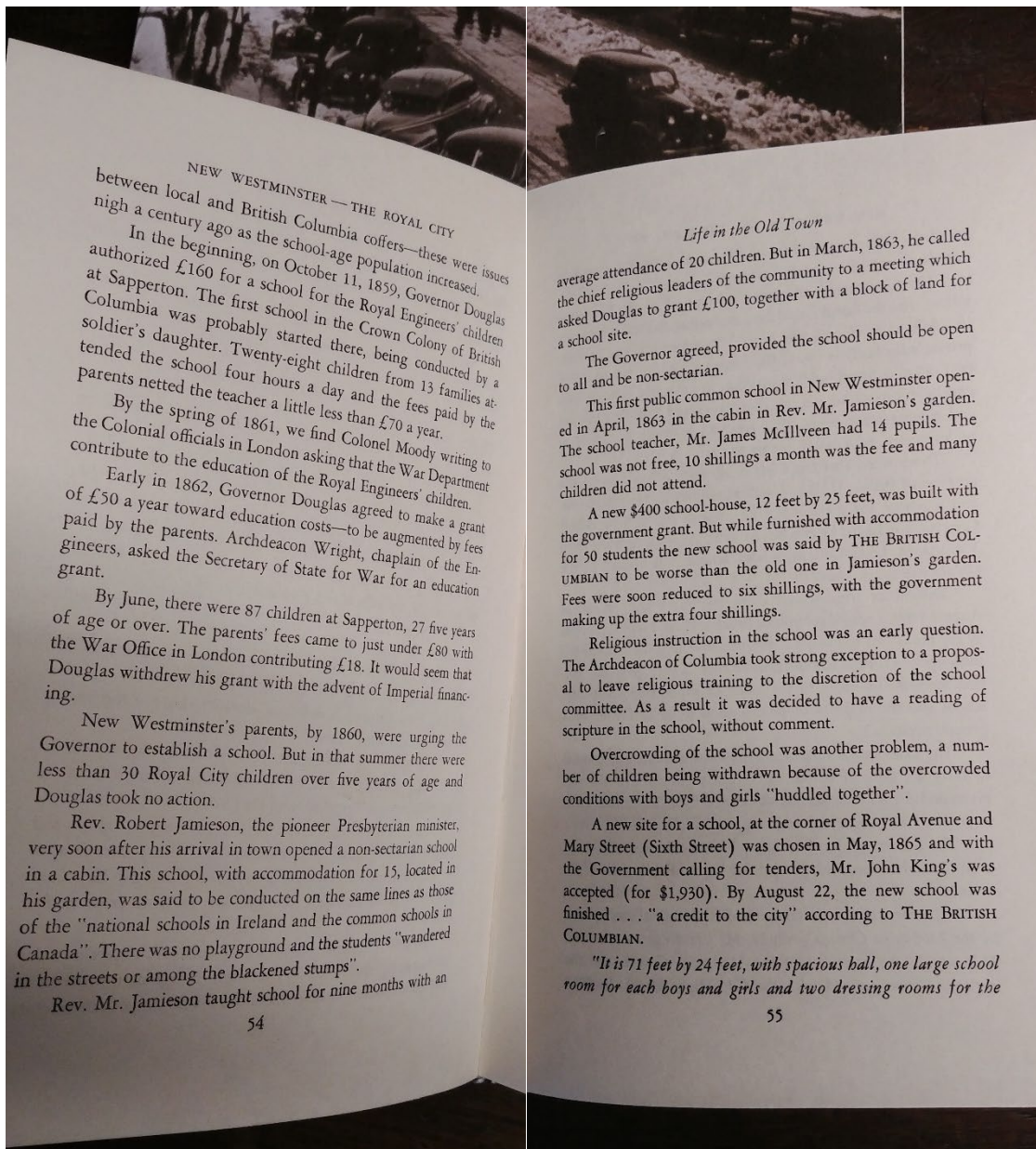


“[There was] a school on at Fader St. and Major St. (1888-1912) in lower Sapperton. This school was at northwest corner of Fader St. and Major St. and extended between Fader St. and Kelly St. In one Goad fire map, it shows the school property located at SBII, Lot 8, individual lots 1, 2, 3, 4 along Kelly St. and 25, 26, 27, 28 along Fader St. The schoolrooms were large with high ceilings. There were four rooms in the main school and a separate small kindergarten behind the larger Sapperton School. The school dated from about 1888 to 1912 as a school and was used for a number of years afterwards for local groups, scouts, etc. At least part of the school and the whole kindergarten were moved and turned into houses on Fader St. These houses are noted as being on Fader St. between Major St. and Braid St. on the river (even numbers) side.”<sup>10</sup>



Photo courtesy of <https://mcbridesapperton.org/sapperton-schools/>. Location: New Westminster Public Library, Columbian Collection, Accession # 203. Date: 1912. Photographer: W.T. Cooksley  
For research purposes only.

<sup>10</sup> McBride-Sapperton Residents' Association web-page, History Tab <https://mcbridesapperton.org/sapperton-schools/>.



Information on early schools in New Westminster. Source: Mather, Barry and Margaret McDonald. *New Westminster, The Royal City*. J.M. Dent & Sons (Canada) Limited and The Corporation of the City of New Westminster, 1958, pp. 54-55.

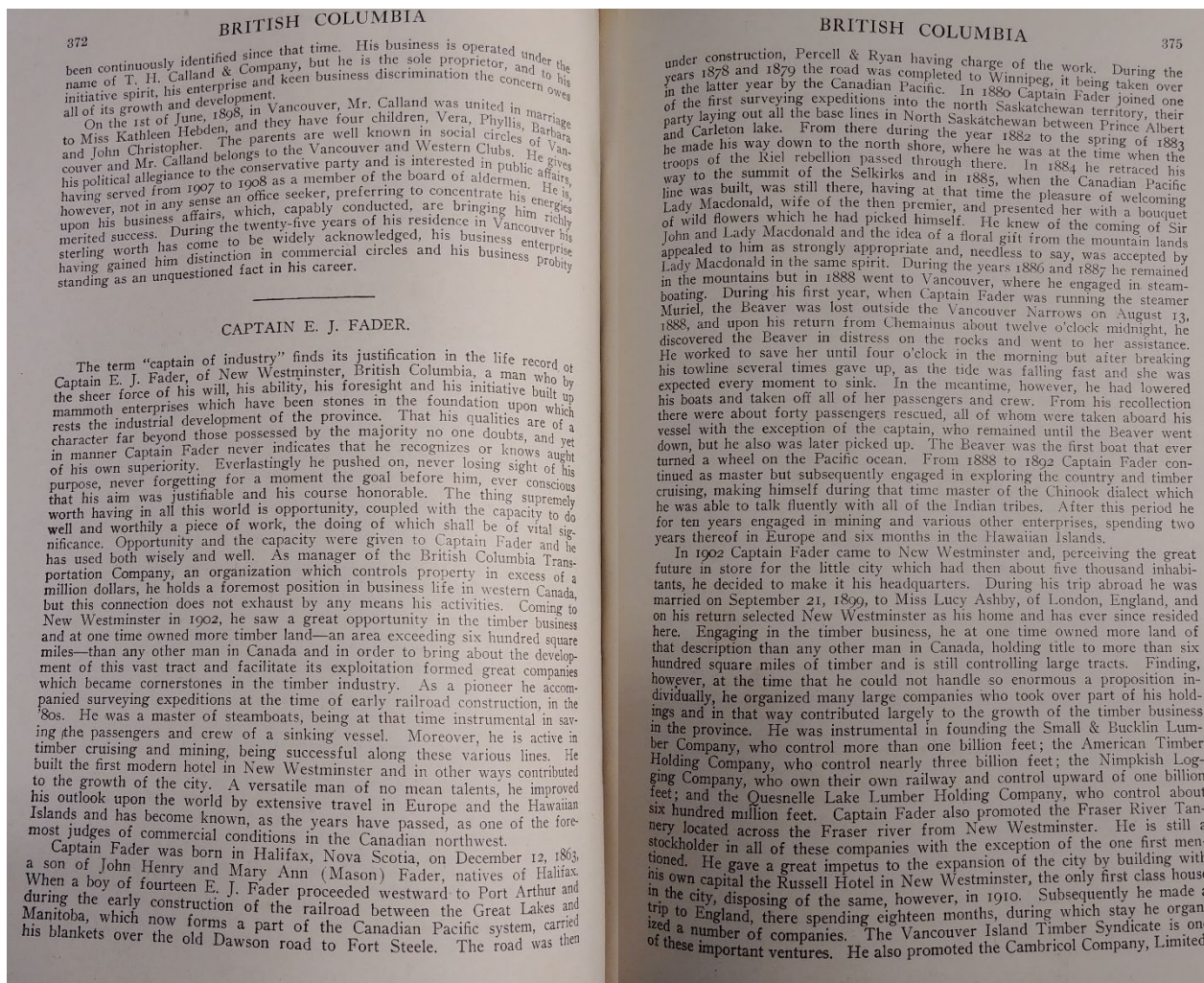
### Historic Street Names

Copied from the New Westminster Heritage Page re: Street Names

<http://www.nwheritage.org>



Fader Street, which came into existence in 1909, was named for Elijah John Fader, a lumberman and City Councillor for New Westminster<sup>11</sup>. The website "Opposite the City" identifies Fader as the "founder and first President of the Fraser River Tannery Company, a Maritime-born venture capitalist and business promoter residing at New Westminster, with many business interests in British Columbia, and a storied career."<sup>12</sup>



<sup>11</sup> <http://www.nwheritage.org>

<sup>12</sup> "Fraser River Tannery" <https://oppositethecity.wordpress.com/2012/03/21/fraser-river-tannery/>

## Historic



CAPTAIN E. J. FADER

376

## BRITISH COLUMBIA

a land-holding company, and the British Columbia Transport Company, of the latter of which Captain Fader is still the manager. This company has extensive interests in New Westminster and vicinity, controlling about one million dollars worth of property. They own the largest docks along the water front of the city, including a general building supply plant and a rock and gravel plant having a capacity of one thousand yards of crushed rock and gravel per day. They also own one hundred and fifty thousand dollars worth of tugs, barges and floating properties. The beneficial effect which the commercial activities of Captain Fader have had upon the commercial development of New Westminster and British Columbia can hardly be estimated but it is recognized on all sides that he is one of the most enterprising and foremost men in the city, who has not only promoted enterprises in his own interest but gives as much consideration to the effect his activities have upon the general welfare.

Captain and Mrs. Fader are the parents of one daughter, Eva Joan. They are members of the Church of England, taking an earnest interest in the work of the church and its allied societies. Fraternally Captain Fader is known as a member of the blue lodge of Masons and of the local lodges of the Benevolent Protective Order of Elks and the Loyal Order of Moose. His public spirit has found expression in the efficient service which he rendered his city by becoming a member of one of its boards of aldermen in 1908-1909. Captain Fader is an optimist, yet a man shrewd and gifted with an extraordinarily sound judgment. He has an infinite faith in the future of his adopted city and personally has done much to make that future a reality. Wherever movements are under way for the promotion of projects along material or intellectual lines he can be found in the front ranks of those who are willing to give their share of time and money to such projects. New Westminster is proud to call him one of her citizens and is grateful for what he has been able to accomplish in her behalf.

## CHARLES RANSOME GILBERT.

Charles Ransome Gilbert is manager of the insurance department of the London & British North America Company, Ltd., and there is no phase of the insurance business with which he is not familiar. He was born in Chicago, August 8, 1863, his parents being Charles and Jane Gilbert. The father was one of the early merchants of that city and for thirty years was a well known member of the Chicago Board of Trade. The public schools of Chicago furnished Charles Ransome Gilbert his educational opportunities, and in early manhood he left home to find what he believed to be broader and better advantages in the west. For three years he followed various pursuits, and then, in 1883, returned to Chicago, where he entered the employ of a lumber company. In the fall of 1887 he went to California, where he engaged in ranching for two years, and then turned his attention to the insurance business, with which he has since been connected in various capacities. In 1900 he came to Vancouver as secretary of the Board of Underwriters, and at that time reorganized the board. Gradually he has worked his way upward in the insurance field as he has mastered the business in principle and detail, and in 1908 he was appointed to his present position as manager of the insurance department of the London & British North America Company, Ltd., which position he has held continuously since. Aside from this he has made considerable investments in real estate. Moreover, he was one of the first directors of the Horse Show Association of Vancouver and has remained director and treasurer of the organization since its inception.

On the 1st of February, 1896, Mr. Gilbert was united in marriage to Miss Elizabeth Porter, a daughter of Mr. and Mrs. Norman Porter, New England people who came to the coast at an early day. The only child of this marriage is John Porter Gilbert. Mr. Gilbert belongs to the Presbyterian church and is

information (on this and previous page) regarding Captain E.J. Fader. Source: British Columbia From the Earliest Times to the Present Volume III. The S.J. Clarke Publishing Company, Vancouver, Portland, San Francisco, Chicago. 1914, pp 372-376.



## 11.0 General Standards for Preservation, Rehabilitation and Restoration Approaches

The following is taken directly from the Standards and Guidelines, Chapter 3.

1. Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an historic place that, over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an historic place that requires minimal or no change to its character-defining elements.
6. Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information. (*Note that the Provincial Archaeology Branch must be notified before any work is undertaken if archaeological resources are discovered.*)
7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.
10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

12. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.

14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

The following guidelines are taken directly from the *Standards and Guidelines*, Chapter 4, Section 3.

1. Understand the exterior form and how it contributes to the heritage value of the historic building.
2. Understand the design principles used by the original designer or builder, and any changes made to the exterior form over time.
3. Document the building's exterior form before undertaking an intervention, including the form and massing, and viewscales, sunlight and natural ventilation patterns.
4. Assess the condition of the building's exterior form early in the planning process so that the scope of work is based on current conditions.
5. Protect and maintain elements of the building's exterior form through cyclical or seasonal maintenance work.
6. Retain the exterior form by maintaining proportions, colour and massing, and the spatial relationships with adjacent buildings.
7. Stabilize deteriorated elements of the exterior form by using structural reinforcement and weather protection, or correcting unsafe conditions, as required, until repair work is undertaken.
8. Protect adjacent character-defining elements from accidental damage or exposure to damaging materials during maintenance or repair work.
9. Document all interventions that affect the exterior form and ensure that the documentation is available to those responsible for future interventions.
10. Reinstall the exterior form by recreating missing or revealing obscured parts to re-establish character-defining proportions and massing.
11. Accommodate new functions and services in non-character defining interior spaces as an alternative to constructing a new addition.



12. Select a new use that suits the existing building form.
13. Select the location for a new addition that ensures that the heritage value of the place is maintained.
14. Design a new addition in a manner that draws a clear distinction between what is historic and what is new.
15. Design an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.
16. Add new features to meet health, safety or security requirements, such as an exterior stairway or a security vestibule in a manner that respects the exterior form and minimizes impact on heritage value.
17. Work with code specialists to determine the most appropriate solution to health, safety and security requirements with the least impact on the character-defining elements and overall heritage value of the historic building.
18. Find solutions to meet accessibility requirements that are compatible with the exterior form of the historic building. For example, introducing a gently sloped walkway instead of a constructed ramp with handrails in front of an historic building.
19. Work with accessibility and conservation specialists and users to determine the most appropriate solution to accessibility issues with the least impact on the character-defining elements and overall heritage value of the historic building.
20. Add new features to meet sustainability requirements, such as solar panels or a green roof, in a manner that respects the exterior form and minimizes impact on character-defining elements.
21. Work with sustainability and conservation specialists to determine the most appropriate solution to sustainability requirements with the least impact on the character-defining elements and overall heritage value of the historic building.
22. Comply with energy efficiency objectives in a manner that minimizes impact on the character-defining elements and overall heritage value of the historic building.
23. Accommodate functions requiring a controlled environment, such as artefact storage or exhibits in an addition, while using the historic building for functions that benefit from existing natural ventilation and/or daylight.
24. Reinstall the building's exterior form from the restoration period, based on documentary and physical evidence.
25. Remove a non character-defining feature of the building's exterior form, such as an addition built after the restoration period.

26. Recreate missing features of the exterior form that existed during the restoration period, based on physical or documentary evidence; for example, duplicating a dormer or restoring a carport that was later enclosed.

The following definitions of heritage value are quoted directly from the guide “Canadian Register of Historic Places: Writing Statements of Significance”.<sup>13</sup>

**Aesthetic** value refers to the sensory qualities of a historic place (seeing, hearing, touching, smelling and tasting) in the context of broader categories of design and tradition. A place may have aesthetic significance because it evokes a positive sensory response, or because it epitomizes a defined architectural style or landscape concept. Visual aesthetic value is typically expressed through form, colour, texture or materials. It is possible for historic places to have other aesthetic values as well, such as auditory ones. Historic places with aesthetic significance may reflect a particular style or period of construction or craftsmanship, or represent the work of a well-known architect, planner, engineer or builder.

**Historical and Cultural** values are sometimes combined and refer to the associations that a place has with past events and historical themes, as well as its capacity to evoke a way of life or a memory of the past. Historical or cultural value may lie in the age of a heritage district, its association with important events, activities, people or traditions; its role in the development of a community, region, province, territory or nation; or its patterns of use. Historical or cultural value can lie in natural or ecological features of the place, as well as in built features.

**Scientific** value refers to the capacity of a historic place to provide evidence that can advance our understanding and appreciation of a culture. The evidence is found in the form, materials, design and/or experience of the place. Scientific value can derive from various factors, such as age, quality, completeness, complexity or rarity. Scientific value may also be present when the place itself supplements other types of evidence such as written sources, as in archaeological sites.

**Social** value considers the meanings attached to a place by a community in the present time. It differs from historical or cultural value in that the value may not have an obvious basis in history or tradition and relates almost entirely to the present time. Social value may be ascribed to places that perform a key role within communities, support community activities or traditions, or contribute to the community’s sense of identity. Places with social value include sites that bring the community together and create a sense of shared identity and belonging.

**Spiritual** value is ascribed to places with religious or spiritual meanings for a community or a group of people. Sacred and spiritual places could include places of mythological significance, landscape features associated with myth and legends, burial sites, rock cairns and alignments, fasting/vision quest sites etc., places representing particular belief system(s) or places associated with sacred traditions, ceremonial practices or rituals of a community/group of people.

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<sup>13</sup> Historic Places Program Branch, “Canadian Register of Historic Places: Writing Statements of Significance,” Parks Canada, November 2006, pp. 12-13.

## 12.0 Research Resources

British Columbia From the Earliest Times to the Present Volume III. The S.J. Clarke Publishing Company, Vancouver, Portland, San Francisco, Chicago. 1914.

City of New Westminster Neighbourhoods Historical Context Statements: McBride -Sapperton  
[https://www.newwestcity.ca/database/files/library/4\\_McBride\\_Sapperton.pdf](https://www.newwestcity.ca/database/files/library/4_McBride_Sapperton.pdf)

Goad's Atlas of the City of New Westminster, B.C. 1913. Published by Chas. E. Goad Company  
Reference Code: AM1594-MAP 342c  
<https://searcharchives.vancouver.ca/goads-atlas-of-city-of-new-westminster-b-c>

Gottfried, Herbert and Jan Jennings. American Vernacular Architecture: Buildings and Interiors 1870-1960. W.W. Norton & Company Inc. New York/London, 2009.

Mather, Barry and Margaret McDonald. New Westminster, The Royal City. J.M. Dent & Sons (Canada) Limited and The Corporation of the City of New Westminster

McBride-Sapperton Residents' Association web-page, History Tab  
<https://mcbridesapperton.org/sapperton-schools/>

New Westminster Heritage Page re: Street Names  
<http://www.nwheritage.org>

Royal BC Museum for Marriage and Death Certificates  
<http://search-collections.royalbcmuseum.bc.ca/Genealogy>

Standards and Guidelines for the Conservation of Historic Places in Canada, Second Edition, 2010  
<https://www.historicplaces.ca>

"Fraser River Tannery"  
<https://oppositethecity.wordpress.com/2012/03/21/fraser-river-tannery/>

## **REPORT**

### ***Climate Action, Planning and Development***

**To:** Community Heritage Commission      **Date:** December 7, 2022  
**From:** Dilys Huang, Development Planner      **File:** PAR01416  
**Item #:** 2022-735  
**Subject:** Pre-Application Review: 63 Merivale Street & 250 Agnes Street

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#### **PURPOSE**

To elicit preliminary feedback from the Community Heritage Commission regarding the proposal's heritage elements.

#### **SUMMARY**

A Pre-Application Review (PAR) enquiry for a future Heritage Revitalization Agreement proposal has been received for 63 Merivale Street and 250 Agnes Street. The project proposes the retention and on-site relocation of the 1916 Catherine Armstrong House, and the addition of a new six storey multi-unit residential building component to the heritage house. The Community Heritage Commission is being asked to provide feedback regarding the heritage value of the house, key features of the house that should be given consideration to, and the design relationship of the new building addition with the heritage house.

#### **GUIDING POLICY AND REGULATIONS**

##### **Heritage Review Policy for Buildings 100 Years and Older**

In 2020, Council approved a revised heritage review policy, which highlights the City's interest in retaining New Westminster's oldest buildings. As such, redevelopment applications for buildings that are listed on the Heritage Resource Inventory and/or 100 years and older require a Heritage Assessment and review by the Community Heritage Commission.



## **Heritage Register**

Though not legally protected by bylaw, the building at 63 Merivale Street is listed on the City's Heritage Register. The Register is an official list of properties with heritage value that have been identified by the City. Applications for changes to or demolition of properties listed on the Heritage Register are generally reviewed by the Planning Division and referred to the CHC. Alterations and additions are reviewed to determine the appropriateness of the proposed changes in relation to the character defining elements of the building or structure.

## **Heritage Revitalization Agreement**

A Heritage Revitalization Agreement (HRA) is a negotiated agreement between the City and a property owner for the purposes of heritage conservation. In exchange for long-term legal protection through a Heritage Designation Bylaw and exterior restoration, certain zoning relaxations may be considered as long as the application is consistent with the Official Community Plan. An HRA is not precedent setting, as each one is unique to a specific site. The *Policy for the Use of Heritage Revitalization Agreements* lays out the process for HRAs and the relaxations that may be considered.

## **Heritage Related Design Guidelines**

Council endorsed the *Standards and Guidelines for the Conservation of Historic Places in Canada* in 2008 as a basis for assessing heritage projects within the city. These are national guidelines for best practice in heritage conservation and design. All HRA proposals are carefully evaluated using this document to ensure conservation work on the exterior of the heritage building is in compliance. Additionally, the design of the adjacent new buildings is reviewed against the principles and guidelines in this document.

## **BACKGROUND INFORMATION**

### **Pre-Application Review**

A Pre-Application Review (PAR) is a formal process that allows City staff and relevant committees to review a preliminary proposal and provide written comments to an applicant before the submission of a full application. It is intended to help identify key considerations and potential issues of a proposed development early on before significant investment is made. The attached PAR Guide includes more information about the process (Appendix A).

### **Site Characteristics and Context**

The subject site, comprising two properties with an approximate combined area of 1,618 sq. m. (17,424 sq. ft.), is located in the Downtown at the south-east corner of Agnes and Merivale Streets.

63 Merivale Street contains a 1916 residence known as the Catherine Armstrong House that is listed on the Heritage Register. It was designed as a single detached dwelling and was converted into multiple suites during the mid 1950s. 250 Agnes Street includes a two storey rental apartment building that was transformed in 1955 from a 1910 single detached dwelling.

Nearby uses mostly include three to four storey low-rise apartment buildings from the 1950s and 1960s. To the north is Qayqayt Elementary School, to the west is a more recently built six storey rental apartment development, and to the south is another Heritage Register-listed residence. A site context map is provided in Appendix B.

### **Development Policy Context**

Similar to other surrounding residential properties, the subject site is designated *Residential – Low Rise Apartment* in the City's Downtown Community Plan. 63 Merivale Street is currently zoned *Single Detached Residential* (RS-2), and 250 Agnes Street is zoned *Multiple Dwelling (Low Rise)* (RM-2). As the proposal would not be consistent with the current zones, a rezoning or Heritage Revitalization Agreement (HRA) would be required. In this case, an HRA is proposed for relaxations to zoning provisions, and similar to a rezoning, to permit a different building form (e.g. multi-unit dwellings over the RS-2 zoned portion).

### **Project Description**

Based on the Pre-Application Review submission, the building at 250 Agnes Street is proposed to be demolished, while the house at 63 Merivale Street would be retained and moved forward closer to the Merivale Street frontage. A new six storey wood frame building addition with ground-oriented units is proposed to be integrated with the relocated heritage house.

A total of approximately 66 residential units is currently proposed. Fifty percent (50%) of all units would be secured market rental units, of which at least 10% would be below-market rental units. Select preliminary project drawings are provided in Appendix C.

### **ITEMS FOR DISCUSSION**

#### **Proposed Demolition (250 Agnes Street)**

The project includes the proposed demolition of the existing apartment building at 250 Agnes Street. Originally a 1910 dwelling, it was transformed into a two storey plus basement apartment building in 1955. Based on the attached Heritage Assessment (Appendix D), this intervention irreversibly altered the original massing, form, scale, design, finishing materials, and building orientation (except for portions of the timber floor structure and a fireplace only visible from the interior, and the location of one of the chimney stacks) of the 1910 house.

### **Heritage Value of the Catherine Armstrong House (63 Merivale Street)**

The 1916 Catherine Armstrong House is a large two storey plus basement, shingle-clad wood frame residence. Based on the attached Statement of Significance and Condition Assessment (Appendix E), the building is valued as a surviving reflection of the early, single-family, elite residential character of the Downtown's Albert Crescent precinct. It is also a significant early residential design by architects Townley and Matheson, and reflects the influence of the Arts and Crafts movement through its design and finishes. The building has remained largely unaltered, both on the exterior and the interior, and is considered to be in good condition overall. Photographs of the building in its current condition can be found in Appendix E.

*Does the Statement of Significance provide an accurate representation of the heritage values and character defining elements of the building?*

### **Design Relationship with the New Building Component**

The City's policies, including the Standards and Guidelines, strongly encourage developments that include a historic building to be respectful of the existing heritage assets. Respectful development does not necessarily mean the new building(s) must be physically smaller than the heritage building or that the site should not be developed, rather that the site or new buildings' design should consider the heritage building, and allow the heritage building to be the focus of the development. The guidelines identify that new buildings should not be overwhelming, or detracting from the historic features.

In the Downtown Community Plan, the City's heritage conservation principles speak to the protection and retention of a heritage building in its entirety including its character-defining elements. While keeping a heritage building separate offers the most direct way to achieve this and conserve its heritage value, the applicant has noted that this will create significant challenges to the project's viability (e.g. with the elimination of buildable area from building separation setbacks).

With the proposed shifting of the Catherine Armstrong house further west closer to the street, its front elevation is currently proposed to align with and connect to the facade of the new building. The six storey building form would mostly be integrated into the northern and western elevations of the heritage house and a portion of its roof. The new building component is proposed to be simple in geometric form and clad in complimentary materials. Ground-oriented units are proposed to be incorporated along the primary street frontages, including a couple that would be located to the east at the rear of the heritage house and face Dickenson Street. Preliminary concept drawings are provided in Appendix C.

*Considering that the development of low rise apartments is supported under the current land use designation, are the massing and siting elements of the new building addition compatible with and respectful of the heritage house?*

*Alternatively, does the site plan or the design of the new building addition overwhelm the heritage house? Are there specific improvements that could be considered?*

### **FEEDBACK FROM THE COMMISSION**

The Community Heritage Commission is being asked to review this Pre-Application review enquiry and provide feedback in relation to the above questions and the following aspects:

- The heritage value of the 1910 building and the 1916 Catherine Armstrong House;
- The key elements and features of the 1916 house that should be focused on; and
- Any heritage implications related to the design of the site or the new building addition.

### **ATTACHMENTS**

Appendix A: Pre-Application Review Guide

Appendix B: Site Context Map

Appendix C: Select Preliminary Concept Drawings

Appendix D: Heritage Assessment for 250 Agnes Street

Appendix E: Statement of Significance and Condition Assessment for 63 Merivale Street

This report was prepared by:  
Dilys Huang, Development Planner

This report was reviewed by:  
Judith Mosley, Senior Heritage Planner  
Demian Rueter, Manager, Development Planning



Appendix A

*Pre-Application Review Guide*



## What is a Pre-Application Review?

A Pre-Application Review is a formal process that allows City staff to review a preliminary application in detail and provide written comments to an applicant before a full application is made.

The proposal will be presented to the Land Use and Planning Committee for preliminary feedback. Feedback from other City Departments and Committees may also be provided.

## What are the Benefits of Pre-Application Review?

Most development applications have the option of using the Pre-Application Review process, including:

- Zoning Bylaw Amendments;
- Development Permits;
- Development Variance Permits;
- Special Development Permits;
- Heritage Revitalization Agreements; and,
- Temporary Use Permits.

Many applications can benefit from a formal Pre-Application Review as the process helps to identify key considerations and potential issues of a proposed development before significant investment is made in

a full application. Large or complex projects are particularly likely to benefit from the process.

The process will provide the applicant with the following kinds of information:

- Consistency with City policies and regulations;
- Expectations about required qualified professionals, such as Engineers, Biologists, Architects, Landscape Architects, or Planners;
- Estimated application fees, and an outline of how development cost charges and amenity contributions would be calculated;
- Anticipated sequencing of steps for the full application review process;
- General servicing requirements;
- Required studies;
- Special considerations, such as for buildings on the property that are more than 50 years old, parking, or tree retention;
- Potential issues related to the site or project; and
- Feedback from the Land Use and Planning Committee.

The information provided will vary depending on the scope and complexity of a project, and detail of information provided to the City.

## Pre-Application Review Process

Following initial conversations with staff, the Pre-Application may be submitted. Planning staff will coordinate the Pre-Application Review, which may involve other City Departments and Committees.

Once the review is complete, staff will present it to the Land Use and Planning Committee for feedback.

All comments and feedback on the proposal will be consolidated and provided to the applicant in a letter.

## Pre-Application Timing

The time required for processing a Pre-Application depends on the type, scale and complexity of the project, the number of Pre-Applications in progress, committee meeting schedules, and the ability of the applicant to provide materials and information when required. Typically, the process is expected to take about six weeks.



# Application Requirements

## Before you Submit

Before preparing and submitting a Pre-Application, it is important to meet with staff in the Planning Division. For this meeting, it is helpful to bring a letter outlining the project and a simple sketch of the property, with the location and size of buildings and other features.

## Pre-Application Requirements

### THE FOLLOWING INFORMATION IS REQUIRED FOR A PRE-APPLICATION:

**A Pre-Application Form** signed by all persons whose names appear on the Title Certificate or an authorized agent. The application form will be provided at the time of submission.

**A Current Title Search**, including a copy of any 'legal notations' or 'legal encumbrances' registered on title which may impact the development of the site (e.g. restrictive covenants, rights of ways, easements).

**A Letter of Authorization** signed by the owner(s), if an applicant is applying on behalf of the owner(s) registered on the Title Certificate.

**The Pre-Application Fee** for the Pre-Application Review.

**A Project Summary Letter** describing the project, its alignment with City policies, and impacts to the neighbourhood and community.

**A Site Plan(s)** that depicts the location, dimensions, and elevations of all building parking, and landscaping.

All submitted plans should be 11x17".

*Note: Further information about Application Fees, Letters of Authorization, and other submission guidance is available on the [Making a Development Application webpage](#).*

### THE FOLLOWING INFORMATION IS RECOMMENDED FOR A PRE-APPLICATION:

**Elevations, Sections, or Perspective Drawings** are recommended for large or complex proposals.

**A Heritage Assessment**, prepared by a CAHP member, if the PAR is for a future a heritage revitalization agreement.

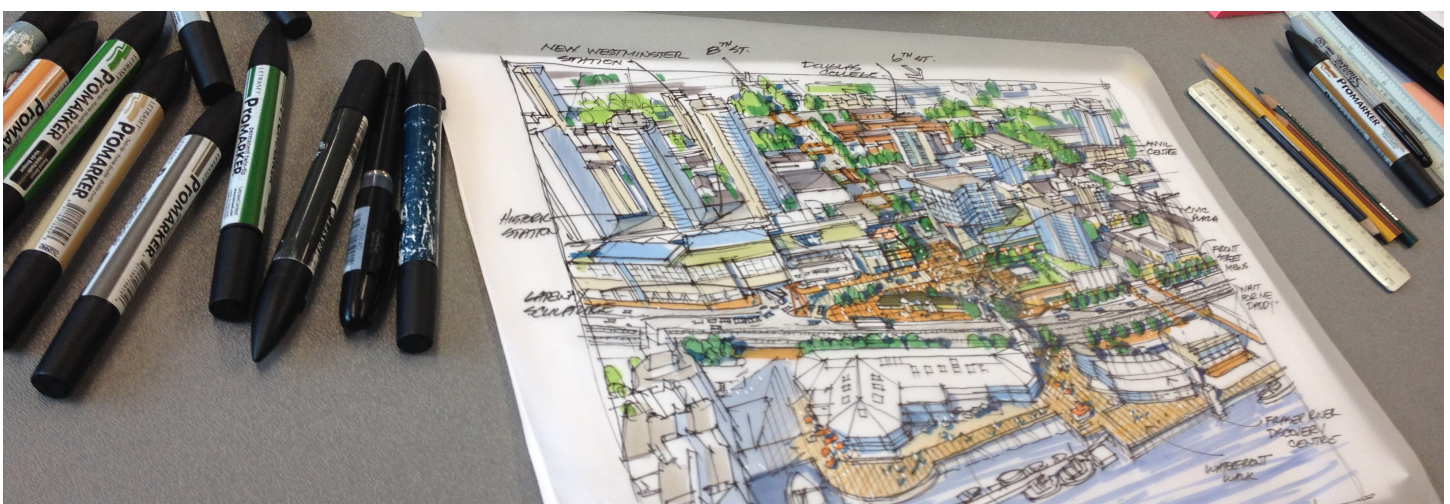
**A Statistical Table** is recommended, which documents the conditions of use for the applicable zoning district, including

- Required/permitted and proposed setbacks;
- Density, floor space ratio (FSR), height, and site coverage;
- Parking (including bicycle parking) and loading requirements;
- Open space dimensions and areas;
- Housing unit types and areas; and,
- Any other pertinent design measurements.

**A Title Search Summary** that outlines the impact of each of the registered agreements and/or encumbrances are recommended.

**A Tree Survey and an Arborist's Report** is recommended, addressing the size, type and condition of all trees impacted by the property (note, the Tree Permit Application process is separate).

Additional materials may be recommended for submission depending on the scope and complexity of the project.



## Appendix B

### *Site Context Map*



## 63 Merivale Street & 250 Agnes Street



50.8 0 25.40 50.8 Meters

NAD\_1983\_UTM\_Zone\_10N  
CNW GIS Services

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

Appendix C

*Select Preliminary Concept  
Drawings*



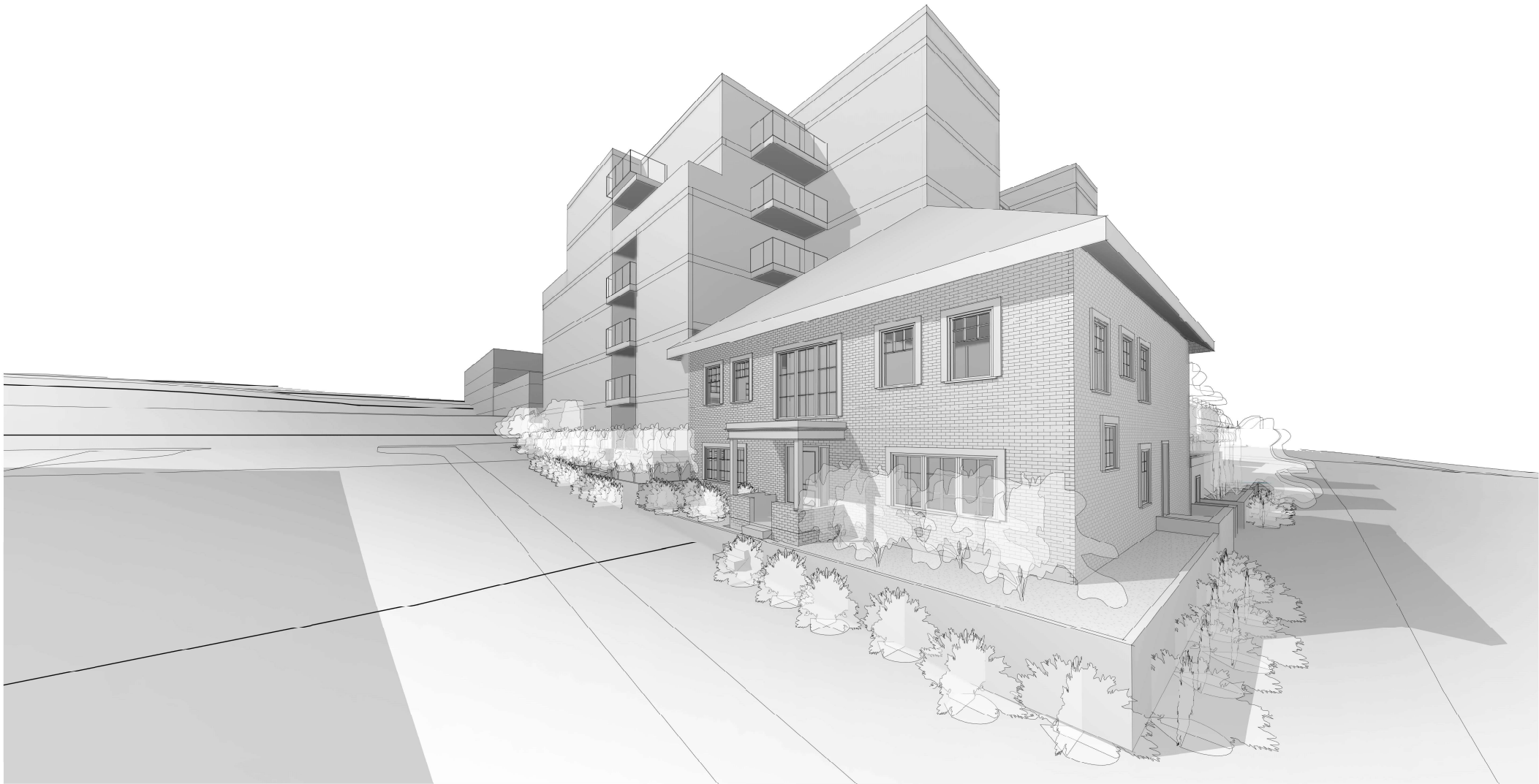
MERIVALE AND AGNES STREET  
FEASIBILITY STUDY

63 MERIVALE AND 250 AGNES STREET

PROJECT No. 21058

PHASE 3 | 2021/11/02 |

ISSUED FOR PRELIMINARY APPLICATION REVIEW



Architect

Iredale Architecture  
220 - 12 Water Street  
Vancouver, BC  
V6B 1A5

T: 604.736.5581  
F: 604.736.5585

Contact:  
Peter Hildebrand  
peter@iredale.ca

Sheet List	
Number	Sheet Name
A000	COVER SHEET
A010	CONTEXT IMAGES
A100	PROJECT INFORMATION
A101	SITE PLAN
A102	PARKADE
A102A	PARKADE
A102B	PARKADE
A103	MAIN FLOOR

Sheet List	
Number	Sheet Name
A104	LEVEL 2
A105	LEVEL 3 TO 6
A106	LEVEL 6
A301	ELEVATIONS
A302	ELEVATIONS
A303	SECTIONS
A304A	SHADOW STUDY
A400	3D VIEWS
A401	RENDERINGS





1. DICKENSON & MERIVALE STREET INTERSECTION - SOUTH VIEW



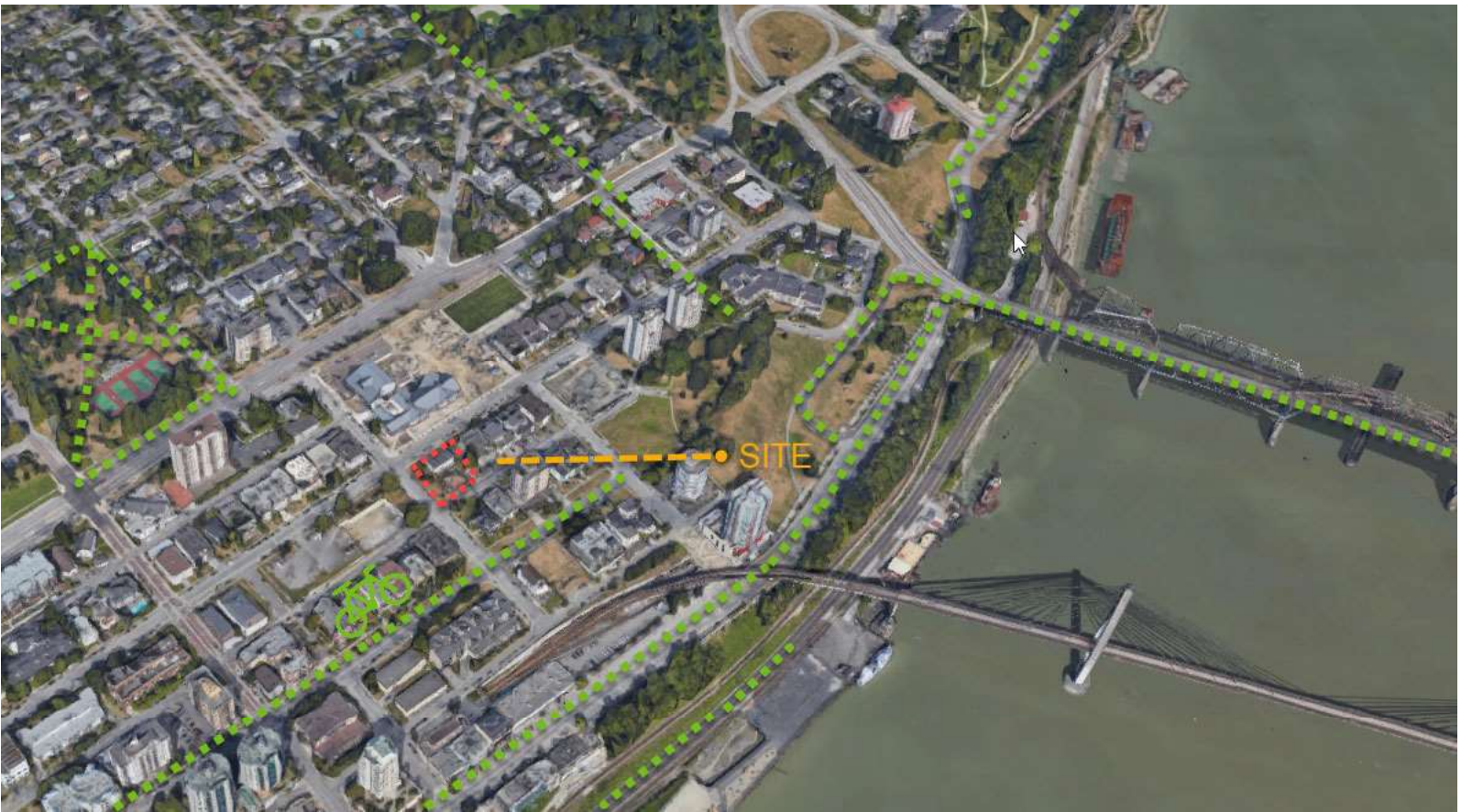
2. MERIVALE STREET - SOUTH VIEW



3. AGNES STREET & MERIVALE STREET INTERSECTION - NORTH VIEW



4. AGNES STREET - WEST VIEW



AERIAL VIEW - NORTH



AERIAL VIEW - NORTH

2	2021/11/02	Issued for Review
1	2021/06/17	Issued for Review
No.	Date	Revision

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**IREDALE**  
ARCHITECTURE

220 - 12 Water Street  
Vancouver, BC V6B 1A5  
604 - 736 - 5581

Vancouver Victoria  
[www.iredale.ca](http://www.iredale.ca)

Seal

**MERIVALE AND  
AGNES STREET  
FEASIBILITY STUDY**

63 MERIVALE AND 250 AGNES  
STREET

Drawing Title

CONTEXT IMAGES

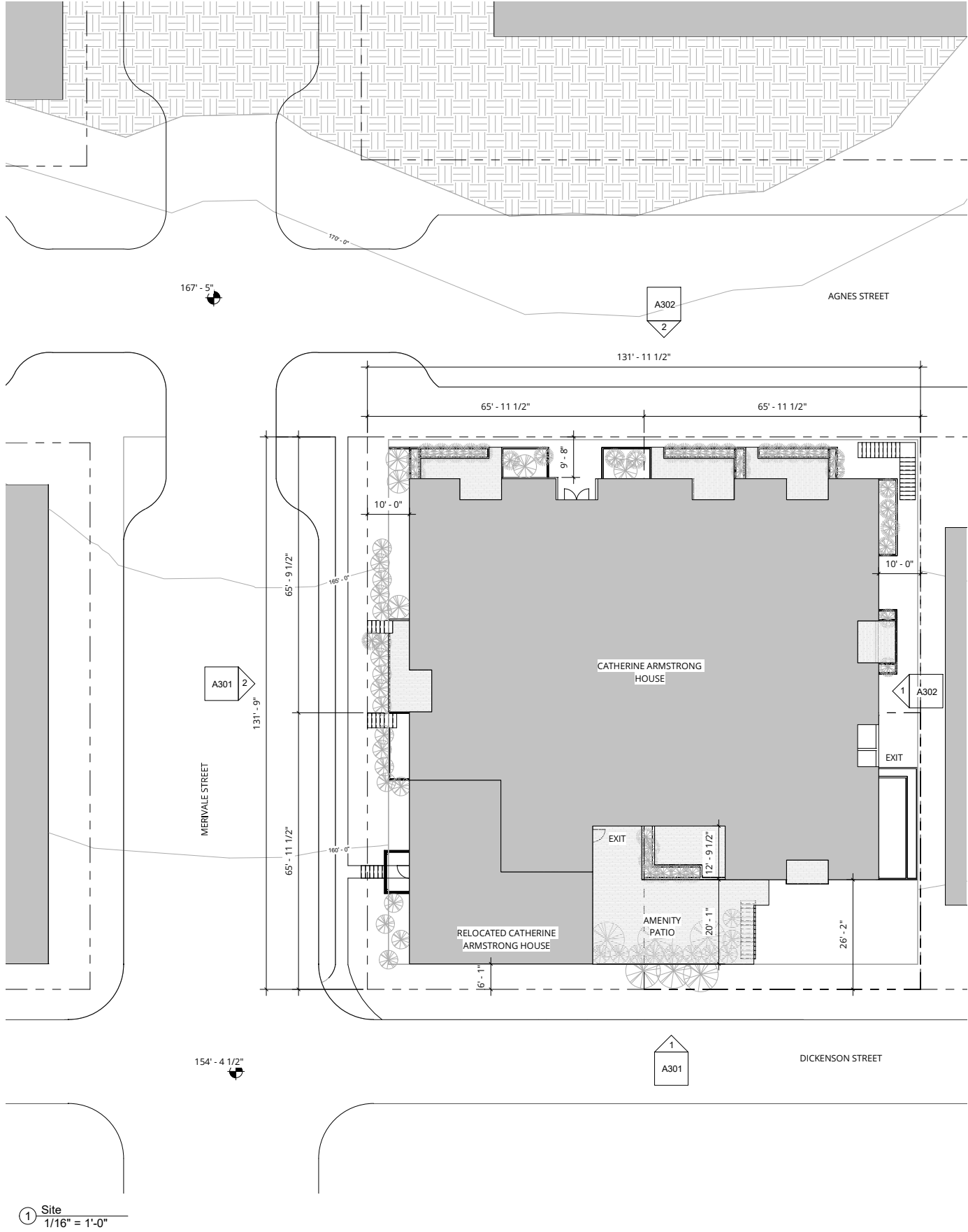
Scale @ 22"x34"

Drawn LM Check PJH Partner PJH

Project No.  
21058

Phase No. 3 Sheet No. A010





**DEVELOPMENT SUMMARY**  
**63 MERIVALE ROAD AND 250 AGNES STREET, BURNABY, B.C.**  
Legal description: SOUTHERLY HALF LOT 1 BLOCK 27 PLAN 2620  
NORTHERLY HALF LOT 1 BLOCK 27 PLAN 2620

ZONING		Proposed: CD Comprehensive Development	(RM-2) Allowable Existing FSR: 0.6					
SITE AREA					17,384.8	sf	1615.1	sm
SETBACKS	Front - Proposed	Note: See Drawings	10.0	ft	3.0	m		
	Side Yard Facing Street- Proposed Min.	Note: See Drawings	10.0	ft	3.0	m		
	Side Yard Interior Lot Line- Proposed Min.	Note: See Drawings	10.0	ft	3.0	m		
	Rear Yard - Proposed	Note: See Drawings	6.0	ft	1.8	m		
BUILDING HEIGHT		Proposed	6 Storeys	54.0	ft			

<b>BUILDING AREA OPTION 1</b>						
LEVEL	RESIDENTIAL COMMON AREA (SF)	NET UNIT AREA RESIDENTIAL (SF)	GROSS FLOOR AREA (SF)	RESIDENTIAL AMENITY AREA (SF)	FSR AREA (SF)*	EFFICIENCY
P1	0	730	730	0	730	
1	1,930	8,238	10,830	662	10,830	84.5%
2	1,409	9,421	10,830	0	10,830	87.0%
3	1,100	8,290	9,390	0	9,390	88.3%
4	1,100	8,290	9,390	0	9,390	88.3%
5	1,100	8,290	9,390	0	9,390	88.3%
6	1,100	7,706	8,806	0	8,806	87.5%
<b>TOTAL</b>	<b>7,739</b>	<b>50,965</b>	<b>59,366</b>	<b>662</b>	<b>59,366</b>	<b>87.0%</b>
						<b>FSR 3.4</b>

<b>PROPOSED FSR AREA</b>		RESIDENTIAL	59,366	SF
<b>GROSS FLOOR AREA</b>		RESIDENTIAL	59,366	SF
<b>NET AREA</b>		(RESIDENTIAL)	50,965	SF
<b>AVE. RESIDENTIAL FLOOR PLATE EFFICIENCY</b>			87%	SF
<b>AVERAGE UNIT AREA (RESIDENTIAL)</b>			772	SF
<b>PROPOSED COVERAGE AREA</b>		RESIDENTIAL	11,975	AREA SF
<b>DWELLING UNIT DENSITY</b>		UNITS	61	
		SITE ARE (ACRE)	0.40	
		DENSITY	152.85	

<b>RESIDENTIAL UNIT SUMMARY</b>						
UNIT TYPE	STUDIO	1 BEDROOM	2 BEDROOM	3 BEDROOM	RENTAL UNIT	TOTAL
TYP UNIT AREA	320 sf	500 sf	700 sf	900 sf	500 sf	
LEVEL						
P1		2				2
1	1	3	0	4	3	11
2	1	4	2	3	3	13
3	1	3	2	4		10
4	1	3	2	4		10
5	1	3	2	4		10
6	1	3	2	4		10
UNIT MIX	9.1%	31.8%	15.2%	34.8%	9.1%	
<b>TOTAL</b>	<b>6</b>	<b>21</b>	<b>10</b>	<b>23</b>	<b>6</b>	<b>66</b>
<b>Adaptable Housing Units</b>					40% OF TOT UNITS	26

<b>PARKING SUMMARY</b>	
REQUIRED CAR PARKING (as per 150.8.4)	
RESIDENTIAL	
BACHELOR AND 1 BR	1.0 SPACES / UNIT 27.0
2 AND 3 BR	1.35 SPACES / UNIT 52.7
	79.7
VISITOR: 0.1 SPACES PER DWELLING UNIT	6.6
TOTAL REQUIRED SPACES	86.3
TOTAL	
MAX COMPACT CAR (30%)	25.9
ACCESSIBLE PARKING (3 spaces for every 70 Units)	3.0
VAN ACCESSIBLE PARKING (1 every 3 accessible)	1.0
	29.9

<b>PROPOSED CAR PARKING</b>					
LEVEL	STANDARD	COMPACT	ACCESSIBLE	VAN ACCESSIBLE	TOTAL PROVIDED
P1	29	3	2		34
P2	35	15	1	1	52
<b>TOTAL</b>	<b>64</b>	<b>18</b>	<b>3</b>	<b>1</b>	<b>86</b>

REQUIRED LOADING One loading space per building

PROPOSED LOADING One

REQUIRED BIKE PARKING	RESIDENTIAL	1.25 spaces / unit	82.5
-----------------------	-------------	--------------------	------

PROPOSED BIKE PARKING	RESIDENTIAL	77.0
-----------------------	-------------	------

TOTAL 77.0

BIKES 77.0



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**MERIVALE AND  
AGNES STREET  
FEASIBILITY STUDY**

63 MERIVALE AND 250 AGNES  
STREET

**SITE PLAN**

Drawing Title

Scale @ 22"x34"

As indicated

Drawn

LM

Check

PJH

Partner

PJH

Project No.

21058

Phase No.

3

Sheet No.

A101



① South  
1/16" = 1'-0"



② West  
1/16" = 1'-0"

2	2021/11/02	Issued for Review
1	2021/06/17	Issued for Review
No.	Date	Revision

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Seal

MERIVALE AND  
AGNES STREET  
FEASIBILITY STUDY

63 MERIVALE AND 250 AGNES  
STREET

Drawing Title

ELEVATIONS

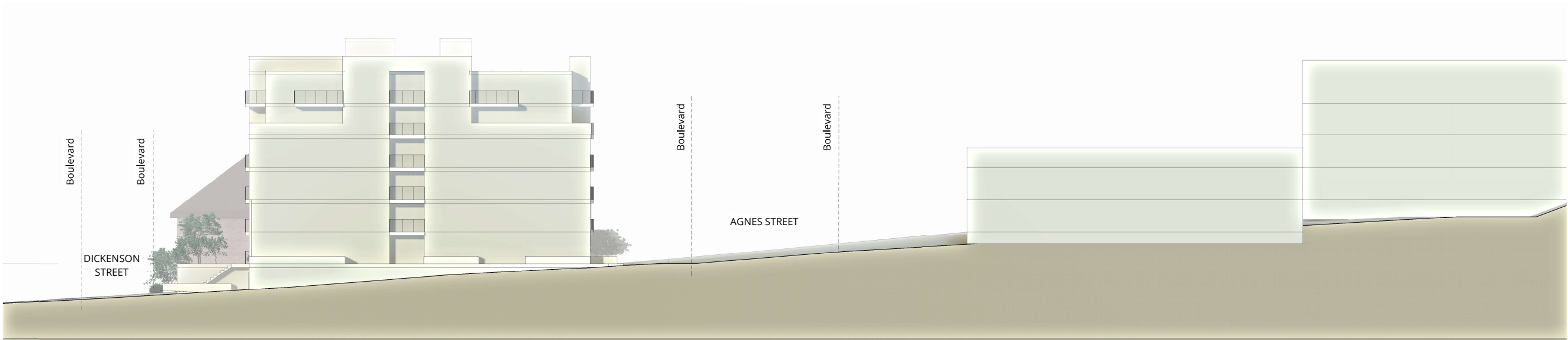
Scale @ 22"x34"

1/16" = 1'-0"

Drawn	LM	Check	PJH	Partner	PJH
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Project No.
21058

Phase No.	3	Sheet No.	A301
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① East  
1/16" = 1'-0"



② North  
1/16" = 1'-0"

1	2021/06/17	Issued for Review
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**MERIVALE AND  
AGNES STREET  
FEASIBILITY STUDY**

63 MERIVALE AND 250 AGNES  
STREET

Drawing Title

ELEVATIONS

Scale @ 22"x34"

1/16" = 1'-0"

Drawn LM Check PJH Partner PJH

Project No.  
21058

Phase No. 3 Sheet No. A302



① 3D View 1



③ 3D View 3



② 3D View 2



④ 3D View 4

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**MERIVALE AND  
AGNES STREET  
FEASIBILITY STUDY**

63 MERIVALE AND 250 AGNES  
STREET

Drawing Title

**3D VIEWS**

Scale @ 22"x34"

Drawn	LM	Check	PJH	Partner	PJH
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Project No.	21058
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Phase No.	3	Sheet No.	A400
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Appendix D

*Heritage Assessment for*

*250 Agnes Street*

# Heritage Assessment

250 Agnes Street, New Westminster, BC :: Holly Manor Apartments ~ 1910/1955



Prepared by Elana Zysblat, CAHP :: Ance Building Services :: December 2021

Research & Analysis by Jurian ter Horst, MA :: ter Horst Research

## RESEARCH FINDINGS

NEIGHBOURHOOD: Downtown

### ORIGINAL OWNERS:

- 1910 dwelling: Lillooet (nee Armstrong) and Edward Newby Sutherland (1910-1955)
- 1955 Holly Manor Apartments: Reginald and Laura Monk (1955-1960)

### ARCHITECTS:

- 1910 dwelling: Gardiner & Gardiner
- 1955 Holly Manor Apartments: Unknown

### BUILDERS:

- 1910 dwelling: Unknown
- 1955 Holly Manor Apartments: Unknown

CONSTRUCTION DATES: 1910 (dwelling) / 1955 (Holly Manor Apartments)

LEGAL: Lot 1 and 2 Block 27 Plan NWP2620 Land District 36 NORTHERLY HALF

STATE: Rented (rental units)

HERITAGE STATUS: N/A

## HISTORIC BRIEF

Originally listed as 65 Merivale Street in the city directories, the subject building at 250 Agnes Street was transformed from a 1910 detached single-family dwelling into an 8-unit, two-storey (plus basement) apartment building in 1955. The original Arts and Crafts house was built in 1910 and designed by Gardiner & Gardiner, who designed many New Westminster and Vancouver buildings throughout the first half of the twentieth century.

In 1910, “One of the most fashionable weddings of the season” took place at the Armstrong House at 63 Merivale Street, when Edward Newby Sutherland (1883-1966) married Lillooet Armstrong (1888-1971). A new house was built for the newlyweds that summer next door at 65 Merivale Street. Mr. Sutherland, son of Ottawa’s Major E.D. Sutherland and a young real estate man, and Mrs. Sutherland, moved in in August 1910. The Sutherlands hired renowned architects Townley & Matheson to design an interior renovation to the house in 1923, involving mostly custom built-ins to the living room and den (Townley also designed the Armstrong House next door in 1916).

Mid-century zoning policies and the post-World War II housing crisis resulted in the demolition of many New Westminster homes and the conversion of many larger ones for the purpose of multi-unit buildings. Both houses at 63 Merivale Street (multi-family rental since 1955) and 65 Merivale Street are testament to this era of change. When Mrs. and Mr. Sutherland sold their house to Reginald and Laura Monks in 1955, the new owners significantly altered and expanded the house, transforming it into an apartment building facing Agnes Street, to be known as the Holly Manor Apartments.

A site visit confirmed that portions of the timber floor structure of the 1910 house were retained and are today partially visible in the basement area. The original 1910 chimney on the north elevation was retained within the 1955 apartment building, including its fire place which survives in one of the units on the ground floor. Other than the two mentioned above, there are no other surviving elements from the 1910 house inside the apartment building, which features a 1955 (and later) layout and finishes. Archival photographs from 1959 show that portions of the 1910 roof, including remnants of the projecting front gable, were engulfed in the new 1955 apartment building’s flat roof, but have since been removed, likely in the mid-1960s. Notwithstanding partial evidence on the interior of the building today that the 1910 house was not completely demolished when the apartment building was created, it is clear that the interior walls and layout of the 1910 house, as well as every one of its exterior character defining elements (except for the one chimney stack) including its massing, form, scale, design, finishing materials and orientation to Merivale Street, were irreversibly altered or removed as part of the development in 1955.

Ownership of the apartment building changed several times throughout the 1960s and 1970s. The building was purchased by the current owners, the Gastaldo family, in 1987.



**HERITAGE ASSESSMENT <sup>1</sup>**

Evaluation criteria	Value	Comments
<b>Historical Association</b>	7/20	
a. Level of importance of a directly associated person or event (national/provincial/local).	7/10	Lillooet Armstrong, daughter to Joseph Charles and Kate Armstrong of the Armstrong House at 63 Merivale Street, and Edward Newby Sutherland, son to Ottawa's Mayor E.D. Sutherland, were the first and only owners and residents of the original 1910 house.
b. Does the building illustrate a significant phase in the history/development of the local community?	0/10	The 1910 dwelling was irreversibly altered into an apartment building and no longer illustrates the single-family character of the Albert Crescent/downtown neighbourhood of that time.
<b>Architecture</b>	11/40	
a. Visual quality of the building in the context of an architectural style or type (aesthetics).	0/15	The 1910 dwelling was irreversibly altered into an apartment building and its original architectural design, massing and finishes do not survive.
b. Is the building still used for original function?	5/10	The original use of the site was residential in a single-family detached home. With the conversion of the original house into an apartment building, the use of the site changed to multi-unit residential.
c. Quality of workmanship and handling of materials.	1/10	Except for portions of the timber floor structure, the original chimney and fire place, there is no surviving evidence of workmanship nor materials from the 1910 house within or on the Holly Manor Apartments building.

<sup>1</sup> This table assesses the heritage value of the 1910 dwelling, as per the City of New Westminster's "Buildings 100 Years Old and Older" heritage review policy, and does not include an assessment of the Holly Manor Apartments.

Evaluation criteria	Value	Comments
d. Association with particular designer or architect.	5/5	The original 1910 house was designed by the renowned architecture firm Gardiner & Gardiner, and included later interior interventions designed by Townley & Matheson.
<b>Context</b>	<b>0/35</b>	
a. The integrity of historic relationship between the building and its associated context.	0/10	The original 1910 house was built for Lillooet Armstrong, whose parents lived next door at Merivale 63. With the construction of the 1955 Holly Manor Apartments and later renovations of the roof (including the removal of surviving parts of the original 1910 roof) the historic relationship between the two houses on 63 and 65 Merivale Street was obliterated.
b. Influence of the building on the present character of the area (setting).	0/10	Since there is no notable surviving exterior fabric of the 1910 dwelling, and its design and massing have been obliterated by the apartment building, the 1910 dwelling no longer contributes to the character of the area.
c. Nature of the building's identity within the community (landmark).	0/15	There is no visual evidence of the 1910's existence left.
<b>Adaptability</b>	<b>5/20</b>	
a. Can the building continue with its current/original use?	5/10	The 1910 dwelling's original use as a single-family dwelling discontinued with the irreversible alterations into an apartment building in the 1950s. The original use only partially survived through the continuation as a residential building (contrary to, for example, to commercial use).
b. Can the building be adapted for new contemporary uses without compromising heritage values?	0/10	Insufficient elements of the 1910 dwelling survive to conserve any of its heritage values.

Evaluation criteria	Value	Comments
<b>Integrity</b>	2/30	
a. Presence of original character-defining elements.	1/10	There are no surviving character-defining elements (except for one of the chimney stacks and its residential use - although the latter changed from single-family to multi-unit).
b. Compatibility of contemporary alterations and materials.	0/10	The irreversible interventions to the 1910 dwelling completely altered the original massing, form, scale, design, finishing materials and orientation of the building.
c. Overall exterior condition of structure and materials.	1/10	There is no surviving exterior fabric of the 1910 dwelling (except for a chimney stack).
<b>Summary: 17%</b>	<b>25/145</b>	

## CONCLUSION

This heritage assessment was undertaken as per the City of New Westminster's "Buildings 100 Years Old and Older" heritage review policy, and as such only includes an assessment of the 1910 dwelling. The Arts and Crafts style dwelling, designed by renowned architects Gardiner & Gardiner, was transformed into an 8-unit apartment building in 1955, an intervention which irreversibly altered all of its original massing, form, scale, design, finishing materials and building orientation (except for portions of the timber floor structure and a fire place only visible on the interior, and the location of one of the chimney stacks). As a result, there are no surviving character-defining elements and the tangible historic relationship between the two houses at 63 and 65 Merivale Street was erased. Therefore, this site has almost no heritage value in regards to the 1910 dwelling, and is not a candidate for conservation.

## RESEARCH RESOURCES

### Ancestry.ca

- British Columbia, Canada, Death Index, 1872-1990
- British Columbia, Canada, Marriage Index, 1872-1935
- Canada, Voters List, 1935-1980
- Find a Grave Index, 1600s-Current
- 1901 Census of Canada

### BC Archives

- Birth, marriage and death indexes

BC Assessment (<https://www.bcassessment.ca/>)

Biographical Dictionary of Architects in Canada, 1800-1950

(<https://dictionaryofarchitectsincanada.org/>)

### City of New Westminster Archives

- Archival photographs
- Field Assessment Card
- Fire Insurance Maps, 1931/1957
- Tax Assessment Rolls, 1910/1911/1923/1924/1954/1955/1956
- Water Permit (13 August, 1910)

### City of New Westminster, CityViews Maps

- Public Development Site Report, 250 Agnes Street
- Public Development Site Report, 63 Merivale Street

### City of Vancouver Archives

- Goad's Atlas of the City of New Westminster, 1913 (Volume III)
- E.N. Sutherland residence alterations : Agnes and Merivale, New

Westminster, B.C., (May 11, 1923) -- AM1399-S1--

### New Westminster Public Library

- BC Weekly, 1902-1913
- Columbian Newspaper, 1957-1983
- Information Files
- Lower Fraser Valley Directory, 1956 - 1992
- Public Library Photo Database



Newspapers.com

UBC Library Open Collections  
- BC Historical Newspapers

Vancouver Public Library:  
- BC City Directories, 1860-1955 (<https://bccd.vpl.ca/>)  
- Historical Photograph Collections

Vintage Air Photos (<https://vintageairphotos.com/>)

Wolf, Jim. 2005. Royal City: a photographic history of New Westminster 1858-1960. Surrey, BC: Heritage House.

Site visit. November, 2021.

## CURRENT PHOTOS



front view



rear view



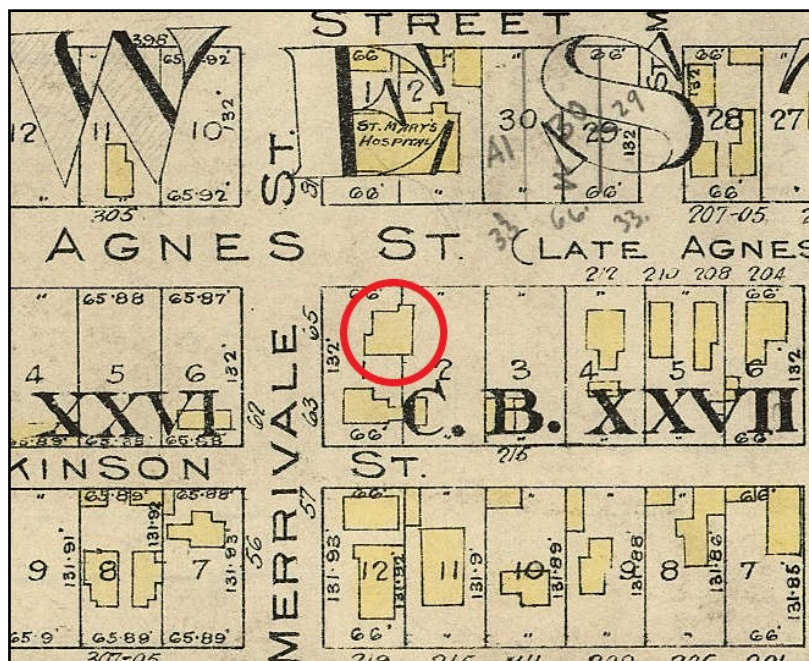
side view  
(east  
elevation)



side view  
(west  
elevation)

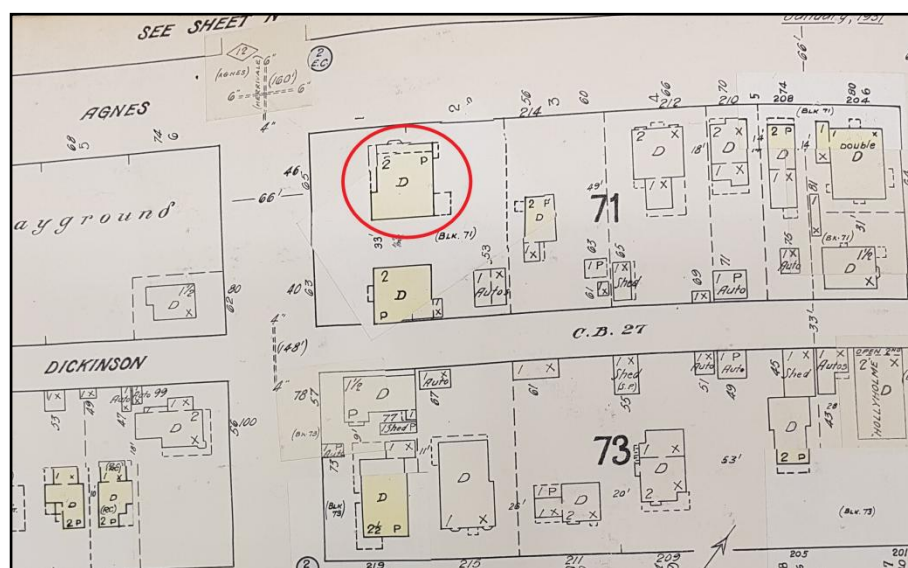


## ARCHIVAL IMAGES & RECORDS



Left: Fire Insurance Map of New Westminster, 1913. The map shows the subject property listed as 65 Merrivale Street, circled in red. South of the subject house is the former Armstrong House at 63 Merrivale Street, demolished in 1916.

Source: City of Vancouver Archives, Goad's Atlas of the City of New Westminster, 1913 (Volume III, plate 124), AM1594-MAP 342c.

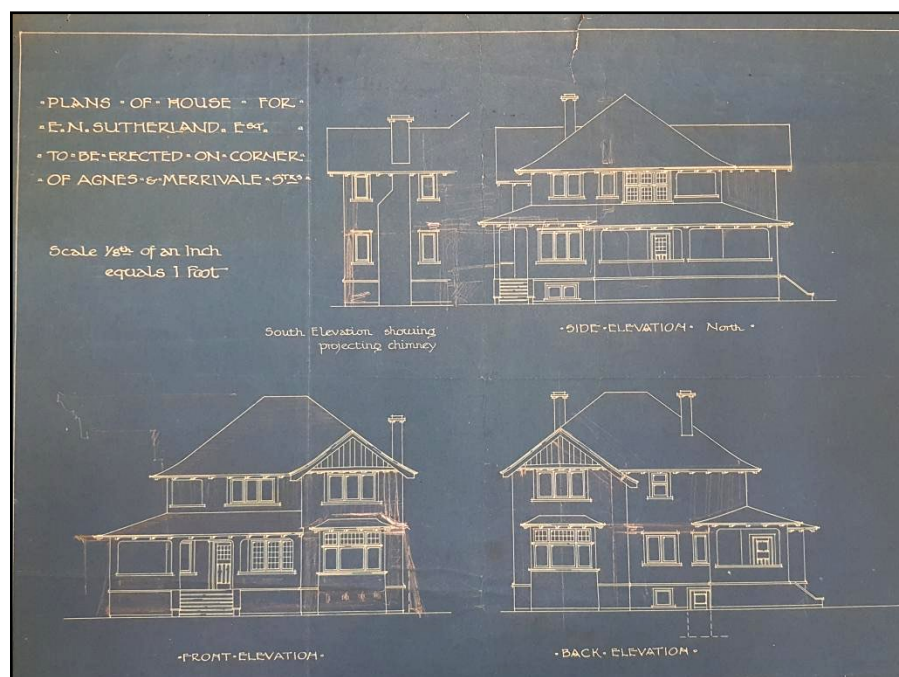


Fire Insurance Map of New Westminster, 1931. The subject house is circled in red. Note the alterations that were made to the north elevation of the house, as well as the 'new' Armstrong House at 63 Merrivale Street, constructed in 1916. Source: City of New Westminster Archives, City of New Westminster, 1931 Insurance plans.





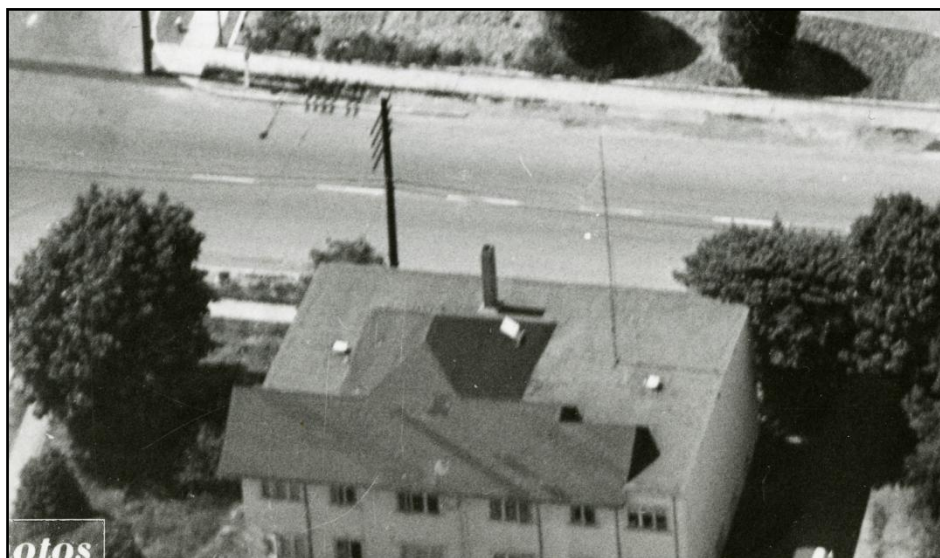
Aerial photograph of New Westminster (1951). The 1910 house at 65 Merivale Street is marked with a red circle. Source: Vintage Air Photos, 1-8: Front st. New Westminster (cropped by author).



Plans for the house at 65 Merivale Street, by Gardiner & Gardiner (1910). Source: City of Vancouver Archives, AM1399-S1-- (May 11, 1923).



Aerial photograph of 63 Merivale Street and 250 Agnes Street (former 65 Merivale Street), New Westminster (1959). Remnants of the original 1910 roof were engulfed in the new apartment building.  
Source: City of New Westminster Archives, IHP9718-114 (cropped by author).



Aerial photograph of 250 Agnes Street (1959). Note the projecting gable on the north elevation. Source: City of New Westminster Archives, IHP9718-109 (cropped by author).



Aerial photograph of 250 Agnes Street (1955). North of the subject building are located the old and new St. Mary's Hospital (demolished, now the École Qayqayt Elementary School). The houses to the east of 250 Agnes Street were all replaced with apartment buildings in the 1960s. Source: City of New Westminster Archives, IHP6936-046.

Source: City of New Westminster Archives, IHP6936-046 (cropped by author).

The engagement has been announced at New Westminster, B.C., of Miss Lilloet Armstrong, daughter of Mr. Joseph C. Armstrong of that city, to Mr. E. N. Sutherland. Mr. Sutherland is an old Ottawa boy, son of Major E. D. Sutherland of the auditor-general's office, and commenced his business career here with the Bank of Montreal. He was transferred to New Westminster about four years ago, but has recently resigned from the bank to take the position of manager of the New Westminster branch of the Vancouver Financial corporation. The wedding will take place during June.

Plans are also being prepared for houses for E. N. Sutherland, to be erected on the corner of Merrivale and Agnes streets; G. Bruce Corbould, on Royal avenue; E. L. Webber, an eight-room house, on Queen's avenue, and D. McPherson, on the corner of Third and Fourth avenues.

1910 was an exciting year for Lilloet Armstrong and Edward Newby Sutherland. In January, their engagement and wedding were announced. The wedding took place at Lilloet's ancestral house (63 Merivale Street). Meanwhile, plans were being prepared for a house at the corner of Merivale and Agnes. The house was built over summer, and the couple moved in in August.

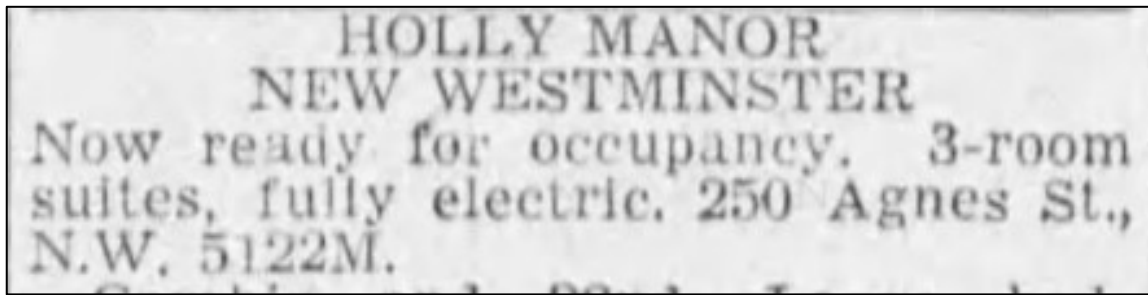
Sources: The Ottawa Citizen, 18 January 1910; The Daily News, 12 March 1910 (above); The Province, 25 June 1910; The Daily News, 7 July 1910; and The Province, 20 August 1910 (below).

**Royal City Society.**  
New Westminster, June 25.—The residence of Mr. J. C. Armstrong, Merrivale street, was the scene of a very pretty wedding on Wednesday at 2:30, when his elder daughter, Lilloet, was united in wedlock to Mr. Edward Newby Sutherland, eldest son of Major Sutherland of Ottawa. The ceremony was performed by Father O'Boyle in the presence of the relatives and intimate friends of the young couple. In the drawing-room,

A fine house for E. N. Sutherland on the corner of Agnes and Merrivale streets is nearing completion.

\* \* \*  
Mr. and Mrs. E. N. Sutherland moved into their new home during the week.  
\* \* \*





In September 1955, the Holly Manor Apartments were ready for occupancy. Source: The Vancouver Sun, 27 September 1955.

Appendix E

*Statement of Significance and  
Condition Assessment for  
63 Merivale Street*

# Condition Assessment

April 2021



## Catherine Armstrong House

63 Merivale Street ~ New Westminster BC

Elana Zysblat, CAHP - Ance Building Services ~ Heritage Consultant

## **Statement of Significance** (Source: City of New Westminster 2004/04/05)

highlighted text recommended as additions or changes by author

### **DESCRIPTION OF HISTORIC PLACE**

The Catherine Armstrong House is a large two-storey, shingle-clad wood-frame residence with a central entry and symmetrical front facade, located on Merivale Street near New Westminster's downtown core in the neighbourhood of Albert Crescent.

### **HERITAGE VALUE**

The Catherine Armstrong House is associated with the turn-of-the-twentieth-century development of downtown New Westminster, marking a formative period in B.C.'s resource-based economy. Pioneer Joseph Charles Armstrong came to New Westminster in 1858, part of the rush up the Fraser River in search of gold, and settled in New Westminster in 1869. In 1885, he married Catherine Freese of San Francisco. After Joseph's death in 1916, Catherine (1862-1954) built this house to replace an older structure that had been their home since the 1890s.

Additionally, this residence is a significant early residential design by architects Townley and James Matheson. Fred Laughton Townley (1887-1966), had a prolific career that spanned many decades; in 1919, he formed a partnership with Robert Matheson and this partnership's best known commission was its design for Vancouver City Hall. The design of this residence reflects the influence of the Arts and Crafts movement in its use of materials, but it is rendered in a severe and functional expression indicative of wartime construction; there would have been little construction undertaken at the time due to the shortage of labour and materials.

The building's conversion into multiple suites in the post-WWII era reflects the changing economy and adaptation made to many surviving early grand houses during the post-war housing crisis. The enduring multi-family configuration (1955 until current) better represents both the demographic and built form of the Albert Crescent area of new Westminster's historic downtown which changed significantly after new low-rise apartment building zoning was brought to the area to respond to the housing crisis in the mid-20th-century.

### **CHARACTER-DEFINING ELEMENTS**

- single family use from 1916 to 1954 and multi-family rental use since 1955
- prominent corner location on a steeply sloping site with views to the Fraser River
- residential form, scale and massing as expressed by its two-storey height (plus full basement) and regular, square plan with central entry and hall
- broad hipped roof with overhanging open eaves and central eyebrow feature above the entry
- exterior elements such as the cedar shingle siding, exposed rafter tails, columned entrance porch, projecting square ground floor bay with stained glass window; two internal brick chimneys, and glazed front door with sidelights
- fenestration, including 8-over-1 double-hung wooden-sash windows, in triple assembly on the ground floor front facade and a multi-paned feature window with wooden-sash casements on the second floor above the entry
- associated landscape features such as the grassed front yard with mature trees and shrubs, and an early hipped roof garage at the rear



## Condition Assessment

The Catherine Armstrong House is overall in good condition.

### Structure:

The building lines are true to the eye. There is no visual evidence of structural distortion. The old-growth wood frame roof structure and second storey ceiling timbers visible in the attic are all in good, dry condition and represent traditional, enduring construction practices and skill.



**Above:** photographs of the attic space showing the well constructed, dry roof structure and second floor ceiling beams.

### Foundation:

The board-formed concrete foundation visible in the basement level is in good condition. No evidence of cracks, moisture damage or other deterioration was observed. The portion of the foundation visible on the exterior (south elevation) does have a few cracks but remains structurally sound.



**Above:** interior (left) and exterior (right) photographs of the board-formed concrete foundation.

### Cladding:

The entire exterior is clad in square butt cedar shingles. Their condition varies from elevation to elevation with the front (west) exhibiting the worst condition (poor). The same deteriorated condition of shingles is observable on an extension on the east (rear) corner. The shingles on the south elevation are in fair condition (except at the rear extension where they are poor) and those on the north elevation are in good condition. The shingles at the building corners, front porch, rear extension and where the shingles meet the foundation all appear to be warped/damaged beyond repair.

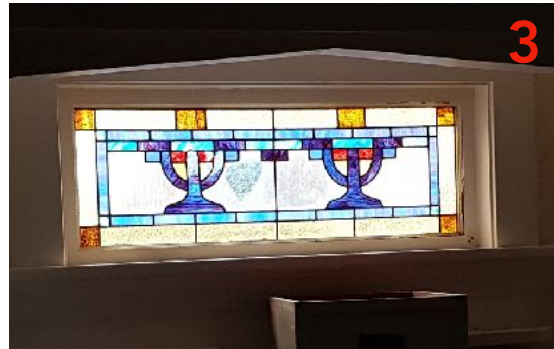


**Above:** front porch shingles (left) in the worst condition and north elevation (right) shingles in good condition.



## Windows:

All the window openings are original as are the wood sashes in them. Some may have been replaced in the 1920s but the majority appear to date from 1916 making them 105 years old at this time. The assembly above the front entrance (#1) is the only evident case where a previously divided-light sash (one of six that make up this assembly) has been replaced with a single-light wood sash. Given their age, their functioning condition is remarkable. All sash conditions vary between poor and fair and all require repair and maintenance - especially with regards to putty replacement and repainting. One original art-glass window in excellent condition survives in the southern elevation projecting bay (#2 and #3). The operability of each of the windows was not assessed.



### **Chimneys:**

The building has two internal brick chimneys, which project prominently from the roofline, and are in fair condition. Both chimneys are exhibiting mortar failure and require repointing.



### **Finishes:**

It is evident that the building hasn't been painted in a long time. The finishes on the 'weather' sides of the building (west and south) have dried, flaked off and are practically absent, leaving the wood cladding, trim, windows, and window sills completely exposed.

### **Roof:**

The duroid roof appears to have reached or extended past its life expectancy, although there is no notable evidence of roof failure or leaks on the interior because of roof failure.

### **Interior:**

The interior is in good condition. floors and ceilings on the interior are solid, level and dry. There is no evidence of damage due to lack of maintenance or mechanical failures, except for what appears to be water damage in the ceiling in a corner of the main stairway leading to the second floor (see photo on next page). As the building is vacant, and disconnected from electricity, the lack of mechanical heat in the winter and and natural ventilation in the summer can bring on significant and quick damage and deterioration. Furthermore, it is evident that since the building was vacated, break-in/s have occurred for the purpose of stealing the copper wires which has left damage to certain wall and ceilings (see photo, right). The vacant state of the building puts it at risk of further vandalism, damage and deterioration.







This photo shows water damage in the ceiling in a corner of the main stairway leading to the second floor

## Summary

This grand home, custom-designed by renowned architecture firm Townley & Matheson (who also designed the Columbia Theatre, Vancouver's city hall and many high-end residences in the area) was listed on the New Westminster's Community Heritage Register as a surviving reflection of the early, single-family, elite residential character of the Albert Crescent precinct of downtown New Westminster. The building has remained largely unaltered, both on the exterior and the interior, notwithstanding its sensitive and discreet conversion into rental suites in the 1950s, an evolution which contributes to the heritage values of this historic place.

The building's textured Arts & Crafts design and finishes stand out not only within what survives of the early Victorian-era neighbourhood but even more so in the current context of the dominating low-rise mid-century apartment buildings.

The generally good condition of the building means it is salvageable, even if relocation and adaptive reuse are desired as part of its conservation. In the context of site redevelopment, it has the potential to be a heritage feature and showcase, rooting the property in its layered legacy which is embodied in the evolution of the Catherine Armstrong House and giving any new development meaning and relevance within its historic setting.

## Next steps:

Vacancy is the biggest risk for old buildings. An interim full-time use, whether residential or as storage, needs to be made possible in the building if it is to be conserved and protected as a community heritage asset as part of a Heritage Revitalization Agreement in the future.

Additional research needs to be conducted about the building to further understand the story and contributions of Catherine Armstrong, the conversion of the building upon her death, and any other historic resources available about the property. The Townley & Matheson fonds held at the Vancouver Archives should be searched for possible surviving plans for the building.

## Photographs

### Exterior photographs



Front (west) and  
side (south)  
elevations



Rear (east) and  
side (north)  
elevations



Interior photographs:







# **REPORT**

## ***Climate Action, Planning and Development***

**To:** Community Heritage Commission      **Date:** December 7, 2022  
**From:** Lisa Wambaa, Planning Assistant      **File:** HER00879  
**Item #:** 2022-737  
**Subject:** Heritage Review (Demolition): 309 Lawrence Street

---

### **PURPOSE**

To review the heritage value of the building and provide a recommendation on demolition.

### **SUMMARY**

The Vernacular house with Arts & Crafts elements at 309 Lawrence Street, in the Queensborough neighbourhood, was built in 1922. The building is not legally protected by bylaw, and has not been listed on the City's Heritage Register. The building is however, listed in the 2010 Queensborough Residential Heritage Inventory and is identified as the Ellis Residence. As a result of the building's age (100 years old), being listed on the Queensborough Residential Heritage Inventory and as it has elements of its original style, the Community Heritage Commission is being asked to review the heritage value of this building in advance of a Demolition Permit process.

### **GUIDING POLICY AND REGULATIONS**

#### **100 Years and Older Heritage Review Policy**

In 2020, Council approved a revised heritage review policy, which highlights the City's interest in retaining New Westminster's oldest buildings. As such, redevelopment applications for buildings that are 100 years and older require a Heritage Values Assessment and review by the Community Heritage Commission.

## **Demolition Permits**

Demolition Permits are issued by the Director of Climate Action, Planning and Development, though the Director may forward the application to Council for further consideration, or consideration of a temporary protection order where warranted.

## **Temporary Protection Order**

A temporary protection order may be issued by Council for a property that is or may be considered to have heritage value sufficient to justify its conservation. Without consent of the owner, a temporary protection order may only last 60 days, after which the demolition permit must be issued.

## **Heritage Designation**

A Heritage Designation Bylaw is a form of land use regulation that places long-term protection on the land title of a property and which is the primary form of regulation that can prohibit demolition. Heritage Designation does not require owner consent. However, without consent of the owner, the owner is entitled under Provincial law to claim compensation for loss of zoning entitlement value from the Designation.

## **BACKGROUND INFORMATION**

### **Property Description**

The house at 309 Lawrence Street was built in 1922 and is approximately 168 sq. m. (1,810 sq. ft.). It is a one-storey house with a small porch leading to an upper entry below a modest gable, and faces west on Lawrence Street. The property has a density of about 0.211 floor space ratio (FSR), which is approximately 42% of the squarefootage available to the property in the Zoning Bylaw. Like many houses in the Queensborough neighbourhood, the house was raised due to the typical high water table in the area.

This house has a low-hipped roof covered in asphalt shingles. The exterior of the house has a combination of wooden shingles or shakes and shiplap siding and the exterior treatment is painted in two tones. A single small historic rectangular ornamental stained glass window, which was typical in the first half of the 20th century, is visible on the south side of the house.

Photographs of the building in its current condition are available in Appendix B.

## **Building Condition**

Based on current photos and the heritage value assessment (Appendix B), the house's overall form and massing have been retained. There are indications of deterioration over time and it is not clear whether the building's exterior historic fenestration pattern has been retained. The house has a combination of fixed, double-hung, and horizontal sliding aluminum/vinyl replacement windows. Overall the house appears to be in fair condition.

## **Development Policy Context**

The property is zoned Single Detached RQ-1 which allows for a single detached house and secondary suite to a combined maximum of 0.5 FSR. The owners would be permitted approximately 231.5 sq. m. (2491.85 sq. ft.) of additional floorspace above what is currently on site. As this property is located within the Fraser River floodplain, a routine Flood Plain Development Permit would be required. Further Planning approvals would not be needed.

In the Official Community Plan (OCP), the property is designated as "Residential - Low Density" (QRL) which envisions single detached dwellings (which may include a secondary suite), and duplexes. The surrounding properties fronting Lawrence Street have a similar designation.

## **Site Context**

The subject site is located in the Queensborough neighbourhood, on the west side of Lawrence Street and to the north of Ewen Avenue, which is the main traffic corridor through Queensborough. On this same block of Lawrence Street are single-detached houses that were constructed in the Contemporary House style, ranging from 1994 (1), 1996 (1), 2003 (1), 2007 (2), and 2018 (2). A site location map is included as Appendix A.

## **DISCUSSION**

### **Heritage Value**

A heritage value assessment indicates the house may have historic value for its age (1922) and aesthetic value for its Vernacular style with Arts & Crafts (also known as Craftsman style) elements. It appears to have retained some of its original design and character-defining elements including:

- overall form and massing,
- hipped roof with side-gabled addition and front-gabled porch,
- some original windows including one historic decorative stained-glass window, and
- siding and shingle cladding.

From its construction to the present, it has been determined that no individuals with citywide historical significance are meaningfully associated with the site. A heritage assessment with further details is available in Appendix B.



**FEEDBACK FROM THE COMMISSION**

The following options are available for consideration by the Community Heritage Commission:

- 1) That the Community Heritage Commission recommend the Director of Climate Action, Planning and Development issue a Demolition Permit for the house at 309 Lawrence Street and that the applicant consider deconstruction as an alternative to demolition waste;
- 2) That the Community Heritage Commission recommend the Director of Climate Action, Planning and Development direct staff to further explore retention options (i.e. redevelopment or relocation) for the house at 309 Lawrence Street; or
- 3) That the Community Heritage Commission recommend that Council consider a temporary protection order for 309 Lawrence Street; or
- 4) That the Community Heritage Commission provide an alternative recommendation, based on their discussions.

**ATTACHMENTS**

Appendix A: Site Context Map

Appendix B: Heritage Value Assessment and Current Photographs

This report was prepared by:

Lisa Wambaa, Planning Assistant

This report was reviewed by:

Judith Mosley, Senior Heritage Planner

*Appendix A*

*Site Context Map*



## 309 Lawrence Street



1:1,000



50.8 0 25.4 50.8 Meters

NAD\_1983\_UTM\_Zone\_10N  
CNW GIS Services

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

*Appendix B*

*Heritage Value Assessment  
and  
Current Photographs*





**Heritage Value Assessment  
309 Lawrence Street, New Westminster, B.C.**

July 2022

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## BACKGROUND

Synaxis Associates was contacted to conduct a Heritage Value Assessment for the house located at 309 Lawrence Street, in the Queensborough neighbourhood of the City of New Westminster. Since the house on the property is over 100 years old, the City of New Westminster required that a Heritage Value Assessment be completed for pre-development application or review.

Synaxis Associates specializes in assessment of community Heritage values. The firm's principal consultant, Matthew Francis, has been a leader in the field of values-based approaches to Heritage Conservation and Heritage-based development for over a decade.

The property located at 309 Lawrence Street is not listed or otherwise documented on the City of New Westminster's [Heritage Inventory Interactive Map](#), but was included on the 2010 [Queensborough Residential Heritage Inventory](#). Due to the age of the existing house at 309 Lawrence Street, a values-based Heritage Assessment, carried out by a qualified heritage professional, is required to provide sufficient contextual knowledge, to ensure that the City's heritage values are appropriately conserved. An enriched understanding of sustainability, which includes heritage values, balanced with the parallel priorities of quality and affordable housing, assist local governments to achieve their goals - not least in the overall liveability of the built and social environment.

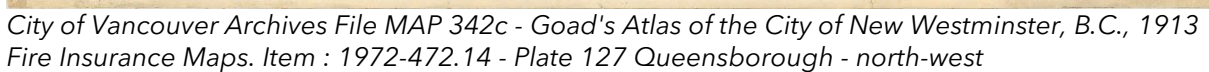
Matthew Francis, MA, CAHP, Principal of Synaxis Associates, is a Professional Member in good standing of the Canadian Association of Heritage Professionals | Association canadienne d'experts-conseils en patrimoine (CAHP-ACECP) and the British Columbia Association of Heritage Professionals.



***Synaxis Associates' Matthew Francis (pictured at right), leading a workshop for the leaders of the Alberta Main Street Program in the City of Lethbridge's historic Chinatown, June 2014.***



Synaxis Associates employs a hybrid methodology to determine community Heritage Value. These methods are informed by the Pan-Canadian Historic Places Initiative, and the tools that have been developed since the early 2000s, as part of that partnership of Provinces, Territories, and Indigenous communities, with the Government of Canada. Local practices and articulations of Heritage value are always taken into consideration, alongside best practices drawn from other contexts, both in Canada, and globally.





## **The City of New Westminster describes Heritage value as follows:**

<https://www.newwestcity.ca/heritage>

### *IMPORTANCE OF HERITAGE*

*There are social, financial and environmental benefits to retaining heritage buildings in a community.*

- First, heritage sites are a connection to the past and provide a sense of history and continuity. Heritage sites also tell the stories of who we are what we have experienced as a community, in addition to functioning as landmarks and having significant aesthetic value.*
- Second, heritage buildings often retain their value with more resiliency as property markets shift through time and support tourism.*
- Third, the retention of a heritage building is the more sustainable choice over demolition and replacement when the costs of the embodied energy in the building, accumulation of material in the landfill and the cost of new construction is balanced against potential energy savings. Heritage conservation just make sense.*

### **HERITAGE CONSERVATION AND HERITAGE VALUE**

*Conservation is the management of change. It is a comprehensive and continuous activity that has its foundation in legislation and in community participation and support.*

*The Standards and Guidelines for the Conservation of Historic Places in Canada, a comprehensive guide to best historic conservation practices, defines heritage value as the aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present or future generations.*

*Generally, any structure older than 50 years may have heritage value. Each building and structure is unique and it will have its own distinct set of character-defining elements. Character-defining elements can range from the tangible features (e.g., massing, materials, construction, decorative details, how and where it sits on the site, and its relation to its surroundings) to the intangible features (e.g., memories, stories, cultural practices, associated people or events, and its sense of time and place).*

Where local governments have not explicitly expressed or defined their own frameworks for understanding, Synaxis Associate often employs the following Heritage Significance (Value) Criteria. In this case, however, the City of New Westminster has well articulated its own considerations by which it may understand, determine, or express the Heritage value of a place. The following criteria, then, are only supportive and supplementary in guiding examinations of heritage value in such contexts.

<b>A</b>	<b>Theme / Activity / Cultural Practice / Event</b>	A resource must be directly associated with a theme, activity, cultural practice or event that has made a significant contribution to the broad pattern of municipal history.
<b>B</b>	<b>Institution / Person</b>	A resource must be directly associated with a significant institution or with the life of a significant person in the municipality's past.
<b>C</b>	<b>Design / Style / Construction</b>	<ol style="list-style-type: none"> <li>1. Style / Type / Method of Construction</li> <li>2. Work of a Master</li> <li>3. High Artistic Value</li> </ol> <p>A resource must embody the distinctive characteristics of a type, style, period or method of construction, or represent the work of a master, or express high artistic values.</p>
<b>D</b>	<b>Information Potential</b>	A resource must have yielded, or be likely to yield, information important to the municipality's history, prehistory or natural history.
<b>E</b>	<b>Landmark / Symbolic Value</b>	A resource must be particularly prominent or conspicuous, and must have acquired special visual, sentimental or symbolic value that transcends its function. A landmark contributes to the distinctive character of the municipality.

The City of New Westminster has a long record of attention to the neighbourhood of Queensborough's unique characteristics and heritage values. The City of New Westminster's 1986 Heritage Inventory identified five potential heritage buildings in Queensborough.

- *Tatra Hall (c. 1939) at 401 Ewen Street,*
- *Queen Elizabeth Elementary School (1939) at 510 Ewen Street,*
- *the Slovak Home (1939) at 647 Ewen Street, and residences at*
- *321 (c. 1930) and*
- *326 (c. 1914) Mercer Street.*

Of these properties, only the Tatra Hall and the Slovak Home - examples of Queensborough's diverse multicultural heritage - remain standing in 2022. The Queen Elizabeth School was destroyed by fire in 1987, and the Mercer Street properties have been demolished, making way for new development.

The City's subsequent 1993 Heritage Management Plan, set out both a narrative and chronological history of the Queensborough neighbourhood.

The 2010 *Queensborough Residential Heritage Inventory* surveyed 34 places of interest, and the property at 309 Lawrence Street was one of those. In its 2012 Context Statement, the City subsequently articulated Heritage values for Queensborough, and also a *Thematic Framework* for the neighbourhood. These values provide the relevant context and criteria for assessing the potential Heritage significance for the properties identified on the *Queensborough Residential Heritage Inventory*.

## PLAN

SHOWING

### SUB-DIVISION OF GOVERNMENT RESERVE

ON

## LULU ISLAND

TO BE SOLD BY

## Public Auction

ON

## SATURDAY, MAY 21, '92

IN

### Herring's Opera House,

AT

### 7.30 P. M.

**T**HE property herein described is situate at the head of Lulu Island, and is within the limits of the City of New Westminster, and forms part of the 700 acres contained in the Government Reserve as shown on the maps of the District of New Westminster.

This property has all been reclaimed by Messrs. D. McGilvary & Co., and a substantial dyke now encloses the whole Reserve.

A permanent gravel road, two miles in length, runs through the centre of the property, which is connected with the City of New Westminster by a traffic bridge. This

road is designed to be a part of the main trunk road of Lulu Island, connecting with and giving an outlet to New Westminster by wagon road to the Gulf of Georgia at Steveston and other sea ports.

The electric tramway system, we are assured from headquarters, will be extended down this road to intersect with the line from Vancouver to Steveston at an early date.

The property is very favorably situated and is admirably adapted for manufacturing and shipping purposes, as well as for market gardens and fruit growing.

There are already located upon this property the following establishments: McGilvary & Co.'s Hydraulic Steel Pipe Works, Reid & Currie's Iron Works, E. H. Port & Co.'s and C. F. Pretty's Fish Freezing Establishments, and the Pacific Coast Lumbering Company, which we expect to be supplemented by several other industries during the coming summer.

About 120 acres only will be offered at the coming sale but should any of the purchasers wish to secure adjoining Blocks to those sold they will be allowed to do so.

This sale affords a rare opportunity for persons wishing to secure a productive piece of land near the city for market garden or nursery purposes that can be found anywhere, and is very similar to the market garden land around the city of New York that commands a yearly rental of from \$300 to \$500 per acre.

The water frontages are also unsurpassed for manufacturing and shipping purposes and it should only be a matter of time when all the manufacturing establishments of the city are located on this property.

A large portion of this land is open prairie and easily brought under cultivation and has been divided in such a manner as to give a frontage on the main gravel road or on the water front, with cross roads from the wagon road to the water and vice versa.

The terms are exceptionally liberal and are 1-3 cash, 1-3 9 months, 1-3 18 months at 7 per cent interest.

**T. J. TRAPP,**  
Auctioneer.  
New Westminster, April 25, 1892.

#### Details of the auction of building lots in Queensborough in 1892 (Richmond Archives)

Source: *New Westminster's Neighbourhood Historical Context Statements Queensborough* (2012)  
Denise Cook Design • Birmingham & Wood • Jean Barman, p. 8.

Further analysis of the subject property, with reference to the other properties on the *Queensborough Residential Heritage Inventory*, in accordance with the Heritage Values articulated in the *Thematic Framework*, is required to make a professional determination of Heritage Value. This is precisely the purview of the current Heritage Value Assessment.

From a values-based perspective of Heritage resource management and conservation, these elements – the Heritage values for Queensborough and its accompanying Thematic Framework – provide the most relevant criteria for considering the potential significance of specific properties, such as our subject property at 309 Lawrence Street.

## **Queensborough - Heritage Values**

Located on Lulu Island in the Fraser River, south of the main settlement districts of the City of New Westminster, the neighbourhood which later became known as Queensborough was developed in the late 19<sup>th</sup> and early 20<sup>th</sup> centuries primarily as an industrial and agricultural enclave. Connected to the mainland by bridges, and later also by the B.C. Electric Railway, Queensborough gradually became a residential district supporting a predominantly working-class population. The westernmost portion of the Island is part of the City of Richmond. Bisected by the Lulu Island Road, later named Ewen Avenue, mostly modest housing stock was built over time, expanding from this central corridor. Retaining both its agricultural and industrial character throughout the 20<sup>th</sup> century, the neighbourhood's unique, island characteristics contributed to its sense of place and shaped the attitudes and identity of its residents.

According to the City of New Westminster's 2012 Context Statement,

*Queensborough is valued for its singularity as a neighbourhood of New Westminster, derived from its isolated location, geography, culturally diverse early history, significant agricultural and industrial histories, and development potential.*

### **Location:**

- *Situated on the eastern tip of Lulu Island, across from the rest of the City of New Westminster, providing a unique perspective on the city and visibility from other city neighbourhoods*
- *Relative isolation with more tenuous communication to the rest of the city than other neighbourhoods all on the north bank of the Fraser River*
- *Perseverance of its residents through times when lack of infrastructure was a problem*
- *Aesthetic values through the near views and filtered views through to the Fraser River*

### **Geography and related infrastructure:**

- *Alluvial flat land, outcomes of its location in the Fraser River system of islands*
- *The floodplain soils that made its agricultural roots possible, and the remaining patterns in the landscape that still reveal these roots*
- *Small beaches*
- *Dyke and ditch systems*
- *Bridges*



- Roads named after local people
- Still recognizable survey patterns seen in the subdivisions and field patterns
- Greenways as open space and infrastructure (sewer pipes)

## Cultural diversity

- Cultural traditions from the different ethnic groups that settled here
- Places of worship, community halls and other buildings reflecting the cultural diversity and a tight-knit community

## Agricultural history

- The remaining rural character of the place seen in fallow fields and pasture, ditches and the surrounding dyke
- Aesthetic values seen in the modest housing, mostly from the 1930s and onwards

## Industrial uses

- Valued for its long industrial history and connection to the past
- Presence of the railway
- Create local employment

## Development potential

- Residential development on agricultural and industrial flat lands; the loss of both agriculture and industry impacts landscape/ cultural values and job diversity
- The creation of the Queensborough Ratepayer's Association in the early 1900s as related to the Queensborough community plan and a distinct period of development

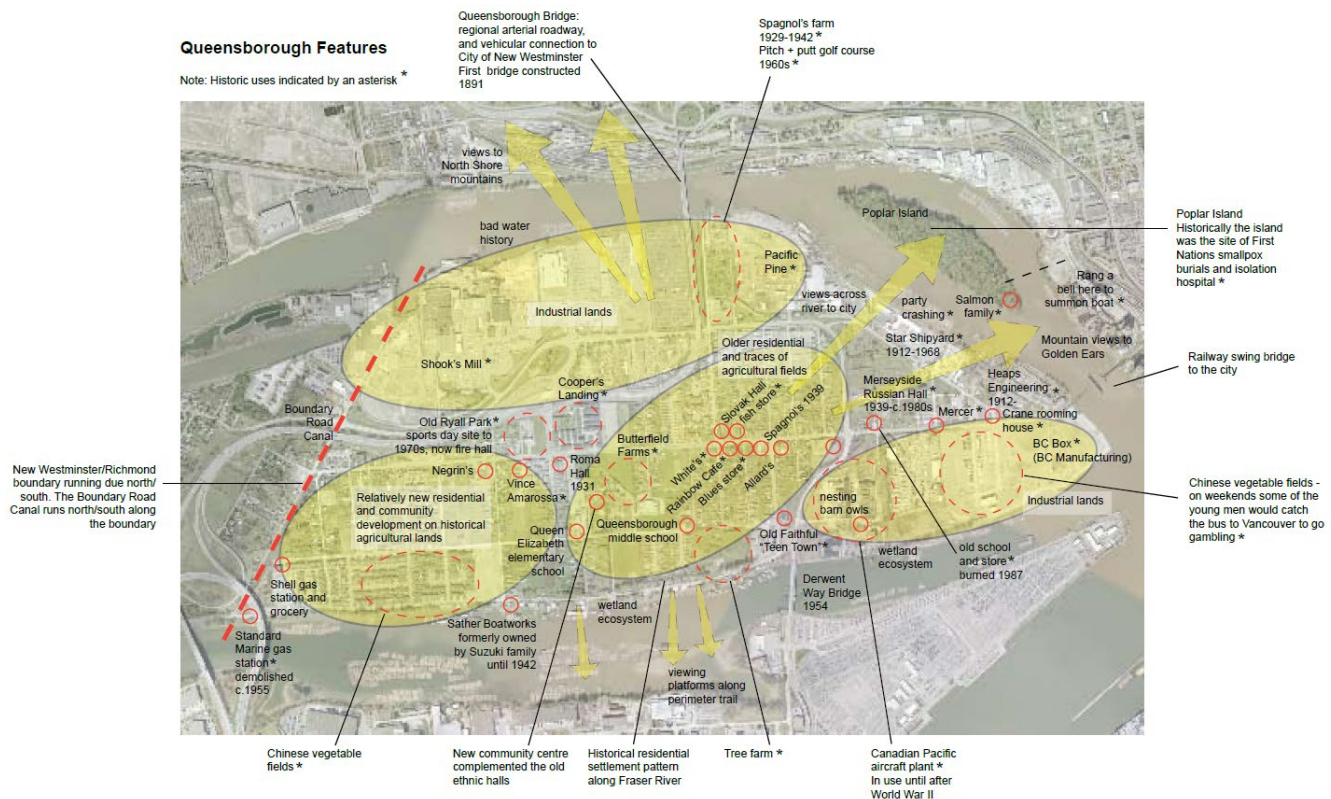
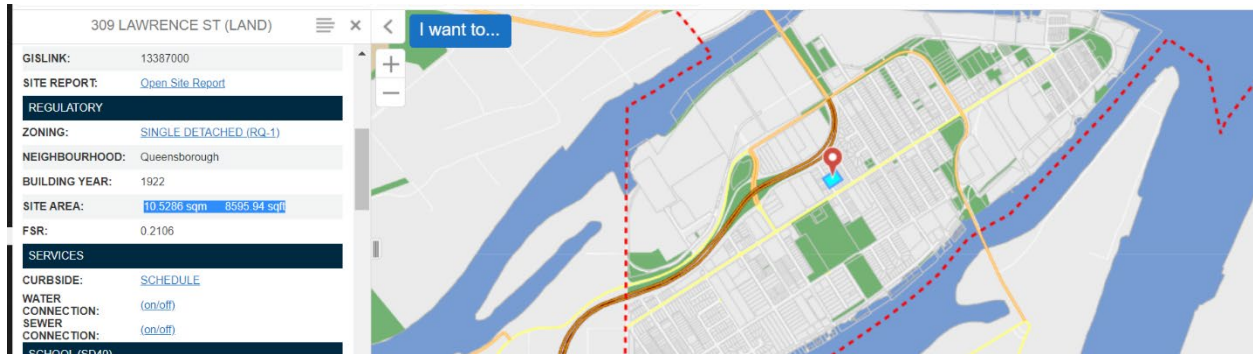
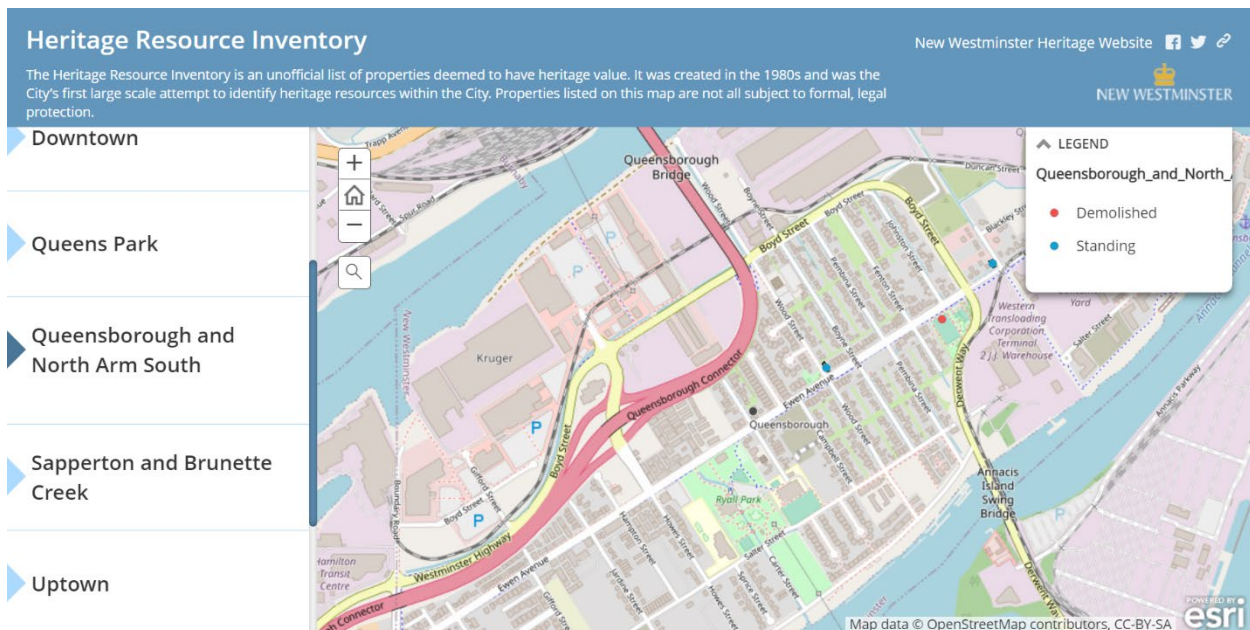


Diagram Image from *New Westminster's Neighbourhood Historical Context Statements Queensborough* (2012)  
Denise Cook Design • Birmingham & Wood • Jean Barman, p. 8.



The image above, from one of the City of New Westminster's Interactive Planning Maps, shows the location of the property at 309 Lawrence Street, relative to the features noted further above in 2012 Context Statement.



## Queensborough Thematic Framework (2012)

The following themes best express the Heritage value of Queensborough to the City of New Westminster more broadly.

### *Early industry and agriculture:*

- *Few original landholders during the settlement of Queensborough in the 1890s*
- *Survey into large lots for industry and agriculture*
- *Fishermen established themselves along the southeast shore of the Fraser River, also doing net repairs and some boat building*
- *Resource-based industries, particularly water-based industries such as sawmilling, fishing, canning, boat building, marine gas stations and cold storage*
- *Small farm holdings for dairy, fruit orchards, berry farms and vegetable gardens*

### *Post WWII transformation:*

- *Urban renewal through infrastructure development*
- *Unique character based on its historical development*

### *Cultural diversity:*

- *Attraction of the place to a variety of cultural groups with individual traditions*
- *Cohesive communities were diverse yet not divisive*
- *Residents and groups helped each other for a common cause*
- *The community is diverse yet not divisive*

### *Suburban development:*

- *Large scale residential settlement occurred later than in other parts of New Westminster due to its remote location*
- *Distinct periods of development after the death of Alexander Ewen and during the boom years between the wars*
- *Little commercial development until Queensborough Landing*
- *Mix of lot sizes and diverse building styles*
- *Impact of Highway 99 and the Ring Road*



## HERITAGE VALUE ASSESSMENT - 309 Lawrence Street



*Front (West-facing) elevation*

### General Description

Facing west toward Lawrence Street in the Queensborough neighbourhood of the City of New Westminster, the house located at 309 Lawrence Street is currently separated by one civic lot to the north side of Ewen Avenue, the main traffic corridor through Queensborough.

The raised, one-storey house has a small porch leading to an upper entry below a modest gable, offset to the right. The semi-pyramidal, low-hipped roof is covered in asphalt shingles, and the remainder of the house in a combination of wooden shingles or shakes and shiplap siding. This exterior treatment has also been painted in two tones. The lower level has a front-facing alternate entrance door, offset to the left. An enclosed porch area on the raised storey of the rear side surmounts a shed-type addition to the house. A single, stained-glass window adorns the south-facing side of the house.

In front of the house is a paved area, and to the rear and south of the house there is a yard area, currently seeded to grass.





*Rear (South-facing) elevation*

## 1.0 - IDENTIFICATION

**Name of building:** None (no historic or informal name associations on record) The house was referred to in the 2010 Queensborough Residential Heritage Inventory as the "Ellis House."

**Street address:** 309 Lawrence Street, New Westminster

**PID:** 013-044-931

**Legal description:** LOT 40 OF THE EAST HALF BLOCK 29 DISTRICT LOT 757 GROUP 1 PLAN 2620

**Zoning:** Single-Detached (RQ1)

**Site Area:** 10.5286 sqm | 8595.94 sqft

**Evaluation status:** Not listed or otherwise documented on the City of New Westminster's [Heritage Inventory Interactive Map](#), but included on the 2010 [Queensborough Residential Heritage Inventory](#).

## 2.0 - HISTORICAL SIGNIFICANCE

**Construction date and source:** 1922

**Original owner and source:** Corporation of the City of New Westminster (LTSA), built by Annie Ellis with a building permit approved January 1922.

**People or events of historic interest associated with the site:** None. See below for comments on the ownership chronology.

# 309 Lawrence Street New Westminster, BC

Registered Owner(s)	Date Registered	Title
Corporation of the City of New Westminster	October 24, 1921	42838E
Annie Ellis	September 25, 1926	67672E
James Howard Ellis and Annie Ellis	June 11, 1934	107651E
James Howard Ellis	January 8, 1936	114235E
George Henry Gunter and Marie Emma Gunter	September 4, 1947	228076E
Amos Glen Phillips and Ruby Merle Phillips	July 13, 1953	314240E
Louise Bridson	February 12, 1957	381753E
Bruno DePaoli and Antonieta DePaoli	June 11, 1965	557811E
Bruno DePaoli and Antonieta DePaoli	February 2, 1989	AC25099
Antonietta (Note change of spelling) DePaoli	November 26, 2006	1280879

### Comments:

1. The initial building permit was applied for in the name of "A. Ellis," January 16, 1922, who is listed as the property's developer. This refers to Mrs. Annie Ellis, who is listed as the initial owner on title, and later co-owner with her husband, James Howard Ellis. Water was connected to the property on March 10, 1922. None of the directories or available records list Mr. Ellis' occupation, while later Canadian voting records list his occupation as "retired." City permitting records show that on October 25, 1926 an application was filed and permission granted to erect an addition to the property.

2. George Henry Gunter and Marie Emma Gunter moved to New Westminster from Hastings County, Ontario. Canadian voting records from 1949 and City directories list his occupation as "carpenter," and Marie Emma Gunter's occupation as "housewife," according to the nomenclature of that era.
3. Amos Glen Phillips immigrated to Canada from South Dakota, in the United States, before settling with his wife Ruby Merle Phillips, in New Westminster. No evidence available documents his occupation.
4. Louise Bridson was born in Odessa, in what is now Ukraine, in 1885, however no records are available presently of the date and circumstances of her immigration to Canada. Canadian voter records also list her occupation as "housewife."
5. Bruno and Antonieta (also spelled "Antonietta") DePaoli, purchased the house in 1965, retaining ownership for well over 55 years. The 2006 *Vancouver Sun* obituary for Bruno DePaoli indicates that he immigrated to Canada from Monfumo, Italy. Voting records list Mr. DePaoli's occupation as "millworker," and Mrs. DePaoli's occupation variously as "housewife," or "retired."

While obituaries and other records pertaining to the succession of owners of the subject property mention their respective family relationships, little to no mention is made of their work lives or civic associations. Similarly, there are no relevant holdings in the City of New Westminster's Archives, or other British Columbia repositories, that would indicate any significant historical associations or events involving these persons. As a result, the evidence indicates that no determination of Heritage Value can be ascribed to the house located at 309 Lawrence Street, solely on the basis of the historical significance of its succession of owners or reasonably associated individuals.

### 3.0 - USAGE

**Original Use:** Single family residence, CIHB number: 0101

**Present Use:** Single family residence, CIHB number: 0101

## 4.0 - ARCHITECTURE AND STRUCTURE

The following descriptive images are derived from the Canadian Inventory of Historic Buildings (CIHB), as employed in the Government of Alberta's Municipal Heritage Partnership Program.

As expected, the house has evolved over its lifespan, with various elements replaced over time, including windows and roofing.

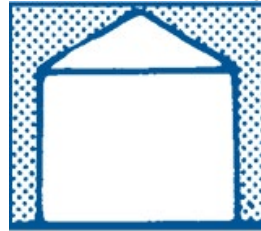
### Footprint or General Plan:



**1202**

Rectangular  
Long Facade

### Number of storeys:



**1502**

Storeys: 1

### Foundation Material:

Unknown

### Structural Material: Wood Frame



**3011**

Nailed Frame

### Basement: None.



**1701**

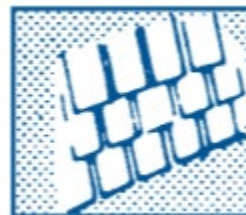
None

### Superstructure Cover / Exterior Treatment:



**2011**

Shiplap



**2016**

Shingle  
or Shake



**Windows:** It appears that a combination of fixed, double-hung, and horizontal sliding aluminum/vinyl replacement windows are in place throughout. It is not possible to know whether the historic fenestration pattern has been retained, although it appears that several alterations may have taken place over the lifespan of the house. No extant historic photographs are available.



**5807**

Horizontal Sliding



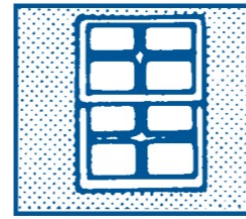
**5803**

Single or  
Double Hung



**5808**

Fixed



**5703**

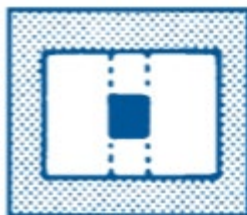
Two, Double Hung

## Stained Glass Window:

A small rectangular pane of ornamental stained glass, typical of the first half of the 20<sup>th</sup> century, adorns the south facade. This modest, decorative element suggests the pride of ownership which the working-class residents of Queensborough sometimes took in the construction of their dwellings. There is no documentation on when this stained-glass was installed, but we know it was before the 2010 Queensborough Residential Heritage Inventory, which refers to it.



## Chimney Location:



**4303**

Side to Side:  
Centre

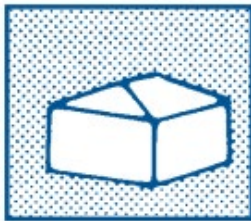
## Chimney Stack Massing:



**4603**

Single

## Roof Type:



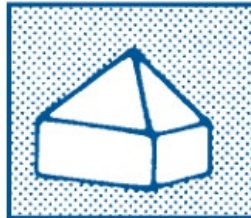
**3207**

Low Hip



**3303**

Offset Gable (Facade)



**3206**

Pyramidal

(It should be noted that the roof structure is not fully pyramidal, but incorporates elements of that shape, combined with a low-hipped roof system).



**3508**

Plain Soffit

**Roof Cover:** Asphalt shingles.

## Other Features:



**3135**

Upper  
Storey Door

Along with many other Queensborough properties, the house was raised, at some point in its history, addressing the high water table on Lulu Island. It is not known when this intervention occurred. The newly created lower level has been used as additional space over the years, while the main entrance has been retained through a small front-porch entry.



**7106**

Upper Floors,  
Open Railing

## Condition:

As already noted in the 2010 *Queensborough Residential Heritage Inventory*, some deterioration is evident on exterior surfaces and materials; and some elements appear to require repair and general maintenance. In 2022 we can observe the progression of this deterioration, with some signs of possible structural subsidence on the rear portion of the building.

## 5.0 - CONTEXT

**Siting on lot:** The house, on a flat lot, faces West towards Lawrence Street, and maintains a residential setback, with an open yard area on the south side, currently in a grass lawn.

**Significant Landscape Features:** The property, located on a flat lot, features a grassy lawn, with open space to the south and east portions. A small fruit tree is located immediately behind the lean-to portion added to the rear elevation of the house. No other significant plantings or vegetation are present. The front of the house features a substantial paved area.

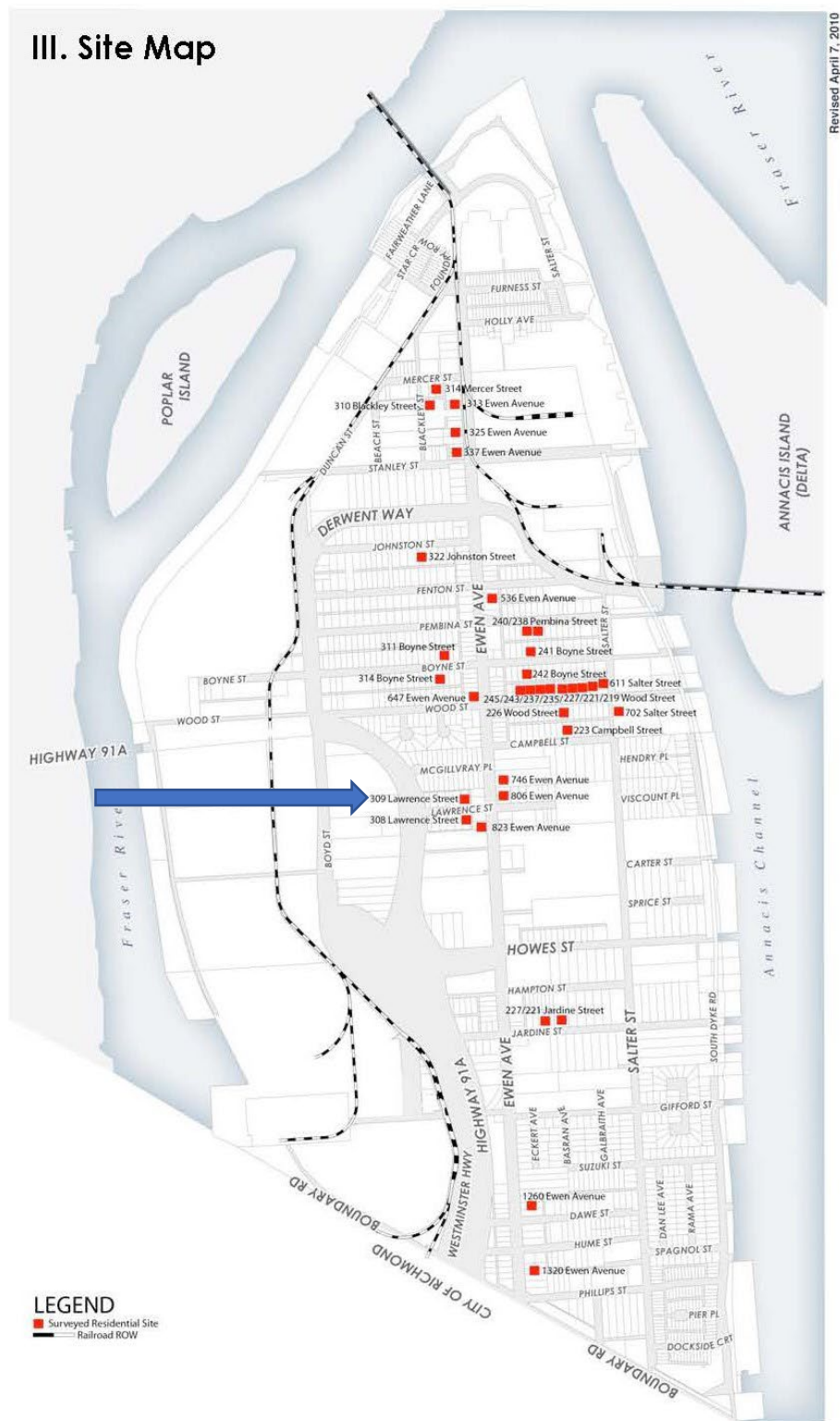
## 6.0 - RESEARCH INFORMATION

- LTSA Records – Historic Titles (See Appendix)
- British Columbia City Directories, <https://bccd.vpl.ca/>
- City of New Westminster Archives

In order to make a fully-informed assessment of potential Heritage Value, a contextual analysis is required between the house at 309 Lawrence Street, and the other 33 properties included on the 2010 *Queensborough Residential Heritage Inventory*.

## Contextual Analysis

### Queensborough Residential Heritage Inventory, 2010





<b>Address</b> (Alphabetical)	<b>Year of Construction</b> (1910s = <b>YELLOW</b> , 1920s = <b>BLUE</b> , & 1930s = <b>RED</b> )	<b>Heritage Value Indicated</b> (per 2012 Thematic Framework, other factors - such as condition - described in 2010 Queensborough Residential Heritage Inventory).
310 Blackley Street	1915	Significantly altered, but in good condition.
314 Boyne Street (Fujiki Residence)	1920	Associated with Japanese-Canadian presence in New Westminster.
311 Boyne Street	1925	Significantly altered. Poor condition.
242 Boyne Street	1911	Fair condition, with some original wood-frame windows retained.
241 Boyne Street	1911	Significantly altered / poor condition.
223 Campbell Street	1925	Significantly altered / poor condition.
1320 Ewen Avenue	1925	Many original design features / poor structural integrity.
1260 Ewen Avenue	1911	Original siding replaced with vinyl, but some original windows in place.
823 Ewen Avenue	1922	Significant alterations.
806 Ewen Avenue	1921	Many original features - not raised.
746 Ewen Avenue	1923	Significant alterations.
Slovak Home/Hall, 647 Ewen Avenue	1939	Significant cultural associations with Slovak-Canadian community and retention of historic design features and materials.

536 Ewen Avenue	1922	Significant association with Japanese-Canadian community and retention of design features / materials.
337 Ewen Avenue	1911	Significant association with Japanese-Canadian community, including early function as a rooming house, and retention of design features / materials.
325 Ewen Avenue	1911	Significant association with shipbuilder Noah Mosdell, with extensive 'restoration' treatment in 2007. Relatively 'grand' residence in Queensborough.
313 Ewen Avenue	1925	Original design elements and materials present, such as windows and siding.
227 Jardine Street	1922	Somewhat comparable to the subject property, but in a better state of preservation with regard to historic materials. Demolished since 2010.
221 Jardine Street	1919	Significant alterations.
322 Johnston Street	1911	Association with the developers Smith and Whittaker, elsewhere notable in New Westminster.
309 Lawrence Street	1922	Significantly altered but retains one unique stained-glass window.
308 Lawrence Street	1922	Significantly altered. Poor condition. Demolished since 2010.
314 Mercer Street	1912	Association with the Japanese-Canadian community. Abandoned and in extremely poor condition.

240 Pembina Street	1911	Significantly altered, poor structural condition. Demolished after 2010.
238 Pembina Street	1911	Significantly altered. Demolished after 2010.
702 Salter Street	1912	Retains integrity of design and materials.
611 Salter Street	1911	Significantly altered.
245 Wood Street	1912	Significantly altered.
243 Wood Street	1911	Originally a rooming house. Significantly altered.
237 Wood Street	1913	Significantly altered.
235 Wood Street	1912	Significantly altered.
227 Wood Street	1911	Unique pyramidal roof and pyramidal dormer. Significantly altered.
226 Wood Street	1911	Significantly altered.
221 Wood Street	1913	Significantly altered.
219 Wood Street	1911-1912	Significantly altered.

Of the thirty-four (34) properties surveyed on the *Queensborough Residential Heritage Inventory*, twenty-one (21) were constructed in the 1910s, thirteen (13) in the 1920s, and only one (1) in the 1930s. As might be expected, not a single property on the *Inventory* was built during the First World War.

It should be noted that none of the properties included on the 2010 Inventory speak to the Heritage Value described in the subsequent 2012 Thematic Framework regarding the “Post WWII Transformation” of the neighbourhood. Rather, all, save on – the Slovak Home – date from the 1910s or 20s. This is likely due to the fact that the Inventory was completed before the Thematic Framework, so the team conducting the Inventory did not have the benefit of the thematic considerations and values later articulated.

Interpreting the 2010 Inventory through the principles of the Thematic Framework, priority would be given to places best embodying these significance criteria. In the case of the properties identified in Queensborough, priority would be given to the earlier period of significance (the 1910s) associated with the earlier agricultural and industrial development of the neighbourhood. So these properties would generally take priority over the 1920s properties, depending on the mix of other associated heritage values. Newer properties could be deemed to have greater significance, if their associations with the values articulated in the Thematic Framework were documented and more compelling.

The historical context of the house at 309 Lawrence Street is largely associated with the period of residential development that took place in the Queensborough area of New Westminster, in the early 1920s, following the recovery which took place after the end of the First World War. 12 other properties on the 2010 Inventory also date from this period.

Six properties from the 1920s, including the subject property, were described in 2010 as being “significantly altered,” while the other seven were described as either having compelled historical associations or retaining significant integrity of design and materials.

By contextual comparison, in consideration of the *Thematic Framework* and the comments of the *Queensborough Residential Heritage Inventory*, from a values-based heritage resource management point of view, more straightforward cases could be made for the following properties being ranked ahead of 309 Lawrence Street:

- 314 Boyne Street
- 536 Ewen Avenue
- 806 Ewen Avenue
- 313 Ewen Avenue

While we do note that some of the other properties on the 2010 Inventory have been demolished for redevelopment, the house at 309 Lawrence Street is not the “last and best” surviving example of a once common type, or even of the remaining 1920s properties surveyed.

Rather, it is typical of 1920s residential building stock in the Lower Mainland of British Columbia. While now of interest due to its relative age, this property could easily have been built in other local communities where the same kinds of common materials were also available. This house is not extraordinary or unique for either its method of construction, its materials, or its associations with the Heritage values described in the Thematic Framework.



The City of New Westminster's Thematic Framework for understanding Queensborough's Heritage Values sets out various themes which may be considered in relation to the house at 309 Lawrence Street. Built in 1922, the property is neither part of the earlier "Agricultural and Industrial development" period of significance, nor is it an example of the "Post WWII Transformation" of the neighbourhood. Rather, the relevant clause under the heading of "Suburban Development" in the *Thematic Framework* speaks to:

- *Distinct periods of development after the death of Alexander Ewen and during the boom years between the wars.*

When we consider the subject property contextually, in view of the other Queensborough properties on the 2010 Inventory developed during "the boom years between the wars," it is our opinion that at least four other properties would better represent that thematic value.

When we consider the property at 309 Lawrence Street in relation to the criteria established by the 2012 Thematic Framework, one is hard pressed to make a strong case for ongoing conservation, as compared with other properties captured in the 2010 *Queensborough Residential Heritage Inventory*. While development did occur in Queensborough in the 1920s, the City's Thematic Framework identifies "Post WWII Development" as being more defining periods of significance. As a result, there is insufficient rationale to make a compelling case for heritage protection and retention of the subject property in 2022.

## **DETERMINATION of Heritage Value / Professional Opinion**

From a values-based perspective, considering the City of New Westminster's values-based approach to Heritage management, and upon review of the available evidence, my professional assessment would be that the house at 309 Lawrence Street does not possess city-wide community Heritage Value to merit ongoing protection or conservation activity at this time.

Respectfully submitted,



Matthew Francis, MA, CAHP, BCAHP



Canadian Association of Heritage Professionals  
Association canadienne d'experts-conseils en patrimoine

Founded in 1987  
Créée en 1987

This is to certify that  
La présente atteste que

## Matthew Francis

is a Professional Member of the Canadian Association of Heritage Professionals (CAHP)  
est membre professionnel de l'Association canadienne d'experts-conseils en patrimoine (ACECP)

Founded in 1987, CAHP | ACECP represents heritage professionals in Canada who have established, and are committed to maintain, high standards of practice in the conservation of our valued Canadian heritage.

Créée en 1987, l'ACECP | CAHP représente les experts-conseils en patrimoine au Canada qui s'engagent à instaurer et à maintenir des principes et des normes de pratique dans les nombreux domaines connexes à la conservation du patrimoine canadien.

This certificate is the property of CAHP | ACECP. Upon the termination of membership, this certificate shall be returned to CAHP | ACECP. Ce certificat demeure la propriété de l'ACECP | CAHP. À la cessation de l'affiliation, ce certificat doit être retourné à l'ACECP | CAHP.

**Dima Cook**  
President/ Présidente

**Alan Stacey**  
Chair Membership Committee/  
Président du Comité de la membreship

**Elijah Karlo Sabadlan**  
Secretary/Secrétaire



This 10th Day of December 2019  
Ce 10e jour de décembre 2019

Certificate /Certificat No. 2019-35

## APPENDICES

### Historic Title Records

THE GOVERNMENT OF THE PROVINCE OF BRITISH COLUMBIA

No. 423361

## Certificate of Indefeasible Title

Date of Application for registration, the 19th day of October, 1921

Register, Vol. 101 423361

**This is to certify that** CORPORATION OF THE CITY OF NEW WESTMINSTER

*absolutely and indefeasibly entitled in Fee-simple, subject to such charges, liens, and interests as are notified by endorsement hereon, and subject to the conditions, exceptions, and reservations set out hereon, to* 1000

*pieces of land situate in the* DISTRICT OF NEW WESTMINSTER,  
*and Province of British Columbia, and more particularly known and described as:*

Lot 1000 (1) to Lot 1001 (2) and Thirty-two (32) to Forty (40) all inclusive of the latter half of lot Twenty-nine (29) of lot Green, Block 20 and Forty-seven (47) Green One (1) Map 1000.

THE FOLLOWING PIECES OF LAND HAVE BEEN TRANSFERRED:

Land.	Cert. No.
Lot 1000	423361
Lot 1001	423362
Lot 1002	423363
Lot 1003	423364
Lot 1004	423365
Lot 1005	423366
Lot 1006	423367
Lot 1007	423368
Lot 1008	423369
Lot 1009	423370
Lot 1010	423371
Lot 1011	423372
Lot 1012	423373
Lot 1013	423374
Lot 1014	423375
Lot 1015	423376
Lot 1016	423377
Lot 1017	423378
Lot 1018	423379
Lot 1019	423380
Lot 1020	423381
Lot 1021	423382
Lot 1022	423383
Lot 1023	423384
Lot 1024	423385
Lot 1025	423386
Lot 1026	423387
Lot 1027	423388
Lot 1028	423389
Lot 1029	423390
Lot 1030	423391
Lot 1031	423392
Lot 1032	423393
Lot 1033	423394
Lot 1034	423395
Lot 1035	423396
Lot 1036	423397
Lot 1037	423398
Lot 1038	423399
Lot 1039	423400
Lot 1040	423401
Lot 1041	423402
Lot 1042	423403
Lot 1043	423404
Lot 1044	423405
Lot 1045	423406
Lot 1046	423407
Lot 1047	423408
Lot 1048	423409
Lot 1049	423410
Lot 1050	423411
Lot 1051	423412
Lot 1052	423413
Lot 1053	423414
Lot 1054	423415
Lot 1055	423416
Lot 1056	423417
Lot 1057	423418
Lot 1058	423419
Lot 1059	423420
Lot 1060	423421
Lot 1061	423422
Lot 1062	423423
Lot 1063	423424
Lot 1064	423425
Lot 1065	423426
Lot 1066	423427
Lot 1067	423428
Lot 1068	423429
Lot 1069	423430
Lot 1070	423431
Lot 1071	423432
Lot 1072	423433
Lot 1073	423434
Lot 1074	423435
Lot 1075	423436
Lot 1076	423437
Lot 1077	423438
Lot 1078	423439
Lot 1079	423440
Lot 1080	423441
Lot 1081	423442
Lot 1082	423443
Lot 1083	423444
Lot 1084	423445
Lot 1085	423446
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Lot 1094	423455
Lot 1095	423456
Lot 1096	423457
Lot 1097	423458
Lot 1098	423459
Lot 1099	423460
Lot 1100	423461

In witness whereof I have hereunto set my hand and Seal of  
 Office at NEW WESTMINSTER, British  
 Columbia, this 19th day of OCTOBER



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This certificate of indefeasible title is void as against the title of any person adversely in actual possession of and rightly entitled to the land included in same at the time of the application upon which this certificate was granted, and who continues in possession, and is subject to—

(a) The subsisting exceptions or reservations contained in the original grant from the Crown:

Any Dominion or Provincial tax, rate, or assessment at the date of the application for registration imposed or made a lien or which may thereafter be imposed or made a lien on the land;

(c) Any municipal charge, rate, or assessment at the date of the application for registration imposed or which may thereafter be imposed on the land, or which had theretofore been imposed for local improvements or otherwise and which was not then due and payable, including any charge, rate, or assessment imposed by any public corporate body having taxing powers over an area in which the land is situated;

(d) Any lease, or agreement for lease, for a period not exceeding three years, where there is actual occupation under the same;

(e) Any public highway or right-of-way, water-course, or right of water, or other public easement;

(f) Any right of expropriation by Statute;

(g) Any in pons or mechanics' lien, judgment, caveat, or other charge, or any assignment for the benefit of creditors or receiving order or authorized assignment under the Bankruptcy Act, registered since the date of the application for registration;

(h) Any condition, exception, reservation, charge, lien, or interest noted or endorsed thereon;

(i) The right of any person to show that the whole or any portion of the land is by wrong description of boundaries or parcels improperly included in this certificate;

(j) The right of any person to show fraud, wherein the registered owner or wherein the person from or through whom the registered owner derived his right or title otherwise than bona fide for value has participated in any degree;

(k) Any restrictive condition, right of reverter, or obligation imposed on the land by the Forest Act when noted and endorsed thereon.

THIS CERTIFICATE MAY BE AFFECTED BY THE LAND ACT AMENDMENT ACT, 1961.

From Certificate No. 381753E

No. 557811E  
A24887

Register, Vol. 2204

THE GOVERNMENT OF  
THE PROVINCE OF BRITISH COLUMBIA  
**LAND REGISTRY ACT**  
FORM F (Section 143)

## Certificate of Indefeasible Title

Date of application for registration, the 11th day of June, 1965

This is to certify that

BRUNO DePAOLI and ANTONIETA DePAOLI  
"Joint Tenants"

**CONVERTED**

are absolutely and indefeasibly entitled in fee-simple, subject to such charges, liens, and interests as are notified by endorsement hereon, and subject to the conditions, exceptions, and reservations set out hereon, to those

pieces of land situate in the City of New Westminster

and Province of British Columbia, and more particularly known and described as:—

Lots Thirty-nine (39) and Forty (40) of the East Half of BLOCK  
TWENTY-NINE (29) of Lot Seven Hundred and Fifty-seven (757)  
Group One (1) Plan Two Thousand Six Hundred and Twenty (2620)

THE FOLLOWING PIECES OF LAND HAVE BEEN TRANSFERRED

LAND	CERT. NO.
Sec 168 - Lot 39	BC 25098

Rem Cancelled  
Feb 2/89  
By BC 25099  
Sec 188

In witness whereof I have hereunto set my hand and seal of office  
at New Westminster, British Columbia,  
this 22nd day of June  
19 65

(OVER)

Registrar

## TITLE SEARCH PRINT

File Reference: 9445527-9

2022-06-08, 11:35:23

Requestor: Shelly Clark

**\*\*CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN\*\***

<b>Title Issued Under</b>	SECTION 172 LAND TITLE ACT SECTION 188 LAND TITLE ACT
<b>Land Title District</b> Land Title Office	NEW WESTMINSTER NEW WESTMINSTER
<b>Title Number</b> From Title Number	AC25099 A24887 557811E
<b>Application Received</b>	1989-02-02
<b>Application Entered</b>	1989-02-24
<b>Title Cancelled</b>	<b>2006-10-30</b>
<b>Registered Owner in Fee Simple</b> Registered Owner/Mailing Address:	BRUNO DE PAOLI ANTONIETA DE PAOLI NO ADDRESS ON FILE FOR THIS OWNER AS JOINT TENANTS
<b>Taxation Authority</b>	New Westminster, The Corporation of the City of
<b>Description of Land</b> Parcel Identifier: Legal Description:	013-044-931 LOT 40 OF THE EAST HALF BLOCK 29 DISTRICT LOT 757 GROUP 1 PLAN 2620
<b>Legal Notations</b>	NONE
<b>Charges, Liens and Interests</b>	NONE
<b>Duplicate Indefeasible Title</b>	NONE OUTSTANDING
<b>Transfers</b> Registration Date: Description:	2006-10-30 ALL BA16899

## TITLE SEARCH PRINT

File Reference:

Declared Value \$ 126650

2022-06-07, 15:36:26

Requestor: Matthew Francis

**\*\*CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN\*\***

<b>Land Title District</b>	NEW WESTMINSTER
Land Title Office	NEW WESTMINSTER
<b>Title Number</b>	BA16899
From Title Number	AC25099
<b>Application Received</b>	2006-10-26
<b>Application Entered</b>	2006-10-30
<b>Registered Owner in Fee Simple</b>	
Registered Owner/Mailing Address:	ANTONIETTA DE PAOLI, RETIRED 835 CUMBERLAND STREET NEW WESTMINSTER, BC V3L 3H2
<b>Taxation Authority</b>	New Westminster, The Corporation of the City of
<b>Description of Land</b>	
Parcel Identifier:	013-044-931
Legal Description:	LOT 40 OF THE EAST HALF BLOCK 29 DISTRICT LOT 757 GROUP 1 PLAN 2620
<b>Legal Notations</b>	NONE
<b>Charges, Liens and Interests</b>	NONE
<b>Duplicate Indefeasible Title</b>	NONE OUTSTANDING
<b>Transfers</b>	NONE
<b>Pending Applications</b>	NONE



City of New Westminster  
511 Royal Avenue  
General Tel: 604-521-3711  
New Westminster, BC V3L 1H9

## Public Development Site Report 309 LAWRENCE ST



### Site Information

<b>Neighbourhood:</b>	QUEENSBOROUGH	<b>No. Buildings:</b>	1
<b>Site Area:</b>	799 sqm (8,596 sqft)	<b>Zoning Category:</b>	SINGLE DETACHED
<b>Frontage:</b>	20.12 m (66.01 ft)	<b>Zoning:</b>	RQ-1
<b>Average Depth:</b>	39.70 m (130.25 ft)	<b>OCP</b>	Q_RL (RESIDENTIAL - LOW DENSITY )
<b>FloorSpace Ratio:</b>	0.211		
<b>Above Grd FlrSpace:</b>	168 sqm (1,810 sqft)		
<b>Below Grd FlrSpace:</b>	sqm ( sqft)		
<b>Total FlrSpace:</b>	168 sqm (1,810 sqft)		
<b>Total Coverage:</b>	84 sqm (905 sqft)		
<b>Site Coverage:</b>	1052.86%		

### Building on Site

<b>Address:</b>	309 LAWRENCE ST ( )	<b>Building ID:</b>	8016
<b>Developer:</b>	A. ELLIS	<b>Num Res Units:</b>	1
<b>Architect:</b>		<b>Strata</b>	N
<b>Age:</b>	1922	<b>Height:</b>	0.00 m (0.00 ft)
<b>Year Moved:</b>	0	<b>Footprint:</b>	84 sqm (905 sqft)
<b>Heritage Info:</b>	N	<b>Site Coverage:</b>	84 sqm (905 sqft)
<b>Below Grd Flrs:</b>	0	<b>Below Grnd Flrspce:</b>	sqm ( sqft)
<b>Above Grnd Flrs:</b>	2	<b>Above Grnd Flrspce:</b>	168 sqm (1,810 sqft)
<b>Mezz Flrs:</b>	0	<b>Total Flrspce:</b>	168 sqm (1,810 sqft)
<b>Residential FlrSpce:</b>	168 sqm (1,810 sqft)	<b>Non Residential FlrSpce:</b>	sqm ( sqft)
<b>Residential Exempt:</b>	sqm ( sqft)	<b>Non Residential Exempt:</b>	sqm ( sqft)
<b>Secondary Suites:</b>		<b>Registration Year:</b>	

### Permits Issued on Site

<b>Permit No.</b>	BPH03913	<b>Application Date</b>	Oct 25, 1926
<b>Permit Type</b>	RESIDENTIAL		
<b>Status</b>	RETIRED		
<b>Category</b>	BUILDING PERMITS HISTORIC		
<b>Purpose:</b>			

<b>Permit No.</b>	BPH02555	<b>Application Date</b>	Jan 16, 1922
<b>Permit Type</b>	RESIDENTIAL		
<b>Status</b>	RETIRED		
<b>Category</b>	BUILDING PERMITS HISTORIC		
<b>Purpose:</b>			

Please note: Only development permits are displayed in this section and not all permits issued on the site.

This report is a user generated static output from the City of New Westminster's mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. Please contact the individual city departments for additional information for this site.

Printed: 7/7/2022 11:04:54 PM

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PHOTOGRAPHS













## **REPORT**

### ***Climate Action, Planning and Development***

**To:** Community Heritage Commission      **Date:** December 7, 2022  
**From:** Lisa Wambaa, Planning Assistant      **File:** HER00878  
**Item #:** 2022-739  
**Subject:** Heritage Review (Demolition): 413 Rousseau Street

---

#### **PURPOSE**

To review the heritage value of the building and provide a recommendation on demolition.

#### **SUMMARY**

The Gabled Vernacular style house at 413 Rousseau Street, in the Sapperton neighbourhood, was built in 1907. The building is not legally protected by bylaw, hasn't been listed on the City's Heritage Register but is listed on the Heritage Inventory. As a result of the building's age (over 100 years old), being listed on the Heritage Inventory and having elements of its original style, the Community Heritage Commission is being asked to review the heritage value of this building in advance of a Demolition Permit process.

#### **GUIDING POLICY AND REGULATIONS**

##### **100 Years and Older Heritage Review Policy**

In 2020, Council approved a revised heritage review policy, which highlights the City's interest in retaining New Westminster's oldest buildings. As such, redevelopment applications for buildings that are 100 years and older require a Heritage Values Assessment and review by the Community Heritage Commission.

## **Demolition Permits**

Demolition Permits are issued by the Director of Climate Action, Planning and Development, though the Director may forward the application to Council for further consideration, or consideration of a temporary protection order where warranted.

## **Temporary Protection Order**

A temporary protection order may be issued by Council for a property that is or may be considered to have heritage value sufficient to justify its conservation. Without consent of the owner, a temporary protection order may only last 60 days, after which the demolition permit must be issued.

## **Heritage Designation**

A Heritage Designation Bylaw is a form of land use regulation that places long-term protection on the land title of a property and which is the primary form of regulation that can prohibit demolition. Heritage Designation does not require owner consent. However, without consent of the owner, the owner is entitled under Provincial law to claim compensation for loss of zoning entitlement value from the Designation.

## **BACKGROUND INFORMATION**

### **Property Description**

The house at 413 Rousseau Street was built in 1907 and is approximately 160 sq. m. (1,720 sq. ft.). It is two stories above a basement, and has a density of about 0.338 floor space ratio (FSR), which is approximately 67% of the squarefootage available to the property in the Zoning Bylaw. The property is on the west side of Rousseau Street.

This two storey house has a front gabled roof, full-width front porch with the front door set on the side in line with the front stairs and the main floor set a half storey above ground. The exterior cladding is stucco on the main and upper levels, and it is unknown if the original wood siding was removed or is still present underneath the stucco. The windows appear to be an older style consisting of wide wood frames and some vinyl inserts and there is a stained glass piano window on the north elevation.

Photographs of the building in its current condition are available in Attachment B.

### **Building Condition**

Based on current photos and the heritage values assessment (Appendix B), it is clear the house's overall form and massing has been retained though the building's exterior has been altered with the application of stucco and the replacement of some original windows with vinyl inserts. Overall the house appears to be in moderate condition.

## **Development Policy Context**

The property is zoned Single Detached Residential Districts (RS-2) which allows for a house and a suite to a combined maximum of 0.5 FSR. No laneway house would be permitted. The owners are permitted about 30% more density currently on the site without further Planning approvals.

In the Official Community Plan (OCP), the property is designated as “Residential - Infill Townhouse” (RT) which envisions small scale, side-by-side townhouses and rowhouses which are compatible within areas of single detached housing and other lower density ground oriented housing. The surrounding properties fronting on Rousseau Street are designated similarly.

## **Site Context**

The subject site is located in the Sapperton neighbourhood, on the west side of Rousseau Street between Brunette Avenue and Major Street. In this block of Rousseau Street, there is a mix of light industrial uses (car lots) and single-detached houses that were constructed in various time periods, ranging from 1890 to 2006: 1890 (1), 1899 (1), 1900 (1), 1935 (2), 1936 (1), 1946 (1), 1953 (1), 1954 (1), 1956 (1), and 2006 (1). A site context map is included as Attachment A.

## **DISCUSSION**

### **Heritage Value**

A heritage values assessment indicates the house may have historic value for its age (1907) and aesthetic value for its Gabled Vernacular style. It appears to have retained some of its original design and character-defining elements including:

- overall form and massing,
- wood clapboard siding below the main level,
- gabled roof with wood shingles in the front gable end,
- full-width front porch with hipped roof,
- window openings and style including a stained glass piano window.

From its construction to the present, it has been determined that no individuals with citywide historical significance are meaningfully associated with the site. A heritage values assessment with further details is available in Attachment B.

### **Staff Discussion with Home Owner**

Following the recommendation in the heritage values assessment report, staff communicated to the homeowner the option of exploring a Heritage Revitalization Agreement (HRA) that would see retention of the existing house. The homeowner then

advised staff that they would not like to move forward with the HRA option and would instead like to proceed with the demolition permit.



**FEEDBACK FROM THE COMMISSION**

The following options are available for consideration by the Community Heritage Commission:

- 1) That the Community Heritage Commission recommend the Director of Climate Action, Planning and Development issue a Demolition Permit for the house at 413 Rousseau Street and that the applicant consider deconstruction as an alternative to demolition waste;
- 2) That the Community Heritage Commission recommend the Director of Climate Action, Planning and Development direct staff to further explore retention options (i.e. redevelopment or relocation) for the house at 413 Rousseau Street; or
- 3) That the Community Heritage Commission recommend that Council consider a temporary protection order for 413 Rousseau Street; or
- 4) That the Community Heritage Commission provide an alternative recommendation, based on their discussions.

**ATTACHMENTS**

Attachment A: Site Context Map

Attachment B: Heritage Assessment and Current Photographs

This report was prepared by:

Lisa Wambaa, Planning Assistant

Kathleen Stevens, Heritage Planning Analyst

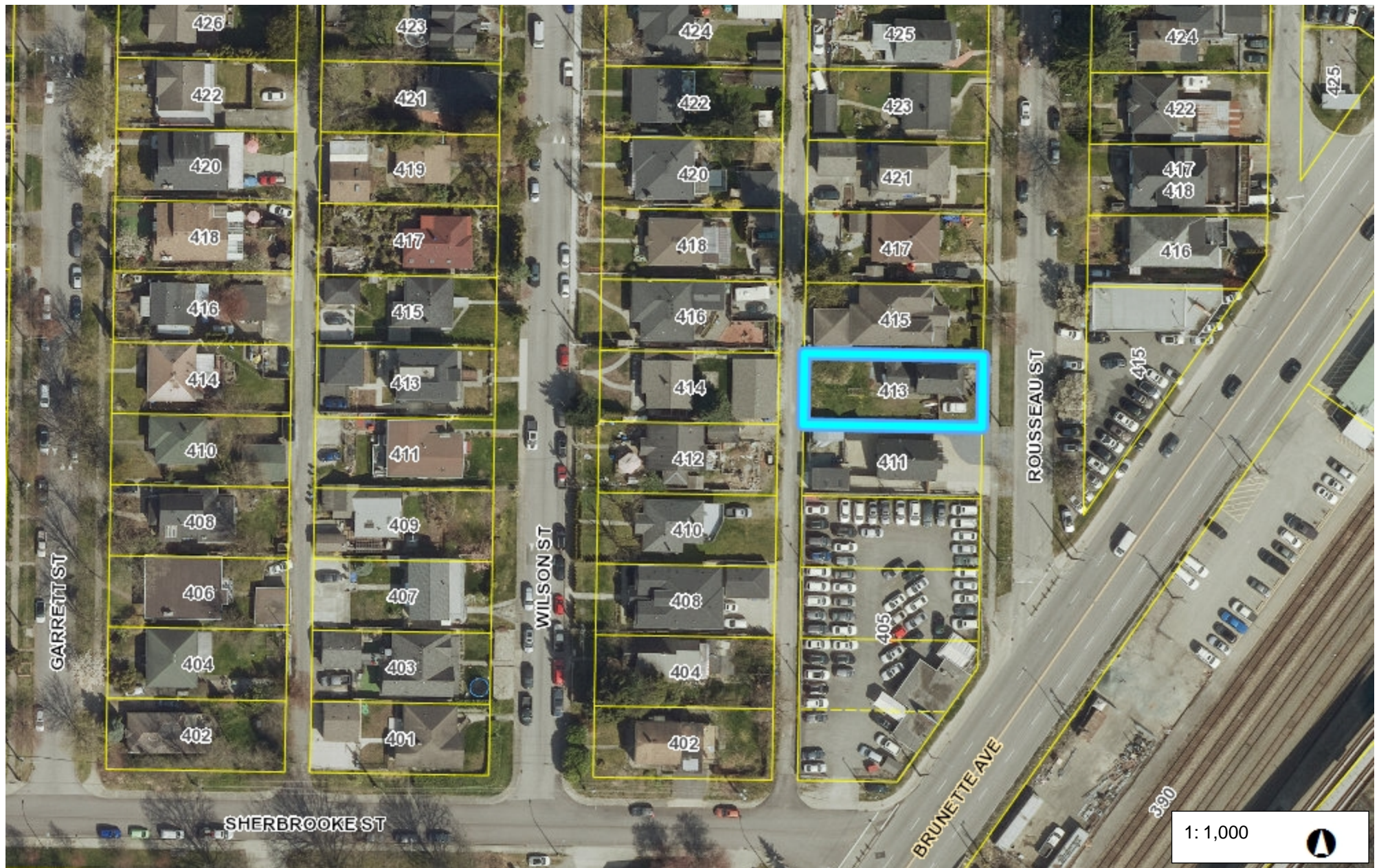
This report was reviewed by:

Judith Mosley, Senior Heritage Planner

*Appendix A*

*Site Context Map*

## 413 Rousseau Street



50.8 0 25.40 50.8 Meters

NAD\_1983\_UTM\_Zone\_10N  
 CNW GIS Services

This map is a user generated static output from an Internet mapping site and  
 is for reference only. Data layers that appear on this map may or may not be  
 accurate, current, or otherwise reliable.

1:1,000



*Appendix B*

*Heritage Values Assessment*

*and*

*Current Photographs*



**October 2022**

## **Introduction**

The subject building is located at 413 Rousseau Street in New Westminister, British Columbia and is being evaluated in order to determine if it has heritage value.

A Heritage Values Assessment is a high-level evaluation that analyzes the potential heritage value of a place in order to assist with decision-making options for the property. It helps City Planners and owners determine if there is sufficient heritage value to discuss retention options, including non-financial incentives in exchange for retention and restoration of the place.

The heritage value of a place is determined by assessing if it has aesthetic, cultural, historic, scientific, social and/or spiritual importance or significance for past, present, and future generations (using the *Standards and Guidelines for the Conservation of Historic Places in Canada*<sup>1</sup>). If present, these values would be embodied by character-defining elements typically identified as materials, forms, location, spatial configurations, uses and cultural associations or meanings.



A site visit was conducted on October 20, 2022, in order to take photographs of the exterior of the building and to assess it for heritage value.

## **Context**

Constructed in 1907, the house is located in the Sapperton neighbourhood of New Westminister, British Columbia.

The property has the following site physical characteristics<sup>2</sup>:

Site Area:	472 sm (5,085 sf)
Frontage:	13.72 m (45.01 ft)
Average Depth:	34.44 m (113.00 ft)
Floor Space Ratio	0.338
Site Coverage:	15.8%

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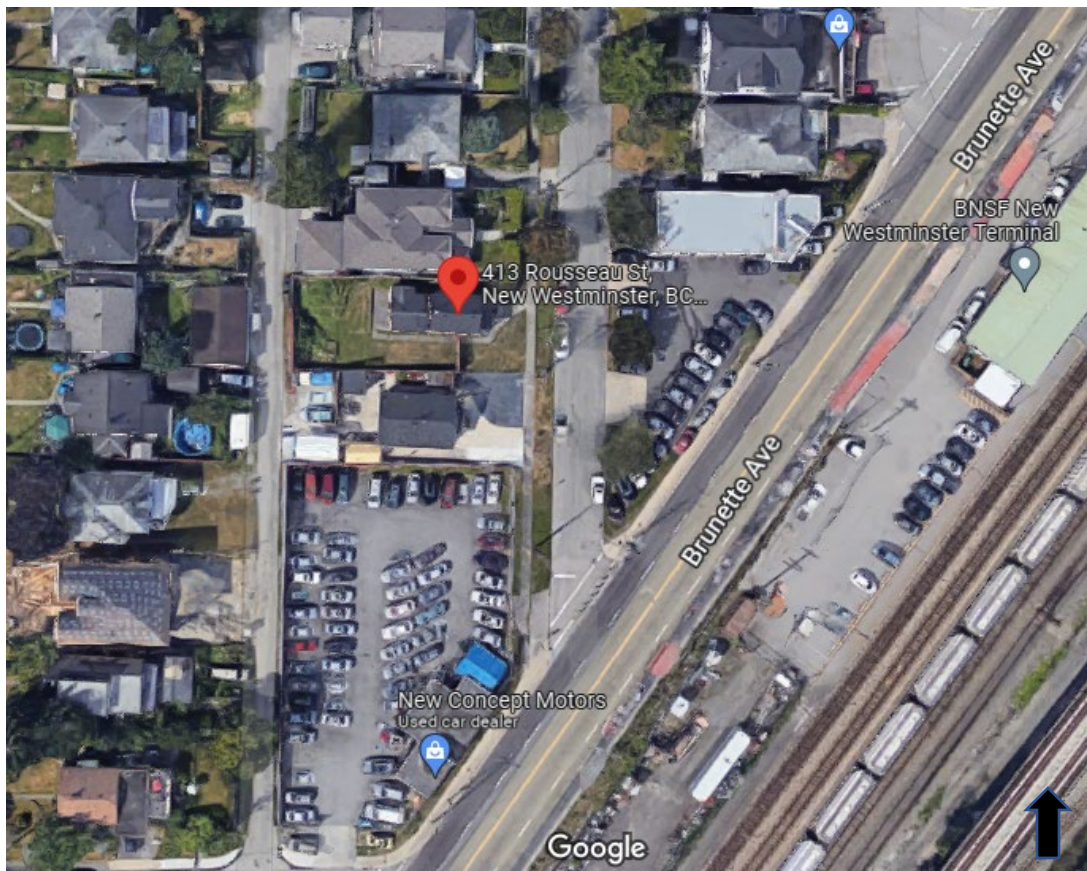
<sup>1</sup> *The Standards and Guidelines for the Conservation of Historic Places in Canada*, Second Edition, 2010. p. 5.

<sup>2</sup> From the City's Site Development Report.

The property is zoned Single Detached Residential (RS-2), the intent of which is to “allow single detached dwellings and secondary suites in residential neighbourhoods”<sup>3</sup>. For more details on the expectations for this zone, please consult with the City’s Planning Division.

The property is identified in the Official Community Plan as Residential – Infill Townhouse (RT), the purpose of which is “to allow small scale, side-by-side townhouses and rowhouses which are compatible within areas of single detached housing and other lower density ground-oriented housing”<sup>4</sup>. For more details on the expectations for this land use designation, please consult with the City’s Planning Division.

The property is identified with a red marker on the following Google map. Directly across the street to the east is a car dealership. On the south side is another single family house and then another car dealership. To the north and west are single family houses. Most impactful is Brunette Avenue and the railway tracks that are both visible and audible from the house.



<sup>3</sup> City of New Westminster Zoning Bylaw, Section 311.

<sup>4</sup> City of New Westminster Official Community Plan – Mainland Use Designations, p. 4.



**Photographs of the House (October 2022)**



*East (front) elevation*



*West (rear) elevation*



*Side view of front porch*



*Oblique view of rear and side elevations*





*South elevation*



*North elevation*



## The Building

The house was constructed in 1907, according to City records. It sits forward on the lot, facing Rousseau Street. The design is a Gable Vernacular, according to the Vancouver Heritage Foundation House Styles guide. It typifies this style through its 2 storey height, front gable roof, full-width front porch with the front door set on the side and in line with the front stairs, and the way the main floor is set ½ storey above ground.

The body of the house is clad in stucco on the main and upper levels. The lower level is clad in horizontal wood clapboard siding with a 5 ½ inch profile. The top half of the gable end on the front elevation is clad in wood shingles, in both square cut and octagonal cut patterns. According to the current owners, the house was completely renovated inside and out in c. 2003 and it was likely at this point that the stucco was added. Without removing all of the stucco, it is impossible to know if any of the original wood siding is underneath, to what extent and in what condition.



*Front gable with wood shingles*



When the house was photographed in c. 1982 for placement on the Heritage Resource Inventory, it was clad in horizontal wood siding with the same shingles in the front gable. The siding appears to be similar to the siding that is on the base of the house today. In 1982, the front porch had been enclosed. At some point, likely in c. 2003, the front porch was opened up again (although the area under the porch remains enclosed). The front porch is full width with square posts that support a hip roof. There is a sympathetic wood railing system around the porch and on either side of the wood stairs (no risers), all added within the last 10 – 15 years. The floor of the porch is clad in ceramic tile and the ceiling over the porch is tongue-



*Ceramic tiles on front porch*



*Tongue-in-groove ceiling on front porch*

in-groove wood. The front door, with a wide frame, is located on the right side of the porch and the stairs are directly in line with it. Also on the front elevation is a small door, nicely framed, leading to the area under the porch.

There are few windows on the house, all of which appear to be an older style with wide wood frames and projecting wood sills, and most of which have had vinyl inserts installed. There are two small windows on the north elevation, a basement window and a small window just above, that have not had vinyl inserts added. There is also a stained glass window (a piano window) on the north elevation, main floor, near the front of the house.



*South elevation – showing similarity in windows between the original portion of the house and the addition*



*Stained glass window on north elevation*

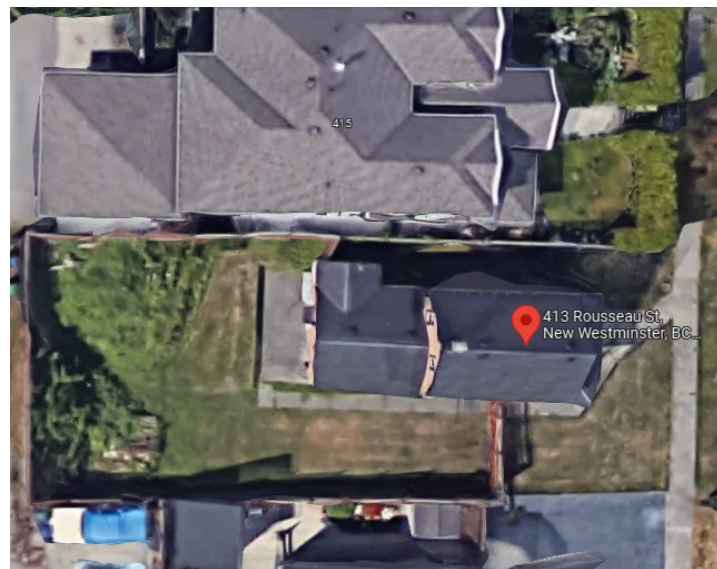


*Basement window with wood frame on north elevation*

At some point an addition was made to the rear of the house. It is 1 storey with a front facing gable roof with a smaller intersecting gable roof, both of which have a smaller pitch than the primary roof. The frames and sills of the windows on this addition match those on the house, suggesting either that someone matched the frames and sills at the time of the addition, or that this addition was made at the same time that all of the windows were installed. Without permits, it is impossible to know when these changes occurred.



*Rear addition*



*Aerial view from Google Maps showing the rear addition*





There is one internal red brick chimney with a concrete chimney cap, located at the rear of the original portion of the house. The style of the brick is running bond.

Comparison of the subject house: c. 1982 on the left and 2022 on the right.



*Photo courtesy of the NWMA, c. 1982, IHP 14794*  
*Note the closed-in porch*



*Photo courtesy of the author, 2022*

## Heritage Value and Evaluation

### Heritage Value – Early Occupants

City records identify that the house was constructed in 1907 for or by N. E. Braithwaite. A search of the on-line City Directories, the Vancouver Public Library website and the BC Archives genealogical site for birth, marriage and death certificates provided no information or listing of N. E. Braithwaite. A search of the on-line historical newspapers did provide a few references to a “J. E. Braithwaite”. In The Daily News (December 21, 1906, p. 8) his name is listed under the title “The Transient Throng”. In the Daily Building Record (October 31, 1913. P.1) his name appears beside of list of Vancouver Building Permits (#5489): “J. C. Clifford, repair res, 902-8<sup>th</sup> Ave W. W. J. E. Braithwaite, contr. \$375”. If the “N. E. Braithwaite” listed in the City records is in fact “W. J. E. Braithwaite”, then it would suggest that Braithwaite was the contractor rather than the owner.

There is one more reference to a “J. E. Braithwaite” in the New Westminster News (an insert page from the Semiahmoo Gazette, August 23, 1913, p. 7) under the White Rock Personals stating: “Mr. and Mrs. J. E. Braithwaite of Kitsilano, who are returning home this week, have had numerous visitors to their summer house on the Stevens addition, amongst whom were Mrs. Alexander and daughter, Mrs. Zaff and Mrs. Langley from Vancouver, Mrs. Thos. Smith of Eburn, Mrs. George MacKenzie of Wash. and on Friday last Mrs. Braithwaite entertained a number of friends in the afternoon.” There is a Mr. John E. Braithwaite listed in Henderson’s Greater Vancouver City Directory in 1913 (p. 633) with the occupation of ‘real estate’ and with a residence at 2455 W. 8<sup>th</sup> Ave in Vancouver. Without further information, there is no way to know if “J. E. Braithwaite” and “N. E. Braithwaite” were the same person.

The first time that the address of the subject house is listed in the on-line City Directories is 1938. Between the time stated as the construction year (1907) and 1938, it is not until 1925 that Rousseau Street appears in the on-line Directories. During this time period, the lowest house number is 415 Rousseau Street.

In 1938, when 413 Rousseau Street is first listed, the owner is identified as “A. MacDonald”. Alex MacDonald was married to Mary MacDonald. He worked as a ‘labourer’ but there was no information stating what kind of labourer he was or for which company he worked. Beginning in 1945, Alex is no longer listed with the house; only “Mrs. Mary MacDonald” is listed. No birth, marriage or death certificates could be found for either Alex or Mary, nor was any further information about them found from other sources.

1907	House constructed (according to City records)
1908 – 1924	Rousseau Street not listed in the on-line City Directories
1925	Rousseau Street now listed in the on-line City Directories
1938	First time 413 Rousseau Street is listed
1938 – 1944	Alex and Mary MacDonald (owners)
1944 – 1955 <sup>5</sup> +	Mrs. Mary MacDonald (owner)

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<sup>5</sup> The on-line Directories only go as far as 1955. It is possible that Mrs. MacDonald lived in the house for a longer period of time.



## Heritage Value – Standards and Guidelines for the Conservation of Historic Places in Canada

The heritage value of the subject house has been assessed based on possible aesthetic, historic/cultural, scientific, social and/or spiritual importance or significance for past, present and future generations, as per the “Standards and Guidelines”. See the definitions of these values in Appendix C. A more detailed listing of values would form part of a Statement of Significance.

For this Heritage Assessment, the following summary is provided:

The house has some aesthetic value for its Vernacular Gable style, which would include its slender and tall massing, front gable roof with wood shingles in the gable end, and open front porch with hipped roof. It has historic value for its age (1907) and for retaining the overall style of that period, even though the exterior cladding and windows have been altered.

The house does not have any cultural or social value as nothing other than names can be associated with it. There is no known spiritual value associated with the property<sup>6</sup>.

The character-defining elements for this house would include the overall form, massing and design, including the wood clapboard siding below the main level, wood shingles in the front gable end, the style of the windows and the stained glass piano window.

### **Conclusion**

After assessing the heritage value of the house, it is the opinion of this heritage professional that the property has heritage value for its age and architectural style, but that it does not have any known cultural, social or spiritual value.

The house would be eligible for a discussion about retention options, particularly through a Heritage Revitalization Agreement. The work to restore the house would be extensive and would likely include removing the stucco and replacing it with wood clapboard siding, restoring the front porch, assessing and restoring all of the windows, possibly removing the rear addition, etc. A conditions assessment was not carried out but would be something to consider as it may provide additional information to help inform any future decisions about the house.

*JSchueck*

Julie Schueck, Principal  
Schueck Heritage Consulting  
julie@schueckconsulting.com  
778-838-7440

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<sup>6</sup> To determine if there is spiritual value associated with the house or the land upon which it sits would require consultation with First Nations and other cultural groups.

## Appendix A: Historic Information

**413 Rousseau Street  
circa 1907  
Pioneer Tent Style -- Late Victorian  
Period**

Built around 1907, this house has a simple gabled facade with a rear shed roof addition characteristic of the Pioneer Tent style. The octagonal shaped shingles, double hung windows, and weatherboard siding are original, while the enclosed front porch is an addition.



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*Excerpt from the New Westminster Historic Resources Inventory, Volume 3, 1986, p. 49.*




*Photograph of 413 Rousseau St. c. 1982. Courtesy NWMA IHP 14794*







Building File from the New Westminster Museum and Archives – p. 1

CITY OF NEW WESTMINSTER HERITAGE ADVISORY COMMITTEE INVENTORY FORM: Houses, Buildings, Sites, Structures, Trees, et. al.	CATEGORY	Roll 1 - #3A/4 PLEASE NOTE DISCLAIMER
ADDRESS <u>413 ROUSSEAU STREET</u>		
LEGAL DESCRIPTION _____		
KNOWN AS _____		
OWNER(S) _____		
ADDRESS(ES) _____		PHONE _____
PRESENT USE <u>Residence</u>		
DATE _____		
General _____		
Exact _____		
COMMENTS		
Appearance <u>O.K.</u>		
<u>grey/green/brown wood</u>		
Condition <u>O.K.</u>		
Setting <u>Residential</u>		
		
Style <u>typical gable</u> <u>working class</u> <u>long and narrow</u>		
<u>enclosed porch - added?</u>		
History _____		
Useability _____		
*****		

## New Westminster Museum / Archives Building File

Current Address: 413 Rousseau Street  
Previous Address: \_\_\_\_\_  
Construction Date: C. 1907  
Legal Description: \_\_\_\_\_  
Original Owner: \_\_\_\_\_  
Building Name: \_\_\_\_\_  
Architect: \_\_\_\_\_  
Contractor/Builder: \_\_\_\_\_  
Landscape: \_\_\_\_\_  
Other ( ): \_\_\_\_\_  
Other ( ): \_\_\_\_\_  
Architectural Style: Pioneer Tent - Late Victorian

### Water Connection

"Connector's" name: \_\_\_\_\_  
Date: \_\_\_\_\_  
(Time of construction / After construction )  
Connect #: \_\_\_\_\_  
Additional info: \_\_\_\_\_

### See Also

People File: \_\_\_\_\_

N.W.M.A. Photo: \_\_\_\_\_

N.W.P.L. Photo: \_\_\_\_\_

Other: \_\_\_\_\_

### Additional Information

Heritage Inventory YES / ~~NO~~ 1980s  
Designated YES / NO - Date \_\_\_\_\_  
Evolution info. YES / NO \_\_\_\_\_  
Comments: \_\_\_\_\_

Directory Study YES / NO \_\_\_\_\_  
Plans YES / NO \_\_\_\_\_  
Fire Atlas \_\_\_\_\_

### Additional Notes

## **Appendix B: Description of Gabled Vernacular Architectural Style**

### **Vancouver Heritage Foundation Website**

#### **Form**

The most common surviving houses of old Vancouver, Gabled Vernaculars are 1-1/2 to 2-1/2 stories tall with front-gabled roofs; the roof may have a skirt across the bottom of the gable. In this style, the house is usually set a half to a full storey above the ground (due to the basement space required for central heating). Its full-width front porch commonly has a hipped roof held up by posts (typically round Tuscan-style). The front door is almost always set on one side of the facade in line with the front stairs and there may be a bay window on one side of the porch, sometimes repeated on the upper storey. Dormers may be hipped or gabled. Examples of the style usually have very few decorative elements such as brackets and fretwork.

#### **Background**

The Gabled Vernacular style drew on several popular styles, adapted them for simpler homes for everyday living in the late 19<sup>th</sup> – early 20<sup>th</sup> century. Following the rise of the Greek revival movement in the 19<sup>th</sup> century, gable-fronted houses became more common, with designs that echoed the pediments of ancient Greek temples. This style gained popularity for American homes between 1830 and 1850. Pre-fabricated houses like many of the BC Mills houses and mail-order plans made the style easy to access. Gabled Vernacular homes were common in Vancouver since their narrow two-storey form made front-gabled houses well suited for urban lots. Today, the style is one of the most common historical house styles left in the city.

#### **Details**

- Steeply pitched, front-gabled roof
- Often roof skirt across bottom of gable
- Usually 2 to 2-1/2 storey
- Full-width porch
- Set a half- to full-storey above ground
- Few decorative elements
- Drop siding or narrow lap siding, sometimes shingles

#### **Materials**

Gabled Vernacular roofs were usually made of cedar shingles. Siding was usually drop siding with a pronounced channel or concave cove shape at the top of the board.

## Appendix C: Definitions

The following definitions of heritage value are quoted directly from the “Canadian Register of Historic Places: Writing Statements of Significance” guide:

Aesthetic value refers to the sensory qualities of a historic place (seeing, hearing, touching, smelling and tasting) in the context of broader categories of design and tradition. A place may have aesthetic significance because it evokes a positive sensory response, or because it epitomizes a defined architectural style or landscape concept. Visual aesthetic value is typically expressed through form, colour, texture or materials. It is possible for historic places to have other aesthetic values as well, such as auditory ones. Historic places with aesthetic significance may reflect a particular style or period of construction or craftsmanship, or represent the work of a well-known architect, planner, engineer or builder.

Historical and cultural values are sometimes combined and refer to the associations that a place has with past events and historical themes, as well as its capacity to evoke a way of life or a memory of the past. Historical or cultural value may lie in the age of a heritage district, its association with important events, activities, people or traditions; its role in the development of a community, region, province, territory or nation; or its patterns of use. Historical or cultural value can lie in natural or ecological features of the place, as well as in built features.

Scientific value refers to the capacity of a historic place to provide evidence that can advance our understanding and appreciation of a culture. The evidence is found in the form, materials, design and/or experience of the place. Scientific value can derive from various factors, such as age, quality, completeness, complexity or rarity. Scientific value may also be present when the place itself supplements other types of evidence such as written sources, such as in archaeological sites.

Social value considers the meanings attached to a place by a community in the present time. It differs from historical or cultural value in that the value may not have an obvious basis in history or tradition and relates almost entirely to the present time. Social value may be ascribed to places that perform a key role within communities, support community activities or traditions, or contribute to the community’s sense of identity. Places with social value include sites that bring the community together and create a sense of shared identity and belonging.

Spiritual value is ascribed to places with religious or spiritual meanings for a community or a group of people. Sacred and spiritual places could include places of mythological significance, landscape features associated with myth and legends, burial sites, rock cairns and alignments, fasting/vision quest sites etc., places representing particular belief system(s) or places associated with sacred traditions, ceremonial practices or rituals of a community/group of people.<sup>7</sup>

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<sup>7</sup> Historic Places Program Branch, “Canadian Register of Historic Places: Writing Statements of Significance,” Parks Canada, November 2006, pp. 12-13.



## Appendix D: Bibliography and Sources

British Columbia City Directories

<https://bccd.vpl.ca/>

BC Historical Newspapers

<https://open.library.ubc.ca/collections/bcnewspapers>

Google Maps

[google.com/maps](https://google.com/maps)

Gottfried, Herbert and Jan Jennings. American Vernacular Architecture: Buildings and Interiors 1870-1960. W.W. Norton & Company Inc. New York/London, 2009.

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New Westminster Heritage Resource Inventory, Volume 3, "Sapperton, Victory Heights, Queensborough, Connaught Heights, West End, Kelvin, Glenbrooke", 1986.

Royal BC Museum for Marriage and Death Certificates

<http://search-collections.royalbcmuseum.bc.ca/Genealogy>

Standards and Guidelines for the Conservation of Historic Places in Canada, Second Edition, 2010

Vancouver Heritage Foundation

<https://www.vancouverheritagefoundation.org/house-styles/early-cottage/>