

**COMMUNITY HERITAGE COMMISSION
AGENDA**

Wednesday, October 6, 2021, 6:00 p.m.

Meeting held electronically and open to public attendance
in Council Chamber, City Hall

	Pages
1. <u>CALL TO ORDER</u>	
2. <u>INTRODUCTIONS AND ICEBREAKERS</u>	
3. <u>CHANGES TO THE AGENDA</u> Additions or deletion of items.	
4. <u>ADOPTION OF MINUTES FROM PREVIOUS MEETINGS</u>	
4.1. September 1, 2021	3
5. <u>REPORTS AND PRESENTATIONS</u> Staff and guest reports and presentations for information, discussion, and/or action	
5.1. Heritage Revitalization Agreement Application: 323 Regina Street To review the application's heritage elements and provide a recommendation to Council.	8
5.2. Heritage Revitalization Agreement Application: 102 Seventh Avenue To review the application's heritage elements and provide a recommendation to Council.	87
5.3. Heritage Review (Demolition): 909-915 Twelfth Street To review the heritage value of the buildings and provide a recommendation on demolition.	133
5.4. Heritage Review (Demolition): 1212 and 1214 Fifth Avenue To review the heritage value of the buildings and provide a recommendation on demolition.	165
5.5. Heritage Review (Demolition): 848 Fifth Street To review the heritage value of the building and provide a recommendation on demolition.	226
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- 5.6. Heritage Review (Demolition): 1031 Cornwall Street**
To review the heritage value of the building and provide a recommendation on demolition.
- 5.7. Heritage Revitalization Agreement Refresh: Timeline and Work Plan** 282
To provide information on the status of this Development Services policy project, including timeline and workplan overview.
- 5.8. Feasibility Study for 302 Royal Avenue (Museum & Archives Annex Building)** 284
To inform on a potential future redevelopment of the City-owned building adjacent to the Irving House, a protected heritage property.

6. STANDING REPORTS AND UPDATES

Regular and ongoing reports from staff or members for information and discussion.

- 6.1. General Inquiries from the Commission**
- 6.2. Demolition Permit Applications Issued from August 26, 2021 to September 24, 2021.** 294
To inform the Commission of demolition permits issued from August 26, 2021 to September 24, 2021.

7. NEW BUSINESS

Items added to the agenda at the beginning of the meeting.

8. END OF MEETING

9. UPCOMING MEETINGS

Remaining scheduled meetings, which take place at 6:00 p.m. unless otherwise noted:

- November 3, 2021
- December 1, 2021



COMMUNITY HERITAGE COMMISSION

Wednesday, September 1, 2021

**Meeting held electronically under Ministerial Order No. M192/2020 and the
current Order of the Provincial Health Officer - *Gatherings and Events***

MINUTES

VOTING MEMBERS PRESENT:

Councillor Jaimie McEvoy	- Chair
Maureen Arvanitidis	- Community Member
Samuel Boisvert	- Community Member
John Davies	- Community Member, Alternate Chair
Jill Davy	- NWHPS Representative
Lindsay Macintosh	- Community Member
Robert Petrusa	- Community Member
David Sarraf	- Community Member

STAFF:

Britney Dack	- Senior Heritage Planner
Nazanin Esmaeili	Planning Assistant
Rob McCullough	- Manager, Museums & Heritage Services
Nicole Ludwig	- Assistant City Clerk

The meeting was called to order at 6:02 p.m.

1.0 ADDITIONS TO AGENDA

No additions or revisions were made to the agenda.

2.0 ADOPTION OF MINUTES

2.1 Adoption of the Minutes of July 7, 2021

MOVED and SECONDED

THAT the minutes of the July 7, 2021 Community Heritage Commission meeting be adopted with the following change: on page 4, change the reference from Homebuilders Association Vancouver (HAVAN) to Greater Vancouver Homebuilders Association (GVHBA).

CARRIED.

All Commission members present voted in favour of the motion.
(Maureen Arvanitidis and David Sarraf absent for the vote)

Procedural Note: Following the adoption of minutes, the Chair called for a round of introductions for the new member Ms. Jill Davy.

3.0 PRESENTATIONS

None

4.0 UNFINISHED BUSINESS

4.1 Energy Retrofits to Heritage House Guide: Sustainability Scholars Project

Britney Dack, Senior Heritage Planner, advised this item was a follow up to the July 7, 2021 meeting, and that this is the final version of the energy retrofits to heritage house guide, although it is subject to a final editing for spelling errors, grammar, and continuity. Ms. Dack noted that once the guide is finalized, it will be made available on the City's Heritage website and in print at the Development Services front counter before the end of the year, and that its final intended use is for smaller scale renovations and retrofits at the house level.

In discussion, members expressed appreciation for the guide, noting the suggestions are very practical and work to preserve heritage characteristics.

5.0 NEW BUSINESS

None.

6.0 REPORTS AND INFORMATION

6.1 809 Carnarvon Street: Expedited Demolition Memo

Procedural Note: at 6:15 p.m., Samuel Boisvert declared conflict of interest on this matter because the report under consideration was prepared by his office. He was placed in an electronic meeting room where he could neither see nor hear the proceedings, and did not return until the conclusion of the discussion on this matter.

Nazanin Esmaeili, Planning Assistant, advised that this report was only for information and a demolition permit had been issued on August 13, 2021. In response to questions from the Commission, Ms. Esmaeili, along with Britney Dack, Senior Heritage Planner, provided the following information:

- Recycling of certain building components is required through the Building Permit Process though the applicant will be encouraged to work with a private company to recycle or provide for salvage other materials from the demolition not covered by the

recycling requirements;

- Requiring recycling/salvage of demolition materials from older or historic buildings is being explored but is not in place yet;
- The building was only used as a livery for six years and underwent a substantial conversion to storage in 1980, where nothing of heritage value left inside from its use as a livery; and,
- Development Services Staff work plan includes a full register update, though this should be expected as a long term project.

Procedural Note: Mr. Boisvert returned to the meeting at 6:20 p.m.

6.2 9 East Columbia Street: Woodlands Wall Stair Replacement

Britney Dack, Senior Heritage Planner, introduced the application noting that the City is the applicant, and that Engineering Operations proposes to recreate the staircase and landing while maintaining the decorative posts and iron filigree work. She noted the work will be done with a focus on sensitivity to the heritage aspects, however there may be an additional stair as requirements have changed since the stairs were initially poured.

In response to Commission questions, Ms. Dack noted:

- Much of the damage is water damage due to drainage issues in the area, and staff will be asked to address this; and,
- The stairs are quite well used so the Director of Development Services and the Director of Engineering hope to process the project so that functionality can be retained.

MOVED and SECONDED

THAT the Community Heritage Commission recommend that the Director of Development Services consider issuance of a Heritage Alteration Permit in order to facilitate the in-kind replacement of the concrete steps and landing, and repair of the stair railing at the East Columbia Street pedestrian entrance at 9 East Columbia Street.

CARRIED.

All members present voted in favour of the motion.

Following the decision, members discussed the specimen trees on Woodlands Site, noting:

- The trees are part of the heritage value of the site and have a connection to Riverview in Coquitlam;

- All of the tags and information on the trees have disappeared and the trees are showing need of care.

In response to Commission questions, Ms. Dack and Rob McCullough, Manager of Museums and Heritage Services, provided the following information:

- The trees on the great lawn are protected under the HRA and the City is responsible for maintaining them;
- The 2002 Woodlands report has a list of all the trees on the site and this has been shared with the City arborists; and,
- Staff will investigate the status of the trees to the north of the Woodlands site.

6.3 General Inquiries from the Commission (Standing Item)

None.

6.4 Demolition Permit Applications Issued from July 01, 2021 to August 25, 2021:

ADDRESS	YEAR BUILT	NEIGHBOURHOOD
1516 TENTH AVE	1945	WESTEND
1931 SEVENTH AVE	1936	WESTEND
1420 NANIMO ST	1936	WESTEND
523 FOURTEENTH ST	1928	BROW OF THE HILL
1420 NANIMO ST	1936	WESTEND
516 KELLY ST	1930	SAPPERTON
827 CHILLIWACK ST	1946	VICTORY HEIGHTS
254 SANDRINGHAM AVE	1946	GLENBROOKE NORTH
207 E. DURHAM ST	1953	VICTORY HEIGHTS
245 PEMBINA ST	1939	QUEENSBOROUGH

7.0 CORRESPONDENCE

None.

8.0 NEXT MEETING

8.1 Next Meeting Date: Wednesday, October 6, 2021, location to be determined.

9.0 ADJOURNMENT

ON MOTION, the meeting was adjourned at 6:42 p.m.

Certified correct,

Councillor Jaimie McEvoy
Chair

Carilyn Cook
Committee Clerk

REPORT

Climate Action, Planning, and Development

To: Community Heritage Commission **Date:** October 6, 2021

From: Kathleen Stevens,
Heritage Planning Analyst **File:** HER00810

Item #: [Report Number]

Subject: Heritage Revitalization Agreement Application: 323 Regina Street

PURPOSE

To review the application's heritage elements and provide a recommendation to Council.

PROJECT SUMMARY

An application has been received for a Heritage Revitalization Agreement (HRA) to construct a 132 sq. m (1,420 sq. ft.) rental infill house at 323 Regina Street, a non-protected property in the Queen's Park Heritage Conservation Area. As part of the HRA, the existing 1928 house would be retained in its current location, be legally protected with a Heritage Designation Bylaw, and listed on the City's Heritage Register.

The heritage house is smaller than permitted at a density of 0.43 floor space ratio (FSR). Some updating and restoration work was completed on the house in 2020, though as a non-protected house, the work was not governed by the neighbourhood's design guidelines.

The proposed infill house would be larger than permitted at a density of about 0.18 FSR for a total of 0.6 FSR on the site. The overall density is appropriate to an HRA, though the infill house's size is larger than other similar applications. Three Zoning Bylaw relaxations would be required: one siting relaxation for the heritage house in order for it to remain in its current location; and two for the new house (density and siting).

As this application was received in March 2021, it is not subject to the pause Council placed on HRA applications in the Queen's Park neighbourhood on June 21, 2021.

GUIDING POLICY AND REGULATIONS

Official Community Plan (OCP) Land Use Designation

The Official Community Plan (OCP) sets out the City's anticipated land use for the future, for the purposes of guiding development applications. In the OCP, this property is designated Residential Detached and Semi-Detached Housing (RD). This designation envisions a mix of low density residential units including houses, duplexes, secondary suites, and laneway or carriage houses. The proposed application is consistent with this the RD designation.

Projects with Heritage Assets

The OCP encourages the use of Heritage Revitalization Agreements when a heritage asset on the site is appropriately incorporated into a development. Through this type of agreement, the OCP land use designation indicates that the development may be used to permit the housing forms listed in Residential – Ground oriented Infill Housing (RGO) designation. RGO is intended to allow a mix of ground oriented infill housing forms which are complementary to the existing neighbourhood character, and may include single detached dwellings, single detached dwellings on a compact lot, and other forms. The proposed application is consistent with this designation.

Queen's Park Heritage Conservation Area

The site is located in the Queen's Park Heritage Conservation Area though is not a protected property: its heritage protection was removed by Council during the Special Limited Category Study in 2018.

As a non-protected property, changes to the exterior do not require a Heritage Alteration Permit (HAP) and the property is not eligible for the Heritage Conservation Area's incentives program. The proposed Heritage Designation and HRA would provide a higher level of protection, design control, and development regulations than the Heritage Conservation Area. The additional protection and sensitive infill proposed is consistent with the goals of the Heritage Conservation Area.

Queen's Park Heritage Conservation Area Design Guidelines

The Queen's Park Heritage Conservation Area Design Guidelines are the basis for assessing projects within the Queen's Park neighbourhood. The evaluation is based on an examination of the existing character of the surrounding area and the building itself. The guidelines aim to respect the integrity of historic buildings, while ensuring new construction is sympathetic to the character of the neighbourhood. The proposed application is generally consistent with these design guidelines.

Zoning Bylaw

The existing zoning for the site is RS-4 Queen's Park Single Detached Dwelling District. The intent of this district is to allow single detached dwellings with secondary suites and a laneway or carriage house. In this zone, the maximum floor space ratio (FSR) for principal houses which are protected under the Heritage Conservation Area is 0.7 and 0.5 for non-protected houses. A carriage house up to 0.1 FSR would also be permitted in either case. The proposed application would require relaxations to the Zoning Bylaw (as noted in the following sections of the report). As such, a Heritage Revitalization Agreement is proposed to permit the proposal.

Heritage Revitalization Agreement

A Heritage Revitalization Agreement (HRA) is a negotiated agreement between the City and a property owner for the purposes of heritage conservation. In exchange for long-term legal protection through a Heritage Designation Bylaw and exterior restoration, certain zoning relaxations may be considered (as noted above). An HRA is not precedent setting, as each one is unique to a specific site. The *Policy for the Use of HRAs* lays out the process for HRAs and the relaxations which may be considered.

Heritage Related Design Guidelines

Council endorsed *The Standards and Guidelines for the Conservation of Historic Places in Canada* in 2008 as a basis for assessing heritage projects within the city. These are national guidelines for best practice in heritage conservation and design. All HRA proposals are carefully evaluated using this document to ensure conservation work on the exterior of the heritage building is in compliance. Additionally, the design of the adjacent new buildings are reviewed against the principles and guidelines in this document.

Heritage Designation Bylaw

A heritage asset which is the subject of an HRA is also protected by a Heritage Designation Bylaw. This Bylaw is a regulation that places long-term legal protection on the land title of a property. Any changes to a protected heritage property must first receive approval from City Council (or its delegate, the Director of Development Services) through a Heritage Alteration Permit (HAP). Future development is no longer entitled, but could be permitted by Council with an HAP. HAP applications are also evaluated by staff against the Standards and Guidelines and the Heritage Conservation Area guidelines, where appropriate.

BACKGROUND INFORMATION

Site Characteristics and Context

The subject property is 749 sq. m. (8,057 sq. ft.) in size. It is located in the Queen's Park neighbourhood, an area of single-detached dwellings, on a corner lot with frontages on Regina Street, Fourth Street, and Sydney Street (a named lane). All streets are local roads. A site context map and aerial image is provided in [Appendix A](#).

Project Description

The proposal is to retain the 1928 house and protect it through a Heritage Designation Bylaw in exchange for the construction of an infill house. The heritage house has a density of 0.43 FSR and is 320 sq. m. (3,443 sq. ft.). The new house would have a density of 0.18 FSR and be approximately 132 sq. m. (1,420 sq. ft.). The total site density would be 0.6 FSR. This is 0.1 FSR above the maximum permitted outright. The heritage house would remain in its current location and setback. One off-street parking space would be provided on each lot which meets the Zoning Bylaw requirement. Though not typically required, in order to support the use of the nearby greenway/bikeway, enclosed bike storage is being proposed, attached to the infill house. Project drawings are provided in [Appendix B](#).

The proposal is consistent with the intent of the City's family-friendly policy and goals of providing more "missing middle" and rental housing forms (laneway/carriage houses, town/row houses, duplexes and triplexes). The design is also generally consistent with the Queen's Park Heritage Conservation Area Design Guidelines and would result in buildings consistent with the site's scale and neighbourhood context.

Proposed Relaxations

Under the City's *Policy for the Use of Heritage Revitalization Agreements*, and the OCP, regulatory land use (Zoning Bylaw) relaxations may be considered through an HRA. In this case, there are three relaxations proposed: for the existing house the regularization of an existing side setback; and for the infill house, a reduced side setback from Sydney Street, and increased density. A summary is provided in Tables 1 and 2 below and additional project statistics are available in [Appendix C](#).

Table 1: Summary of Proposed Relaxations for 323 Regina Street (Heritage House)

Attribute	Zoning	Existing	Relaxation
Minimum Right Side Setback (east)	1.5 m. (5 ft.)	0.6 m. (2.1 ft.)	0.9 m. (2.9 ft.)

Table 2: Summary of Proposed Relaxations 471 Fourth Street (Infill House)

Attribute	Zoning	Existing	Relaxation
Density	0.1	0.18	0.08
Sydney Street Side Setback (north)	1.5 m. (5 ft.)	0.9 m. (3 ft.)	0.6 m. (2 ft.)

The primary relaxation is increased density for the infill new house, although a portion of the additional density request is located in a basement. Without a basement, the infill house would be 0.13 FSR (97.5 sq. m. / 1,050 sq. ft.), which is 0.03 FSR (22.5 sq. m. / 242 sq. ft.) above the Zoning Bylaw maximum of 0.1 FSR. Therefore, the additional basement density would not significantly impact building bulk, or be detrimental to the streetscape.

The setback relaxation for the infill house is a result of Sydney Street functioning as a named lane. With a width (6.04 m. / 19.8 ft.), the setback requirement would be 0.9 m. (3 ft.) if Sydney Street was not named. The setback relaxation for the heritage house will allow it to remain in its current location, regularizing an existing non-conformity. As such, these siting relaxations are considered reasonable.

ITEMS FOR DISCUSSION

Heritage Value of the House

As part of the Queen's Park Special Limited Study (see [Appendix D](#)), Council removed protection from all studied properties which scored less than 60% in their assessment. This property scored 56% due to its lack of social-cultural value. As the house is not associated with a significant person, event, tradition or practice, no points were awarded under this criteria.

As detailed in both the Special Limited Study Heritage Assessment and the prepared Statement of Significance for this house ([Appendix D](#)) the house is considered to have some aesthetic and historic value. It was built in 1928 and has is an intact example of a Storybook style dwelling, with elements from both the French and English tradition. It has historical significance for being among a rare stock of interwar period developments in the Queen's Park neighbourhood.

Recent historic research by the applicant found a newspaper article which showcased the building and provided details on the various contractors and craftsman, many well-known and well-respected in the community. Additionally, the first resident Elmer Edgar is representative of the middle-class individuals working in New Westminster, as he was the Manager of the local Tip Top Tailor's New Westminster branch, a Canadian company. Understanding these connections to the city's past, heritage protection is considered reasonable.

Does the Statement of Significance provide an accurate representation of the heritage values of the building?

Is the heritage value of the house sufficient to warrant long term legal protection and heritage status through a Heritage Designation Bylaw?

Heritage Conservation Work

Overall, the house is described to be in good to very good condition. Details are available in the Heritage Conservation Plan, which is included in full in this report in **Appendix D**. A summary of the retained and restored elements of the house is provided in Table 3.

Table 3: Summary of Heritage Conservation Work

Building Element	Action	Material
Location (prominence on corner)	Preserve	House is remaining in its current location
Foundation	Preserve	Concrete, full height
Form and Massing	Preserve/ Rehabilitate	Main 1-1/2 storey structure and addition of accessory structures: mudroom, covered deck and patio
Main body siding	Preserve/ Restore	Stucco, patching where required
Windows and doors	Preserve/ Restore/ Relocate/ Replace	<u>West (Fourth Street) elevation</u> Original, wood-framed windows and wood front door retained <u>South (Regina Street) elevation</u> Main floor: one main floor wood window retained; one relocated original wood window added; one window relocated to replace an unsalvageable window Upper floor: windows replaced with in-kind replica wood windows <u>North (Sydney Street) elevation</u> Main floor: one set of three wood windows retained and one existing wood window retained; three relocated original wood windows added Upper floor: windows replaced with in-kind replica wood windows <u>East elevation</u> Upper floor: three new vinyl windows Main floor: three existing wood windows retained Basement floor: two new vinyl windows
Wood elements (door and window trim, fascia boards)	Preserve	Wood board (original or replica, as required)
Catslide roofline: West elevation	Restore	

Building Element	Action	Material
Window boxes	Preserve/ Restore	Two window boxes; one relocated from the west (Fourth Street) elevation to the south (Regina Street) elevation
Chimney: South (Regina Street) elevation	Remove	Brick, not original
Chimney: North (Sydney Street) elevation	Preserve/ Restore	Bricks and concrete (repair deteriorating mortar where required)
Blue window awnings	Remove	Fabric, not original
Exterior paint palette	Restore	Original colour scheme (based on 1928 newspaper article)
Roofing material	Preserve	Asphalt roof shingles in Iko Harvard Slate

Is the level of retention proposed appropriate for this project?

Are there exterior building elements not addressed which could or should be?

Is the Heritage Conservation Plan sufficiently comprehensive and detailed?

New Building Elements

In March 2020, a Building Permit was issued for a covered deck and mudroom at the rear of the building, a new covered deck on the Regina Street elevation and an enlarged second storey rear dormer. As 323 Regina Street is currently a non-protected property in the Queen's Park Heritage Conservation Area, a Heritage Alteration Permit (HAP) was not required in conjunction with the Building Permit.

This work is now completed. Since then, it has been evaluated by the project's current Heritage Professional and is considered consistent with the Queen's Park Heritage Conservation Area design guidelines. A summary of the interventions is included in Table 4, with more details in the Heritage Conservation Plan (in [Appendix D](#)), a memo prepared by the project's current Heritage Professional ([Appendix E](#)), and the proposed design plans ([Appendix B](#)).

Table 4: Summary of Interventions on the Heritage House

New Building Element	Detail and Materials
Covered rear deck: North (Sydney Street) elevation	Addition of a similarly pitched jerkinhead roof installed over wood deck without rolling eaves to ensure its distinguishability
Mudroom: North (Sydney Street) elevation	Stucco to match existing siding Original windows relocated from the kitchen
Dormer extension: East elevation	Consolidation of two small dormers into one, roof and stucco to match existing siding

New Building Element	Detail and Materials
Deck and roof: South (Regina Street) Elevation	A new wood deck and an expanded opening in the building wall for wood and glass french doors to provide entry Addition of a similarly pitched jerkinhead roof installed without rolling eaves to ensure its distinguishability
Back door: West (Fourth Street) elevation	New wood and glass door
French doors: South (Regina Street) elevation	Repurposed wood and glass French doors from a demolished house in Vancouver
Windows: East elevation	Upper floor: three new vinyl windows Basement floor: two new vinyl windows; steel basement door not visible from the street
Drainage gutters and downspouts	Replaced with rounded aluminum to resemble the older more traditional style

Are the new elements introduced to the house appropriate to the building's design?

Are the new elements respectful to the house's heritage elements?

Is the level of intervention appropriate for this project?

Design Relationship with the Infill House

The City's policies, including the *Standards and Guidelines*, strongly encourage developments which include a historic building to be respectful of the existing heritage assets. Respectful development does not necessarily mean the new building must be physically smaller than the heritage building, or that the site should not be developed, rather that the site or new building's design should consider the heritage building, and allow the heritage building to be the focus of the development. The guidelines identify that new building should not be overwhelming, or detracting from the historic features.

This project proposes a two storey infill house 6.9 m. (22.5 ft.) high, with a compact 59.6 sq. m. (642 sq. ft.) footprint, located at the rear of the property. The infill house has been designed to reduce massing with the second floor built into the roof and the inclusion of a partial basement. The infill and heritage houses are proposed to be set apart 5.2 m. (17 ft.) to provide separation as well as an area for both private outdoor space and landscaping.

The new infill house features traditional design elements with its simple roofline: front gabled jerkinhead roof and two shed dormers, complementary to the heritage house, as well as a street-oriented front porch and wood windows. It can be identified as a contemporary building through materiality: fibre-cement siding and its lack of ornamentation. The proposed design plans including elevations and site plan is provided in [Appendix B](#).

The new house design has been designed to blend in with, but not mimic the existing context. The applicant indicates the design is intended to reflect the street rhythm using primarily traditional architectural forms and take a subtle approach to individual expression so as not to conflict with elements in the neighbourhood. Drawings of the proposed new house, and its exterior materials are provided in **Appendix B**.

Are the massing, and siting elements of the development proposal compatible with and respectful of the heritage house?

Does the site plan or the design of the new infill house overwhelm the heritage house?

Is the proposed design reflective of the traditional heritage character elements of the Queen's Park Heritage Conservation Area?

FEEDBACK FROM THE COMMISSION

The Community Heritage Commission is being asked to review the application and provide feedback in relation to the following elements:

- The heritage value of the 1928 house, and prepared Statement of Significance;
- The appropriateness and level of the completed and planned heritage conservation work;
- The appropriateness of the completed and planned interventions for the heritage house; and
- Any heritage implications related to the design of the site or infill house.

The Community Heritage Commission is also being asked to provide a recommendation to Council on this application, based on its heritage merits. The following options are offered for the Commission's consideration:

- 1) That the Community Heritage Commission recommend that Council support the Heritage Revitalization Agreement for 323 Regina Street and its inclusion on the City's Heritage Register; or
- 2) That the Community Heritage Commission recommend that Council does not support the Heritage Revitalization Agreement for 323 Regina Street or its inclusion on the City's Heritage Register; or
- 3) The Community Heritage Commission could also provide an alternative recommendation, stemming from elements identified in their discussion.

ATTACHMENTS

- Appendix A: Site Context Map
- Appendix B: Proposed Design Plans
- Appendix C: Proposed Project Statistics and Relaxations
- Appendix D: Special Limited Study Heritage Value Assessment; Heritage Conservation Plan and Statement of Significance
- Appendix E: Heritage Professional Review Memo of Work Completed in 2019 and 2020

This report was prepared by: Kathleen Stevens, Heritage Planning Analyst

This report was reviewed by: Britney Dack, Senior Heritage Planner

Appendix A
Site Context Map

323 Regina Street



1: 1,000



0.1 0 0.03 0.1 Kilometers

NAD_1983_UTM_Zone_10N
CNW GIS Services

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

Appendix B

Proposed Design Plans

PROJECT DATA – 323 REGINA STREET

EXT’G LEGAL DESCRIPTION:	LOT 12 OF LOT 4, SB 10, NWD, PLAN 2620	
CIVIC ADDRESS:	323 REGINA STREET, NEW WESTMINSTER, B.C.	
CURRENT ZONING/ USE:	RS–4 RESIDENTIAL DISTRICT	
	PERMITTED	EXISTING
SITE AREA:	6000 SF MIN.	66.0x122.07=8,056.62 SF
MEAN BLDG. HEIGHT (DATUM: EL: 329.47’)	25.0 FT	17.5 FT
MAXIMUM HEIGHT:	35.0 FT	23.0 FT
SITE COVERAGE:	35% (2,819.8 SF)	20.4% (1,643.4 SF)
SETBACKS OF BUILDING:		
FRONT:	19.0 FT	30.71 FT
REAR:	24.41 FT	44.0 FT
SIDE YARDS:	5.0 FT	W 13.7 FT/E 2.1 FT
FRONT PORCH ENCROACHMENT:	4.0 FT	0.0 FT
BUILDING AREAS:		
UPPER FLOOR AREA:	– SF	1,114.9 SF
MAIN FLOOR AREA:	– SF	1,643.4 SF
BSMT FLOOR AREA:	– SF	684.3 SF
TOTAL FLOOR AREA:	4028.31 SF	3,442.6 SF
FLOOR SPACE RATIO:	0.7	0.43
ATTACHED ACCESSORY:		
SIDE ENTRANCE PORCH:	– SF	33.0 SF
BACK PORCH/DECK:	– SF	219.4 SF
FRONT DECK:	– SF	72 SF
TOTAL FLOOR AREA:	805.6 SF (10%)	324.43 SF (4%)

PROJECT DATA – 571 FOURTH ST INFILL HOUSE

EXT’G LEGAL DESCRIPTION:	LOT 12 OF LOT 4, SB 10, NWD, PLAN 2620	
CIVIC ADDRESS:	571 FOURTH STREET, NEW WESTMINSTER, B.C.	
CURRENT ZONING/ USE:	RS–4 RESIDENTIAL DISTRICT	
ENERGY USAGE:	STEP CODE 3	
	PERMITTED/REQUIRED	PROPOSED
SITE AREA:	6000 SF MIN.	66.0x122.07=8,056.62 SF
MAXIMUM HEIGHT:	23.0 FT	22.5 FT
SITE COVERAGE:	10% (805.6 SF)	8% (642 SF)
SETBACKS OF BUILDING:		
LANE:	3.0 FT	3.0 FT
BETWEEN HOUSES:	16.0 FT	17.0 FT
SIDE YARDS:	6.0 FT	W 11.9 FT/E 23.5 FT
BUILDING AREAS:		
UPPER FLOOR AREA:	– SF	440.0 SF
MAIN FLOOR AREA:	– SF	610.0 SF
BSMT FLOOR AREA:	– SF	370 SF
TOTAL FLOOR AREA:	958 SF	1,420.0 SF
FLOOR SPACE RATIO:	0.12	0.18 *
ATTACHED ACCESSORY:		
FRONT PORCH:	32.0 SF	32.0 SF
CARPORT:	226 SF	222.8 SF
BIKE STORAGE:	32.0 SF	32.0 SF

OVERALL SITE PROJECT DATA

SITE AREA:	66.0 x 122.07 = 8056.62 SF
PROPOSED SITE COVERAGE:	2285.4 SF (28.4%)
PROPOSED TOTAL FSR:	0.60 (4862.6 SF)
PROPOSED EXCLUDING BSMT FSR:	0.47 (3808.3 SF)
PROPOSED PARKING:	2 SPACES PROVIDED



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PROJECT TITLE.
**HERITAGE RESTORATION
AGREEMENT,
323 REGINA ST.,
NEW WESTMINSTER, B.C.**

DRAWING TITLE.

SITE DATA

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SCALE.
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A-0.1



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PROJECT TITLE.

INFILL HOUSE,
323 REGINA ST.,
NEW WESTMINSTER, B.C.

DRAWING TITLE.

4TH STREET
ELEVATION

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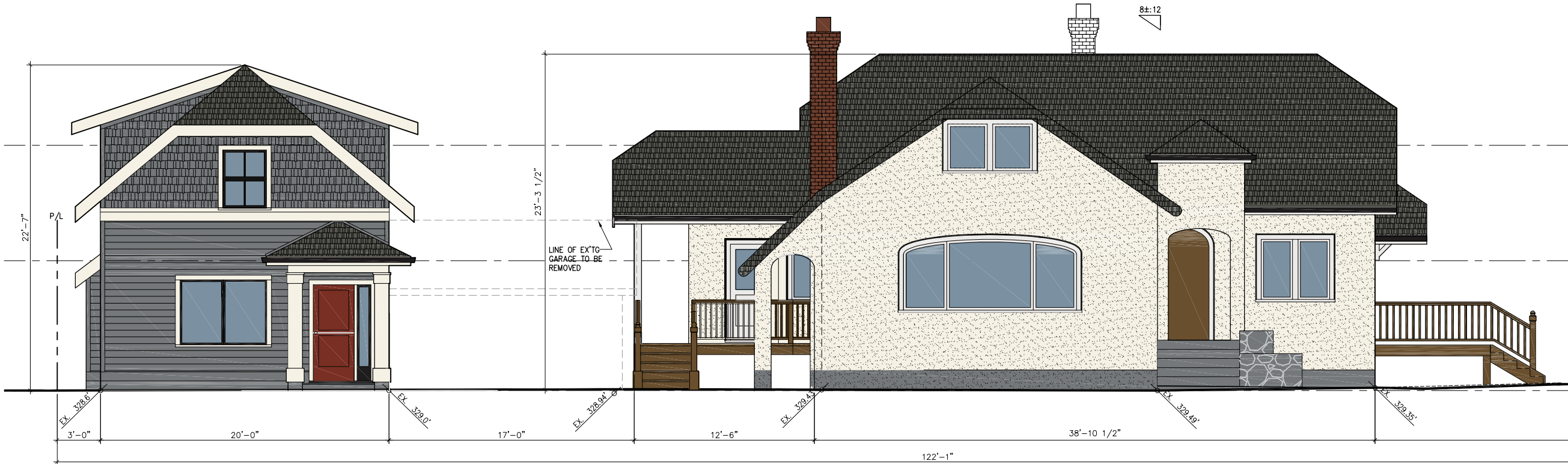
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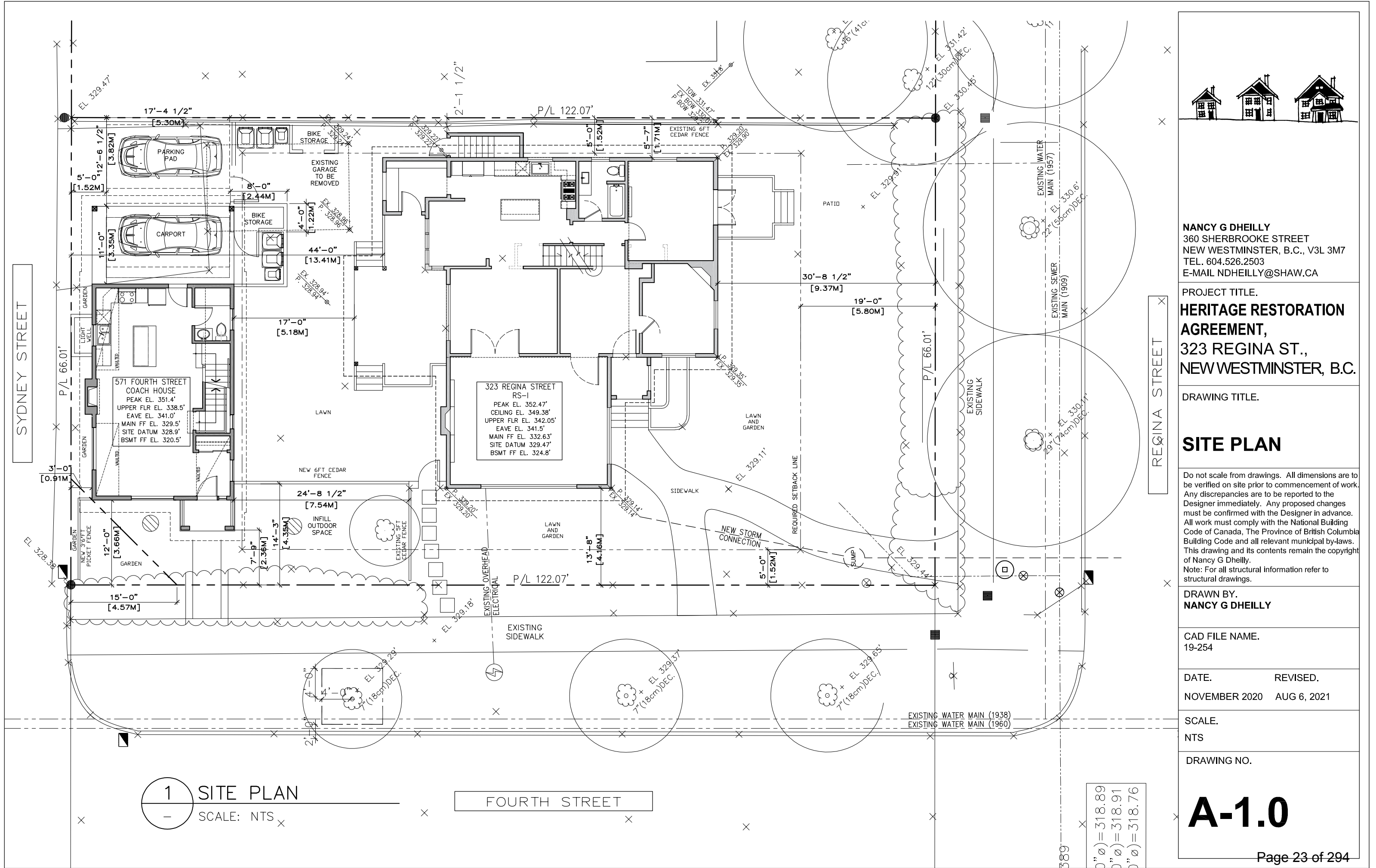
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DRAWING NO.

A-0.2



1
—
4TH STREET ELEVATION
SCALE: 1/8" = 1'-0"



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PROJECT TITLE.
HERITAGE RESTORATION AGREEMENT,
323 REGINA ST.,
NEW WESTMINSTER, B.C.

DRAWING TITLE.

SITE PLAN

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CAD FILE NAME.
19-254

DATE. REVISED.
NOVEMBER 2020 AUG 6, 2021

SCALE.
NTS

DRAWING NO.

A-1.0



MATERIALS KEY	
A	ASPHALT ROOF SHINGLES
B	IKO HARVARD SLATE
C	RESTORED WOOD FRAME WINDOWS GLOSS BLACK
D	RESTORED ROOF AND WINDOW TRIMS & PORCH DETAILS
E	AURA LOW LUSTRE 634-1 WHITE
F	RESTORED STUCCO VC-1 OXFORD IVORY
G	EXISTING GRANITE
H	GUTTER AND DOWNSPOUTS BLACK
I	NEW WOOD FRAME WINDOWS GLOSS BLACK
J	NEW ROOF AND WINDOW TRIMS & PORCH DETAILS
K	AURA LOW LUSTRE 634-1 WHITE
L	NATURAL CEDAR
M	NEW WHITE VINYL WINDOWS
N	SEE WINDOW SCHEDULE ON A-1.9



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PROJECT TITLE.
HERITAGE HOUSE,
323 REGINA ST.,
NEW WESTMINSTER, B.C.

DRAWING TITLE.
4TH ST (WEST)
ELEVATION

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SCALE.
3/16"=1'0"

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A-1.5

1 4TH ST (WEST) ELEVATION
— SCALE: 3/16" = 1'-0"



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PROJECT TITLE.

**HERITAGE HOUSE,
323 REGINA ST.,
NEW WESTMINSTER, B.C.**

DRAWING TITLE.

**REGINA (SOUTH)
ELEVATION**

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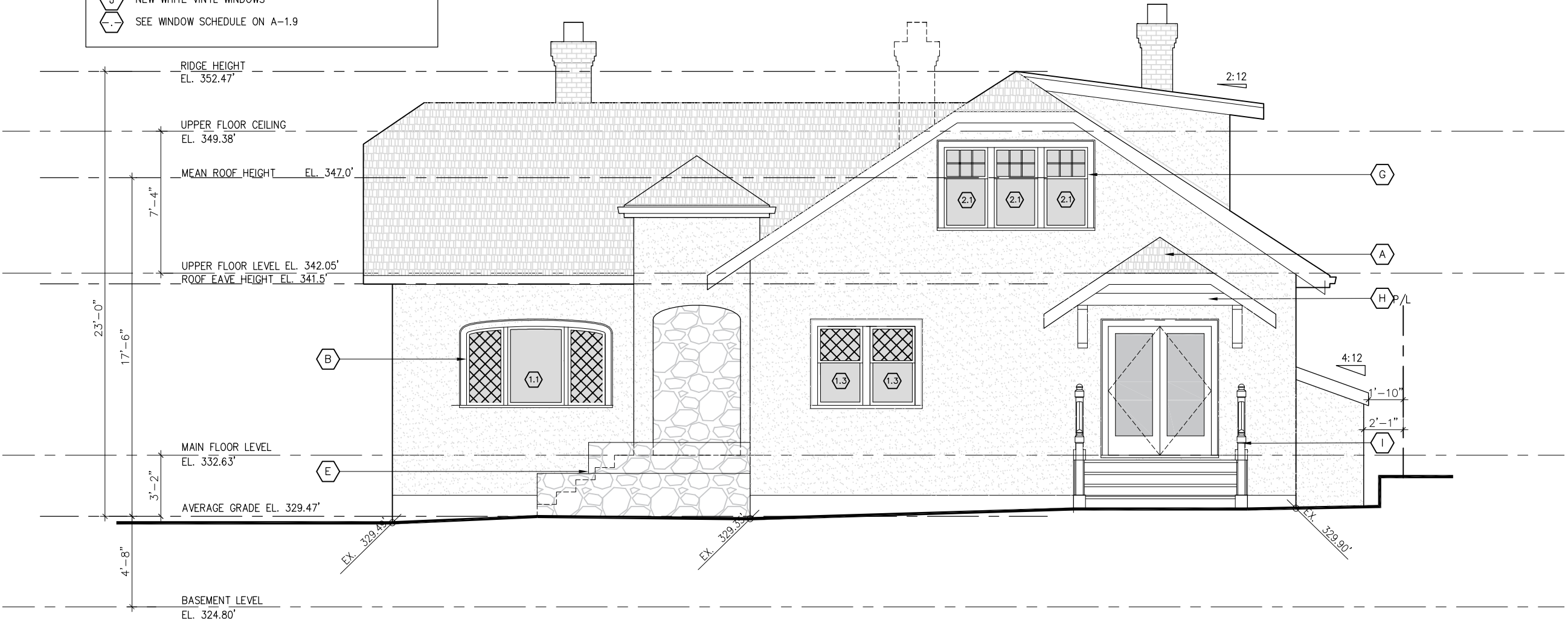
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DRAWING NO.

A-1.6

MATERIALS KEY

- A ASPHALT ROOF SHINGLES
IKO HARVARD SLATE
- B RESTORED WOOD FRAME WINDOWS GLOSS BLACK
- C RESTORED ROOF AND WINDOW TRIMS & PORCH DETAILS
AURA LOW LUSTRE 634-1 WHITE
- D RESTORED STUCCO VC-1 OXFORD IVORY
- E EXISTING GRANITE
- F GUTTER AND DOWNSPOUTS BLACK
- G NEW WOOD FRAME WINDOWS GLOSS BLACK
- H NEW ROOF AND WINDOW TRIMS & PORCH DETAILS
AURA LOW LUSTRE 634-1 WHITE
- I NATURAL CEDAR
- J NEW WHITE VINYL WINDOWS
- SEE WINDOW SCHEDULE ON A-1.9



1 REGINA (SOUTH) ELEVATION
— SCALE: 3/16" = 1'-0"



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PROJECT TITLE.
HERITAGE HOUSE,
323 REGINA ST.,
NEW WESTMINSTER, B.C.

DRAWING TITLE.
**NORTH
ELEVATION**

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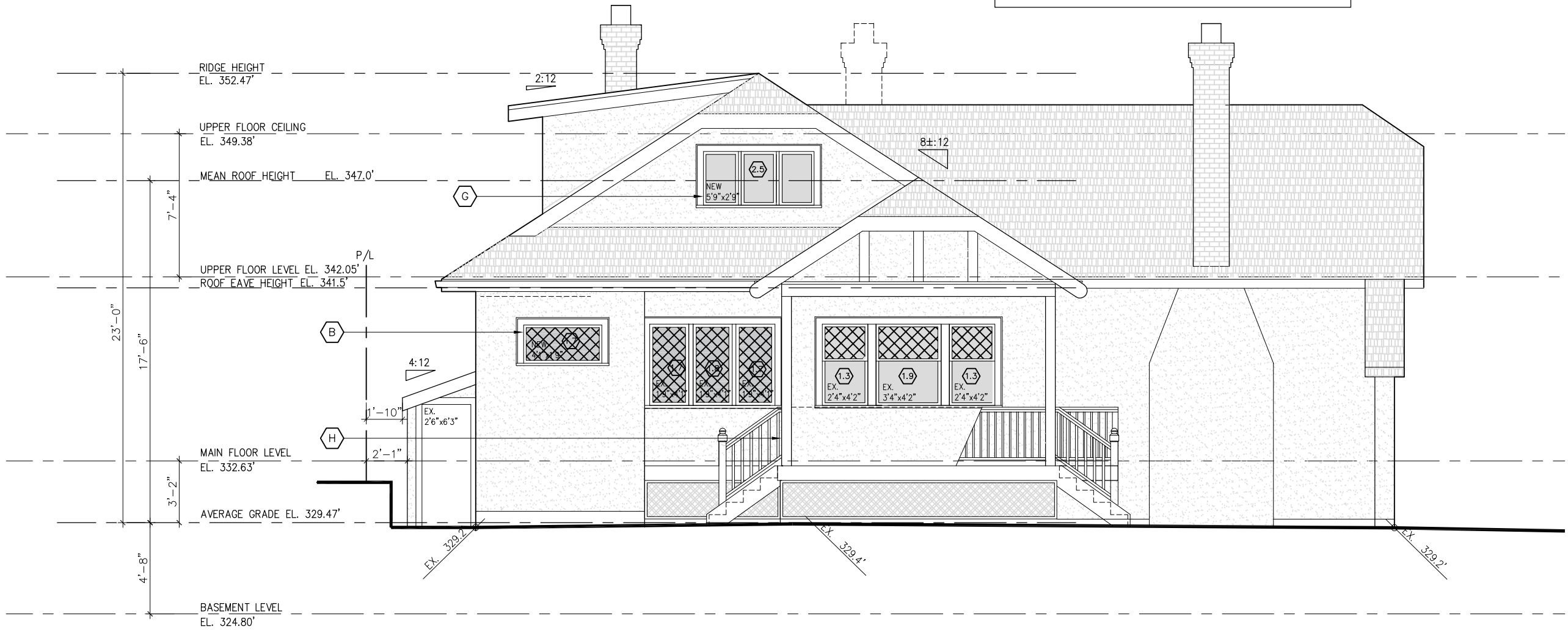
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3/16"=1'0"

DRAWING NO.

A-1.7

MATERIALS KEY

- A ASPHALT ROOF SHINGLES
IKO HARVARD SLATE
- B RESTORED WOOD FRAME WINDOWS GLOSS BLACK
- C RESTORED ROOF AND WINDOW TRIMS & PORCH DETAILS
AURA LOW LUSTRE 634-1 WHITE
- D RESTORED STUCCO VC-1 OXFORD IVORY
- E EXISTING GRANITE
- F GUTTER AND DOWNSPOUTS BLACK
- G NEW WOOD FRAME WINDOWS GLOSS BLACK
- H NEW ROOF AND WINDOW TRIMS & PORCH DETAILS
AURA LOW LUSTRE 634-1 WHITE
- I NATURAL CEDAR
- J NEW WHITE VINYL WINDOWS
- SEE WINDOW SCHEDULE ON A-1.9



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



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PROJECT TITLE.
HERITAGE HOUSE,
323 REGINA ST.,
NEW WESTMINSTER, B.C.

DRAWING TITLE.
**EAST
ELEVATION**

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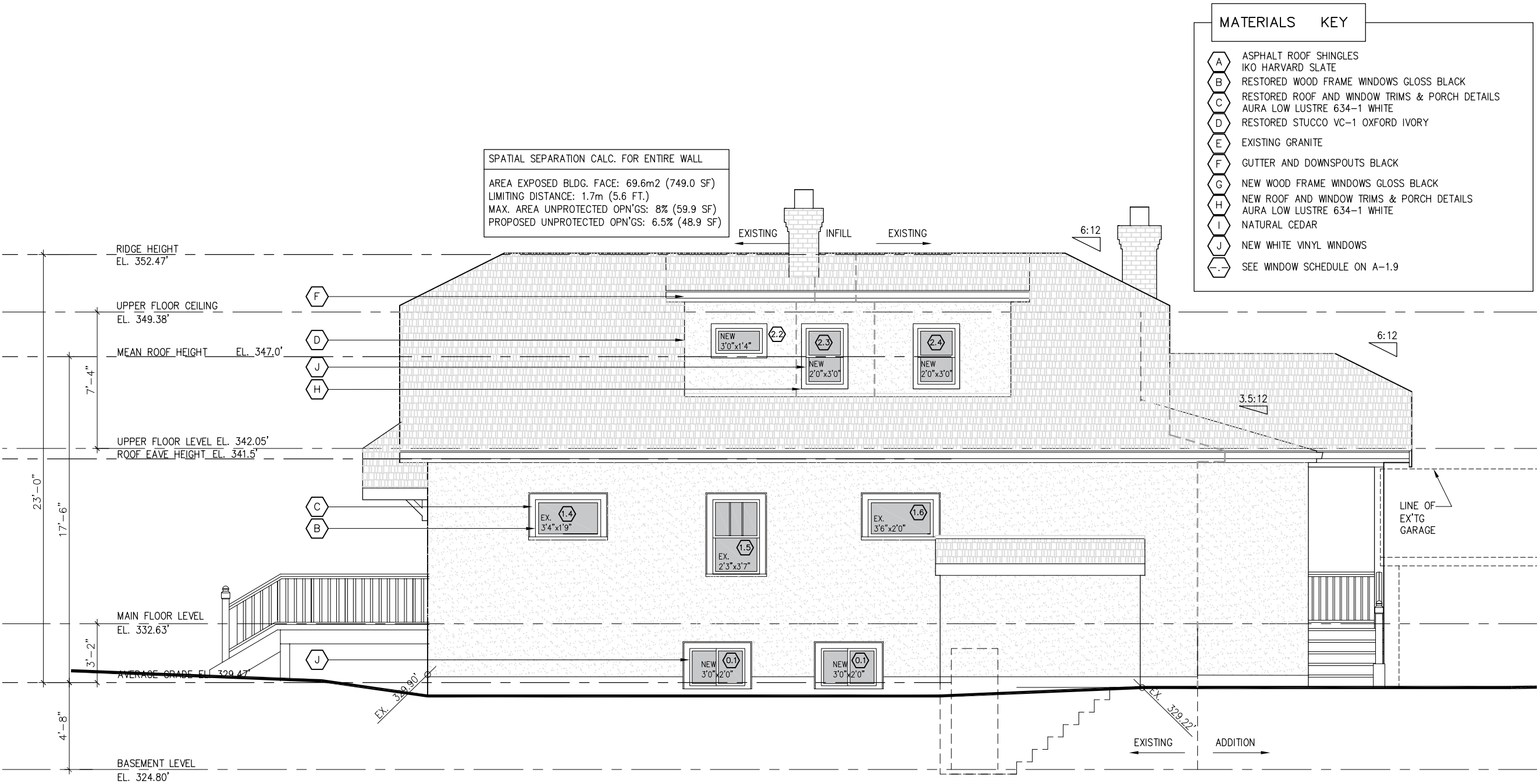
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SCALE.
3/16"=1'0"

DRAWING NO.

A-1.8



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



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PROJECT TITLE.

**HERITAGE HOUSE,
323 REGINA ST.,
NEW WESTMINSTER, B.C.**

DRAWING TITLE.

**WINDOW
SCHEDULE**

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DRAWING NO.

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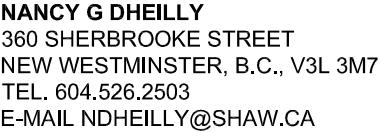
WINDOW SCHEDULE				
MARK	LOCATION	SIZE	DESCRIPTION	REMARKS
0.1	BASEMENT	3'-0"X2'-0"	SLIDING	NEW, VINYL
1.0	LIVING ROOM	10'-0"X4'-2"	FIXED	EX, WOODEN ARCHED WINDOW, W/LEADED GLASS SIDE PANELS AND CENTRAL PICTURE PANEL
1.1	LIVING ROOM	7'-3"X4'-2"	CASEMENT, FIXED, FIXED	EX, WOODEN ARCHED WINDOW, W/LEADED GLASS SIDE PANELS AND CENTRAL PICTURE PANEL
1.2	DEN	2'-4"X4'-2"	FIXED	EXISTING, WOODEN WITH LEADED GLASS
1.3	DEN, DINING ROOM	2'-4"X4'-2"	DOUBLE HUNG	EXISTING, WOODEN-LEADED GLASS UPPER PANEL (REUSE BDRM WINDOW FOR DEN)
1.4	BEDROOM	3'-4"X1'-9"	AWNING	EXISTING WOODEN WINDOW
1.5	BATHROOM	2'-3"X3'-7"	DOUBLE HUNG	EXISTING WOODEN, WITH OBSCURE GLASS IN LOWER PANEL, UPPER TRUE DIVIDED LITE.
1.6	KITCHEN	3'-6"X2'-0"	FIXED-STAINED GLASS	EXISTING WOODEN WINDOW WITH STAINED GLASS
1.7	MUDROOM, NOOK	1'-9"X4'-0"	FIXED-LEADED GLASS	EXISTING WOODEN WINDOW (REUSE NOOK WINDOW FOR MUDROOM)
1.8	NOOK	1'-9"X4'-0"	CASEMENT-LEADED GLASS	EXISTING WOODEN WINDOW
1.9	DINING ROOM	3'-4"X4'-2"	DOUBLE HUNG	EXISTING, WOODEN-LEADED GLASS UPPER PANEL
2.0	BEDROOM	2'-4"X3'-2"	DOUBLE HUNG	EXISTING, WOODEN-UPPER PANEL W/TRUE DIVIDED LITES
2.1	BEDROOM	2'-0"X4'-2"	DOUBLE HUNG	NEW, WOODEN-UPPER PANEL W/ TRUE DIVIDED LITES
2.2	BATH	3'-0"X1'-4"	AWNING	NEW, VINYL
2.3	BATH	2'-0"X3'-0"	SINGLE HUNG	NEW, VINYL, LOWER PANEL OBSCURE GLASS
2.4	LAUNDRY	2'-0"X3'-0"	SINGLE HUNG	NEW, VINYL
2.5	BEDROOM	5'-9"X2'-9"	CASEMENT, FIXED, CASEMENT	NEW, WOODEN

1

—

WINDOW SCHEDULE

SCALE: NTS



**INFILL HOUSE,
571 FOURTH ST,
NEW WESTMINSTER, B.C.**

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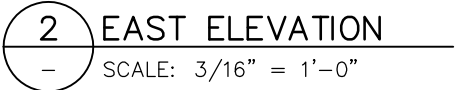
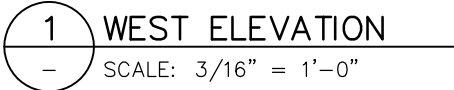
Note: For all structural information refer to structural drawings.

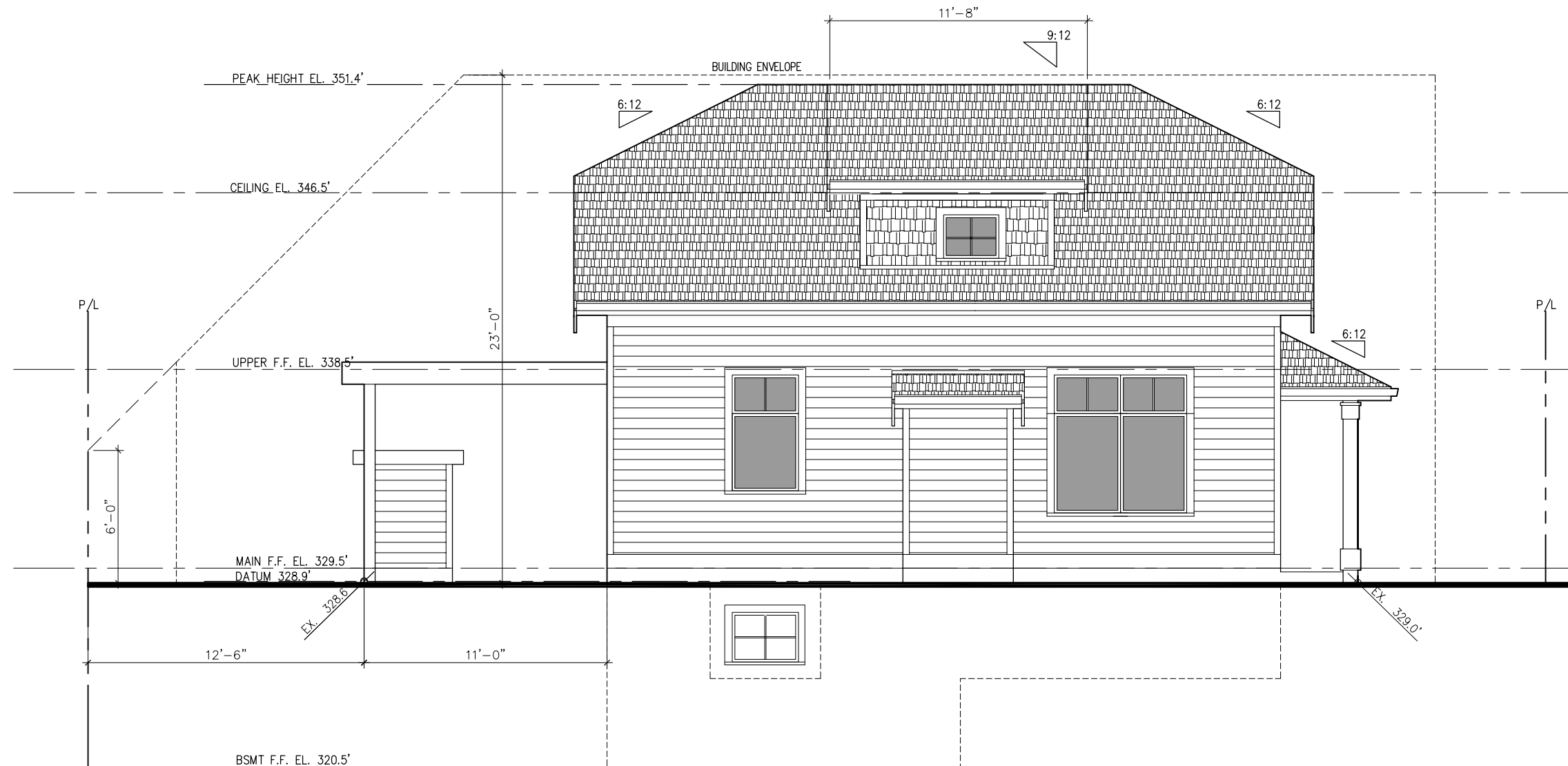
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SCALE.
3/16"=1'0"

A-2.5

Page 29 of 294





1 NORTH ELEVATION
— SCALE: 3/16" = 1'-0"



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PROJECT TITLE.

INFILL HOUSE,
571 FOURTH ST,
NEW WESTMINSTER, B.C.

DRAWING TITLE.

NORTH
ELEVATION

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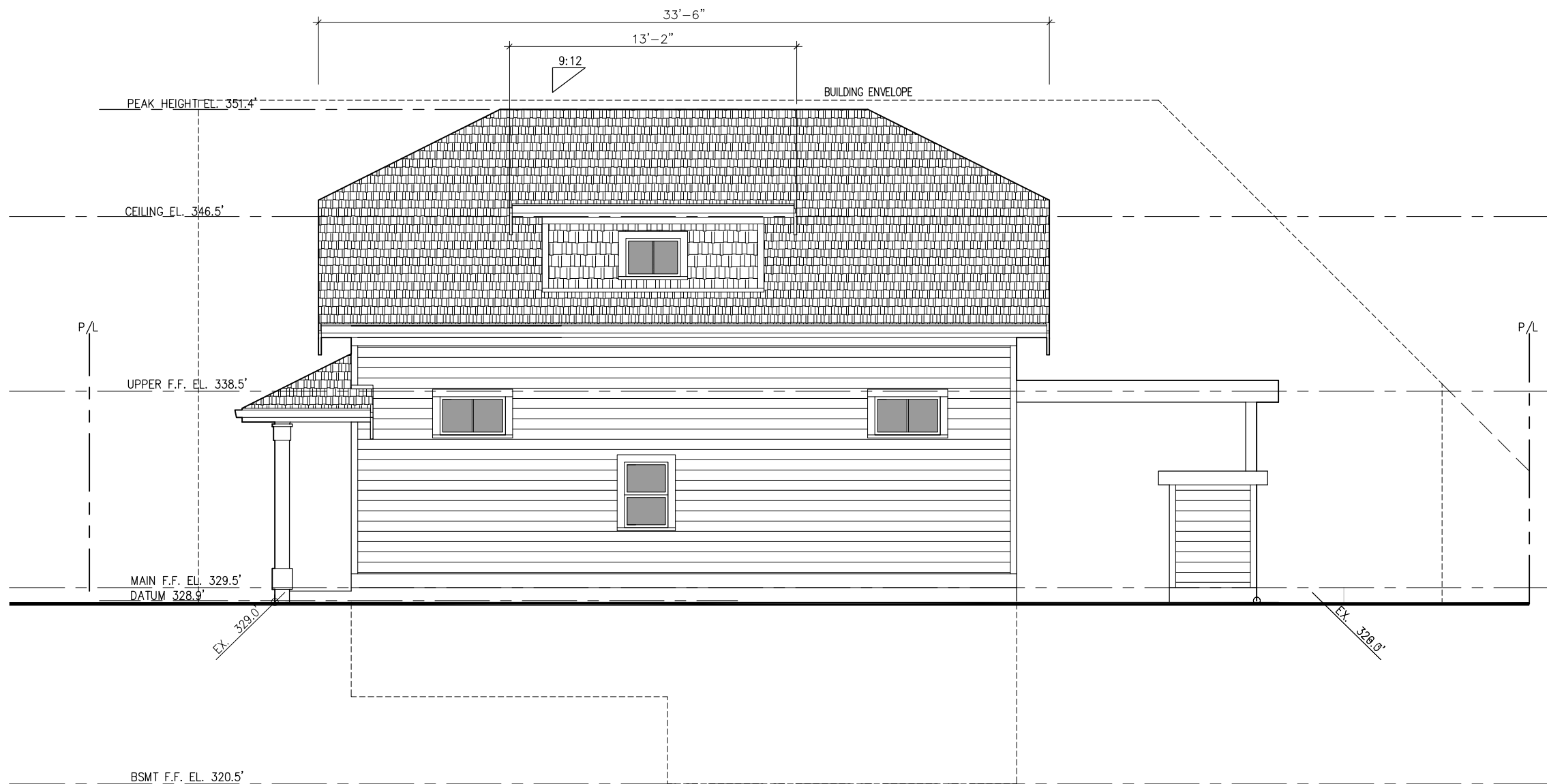
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SCALE.
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DRAWING NO.

A-2.6



1 SOUTH ELEVATION
— SCALE: 3/16" = 1'-0"



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PROJECT TITLE.

INFILL HOUSE,
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NEW WESTMINSTER, B.C.

DRAWING TITLE.

SOUTH
ELEVATION

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SCALE.
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DRAWING NO.

A-2.7

Appendix C

Proposed Project Statistics and Relaxations

APPENDIX C: PROJECT STATISTICS AND PROPOSED RELAXATIONS

A summary of the proposed project statistics are outlined in Tables 5-7. Relaxations being sought through the HRA are highlighted in grey.

Table 5: Summary of Overall Proposed Project Statistics

Attributes	RS-4 Zoning	Proposed	Relaxation
Number of Dwelling Units / Tenure	One single detached dwelling (SDD) with a secondary suite and a detached accessory dwelling unit	One single detached dwelling (SDD) and a detached accessory dwelling unit	--
Minimum Site Area	557 sq. m. (6,000 sq. ft.)	749 sq. m. (8,057 sq. ft.)	--
Lot Frontage	--	20.1 m. (66 ft.)	--
Lot Depth	--	37.2 m. (122 ft.)	--
Maximum Floor Space Ratio*	0.6	0.6	--
Maximum Floor Space	449 sq. m. (4,834 sq. ft.)	452 sq. m. (4,862.6 sq. ft.)	--
Maximum Number of Units	3	2	--
Minimum Off-Street Parking	2 spaces	2 spaces	--
Minimum Parking Space Setback from Property Line	1.5 m. (5 ft.)	1.5 m. (5 ft.)	--
Maximum Site Coverage	35%	28.4%	--

* includes 0.5 FSR for non-protected principal building and 0.1 for detached accessory dwelling unit

NOTE: grey rows indicate proposed variances, white rows meet City regulations.

Table 6: Summary of Proposed Project Statistics for 323 Regina Street (Heritage House)

Attributes	RS-4 Zoning	Proposed	Relaxation
Maximum Floor Space	374 sq. m. (4,029 sq. ft.)	320 sq. m. (3,443 sq. ft.)	54 sq. m. (586 sq. ft.)
Maximum Floor Space Ratio	0.5	0.43	--
Maximum Number of Units	2	1	--
Maximum Site Coverage	35%	20.4%	--
Minimum Front Setback (south)*	5.8 m. (19 ft.)	9.4 m. (30.71 ft.)	--
Minimum Rear Setback (north)*	7.4 m. (24.4 ft.)	13.4 m. (44 ft.)	--
Minimum Left Side Setback (west)*	1.5 m. (5 ft.)	4.2 m. (13.7 ft.)	--
Minimum Right Side Setback (east)*	1.5 m. (5 ft.)	0.6 m. (2.1 ft.)	0.9 m. (2.9 ft.)
Maximum Height (Roof Peak)	10.7 m. (35 ft.)	7 m. (23 ft.)	--
Maximum Height (Midpoint)	7.6 m. (25 ft.)	5.3 m. (17.5 ft.)	--
Maximum Attached Accessory Area	10%	4%	--
Minimum Off-Street Parking	1 space	1 space	--
Minimum Parking Space Setback from Property Line	1.5 m. (5 ft.)	1.5 m. (5 ft.)	--

* existing setback

NOTE: grey rows indicate proposed variances, white rows meet City regulations.

Table 7: Summary of Proposed Project Statistics for 471 Fourth Street (Infill House)

Attributes	RS-4 Zoning	Proposed	Relaxation
Maximum Floor Space Ratio	0.1	0.18	0.08
Maximum Floor Space *	74.9 sq. m. (805.7 sq. ft.)	132 sq. m. (1,420 sq. ft.)	57.1 sq. m. (614.3 sq. ft.)
Maximum Number of Units	1	1	--
Maximum Site Coverage	10%	8%	--
Fourth Street Setback (west front)	1.5 m. (5 ft.)	2.3 m. (7.75 ft.)	--
Sydney Street Setback (north side)	1.5 m. (5 ft.)	0.9 m. (3 ft.)	0.6 m. (2 ft.)
Minimum Side Setback (east rear)	1.5 m. (5 ft.)	7.2 m. (23.5 ft.)	--
Minimum Side Setback (south) <i>Separation between buildings</i>	4.9 m. (16 ft.)	5.2 m. (17 ft.)	--
Maximum Height (Peak)	7.0 m. (23 ft.)	6.9 m. (22.5 ft.)	--
Maximum Front Entry Landing Area	3 sq. m. (32 sq. ft.)	3 sq. m. (32 sq. ft.)	--
Minimum Off-Street Parking	1 space	1 space	--
Minimum Parking Space Setback from Property Line	1.5 m. (5 ft.)	1.5 m. (5 ft.)	--

* Under the Heritage Conservation Area Incentives Program, the size of the infill house for a protected property could be increased up to 89 sq. m. (958 sq. ft.) with a corresponding decrease in the size of the principal building.

NOTE: grey rows indicate proposed variances, white rows meet City regulations.

Appendix C

Special Limited Study Heritage Value Assessment; Heritage Conservation Plan and Statement of Significance

Property Heritage Value Assessment

323 Regina Street

Score: 5 out of 9



Heritage Value Assessment Study of the Special Limited Category Queen's Park Heritage Conservation Area City of New Westminster - March-April 2018

Prepared by heritage consultants team:

Elana Zysblat, CAHP - Ance Building Services
Julie Schueck, CAHP - Schueck Heritage Consulting
John Atkin - History + Research
Leslie Gilbert
Christine Hagemoen
Ben Toews

Heritage Status

Heritage Inventory – yes

Awards -no

New Westminster Heritage Homes Tours -no

Queen's Park walking tour brochure - no

Context and Siting

The subject building is located on Regina Street in the Queen's Park neighbourhood. It is on the corner of Regina Street and Fourth Street. The house is situated towards the front of the lot and is in line with the neighbouring houses along Regina Street. It has a short side yard setback on the eastern edge of the property. There are single family dwellings on either side of, and across the street from the property. Most of the adjacent buildings are smaller in massing, different in style, but from a similar era.



CityView aerial (2015) of the area with the subject property outlined in red

Description

The building is a two-storey Storybook designed house constructed in 1928. The building is L-shaped, clad in stucco, and has a gambrel roof with clipped and rolled edges. The front entry is located at the inside corner where the two sections of the “L” meet and which has an inset tower with arched openings on two sides. According to city records, there have been no additions or alterations to this building.

Photographs of Two Primary Elevations



façade elevation
(north)



side elevation
(west)

Heritage Value

323 Regina Street has heritage value for its aesthetic and historic significance. It has aesthetic value for its representation of the Storybook design, exemplified by its Gambrel roof with clipped and rolled edges, corner entry within a square tower, and stucco cladding. It has further aesthetic value for its corner orientation, and for its contribution to a cohesive historic streetscape.

The house has historic value for its age (1928) and some value for its association with long-time and first owners, Elmer A. & Elveria B. Edgar, who lived in the house until approximately 1947. He worked as a manager at Tip Top Tailors Ltd. In Vancouver.

The house has social value for its contribution to the community identity of the Queen's Park neighbourhood. It also supports the heritage significance of the neighbourhood by: contributing to a unique sense of time and place, representing the middle class, and contributing aesthetically through the design of the house.

Character Defining Elements

- Two-storeys
- L-shaped building
- Clad in stucco
- Gambrel roof with clipped and rolled edges
- Front entry located at the inside corner where the two sections of the "L" meet
- Inset tower with arched openings on two sides at the entry
- Access to the front entry by stone stairs set in a fan pattern that are approached by a concrete walk that angles straight to it from the corner of the property
- Wall inside of the entry faced in stone
- Front door set against the elevation that faces Fourth Street, is wood and has a curved top and sits within a curved wood frame, a small window opening at the top that has a grated cover
- Wood-frame casement windows to the west side of the front entry and on the elevation facing Fourth Street each have a shallow arch with diagonal lead muntin-bars in the side sashes; window to the east of the front entry is a double wood-framed leaded window
- Some of the windows are topped with a solid fabric awning
- Wood frame window unit in the peaks of the roof on each street elevation; the one facing Regina Street is triple width and double-hung with a six-paned upper over a single paned bottom window; and the one facing Fourth Street is double-width, double-hung with a six-paned upper over a single paned bottom window
- Two internal brick chimneys, one at the front facing Regina Street and one on the rear

Heritage Merit Checklist

values	criteria	score	comments
Aesthetic, Historic	good, integral example of its architectural style and/or one of few examples of this style, era, year, or construction technique in Queen's Park	2/3	Good intact representation of a Storybook design.
Aesthetic, Historic	contribution to cohesive streetscape and/or has landmark qualities and/or features unusual material or a distinguishing feature	2/2	Contributes to a cohesive streetscape and has some landmark qualities for its orientation to the corner and for its design.
Historic, Cultural, Social, Scientific, Spiritual	associated with significant person, event, tradition or practice	0/3	None.
Historic, Aesthetic, Cultural, Social, Historic, Scientific, Spiritual	landscaping features (built and planted)	1/1	Mature hedge along Regina Street and angular concrete path from the corner to the front porch.

total 5/9

Summary

The house at 323 Regina Street is a good example of the Storybook style that has some landmark qualities for its corner location and orientation. It retains much of its original design and materials.

Historic Background

Historic name – n/a

Construction date – 1928

Source: Site Development Report, City of New Westminster

Original owner – Elmer Albert Edgar

Builder – n/a

Architect – n/a

Early residents at the subject house:

1929-1945: Elmer A. & Elveria B. Edgar – manager at Tip Top Tailors Ltd., 301 West Hastings, Vancouver; later salesman at McDonald & Callan Ltd.

1947-1955: R. Gordon & Marion L. Quennell - retired

Source: Historic City Directories, Vancouver Public Library

Archival Photographs



House in the 1980s. Source: NWMA Building File

Research Resources

BC Archives:

Indexes to births (1854-1903), marriages (1872-1938), deaths (1872-1993), colonial marriages (1859-1872) and baptisms (1836-1888)

City of New Westminster:

Aerial views of the city on CityView interactive map

Digital photographs of Queen's Park (June 2016)

Historic building permit records as available on CityView interactive map

New Westminster Heritage Resource Inventory, Vol 2. Queen's Park

New Westminster's Oldest Houses Report. January 2008. Development Services Department

Historic Context Statement for Queen's Park Neighbourhood (Cook, Burton & Barman - 2009)

Statement of Significance for Queen's Park Neighbourhood - Doc # 974410

Summary of Historic Values for the Queen's Park Neighbourhood - Doc # 598557

Freund-Hainsworth, Katherine & Hainsworth, Gavin. 2005. *A New Westminster Album: Glimpses of the City as it was*. Dundurn.

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Hayes, Derek. 2005. *Historical Atlas of Vancouver and the Lower Fraser Valley*. Douglas & McIntyre.

Luxton, Donald. 2007. *Building the West: Early Architects of BC*. Talonbooks.

New Westminster Museum & Archives:

Archival photos

Building files - in Reading Room

Canadian Inventory of Historic Building photographic survey 1973

City of New Westminster Planning Department Slides - CNW 13-2

Subject files - in Reading Room

Water connection application binders - in Reading Room

New Westminster Public Library:

Archival Photographs

Columbian (Daily) Newspaper - various archival editions 1899-1979

Fire insurance maps

New Westminster Preservation Society Heritage Homes Tour brochures database

Street names of New Westminster: <http://www.nwheritage.org/heritagesite/history/content/streets/index.htm>

Vancouver Daily World newspaper - various archival editions 1899 - 1924

Vancouver Heritage Foundation: House Styles - <http://www.vancouverheritagefoundation.org/house-styles/>

Wolf, Jim. 2005. *Royal City: A Photographic History of New Westminster*. Heritage House.

Heritage Conservation Plan

Edgar House, 323 Regina Street, New Westminster, BC

July 24, 2021



Fig. 1: View of the front of Edgar House at 323 Regina Street, New Westminster, BC, 2020, as visible from the corner of Regina Street and Fourth Street. (Source: Holisko)

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528.0 Introduction

The subject house, Edgar House, is a Storybook style, one and a half storey, stuccoed, wood-frame construction with concrete foundation located at 323 Regina Street in New Westminster (Fig. 2). It is located in the northwest corner of the Queen's Park neighbourhood in New Westminster.



Fig. 2: Map of the area surrounding 323 Regina Street, outlined in yellow. (Source: City of New Westminster Map Viewer, CityViews, 2020)

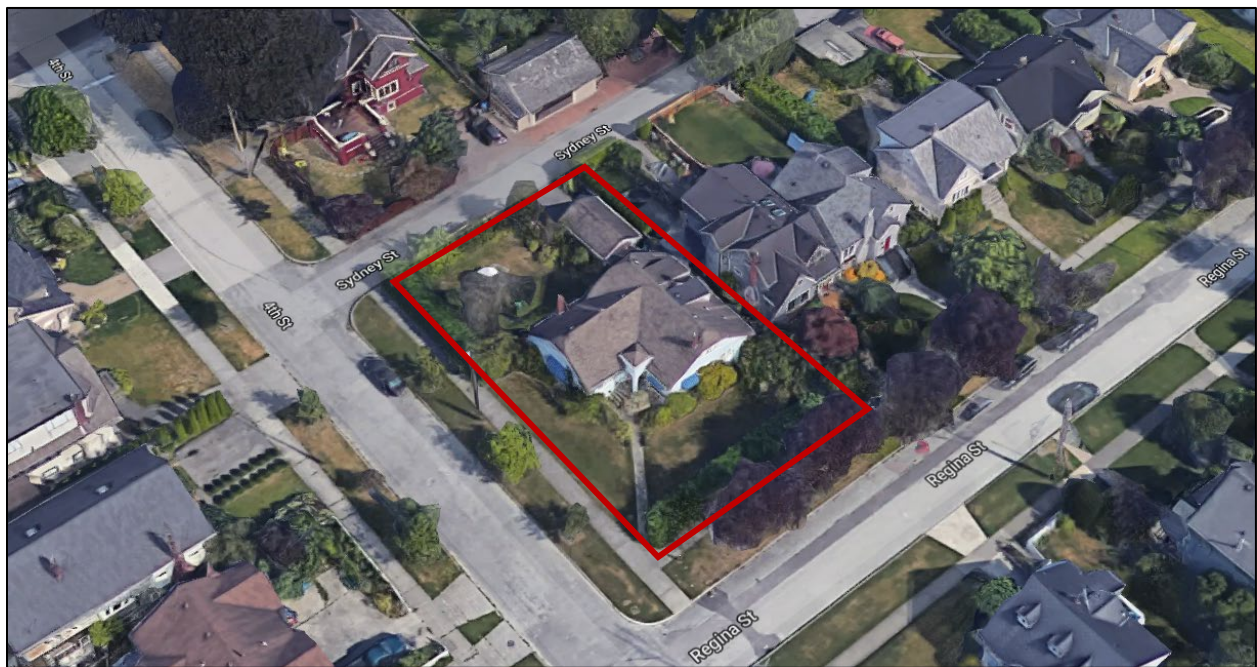
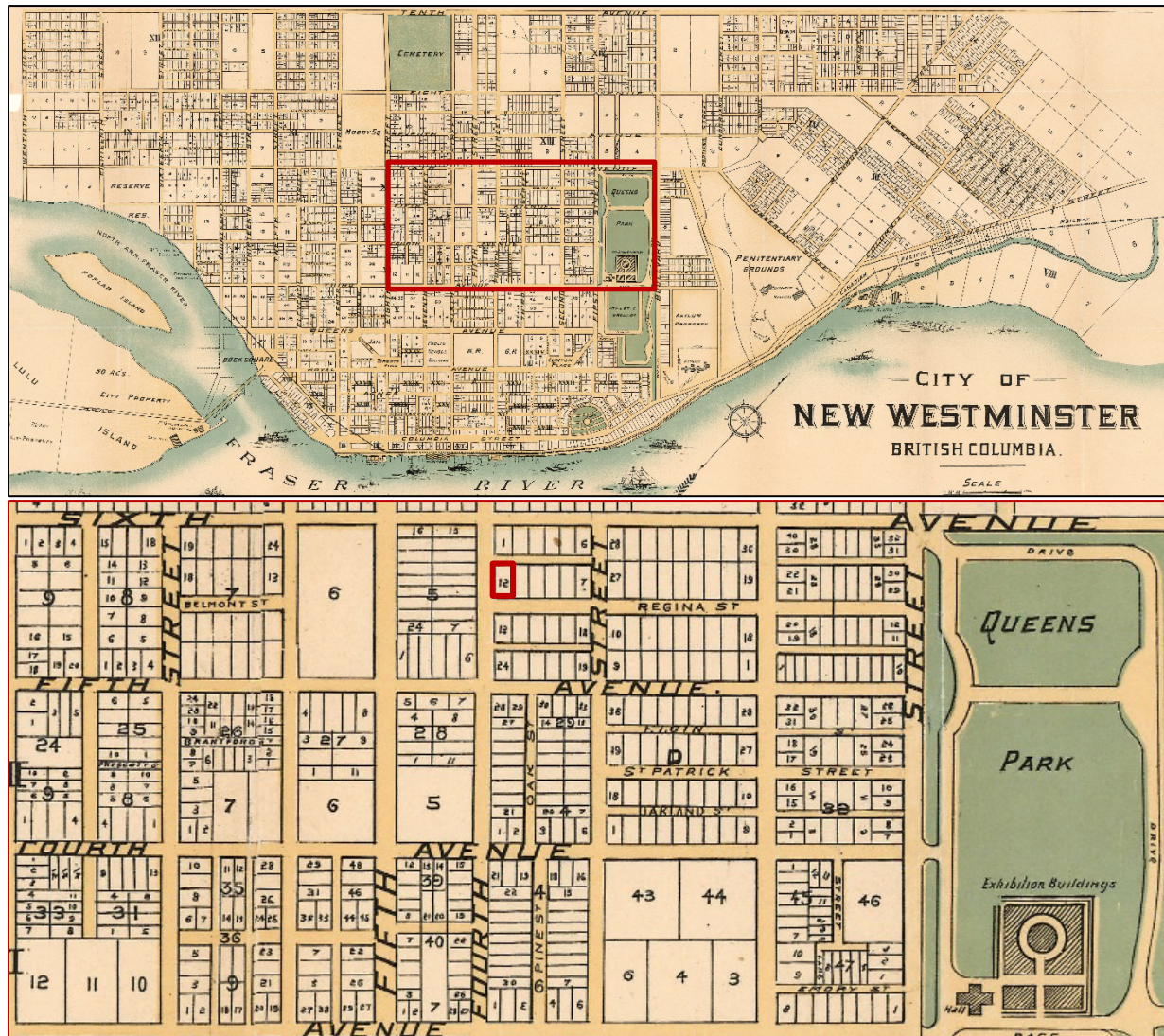


Fig. 3: Aerial view of 323 Regina Street, outlined in red. (Source: Google, 2019)

2.0 Historic Context

In 1859, the British Royal Engineers surveyed the area to become known as New Westminster, which at the time was to be the new colonial capital of the crown colony of British Columbia (Hainsworth and Freund-Hainsworth 2005, pp. 18-19). They overlaid a grid pattern on the natural topography of the area (Fig. 4a), parallel to the Fraser River (Mather and McDonald 1958, p. 22). The design, still present today, had the streets running up the hill, perpendicular to the river, and the avenues across the area, parallel to the river. The head engineer, Colonel Richard Moody, envisioned a formally planned “Garden City” with prominent public parks and elegant wide avenues (Wolf 2005, pp. 18-20). These well-landscaped parks and avenues are clearly visible in the 1928 aerial photograph of the area (Fig. 7 below).



Figs. 4a and 4b: Fig. 4a (above) shows the wider context of the City of New Westminster, 1892. Note the grid pattern of the streets and avenue. In Fig. 4a (above), the neighbourhood of 323 Regina Street is outlined in red. Its lot is outlined in bold red in Fig. 4b (below). (Source: City of Vancouver Archives, AM1594-MAP 617)

“The Royal Engineers marked out the area now known as Queen’s Park including road allowances for wide streets and landscaped boulevards, land reserves, and squares in 1859. The next year the Royal Engineers surveyed 75.5 acres for what became Queen’s Park itself. The area very soon began to attract merchants and entrepreneurs seeking a prestigious location away from the noise and pollution of the downtown and river front.” (DCD *et al.* 2009, p. 41). Shortly thereafter, New Westminster experienced two major building

booms. The first beginning in the 1880s with the extension of the Canadian Pacific Railway line and the second in the 1900s, following the destructive fire of 1898 that destroyed much of Downtown (Mather and McDonald 1958). At the beginning of the 20th century, Queen's Park "was filled up as an elite residential neighbourhood. In 1906 Queen's Park acquired paved street and concrete sidewalks, in 1912 a sewer system, and a year later street curbs, making it the first fully serviced neighbourhood in New Westminster" (DCD *et al.* 2009, p. 42).

The subject property at 323 Regina Street is located in the northwest quadrant of this "elite residential neighbourhood" known as Queen's Park. Interestingly, it was a relatively later development in the neighbourhood, being built in 1928, compared to the numerous Edwardian era constructions, distinctly visible in a 1913 Fire Insurance Map (Figs. 5a and 5b). It is worth comparing this to a 1957 Fire Insurance Map (Fig. 6), which shows a few additional developments built during the interim decades, including the captioned study site, which is visible in a 1928 aerial photograph of the area, showing the property being developed (Fig. 7). A newspaper advert from the same year, illustrates and promotes the house and its numerous qualities (Fig. 8).

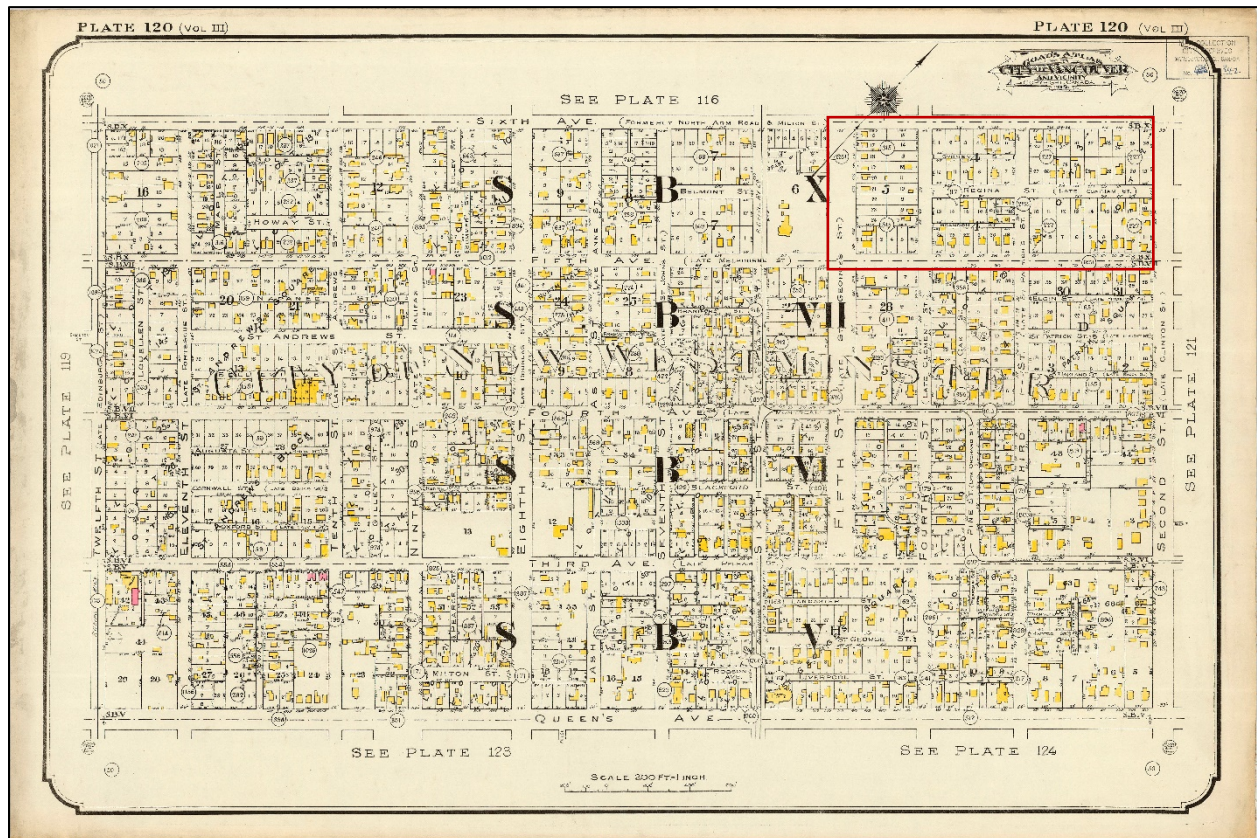


Fig. 5a: Fire Insurance Map of New Westminster, 1913. The neighbourhood of 323 Regina Street is outlined in red. The property is outlined in bolded red in Fig. 5b (below). (Source: City of Vancouver Archives, 1972-472.07, Plate 120)

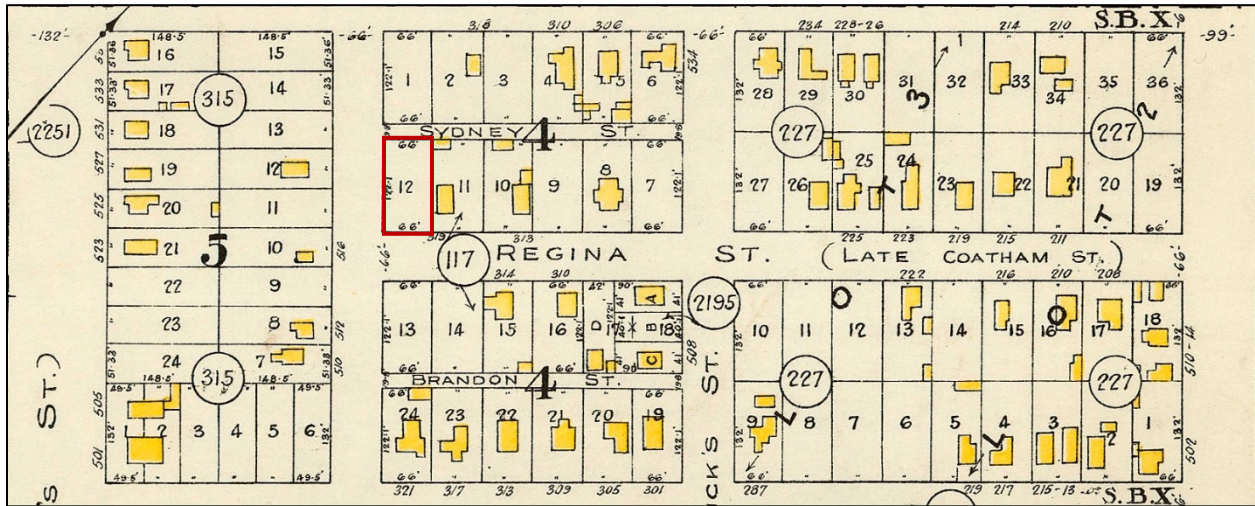


Fig. 5b: Excerpt of Fire Insurance Map of New Westminster, 1913. The empty lot of 323 Regina Street is outlined in red. (Source: City of Vancouver Archives, 1972-472.07, Plate 120)

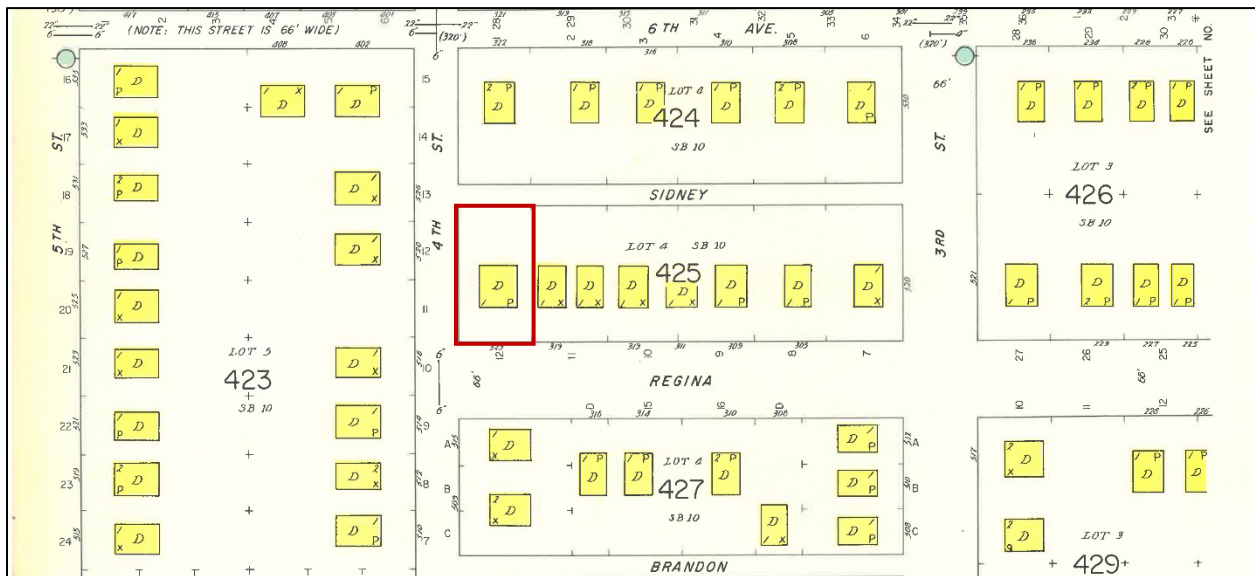


Fig. 6: Fire Insurance Map of New Westminster, 1957. The developed lot of 323 Regina Street is outlined in red. (Source: City of New Westminster Archives 1957, sheet 42)



Fig. 7: Section from a Royal Canadian Air Force aerial photograph of New Westminster, 1928. Note that 323 Regina Street has been cleared for development, however, no structure is yet built on the lot. (Source: Library & Archives Canada, AA287_058)

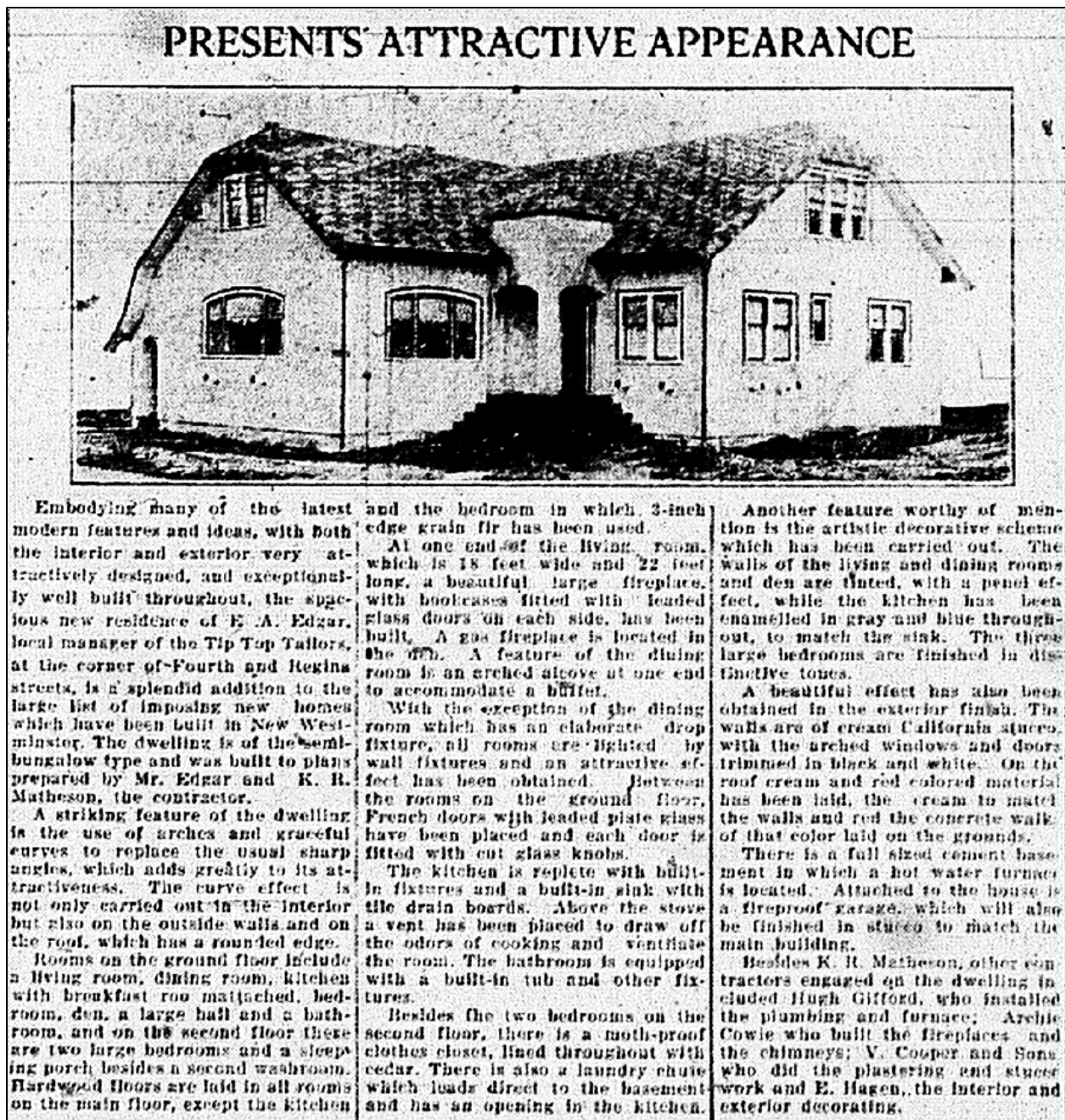


Fig. 8: Newspaper article on 323 Regina Street. (Source: The British Columbian, October 8, 1928, p. 7)

From the above newspaper clipping, the elements of particular note include (transcribed here for ease of reading):

- "The spacious new residence of E. A. Edgar, local manager of the Tip Top Tailors, at the corner of Fourth and Regina streets, is a splendid addition to the large list of imposing new homes which have been built in New Westminster."
- "The dwelling is of the semi-bungalow type and was built to plans prepared by Mr. Edgar and K. R. Matheson, the contractor."
- "A striking feature of the dwelling is the use of arches and graceful curves to replace the usual sharp angles, which adds greatly to its attractiveness. The curve effect is not only carried out in the interior, but also on the outside walls and on the roof, which has a rounded edge."

- "A beautiful affect has also been obtained in the exterior finish. The walls are of cream California stucco with the arched windows and doors trimmed in black and white. On the roof cream and red colored material has been laid, the cream to match the walls and red the concrete walk of that color laid on the grounds."
- "Attached to the house is a fireproof garage, which will also be finished in stucco to match the main building."
- "Besides K.R. Matheson, other contractors engaged on the dwelling included Hugh Gifford, who installed the plumbing and furnace; Archie Cowie who built the fireplaces and the chimneys; V. Cooper and Sons who did the plastering and stucco work and E. Hagen, the interior and exterior decorating."

The design of this house has elements of the English Storybook tradition, however, it most closely resembles the French Storybook style, which are typically "small and whimsical...with hipped or side-gabled roofs and a projecting living room wing (under an L-shaped roof, in some cases), with a turret tucked into the L and forming a shelter over the front door... Windows may have arched tops, and an arched, quoined opening in the turret may frame the front door. Their cladding is coloured stucco. Roof edges may be rolled as in the English Storybook Style" (VHF). This style, along with the English Storybook style, "emerged in North America after WWI. Soldiers returning from European battlefields brought with them a familiarity with architectural styles. Among these were French farmhouses and castles. Builders translated elements of these traditional buildings into practical cottages. After a period of upheaval, the value of the picturesque and the traditional increased following the war. This contributed to the development of the French Storybook style, with its quaint tower and European flair" (*ibid.*). Its catslide and jerkinhead roof connects to the English Storybook style as well (VHF).

323 Regina Street was recognized in the 1980s as having heritage significance and added to the City of New Westminster's Heritage Resource Inventory, being photographed and described as follows (Fig. 9). These elements have persisted and directly influence the site's Statement of Significance, outlined in the following section.

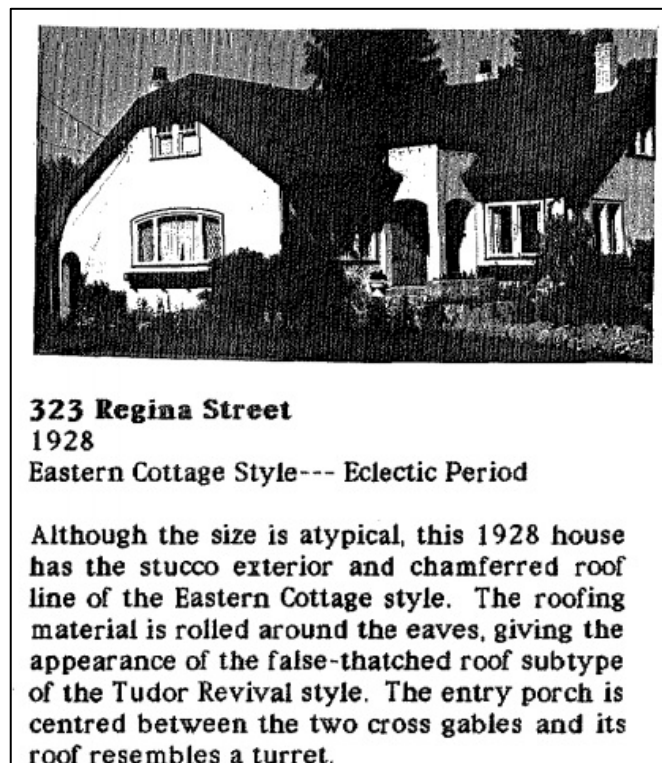


Fig. 9: Heritage inventory photograph and description of 323 Regina Street. (Source: Sleath 1989, p. 177)

3.0 Statement of Significance

The following is the Statement of Significance of Edgar House at 323 Regina Street.

3.1 Description of Historic Place

This historic place, Edgar House, is a Storybook style Cottage with a jerkinhead roof. It is a one and a half storey, stuccoed, wood-frame construction with concrete foundation. The entry porch is centred between its two cross gables and the roof over the entrance resembles a turret. The house sits on a prominent corner lot, stretching the length of 4th street from Regina Street to Sydney Street in the Queen's Park neighbourhood.

3.2 Heritage Value of Historic Place

Edgar House at 323 Regina Street has heritage value for its aesthetic and historic significance. Aesthetically, this house is an eye-catching, intact example of a Storybook style dwelling, with elements from both the French and English traditions. Its connection to the French Storybook style is seen in its various characteristic features, including: its L-shape and centred turret over its arched front entryway. Its connection to the English Storybook style is seen in elements such as its jerkinhead roof, as well as its low, sloping roof (its catslide) on its western corner. Shared elements of both Storybook styles include its rolled roofline giving it a false-thatched roof appearance, its stucco cladding, its asymmetrical design and its arched windows and doors. It was showcased in a 1928 newspaper article as a unique and attractive structure; a fact that still holds true today. Its uniqueness in the landscape contributes to this place's significance.

This house also has historic significance being among a rare stock of interwar period developments in the Queen's Park neighbourhood, being just shy of the decline that came with the Great Depression a year after its construction. It was built in 1928 with the help and input of various contractors and craftsman, named in the aforementioned article about the property. These individuals included the well-known and well-respected builder K.R. Matheson, as well as Hugh Gifford (for the plumbing and furnace), Archie Cowie (for its fireplaces and chimneys), V. Cooper and Sons (for the plastering and stucco work) and E. Hagen, (for the interior and exterior decorating). This house's namesake, Elmer Edgar, is also representative of the middle-class individuals working in New Westminster for the community, as he was the Manager of the local Tip Top Tailor's New Westminster branch. Tip Top Tailors is a Canadian company, founded in Toronto, that has been around since 1909.

3.3 Character Defining Elements

Key elements that define the heritage character of Edgar House at 323 Regina Street include:

- Its location in the Queen's Park neighbourhood.
- Its residential form, scale and massing as expressed by its one and a half storey height.
- Its jerkinhead roof and rolled shingles, imitating thatching, as well as its flared catslide on the western corner of its roof, connecting to the English Storybook style.
- Its French Storybook style elements as represented by its asymmetry and its L-shaped massing with a turret tucked in the 'L' forming a shelter over the front door.
- Its arched windows, doorways and doors.
- Its numerous wood windows featured on all sides of the house, in various sizes and configurations (some double-hung, some divided-light, some quarreled with diamond patterned panes, etc.)
- Its stuccoed exterior.

4.0 Research Findings

Neighbourhood: Queen's Park

Address & Postal Code: 323 Regina Street, V3L 1S8

Folio & PID: 08514000 & 013-593-285

Legal Description: Lot 12; Suburban Block 10 of Lot 4; New West District; Plan NWP2620

Zoning: Single Detached/RS-4

Builder & Date of completion: K.R. Matheson in 1928

Original Owner & Water Connection Connector and Year: Elmer A. Edgar & E.A. Edgar on July 14, 1928

The following tables are a consolidated summary of the residents of 323 Regina Street, as determined from the available city directories for New Westminster, as well as a list of the construction dates of the surrounding properties, illustrating the range of ages to this section of the street (visualized in Fig. 10).

Table 1: Consolidated list of the occupants of 323 Regina Street from the available city directories (Source: Vancouver Public Library, 1928 to 1955; and New Westminster Archives, 1970, 1979, 1985, 1991, 1992, 1998)

Year(s)	Name(s)	Occupation (if listed)
1928 – 1945	Elmer A. Edgar (Elverie B.)	Branch Manager, Tip Top Tailor
1946 – 1955	R. Gordon Quennell (Marion L.)	Retired
1970	Elliot E Nelles	Not listed
1979	Joyce M. Hall/Kath Hall	Not listed
1985 – 1998	R. T. Hall	Not listed

Table 2: Consolidated list of the construction dates for the properties surrounding 323 Regina Street, New Westminster, BC. (Source: BC Assessment)

Address	Year Built	Configuration
512 Third Street	1907	3 bedrooms, 2 baths
520 Third Street	1941	5 bedrooms, 3 baths
305 Regina Street	1910	3 bedrooms, 3 baths
308 Regina Street	1911	5 bedrooms, 3 baths
309 Regina Street	1936	2 bedrooms, 1 bath
310 Regina Street	1909	5 bedrooms, 2 baths
311 Regina Street	1939	2 bedrooms, 1 bath
313 Regina Street	1939	4 bedrooms, 2 baths
314 Regina Street	2000	4 bedrooms, 5 baths
316 Regina Street	1998	4 bedrooms, 3 baths
317 Regina Street	1936	4 bedrooms, 2 baths
319 Regina Street	1893	4 bedrooms, 3 baths
323 Regina Street	1928	4 bedrooms, 2 baths
514 Fourth Street	1926	4 bedrooms, 2 baths
515 Fourth Street	1940	3 bedrooms, 2 baths
516 Fourth Street	1911	4 bedrooms, 3 baths
518 Fourth Street	1973	3 bedrooms, 3 baths
520 Fourth Street	1912	5 bedrooms, 3 baths
526 Fourth Street	1913	5 bedrooms, 3 baths
528 Fourth Street	2012	3 bedrooms, 4 baths
402 Sixth Avenue	1915	4 bedrooms, 3 baths
322 Sixth Avenue	1921	6 bedrooms, 4 baths
318 Sixth Avenue	1912	4 bedrooms, 3 baths
316 Sixth Avenue	1924	3 bedrooms, 2 baths
310 Sixth Avenue	1908	4 bedrooms, 1 bath
306 Sixth Avenue	1911	2 bedrooms, 3 baths



Fig. 10: Map of the area surrounding 323 Regina Street, outlined in blue, with the construction years listed for the buildings in the immediate vicinity of the study site. Note the range of years. (Source: BC Assessment)

In summary, there are 26 houses along this section of Regina Street, 4th Street and Sixth Avenue. As a point of reference for understanding the surrounding neighbourhood and streetscape, their time periods breakdown as follows:

- 4% were built in the 1890s (1 out of 26)
- 12% were built in the 1900s (3 out of 26);
- 31% from the 1910s (8 out of 26);
- 15% from the 1920s (4 out of 26);
- 15% from the 1930s (4 out of 26);
- 8% from the 1940s (2 out of 26);
- None from the 1950s nor the 1960s;
- 4% from the 1970s (1 out of 26);
- None from the 1980s;
- 4% from the 1990s (1 out of 26); and
- 8% from the 21st century (2 out of 26).

4.1 Researcher's Note

In researching the captioned study site, Edgar House, it has been interesting and surprising to note that it is not included in the Queen's Park Heritage Conservation Area (HCA). On account of its heritage value – specifically, its aesthetic value as a somewhat rare and intact example of the whimsical Storybook style and its historical significance as an interwar pre-Great Depression development built by well-known tradesmen for a prominent Queen's Park family (in fact, already recognized in the HCA with their property at 415 Third Street (NWA 2004)) – it is unclear why this Edgar property at 323 Regina Street was omitted from the HCA. This seemed an important aspect to note amongst the site's research findings.

5.0 Archival Photographs

Unfortunately, no other historical photographs of the property were available beyond the 1928 newspaper article (Fig. 11) and the accompanying photograph of the 1989 heritage inventory description (Fig. 12). It is interesting to note the few changes to the property, such as the addition of a window box on the front window, which was apparently done shortly after the house was built in 1928 by a local ironworker. Other changes of note are the switch of the front entry staircase from being double-sided to single-sided and the addition of a chimney on the southeast corner, which has since been removed.



Fig. 11: Historical photograph of 323 Regina Street, 1928, extracted from the newspaper article on the property. (Source: The British Columbian, October 8, 1928, p. 7)



Fig. 12: Historical photograph of 323 Regina Street, 1989, taken from Volume 2 of the Heritage Resource Inventory. Note the largely similar look and condition of the property, with only minor changes, such as the addition of a window box on the front window, the change of the front entry staircase from being double-sided to being single-sided and the addition of another chimney, which has since been removed (please see the red arrows pinpointing these changed areas). (Source: Sleath 1989, p. 177)

6.0 Current Photographs



Fig. 13: Southern corner view of Edgar House at 323 Regina Street, 2020. (Source: Holisko)



Fig. 14: Eastern corner view of Edgar House at 323 Regina Street, 2020. (Source: Holisko)



Fig. 15: Northeastern side of Edgar House at 323 Regina Street, BC, 2020. (Source: Holisko)



Fig. 16: Northwestern side of Edgar House at 323 Regina Street, 2020. (Source: Holisko)

7.0 Conservation Objectives

Edgar House at 323 Regina Street will be preserved as part of a Heritage Revitalization Agreement in order to build a laneway house on their large lot and stratify their property. The proposed changes do not affect the Heritage Values nor the Character Defining Elements of this historic place.

A number of changes and some restoration work has already taken place to this historic place. For a comparison view of the work already completed, please refer to Figs. 17a and 17b below, from 2019 and 2020 respectively.



Figs. 17a and 17b: Comparative views of Edgar House at 323 Regina Street, 2019 (top) and 2020 (bottom), illustrating the various work done on site, listed in full on the following page. (Sources: Vallee (top) and Holisko)

For record purposes, work done is catalogued and summarized here, based on the information provided by the current owners:

- A similarly pitched jerkinhead roof was put over the deck on the northern side of the property, without the rolling eaves featured on the heritage building, presumably to follow Standard 11 of the Canadian *Standards and Guidelines*, to ensure its distinguishability as a new addition.
- The character-defining catslide on the western corner was repaired and restored, while being better revealed in moving the fence and installing a privacy gate.
- A small mudroom was added to the northern corner of the property, re-purposing one of the original windows that had to be removed from the kitchen.
- A deck and patio were added on the eastern corner of the property, along with a wrought iron fence, in a similar look to the window box ironwork that was added to the house shortly after it was built.
- An additional window box was also added to the south face of the property to match the one from the front.
- A set of windows from the south face of the house were re-purposed on site and replaced by wooden French doors, providing an egress point and access to the newly added south side deck and patio.
- One original window was badly water damaged and unsalvageable.
- The two small dormers along the northeastern, back side of the roof were combined into one longer one.
- Vinyl windows were installed in the two bathrooms and laundry room, along the northeastern, back side of the house with low visibility from the street. This is deemed an acceptable change on account of the minimal visual impact to the streetscape, since they are not visible from the street.
- The upper floor wood windows, facing Regina Street and Sydney Lane were replaced in-kind, with replica wood windows. The windows facing Fourth Street were not replaced and are still original.
- Areas of the stucco wall were also damaged and needed extensive patching, particularly around the front entrance and the side facing Fourth Street.
- The perimeter drain was replaced and at that time (as visible in the comparative photographs) a lot of landscaping was removed from the site, both from surrounding the house as well as from the corner portion of the hedge along Regina Street. This was to allow a clearer view of the house's front entrance, making it more accessible and visible, since the front entry largely faces Fourth Street, despite its address technically being Regina Street. The hedge was only partially removed to maintain some privacy for the new side patio on the eastern corner of the property.
- At this time, all of the drainage gutters and downspouts were replaced.
- The later-addition chimney located on the south corner of the house was removed.
- The later-addition blue awnings over the various windows were also removed.
- The house's original colour scheme (based on the 1928 newspaper article on the property) was restored.

Preservation, Restoration and Rehabilitation were and are the conservation objectives for the building. As defined by the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2nd edition):

Preservation: The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.

Restoration: The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of an historic place or of an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

(Canada's Historic Places 2010, p. 255)

The conservation of Edgar House is focused on the preservation of the heritage house, including its various characteristic elements; restoration of its historical paint scheme; and rehabilitation of the front door and chimney. The following table summarizes the specific elements of Edgar House to be preserved, restored and rehabilitated (Table 3).

Table 3: Consolidated lists of the elements of Edgar House that are to be preserved, restored and rehabilitated. Note some have already been achieved

Preserved	Restored	Rehabilitated
Overall structure, including its form, scale and massing	Overall paint scheme	Front door
Rooflines		Chimney mortar
Stucco cladding		
All remaining original wood windows		

8.0 Building Description

Edgar House is a Storybook style Cottage, with elements from both the French and English traditions. It is a one and a half storey, stuccoed, wood-frame construction with concrete foundation. It is an L-shaped structure with a jerkinhead roof and rolled shingles, giving it a false-thatched look, as well as a flared catslide on its western corner roof. It has an elongated dormer on the northeast side of its roof (previously two dormers that have been combined). The entry porch is centred between its two cross gables and the roof over the arched entrance resembles a turret. It has numerous arched windows, doorways and doors as well as a range of wood windows on all sides of the house, in various sizes and configurations (some double-hung, some divided-light, some quarreled with diamond patterned panes, etc.). The site features a garage off of the north corner of the house in a similar look and style to the main property. The house sits on a prominent corner lot, stretching the length of 4th street from Regina Street to Sydney Street in the Queen's Park neighbourhood. It is one of the few 1920s houses remaining in the Queen's Park neighbourhood.

9.0 Condition Assessment

Overall, the exterior of Edgar House at 323 Regina Street appears to be in good to very good condition, based on the available exterior photographs. As outlined below there are just a few areas in need of minor attention.

9.1 Structure and Foundations

Overall, the condition of the walls and building envelope of Edgar House, from roof to foundation, appears to be good and having aged well. In particular, there are no major cracks visible in either the stuccoed walls or foundation. One small area of concern is the stone front steps that appear they could benefit from some minor cleaning and maintenance (Fig. 18) such as to remove moss/algae growth.



Fig. 18: Front stone steps and planter of Edgar House at 323 Regina Street, 2020, illustrating the minor maintenance concerns, such as moss growth and other plants growing between the stone slabs. (Source: Holisko)

9.2 Wood Elements

The visible, exterior wood elements, such as the doors, door frames, roof fascia and windows are, for the most part, in good condition. Any signs of deterioration are largely cosmetic, as illustrated and discussed further in the relevant sections below. Please note an internal inspection was not conducted to inspect the internal timber elements.

9.3 Roofing and Waterworks

The roof is in very good condition, overall (Figs. 19 and 20). It is difficult to determine the condition of the waterworks system from photographs, however, it is understood that these were recently replaced (with rounded aluminium ones to resemble the older more traditional style) and should therefore be in good working order. They should be checked regularly to ensure their continued efficient functioning.



Fig. 19: Front view of Edgar House at 323 Regina Street, 2020, illustrating the good condition of its roof. (Source: Holisko)



Fig. 20: Back view of Edgar House at 323 Regina Street, 2020, illustrating the good condition of its roof. (Source: Holisko)

9.4 Chimney

There is a chimney on the house, along its northwestern side (see Fig. 20 above), and it seems to be in largely good condition, with an intact chimney cap (Fig. 21a). It is worth noting that there are some signs of deterioration and loss of mortar, particularly in the areas that appear dark between the bricks (along the left side of Fig. 21b). The top of the chimney also appears that it could benefit from some cleaning and maintenance.



Figs. 21a and 21b: Fig. 21a (left) shows a detail shot of the Edgar House chimney, highlighting its largely good condition. Fig. 21b (right) shows a closer view of the chimney stack, showing some signs of deteriorating mortar and areas in need of cleaning (pinpointed by red arrows). (Sources: Holisko)

9.5 Windows and Doors

Some of the windows of the house have been replaced (or repurposed on site), although many are still original and, considering the age of the building, these intact windows and doors are in good to very good condition (as visible in Figs. 13 and 14 above and Fig. 22 below).



Fig. 22: The back deck of Edgar House at 323 Regina Street, 2020, illustrating the good condition of its original windows, with diamond patterned panes. (Source: Holisko)

Otherwise, the only other condition concern with regards to the windows and doors is with the front door, with its faded and splotchy staining (Fig. 23). It is hoped that this is simply a cosmetic concern that can be rectified by sanding and re-staining, although it should be inspected for any signs of rotting prior to any work being done on it.

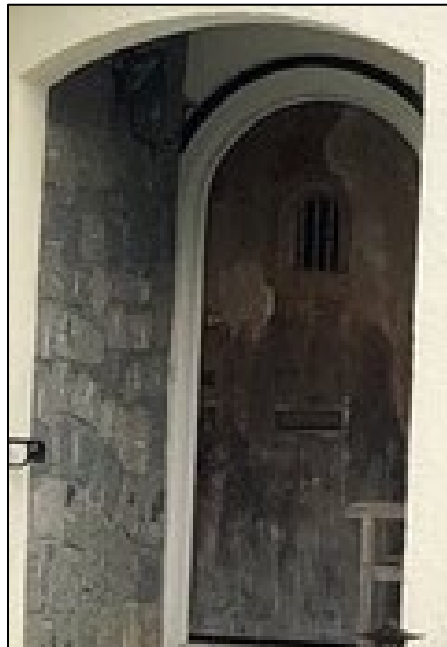


Fig. 23: Detail view of the front door of Edgar House at 323 Regina Street, 2020, illustrating its faded and splotchy staining. (Source: Holisko)

9.6 Cladding and Trimwork

As mentioned above, the stucco exterior appears to be in good condition, with no major issues identified, having been recently patched and restored. As for the trimwork, as discussed in the relevant sections above, these are also in very good shape.

9.7 Finishes

The finishes of the house are in good condition, having just recently been repainted to the historical colour scheme outlined in the 1928 newspaper article on the property and catalogued in section 10.7 below.

9.8 Landscaping

The landscaping on site is good, overall, with minimal landscaping growth near the structure and many plantings in pots, which helps to minimize the impact of roots on the building.

Despite these minor issues and concerns stated above, the overall condition of the property is good to very good. The owners should be commended for taking such good care of their property.

10.0 Recommended Conservation Procedures

10.1 Structure and Foundations – **Preservation**

- The main one and a half storey structure will be **preserved**.

10.2 Wood Elements – **Preservation**

- As addressed in greater detail in the relevant sections below, the wood elements will be **preserved**.

10.3 Roofing and Waterworks – **Preservation**

- The roofing and waterworks should be **preserved**, and regularly monitored and maintained to ensure their ongoing good condition.

10.4 Chimney – **Preservation** and **Rehabilitation**

- The chimney should be **preserved**, and **rehabilitated**, as needed. This should include regular monitoring and repointing by certified professionals, to avoid it needing to be rebuilt entirely down the road.
- Although certainly not recommended, if, overtime, it does degrade to the point of needing rebuilding, it should be dismantled to the roofline, the bricks should be cleaned and then re-used to rebuild the chimney with its original bricks, as much as possible.

10.5 Windows and Doors – **Preservation** and **Rehabilitation**

- The arched front door should be carefully **rehabilitated** (sanded down and re-stained) and **preserved**.
- All remaining original wood windows should be **preserved**.

- If there are concerns with regards to the performance of the original windows, an immediate measure to allow for better protection of them (while address heating and sound issues), is to install exterior wood storm windows on them. This would be the best conservation approach for their long-term preservation, if so desired, however, this is not a requirement.
- If this route is taken, the proposed storm windows should be traditional wood storm windows: Single pane, single light and of similar sash dimension to the window sash itself, to minimise the visual impact on the building and to allow the windows to continue to be visible on the exterior. They should be painted the same colour as the current. Dimensions should be the same as the window sash as per the proposed, historically appropriate colour scheme already used (and captured below). This is a reversible measure that would immediately benefit the building, providing greater protection to the house and improving its performance in relation to temperature control, energy efficiency and also from a noise perspective.

10.6 Cladding and Trimwork – **Preservation**

- The stucco should be **preserved**.
- The trims should be **preserved**, being monitored and maintained overtime, as needed.

10.7 Finishes – **Preservation**

- The current finish is based on the 1928 newspaper article on the house that describes its colour scheme as follows: “The walls are of cream California stucco with the arched windows and doors trimmed in black and white” (The British Columbian, October 8, 1928, p. 7). The selected colours were VC-1 Oxford Ivory for the body (from the Historical True Colours Palette; VHF 2012); Aura Low Lustre 634 for the white trim; and Regal Soft Gloss K403-80 for the black trim.
- This colour scheme should be **preserved** and maintained.
- For any eventual re-painting, follow Master’s Painters’ Institute, Repainting Manual procedures, including removing loose paint down to next sound layer, clean surface with mild TSP solution with gentlest means possible and rinse with clean water; do not use power-washing.

10.8 Landscaping

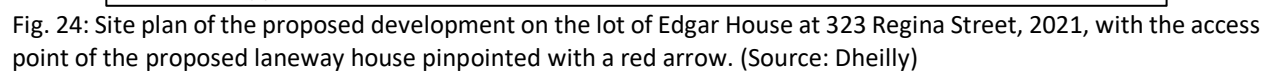
- Any additional landscaping being put in should have a minimum 2-ft clearance between the vegetation and the building face. This is preferable to ensure there is sufficient space from the structure and to remove any threat to the foundation or the building’s finishes over time.

11.0 Proposed Alterations and Future Changes

11.1 Proposed Alterations

The major proposed alterations to the property are:

- 1) Building a laneway house on the property (Figs. 24 and 25); and
- 2) Stratifying the property.



The proposed changes are considered a reasonable intervention given generally accepted conservation standards, rehabilitation needs and site conditions, in particular its large lot size. These proposed changes do not affect the Heritage Values and Character Defining Elements of the building.

Any future changes to the building's configuration, particularly any additions, should be carefully considered for minimal effect on the Heritage Values as embodied in the Character Defining Elements (CDEs) listed in the building's Statement of Significance (section 3.0 above).

Following completion of the outlined conservation work, the owner must maintain the building and land in good repair and in accordance with generally accepted maintenance standards. All work should follow the *Standards and Guidelines for the Conservation of Historic Places in Canada (2nd Edition)*. The Local Government determines the acceptable level or condition to which the heritage building is maintained through the *Heritage Maintenance Bylaw* (CCNW 2018). As with the Heritage Conservation Plan, the maintenance standards apply only to the exterior of the building.

It is important to establish a maintenance plan using the information below:

- Ensure site runoff drainage is directed away from the building.
- Maintain a minimum 2-ft clearance between vegetation and building face and a 12-inch-wide gravel strip against the foundation in planted areas, if possible.
- Do not permit vegetation (such as vines) to attach to the building.

b. Foundation

- Review exterior and interior foundations, where visible, for signs of undue settlement, deformation or cracking.
- If encountered, seek advice from a professional Engineer, immediately.
- Ensure perimeter drainage piping is functional.
- Arrange a professional drainage inspection every three to five years.

c. Wood Elements

- Maintaining integrity of the exterior wood elements is critical in preventing water ingress into the building. Annual inspection of all wood elements should be conducted.
- Closely inspect highly exposed wood elements for deterioration. Anticipate replacement in kind of these elements every 10 to 15 years.
- Any signs of deterioration should be identified and corrective repair/replacement action carried out. Signs to look for include:
 - Wood in contact with ground or plantings;
 - Excessive cupping, loose knots, cracks or splits;
 - Open wood-to-wood joints or loose/missing fasteners;
 - Attack from biological growth (such as moss or moulds) or infestations (such as carpenter ants);
 - Animal damage or accumulations (such as chewed holes, nesting, or bird/rodent droppings). These should be approached using Hazardous Materials procedures; and
 - Signs of water ingress (such as rot, staining or mould).
- Paint finishes should be inspected every three to five years and expect a full repainting every seven to ten years. Signs to look for include:
 - Bubbling, cracks, crazing, wrinkles, flaking, peeling or powdering; and
 - Excessive fading of colours, especially dark tones.
- Note all repainting should be as per the recommended historic colours in section 10.7 above.

d. Windows and Doors

- Replace cracked or broken glass as it occurs.
- Check satisfactory operation of windows and doors. Poor operation can be a sign of building settlement distorting the frame or sashes or doors may be warped.
- Check condition and operation of hardware for rust or breakage. Lubricate annually.
- Inspect weather stripping for excessive wear and integrity.

e. Roofing and Rainwater Works

- Inspect roof condition every five years, in particular looking for:
 - Loose, split or missing shingles, especially at edges, ridges and hips;
 - Excessive moss growth and/or accumulation of debris from adjacent trees; and
 - Flashings functioning properly to shed water down slope, especially at the chimneys.
- Remove roof debris and moss with gentle sweeping and low-pressure hose.
- Plan for roof replacement at around 18 to 22 years.
- Annually inspect and clean gutters and flush out downspouts. Ensure gutters positively slope to downspouts to ensure there are no leaks or water splashing onto the building.

- Ensure gutter hangers and rainwater system elements are intact and secure.
- Ensure downspouts are inserted into collection piping stub-outs at grade and/or directed away from the building onto concrete splash pads.

f. General Cleaning

- The building exterior should be regularly cleaned depending on build up of atmospheric soot, biological growth and/or dirt up-splash from the ground.
- Cleaning prevents build up of deleterious materials, which can lead to premature and avoidable maintenance problems.
- Windows, doors and rainwater works should be cleaned annually.
- When cleaning always use the gentlest means possible, such as soft bristle brush and low-pressure hose. Use mild cleaner if necessary, such as diluted TSP or Simple Green ©.
- Do not use high-pressure washing as it will lead to excessive damage to finishes, seals, caulking and wood elements and it will drive water in wall assemblies and lead to larger problems.

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Appendix E

Heritage Professional Review Memo of Work Completed in 2019 and 2020

Memo: 323 Regina Street, New Westminster

Ex post facto review of work completed in 2019 and 2020

Compiled for: Designer, Nancy Dheilly and Owners, Gary Holisko and Rosanne Hood

Compiled by: Mountain Heritage, Susan Medville, MA, CAHP, BCAHP

August 25, 2021

In late July of 2021 the owners of 323 Regina Street received correspondence from the City of New Westminster's Land Use Planning Commission which included a number of comments on their proposal to receive a Heritage Revitalization Agreement for the property. The Commission specifically requested a heritage consultant's input for items included in the July 2021 Heritage Conservation Plan and Statement of Significance by Cummer Heritage Consulting, for the following two issues:

Request 1:

"The Heritage Conservation Plan includes a catalogue and summary of recent work completed on page 16. Your heritage consultant should provide an analysis on whether these changes compromise/affect the heritage value of the heritage building and whether work done met the Canadian *Standards and Guidelines*."

Request 2:

"Update the Heritage Conservation Plan (HCP) based on revised drawings and feedback above in your next submission. This is required for the HCP to be forwarded to the Community Heritage Commission."

Cummer Heritage Consulting was unavailable to address the two requests and Mountain Heritage was engaged by the owners to complete the task. A site visit and meeting with the owners took place August 20, 2021.

Request 1

Request 1 is an ex post facto review of work completed in 2019 and 2020 prior to the completion of the July 2021 Heritage Conservation Plan and Statement of Significance (Cummer Heritage Consulting). The Heritage Conservation Plan and Statement of Significance have been reviewed as has the information about the property in the Queens Park Conservation Area Heritage Value Assessment. Both of these documents identify Character Defining Elements of the building. *The Standards and Guidelines for the Conservation of Historical Places in Canada*, on page 41, states that it "should be consulted only when the element to be intervened upon has been identified as a character defining element in a Statement of Significance or equivalent document."

Character Defining Elements of 323 Regina Street

2018 Queens Park Conservation Area Heritage Value Assessment (p.329)

- Two-storeys
- L-shaped building
- Clad in stucco
- Gambrel roof with clipped and rolled edges
- Front entry located at the inside corner where the two sections of the “L” meet
- Inset tower with arched openings on two sides at the entry
- Access to the front entry by stone stairs set in a fan pattern that are approached by a concrete walk that angles straight to it from the corner of the property
- Wall inside of the entry faced in stone
- Front door set against the elevation that faces Fourth Street, is wood and has a curved top and sits within a curved wood frame, a small window opening at the top that has a grated cover
- Wood-frame casement windows to the west side of the front entry and on the elevation facing Fourth Street each have a shallow arch with diagonal lead muntin-bars in the side sashes; window to the east of the front entry is a double wood-framed leaded window
- Some of the windows are topped with a solid fabric awning
- Wood frame window unit in the peaks of the roof on each street elevation; the one facing Regina Street is triple width and double-hung with a six-paned upper over a single paned bottom window; and the one facing Fourth Street is double-width, double-hung with a six-paned upper over a single paned bottom window
- Two internal brick chimneys, one at the front facing Regina Street and one on the rear

The 2018 assessment noted that the building retained much of its original design and materials.

2021 Statement of Significance as part of the Heritage Conservation Plan, compiled by Cumber Heritage Consulting (p. 9), identified the following Character Defining Elements:

- Its location in the Queen’s Park neighbourhood.
- Its residential form, scale and massing as expressed by its one and a half storey height.
- Its jerkinhead roof and rolled shingles, imitating thatching, as well as its flared catslide on the western corner of its roof, connecting to the English Storybook style.
- Its French Storybook style elements as represented by its asymmetry and its L-shaped massing with a turret tucked in the ‘L’ forming a shelter over the front door.
- Its arched windows, doorways and doors.
- Its numerous wood windows featured on all sides of the house, in various sizes and configurations (some double-hung, some divided-light, some quarreled with diamond patterned panes, etc.)
- Its stuccoed exterior.

It should be noted that the structure is included within the Heritage Inventories from 1986 and revised in 1989 and 2018 and in 2018 considered a Special Limited Property in 2018. However, it is not and has not been on the New Westminster Heritage Register, Designated or on the list of New Westminster's protected properties from 2020.

Cummer Heritage notes in the Conservation Plan, Conservation Objectives on page 16:

"Edgar House at 323 Regina Street will be preserved as part of a Heritage Revitalization Agreement in order to build a laneway house on their large lot and stratify their property. **The proposed changes do not affect the Heritage Values nor the Character Defining Elements of this historic place.** A number of changes and some restoration work has already taken place to this historic place."

In **bold type** below is the work to the house completed in 2019 and 2020 which Cummer Heritage catalogued in the Conservation Plan, page 16, and summarized based on the information provided by the current owners. For each of these actions the City of New Westminster has requested an analysis of the work that may have compromised or affected the heritage value of the heritage building and whether work done met the Canadian *Standards and Guidelines* each listed below.

Work Completed

"A similarly pitched jerkinhead roof was put over the deck on the northern side of the property, without the rolling eaves featured on the heritage building."

Potentially Impacted Character Defining Elements

- Its residential form, scale and massing (2021)
- Its French Storybook style elements as represented by its asymmetry and its L-shaped massing with a turret tucked in the 'L' forming a shelter over the front door. (2021)

Analysis

- Work did not significantly alter the scale, form or massing of the structure.
- Work is not visible from the 4th Street which is the primary view-point for the building's front façade.
- Lack of rolling eaves distinguishes the deck covering as an addition.
- Work meets Standards and Guidelines listed below and does not significantly change heritage values or character of the historic place.

Standards and Guidelines Met

Standard 11- (a) Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. (b) Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.

Standard 14- Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.

Standard 15- Designing an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.

Section 4.3 Guidelines for Buildings, 4.3.1 Exterior Form

14. Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.

15. Designing an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.

Work Completed

“The character-defining catslide on the western corner was repaired and restored, while being better revealed in moving the fence and installing a privacy gate.”

Potentially Impacted Character Defining Elements

- Its jerkinhead roof and rolled shingles, imitating thatching, as well as its flared catslide on the western corner of its roof, connecting to the English Storybook style. (2021)

Analysis

- Catslide feature has been stabilized with the reuse of original materials and the minimal use of new materials.
- Work meets *Standards and Guidelines* listed below and does not change heritage values or character of the historic place.

Standards and Guidelines Met

Standard 7 (a) Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. (b) Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

Standard 10 (a) Repair rather than replace character-defining elements.

Section 4.3 Guidelines for Buildings, 4.3.3 Roofs

7. Retaining sound or deteriorated roof assemblies that can be repaired.

Work Completed

“A small mudroom was added to the northern corner of the property, re-purposing one of the original windows that had to be removed from the kitchen.”

Potentially Impacted Character Defining Elements

- Its French Storybook style elements as represented by its asymmetry and its L-shaped massing with a turret tucked in the ‘L’ forming a shelter over the front door. (2021)
- Its numerous wood windows featured on all sides of the house, in various sizes and configurations (some double-hung, some divided-light, some quarreled with diamond patterned panes, etc.) (2021)

Analysis

“In a rehabilitation project, additions or new construction may be needed to assure the continued use of an historic place.” Page, 34 *Standards and Guidelines*.

- The addition of the 6’ x8’ space is visually compatible with the historic form of the structure, yet physically distinguishable from the historic form with its lack of rolling eaves on the deck roof and the realignment of the moved historic window.
- Work meets *Standards and Guidelines* listed below and does not significantly change heritage values or character of the historic place.

Standards and Guidelines Met

Standard 11- (a) Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. (b) Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.

Standard 12- Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future. A sound addition can enhance the value of an historic place. An addition, in itself, can be intended to last and should be designed to be physically compatible. Although a certain amount of irreversible change may be unavoidable, strategies to reduce the size and impact of the addition should be explored. This can be achieved, for example, by using existing window openings to insert a connecting door, or attaching an addition to an elevation that is not character defining.

Standard 4 (a) Recognize each historic place as a physical record of its time, place and use. (b) Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted. Reusing identical windows within a building are appropriate from both conservation and sustainability standpoints. Where it is deemed critical to the honesty of the work, such additions can be rendered distinguishable in a discreet way.

Section 4.3 Guidelines for Buildings, 4.3.1 Exterior Form

14. Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.
15. Designing an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.
16. Adding new features to meet health, safety or security requirements, such as an exterior stairway or a security vestibule in a manner that respects the exterior form and minimizes impact on heritage value.

Section 4.3 Guidelines for Buildings, 4.3.6 Entrances, Porches and Balconies

17. Modifying, replacing or designing a new entrance, porch or balcony required by a new use or applicable codes and regulations, in a manner that is compatible with the building's style, era and character.

Work Completed

"A deck and patio were added on (the south façade) at the eastern corner of the property, along with a wrought iron fence, in a similar look to the window box ironwork that was added to the house shortly after it was built."

"A set of windows from the south face of the house were re-purposed on site and replaced by wooden French doors, providing an egress point and access to the newly added south side deck and patio."

"One original window was badly water damaged and unsalvageable."

Potentially Impacted Character Defining Elements

- Its French Storybook style elements as represented by its asymmetry and its L-shaped massing with a turret tucked in the 'L' forming a shelter over the front door. (2021)
- Its numerous wood windows featured on all sides of the house, in various sizes and configurations (some double-hung, some divided-light, some quarreled with diamond patterned panes, etc.) (2021)

Analysis

- The addition of the small deck and deck roof are not located on the main façade of the structure.
- The addition of the deck and roof is visually compatible with the historic form of the structure, yet physically distinguishable from the historic form with its lack of rolling eaves on the deck roof.
- Egress to deck, the French doors, are aligned where window set was.
- Landscaping including fences were not considered character defining elements for this historic place. Landscaping upon maturity will screen this face of the structure.

- Window removed for the installation of the French doors was used to replace the water damaged window on the same elevation.
- Work meets *Standards and Guidelines* listed below and does not significantly change heritage values or character of the historic place.

Standards and Guidelines Met

Standard 11- (a) Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. (b) Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.

Standard 12- Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future. A sound addition can enhance the value of an historic place. An addition, in itself, can be intended to last and should be designed to be physically compatible. Although a certain amount of irreversible change may be unavoidable, strategies to reduce the size and impact of the addition should be explored. This can be achieved, for example, by using existing window openings to insert a connecting door, or attaching an addition to an elevation that is not character defining.

Standard 4 (a) Recognize each historic place as a physical record of its time, place and use. (b) Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted. Reusing identical windows within a building are appropriate from both conservation and sustainability standpoints. Where it is deemed critical to the honesty of the work, such additions can be rendered distinguishable in a discreet way.

Section 4.3 Guidelines for Buildings, 4.3.1 Exterior Form

14. Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.

15. Designing an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.

16. Adding new features to meet health, safety or security requirements, such as an exterior stairway or a security vestibule in a manner that respects the exterior form and minimizes impact on heritage value.

4.3 Guidelines for Buildings 4.3.5 Windows, Doors and Storefronts

20. Designing and installing new windows, doors or storefronts required by a new use on non-character-defining elevations in a manner that is compatible with the building's style, era and character.

Section 4.3 Guidelines for Buildings, 4.3.6 Entrances, Porches and Balconies

17. Modifying, replacing or designing a new entrance, porch or balcony required by a new use or applicable codes and regulations, in a manner that is compatible with the building's style, era and character.

Work Completed

"An additional window box was also added to the south face of the property to match the one from the front."

Potentially Impacted Character Defining Elements

Non-Applicable

Analysis

- Addition of window box is a replication of a feature of the house installed between its 1928 construction and the next known photograph of the building in 1989. However, the window box is not a character defining element of the building.
- Work meets *Standards and Guidelines* listed below and does not change heritage values or character of the historic place.

Standards and Guidelines Met

Standard 14-Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

Work Completed

"The two small dormers along the northeastern, back side of the roof were combined into one longer one."

"Vinyl windows were installed in the two bathrooms and laundry room, along the northeastern, back side of the house with low visibility from the street. This is deemed an acceptable change on account of the minimal visual impact to the streetscape, since they are not visible from the street."

Potentially Impacted Character Defining Elements

- Wood frame window unit in the peaks of the roof on each street elevation; the one facing Regina Street is triple width and double-hung with a six-paned upper over a single paned bottom window. (2018)
- Its jerkinhead roof and rolled shingles, imitating thatching, as well as its flared catslide on the western corner of its roof, connecting to the English Storybook style. (2021)

Analysis

- Space converted from a single powder room to accommodate two full bathrooms and laundry.
- New windows installed for new use on non-character-defining elevation.
- Angle of roof remained the same.
- Work meets *Standards and Guidelines* listed below and does not significantly change heritage values or character of the historic place.

Standards and Guidelines Met

Standard 11- (a) Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. (b) Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.

Standard 12- Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future. A sound addition can enhance the value of an historic place. An addition, in itself, can be intended to last and should be designed to be physically compatible. Although a certain amount of irreversible change may be unavoidable, strategies to reduce the size and impact of the addition should be explored. This can be achieved, for example, by using existing window openings to insert a connecting door or attaching an addition to an elevation that is not character defining.

Standard 4 (a) Recognize each historic place as a physical record of its time, place and use. (b) Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted. Reusing identical windows within a building are appropriate from both conservation and sustainability standpoints. Where it is deemed critical to the honesty of the work, such additions can be rendered distinguishable in a discreet way.

Section 4.3 Guidelines for Buildings, 4.3.1 Exterior Form

14. Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.
15. Designing an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.
16. Adding new features to meet health, safety or security requirements, such as an exterior stairway or a security vestibule in a manner that respects the exterior form and minimizes impact on heritage value.

4.3 Guidelines for Buildings 4.3.5 Windows, Doors and Storefronts

20. Designing and installing new windows, doors or storefronts required by a new use on non-character-defining elevations in a manner that is compatible with the building's style, era and character.

4.3 Guidelines for Buildings, 4.3.3 Roofs

18. Modifying or replacing a roof or roof element, to accommodate an expanded program, a new use, or applicable codes and regulations, in a manner that respects the building's heritage value.

4.3 Guidelines for Buildings, 4.3.5 Windows, Doors and Storefronts

20. Designing and installing new windows, doors or storefronts required by a new use on non-character-defining elevations in a manner that is compatible with the building's style, era and character.

Work Completed

"The upper floor wood windows, facing Regina Street and Sydney Lane were replaced in-kind, with replica wood windows. The windows facing Fourth Street were not replaced and are still original."

Potentially Impacted Character Defining Elements

- Wood frame window unit in the peaks of the roof on each street elevation; the one facing Regina Street is triple width and double-hung with a six-paned upper over a single paned bottom window; and the one facing Fourth Street is double-width, double-hung with a six-paned upper over a single paned bottom window (2018)
- Its numerous wood windows featured on all sides of the house, in various sizes and configurations (some double-hung, some divided-light, some quarreled with diamond patterned panes, etc.) (2021)

Analysis

- The approach was replacement in kind, wood windows for wood windows, same shape and light arrangement.
- Owners determined that original windows were beyond repair.
- Work meets *Standards and Guidelines* listed below and does not significantly change heritage values or character of the historic place.

Standards and Guidelines Met

Standard 13 a) Repair rather than replace character-defining elements from the restoration period. (b) Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.

4.3 Guidelines for Buildings, 4.3.5 Windows, Doors and Storefronts

16. Replacing in kind irreparable windows, doors or storefronts based on physical and documentary evidence. If using the same materials and design details is not technically or economically feasible, then compatible substitute materials or details may be considered.

Work Completed

“Areas of the stucco wall were also damaged and needed extensive patching, particularly around the front entrance and the side facing Fourth Street.”

Potentially Impacted Character Defining Elements

- Clad in stucco. (2018)
- Its stuccoed exterior. (2021)

Analysis

- Stucco repair work was necessary to conserve the building.
- Materials used were in kind and match as closely as possible the historic stucco.
- Work meets *Standards and Guidelines* listed below and does not change heritage values or character of the historic place.

Standards and Guidelines Met

Standard 8- Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

Guideline 24 Reinstating the building's exterior form from the restoration period, based on documentary and physical evidence.

4.3 Guidelines for Buildings, 4.3.3 Exterior Walls

6. Protecting and maintaining exterior walls by cleaning and repairing damaged materials, and checking exterior wall assemblies for moisture penetration and insect infestation, taking corrective action, as necessary and as soon as possible.

7. Retaining sound or deteriorated exterior wall assemblies that can be repaired.

9. Repairing parts of exterior walls by patching, piecing-in, consolidating, or otherwise reinforcing, using recognized conservation methods. Repair may also include the limited replacement in kind, or with a compatible substitute material, of extensively deteriorated or missing parts of the exterior wall assembly. Repairs should match the existing work as closely as possible, both physically and visually.

Work Completed

“The perimeter drain was replaced and at that time (as visible in the comparative photographs) a lot of landscaping was removed from the site, both from surrounding the house as well as from the corner portion of the hedge along Regina Street. This was to allow a clearer view of the house's front entrance, making it more accessible and visible, since the front entry largely faces Fourth Street, despite its address technically being Regina Street. The hedge was only partially removed to maintain some privacy for the new side patio on the eastern corner of the property. At this time, all of the drainage gutters and downspouts were replaced.”

Potentially Impacted Character Defining Elements
Non-Applicable

Analysis

- None of the above-mentioned work applies to the building's character defining elements or its heritage values.
- The new gutter system (perimeter drain) installation, utilized a rounded aluminum painted black to resemble 'older style.' Neither of the available historic photos of the building are clear enough to see exactly what would have been installed historically though rounded gutters would be appropriate on a house built in the late 1920s, the newly installed gutters are constructed of contemporary materials and located as they would have been historically.
- Work meets *Standards and Guidelines* listed below and does not change heritage values or character of the historic place.

Standards and Guidelines Met

Section 4.3 Guidelines for Buildings, 4.3.3 Roofs

11. Replacing in kind extensively deteriorated or missing parts of roof assemblies where there are surviving prototypes.

Work Completed

"The later-addition chimney located on the south corner of the house was removed."

Potentially Impacted Character Defining Elements

- Two internal brick chimneys, one at the front facing Regina Street and one on the rear (2018)

Analysis

- South corner chimney was added post 1928, date of installation occurred before 1989 however exact date is unknown.
- Work meets *Standards and Guidelines* listed below and does not significantly change heritage values or character of the historic place.

Standards and Guidelines Met

4.3 Guidelines for Buildings, 4.3.1 Exterior Form

24. Reinstating the building's exterior form from the restoration period, based on documentary and physical evidence.

Work Completed

“The later-addition blue awnings over the various windows were also removed.”

Potentially Impacted Character Defining Elements

- Some of the windows are topped with a solid fabric awning (2018)

Analysis

- Awnings were not original to the structure.
- Work meets *Standards and Guidelines* listed below and does not change heritage values or character of the historic place.

Standards and Guidelines Met

4.3 Guidelines for Buildings 4.3.1 Exterior Form

24. Reinstating the building’s exterior form from the restoration period, based on documentary and physical evidence.

Work Completed

“The house’s original colour scheme (based on the 1928 newspaper article on the property) was restored.”

Potentially Impacted Character Defining Elements

- Clad in stucco. (2018)
- Its stuccoed exterior. (2021)

Analysis

- Paint matched to historic colors at construction in 1928.
- Work meets *Standards and Guidelines* listed below and does not change heritage values or character of the historic place.

Standards and Guidelines Met

4.3 Guidelines for Buildings 4.3.1 Exterior Form

24. Reinstating the building’s exterior form from the restoration period, based on documentary and physical evidence.

Request 2

At the meeting the owners and designer stated that there will be no additional changes to be made to the main house, therefore there are no additional plans of the main house to submit.

The owner has determined not to stratify the property.

The size of the proposed laneway house has been reduced since the January 25, 2021 plans. The current plans, August 6, 2021, for the laneway house are attached.

As stated by Cummer Heritage and determined by Mountain Heritage the construction of the laneway house will not detract from the Heritage Values or Character Defining Elements of 323 Regina.

Conclusion

The 2019 and 2020 overall completed changes do not significantly affect or impair the Heritage Values nor the Character Defining Elements of this historic place, nor does the planned laneway house.

REPORT

Climate Action, Planning and Development

To: Community Heritage Commission **Date:** October 6, 2021

From: Wendee Lang,
Planning Analyst **File:** HER00821

Item #: [Report Number]

Subject: Heritage Revitalization Agreement Application: 102 Seventh Avenue

PURPOSE

To review the application's heritage elements and provide a recommendation to Council.

SUMMARY

An application has been received for a Heritage Revitalization Agreement (HRA) at 102 Seventh Avenue, a corner property in the Glenbrooke North neighbourhood. The HRA proposes subdivision of the property and construction of an infill duplex on the new rear lot, facing First Street. The existing 1941 heritage house would be retained and remain in place facing Seventh Avenue. In addition to lot size and density, several minor Zoning Bylaw relaxations are proposed relating to the form and siting of the duplex. In exchange for development, minor restoration and rehabilitation works would be conducted on the house, which would be legally protected with a Heritage Designation Bylaw and listed on the City's Heritage Register.

GUIDING POLICY AND REGULATIONS

Official Community Plan (OCP) Land Use Designation

The Official Community Plan (OCP) sets out the City's anticipated land use for the future, for the purposes of guiding development applications. In the OCP, this property is designated Residential Detached and Semi-Detached Housing (RD). This designation envisions a mix of low density residential units including houses, duplexes, secondary suites, and laneway or carriage houses. The proposed application is consistent with the RD designation.

Projects with Heritage Assets

The OCP encourages the use of Heritage Revitalization Agreements when a heritage asset on the site is appropriately incorporated into a development. The OCP also indicates that, through a Heritage Revitalization Agreement (HRA), a property may be eligible for incentives such as a smaller minimum lot size, an increase in density, or reduced parking requirements, which would make it viable to conserve assets with heritage merit. The proposed application is consistent with this policy.

Zoning Bylaw

The existing zoning for the site is RS-1 Single Detached Residential District. The intent of this district is to allow single detached dwellings with secondary suites and a laneway or carriage house. In this zone, the maximum floor space ratio (FSR) for principal houses is 0.51 for buildings built to Step Code Level 3. The proposed application would require relaxations to the Zoning Bylaw (as noted in the following sections of the report). A Heritage Revitalization Agreement could permit the proposal.

Duplex, Triplex and Quadruplex: Interim Development Review Policy

Allowing duplex, triplex and quadruplex housing forms is one way the City can help increase the amount of ground-oriented infill housing, which is a key objective of the Official Community Plan (OCP). The work to develop permanent regulations related to each form is currently on hold while staff focuses on other Council priority areas. In order to facilitate pilot projects in the meantime, Council endorsed an interim development review policy in February 2020, which states that application for projects that have a house with heritage merit will be encouraged to explore the option of pursuing a Heritage Revitalization Agreement (HRA). The application is consistent with this policy and its design guidelines.

Heritage Revitalization Agreement

An HRA is a negotiated agreement between the City and a property owner for the purposes of heritage conservation. In exchange for long-term legal protection through a Heritage Designation Bylaw and exterior restoration, certain zoning relaxations may be considered (as noted above). An HRA is not precedent setting, as each one is unique to a specific site.

Heritage Related Design Guidelines

Council endorsed *The Standards and Guidelines for the Conservation of Historic Places in Canada* in 2008 as a basis for assessing heritage projects within the city. These are national guidelines for best practice in heritage conservation and design. All HRA proposals are carefully evaluated using this document to ensure conservation work on the exterior of the heritage building is in compliance. Additionally, the design of the

adjacent new building is reviewed against these principles and guidelines.

Heritage Designation Bylaw

A heritage asset that is the subject of an HRA is also protected by a Heritage Designation Bylaw. This Bylaw is a regulation that places long-term legal protection on the land title of a property. Any changes to a protected heritage property must first receive approval from City Council (or its delegate, the Director of Development Services) through a Heritage Alteration Permit (HAP). Future development is no longer entitled, but could be permitted by Council with an HAP. HAP applications are also evaluated by staff against the Standards and Guidelines and the Heritage Conservation Area guidelines, where appropriate.

BACKGROUND INFORMATION

Site Characteristics and Context

The subject property is 6,017 sq. ft. (559 sq. m.) and is located on the corner of Seventh Avenue and First Street in the Glenbrooke North neighbourhood, an area of primarily single-detached dwellings. The property is one block north of Herbert Spencer Elementary School, two blocks northwest of Queen's Park, and is less than 1,300 ft. (400 m.) south of Glenbrook Middle School, Terry Hughes Park, and Royal Square Mall. The site context map and aerial image is provided in Appendix A.

Project Description

The proposal would allow subdivision of the property into two lots. The 1941 heritage house facing Seventh Avenue would remain in-situ, and a new infill duplex would be built on the newly created lot at the rear, facing First Street. Vehicle access and parking for all units would be taken from the lane at the rear of the site, per the Zoning Bylaw.

The 1941 house is approximately 2,497 sq. ft. (232 sq. m.) and would retain its current configuration of one principal (owned) unit and one rental secondary suite. The principal unit, located on the upper two storeys of the house, would have three-bedrooms and is 1,515 sq. ft. (141 sq. m.). The rental secondary suite, located on the lower storey, has two bedrooms and is 981.5 sq. ft. (91 sq. m.). No additions are proposed to the house.

A new stratified, two-storey, side-by-side infill duplex would be built to the south of the heritage house. For this lot, the HRA would function like a rezoning to allow a duplex. The duplex units would be roughly 1,025 sq. ft. (95.2 sq. m.) each and contain two bedrooms. The duplex is proposed as a contemporary and understated interpretation of Tudor Revival style, with a restrained colour palate and detailing. A draft site plan is below, with emphasis added in thicker lines to show the proposed lots. More detailed drawings are available in Appendix B.

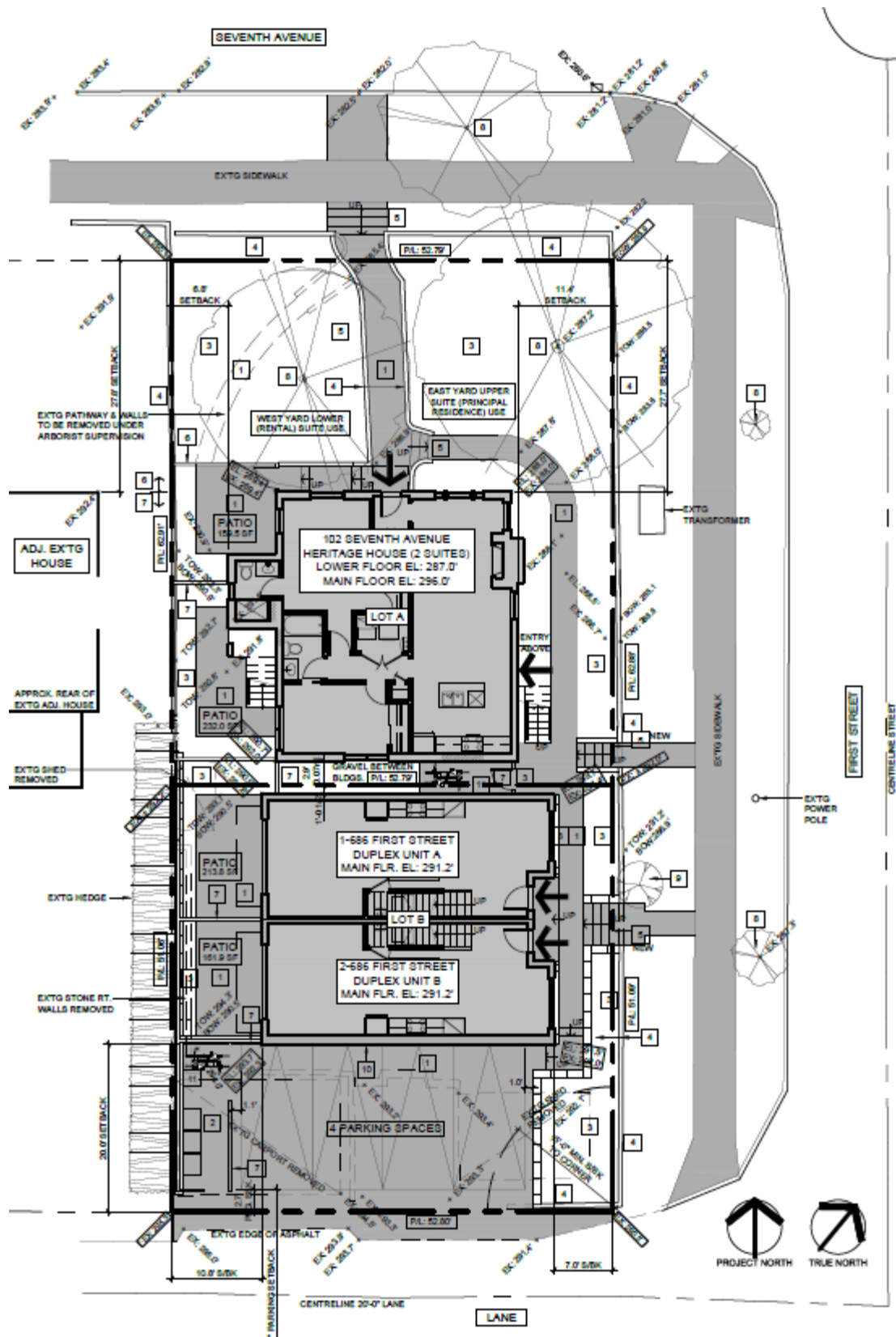


Figure 1: Draft Site Plan, 102 Seventh Avenue

Proposed Relaxations

Under the City's Policy for the Use of Heritage Revitalization Agreements, and the OCP, regulatory land use (Zoning Bylaw) relaxations may be considered through an HRA. Smaller lot sizes and higher densities are the primary Zoning Bylaw relaxations proposed through the HRA, though several minor siting relaxations are also being sought for the infill duplex, due to the orientation of the building to First Street. The HRA would also effectively function as a rezoning to allow the duplex form on the new lot, which is a sought after ground-oriented infill housing form that helps deliver a key objective of the OCP. A summary table is available in Appendix D.

The proposed subdivision would result in one lot consistent with Small Lot zones (such as NR-5) and one lot consistent with Compact Lot zones (such as RT-2D in Queensborough). The heritage house would remain in-situ on the larger of the two lots. Due to the small lot sizes, the density of both buildings would be higher than otherwise permitted, as density is measured as a ratio of floor space to lot size (floor space ratio or FSR). The proposed densities are shown in Table 1 below.

Table 1: Density Relaxations

	FSR in Zone	Proposed FSR	Relaxation
Heritage House	0.5	0.75	0.25 (50% more)
Duplex	0.6*	0.76	0.16 (27% more)

**As per the Duplex, Triplex and Quadruplex: Interim Development Review Policy and the City's existing RT-1 duplex zone*

Generally, the heritage house would remain unchanged at 2,497 sq.ft. (232 sq.m.), save for the proposed conservation work. No additional bulk would be added and no site coverage or height-related relaxations are proposed. The existing secondary suite would remain at its current size, which is 1.4% larger than permitted, requiring a minor relaxation. Though the density of the duplex is higher than otherwise permitted, the size of the duplex is 2,050 sq. ft. (190.5 sq. m.), which is in keeping with sizes found elsewhere in the neighbourhood, and subordinate in height and size to the heritage house.

ITEMS FOR DISCUSSION

Heritage Value

A Statement of Significance (SoS) has been prepared for the heritage house, which is available in Appendix C. The SoS indicates that the house, completed in 1941 and designed by English-born architect Gerald Maddock, has aesthetic, historical, and cultural value. The Maddock House has been evaluated as having aesthetic value for its strong Tudor Revival design, featuring unique and custom architectural details. It is noteworthy for being designed by an architect while the majority of house designs in this eclectic, historic neighbourhood were likely copied from house plans.

The house has noted historical significance for its association with the WWII and post-war development period in Glenbrooke North. It is also considered to have cultural significance for being representative of the neighbourhood's stability and sense of community for working-class families, due to its ownership history. More detailed information on the heritage value evaluation is available in Appendix C. Photographs of the building are also available in Appendix C (pages 5-8).

Does the Statement of Significance provide an accurate representation of the heritage values of the building?

Is the heritage value of the house sufficient to warrant long term legal protection and heritage status through a Heritage Designation Bylaw?

Heritage Conservation Work

Overall, the house is described as having high integrity and the building is proposed to undergo only minor rehabilitation as part of the development project. HRA projects should not only be considered for buildings that have been poorly maintained, as that could incentivize neglect. In this case, the cost of maintenance and restoration over time, in addition to the conservation work proposed as part of this application, should be compared against the lot size, density, and siting relaxations requested. Details on the conservation work are available in the Heritage Conservation Plan which is included in full in this report as Appendix C (pages 11-23). A summary of the retained and restored elements of the house is provided in Table 2 below.

Table 2: Summary of Heritage Conservation Work

Building Element	Action	Detail and Materials
Structure	Preserve	Preserve in-situ
Foundation	Preserve	Concrete
Exterior wood elements	Preserve / Restore	Wood boards
Stucco cladding	Preserve / Restore	Original textured stucco, repair as needed
Chimneys	Restore	Brick (internal chimney), repoint as needed. Granite stones (end-wall chimney), restore missing granite stones as needed
Windows	Preserve / Rehabilitate	Original, wood framed windows, repair as needed. Remove four low visibility windows on south and west elevations.
Doors	Preserve / Rehabilitate	Original, wood doors, repair as needed. Relocate rear (west) door to existing window opening on south elevation.
Finishes	Restore	White tone body colour with brown trim/sash/half-timbering and red doors.

Building Element	Action	Detail and Materials
Northern twinned flight of exterior stair	Remove	Concrete, 1960s addition

Is the level of retention proposed appropriate for this project?

Are there exterior building elements not addressed which could or should be?

Is the Heritage Conservation Plan sufficiently comprehensive and detailed?

Design Relationship with the Infill Duplex

The City's policies, including the Standards and Guidelines, strongly encourage developments which include a historic building to be respectful of the existing heritage assets. Respectful development does not mean that the site should not be developed, rather that the site or new building's design should consider the heritage building, and allow the heritage building to be the focus of the development. The guidelines identify that new buildings should not overwhelm, or detract from the historic features.

This project proposes an infill building on the newly created lot at the rear of the site, facing First Street. The site plan allows the house to remain in-situ on Seventh Avenue and prominently visible. As the house remains in-situ, the existing English garden aesthetic at the front may also be retained, which includes two large protected trees.

The duplex is proposed as a contemporary interpretation of Tudor Revival style using gabled rooflines, traditional style materials, and half-timbering styled siding. There is a restrained colour palette and detailing intended to allow focus to remain on the heritage house and distinguish the duplex as new construction. Proposed at two-storeys, the duplex is smaller in size and height than the heritage house.

Are the massing, siting, and design elements of the new duplex and site plan compatible with and respectful of the heritage house's character?

Alternatively, does the site plan or the design of the new duplex overwhelm or detract from the heritage house?

FEEDBACK FROM THE COMMISSION

The Community Heritage Commission is being asked to review the application and provide feedback in relation to the following elements of the proposal:

- The heritage value of the 1941 house and the prepared Statement of Significance;
- The appropriateness and level of the planned heritage conservation work; and

- Any heritage implications related to the design of the site or infill duplex.

The Community Heritage Commission is also being asked to provide a recommendation on the project to Council, based on its heritage merits. The following options are offered for the Commission's consideration:

- 1) That the Community Heritage Commission recommend that Council support the Heritage Revitalization Agreement for 102 Seventh Avenue; or
- 2) That the Community Heritage Commission recommend that Council does not support the Heritage Revitalization Agreement for 102 Seventh Avenue; or
- 3) That the Community Heritage Commission provide an alternative recommendation, stemming from elements identified in their discussion.

APPENDICES

Appendix A – Site Context Map

Appendix B – Proposed Design Plans

Appendix C – Heritage Conservation Plan and Statement of Significance

Appendix D – Project Relaxations and Statistics Summary

This report was prepared by:

Wendee Lang, Planning Analyst

This report was approved by:

Britney Dack, Senior Heritage Planner

Appendix A
Site Context Map



1: 1,000



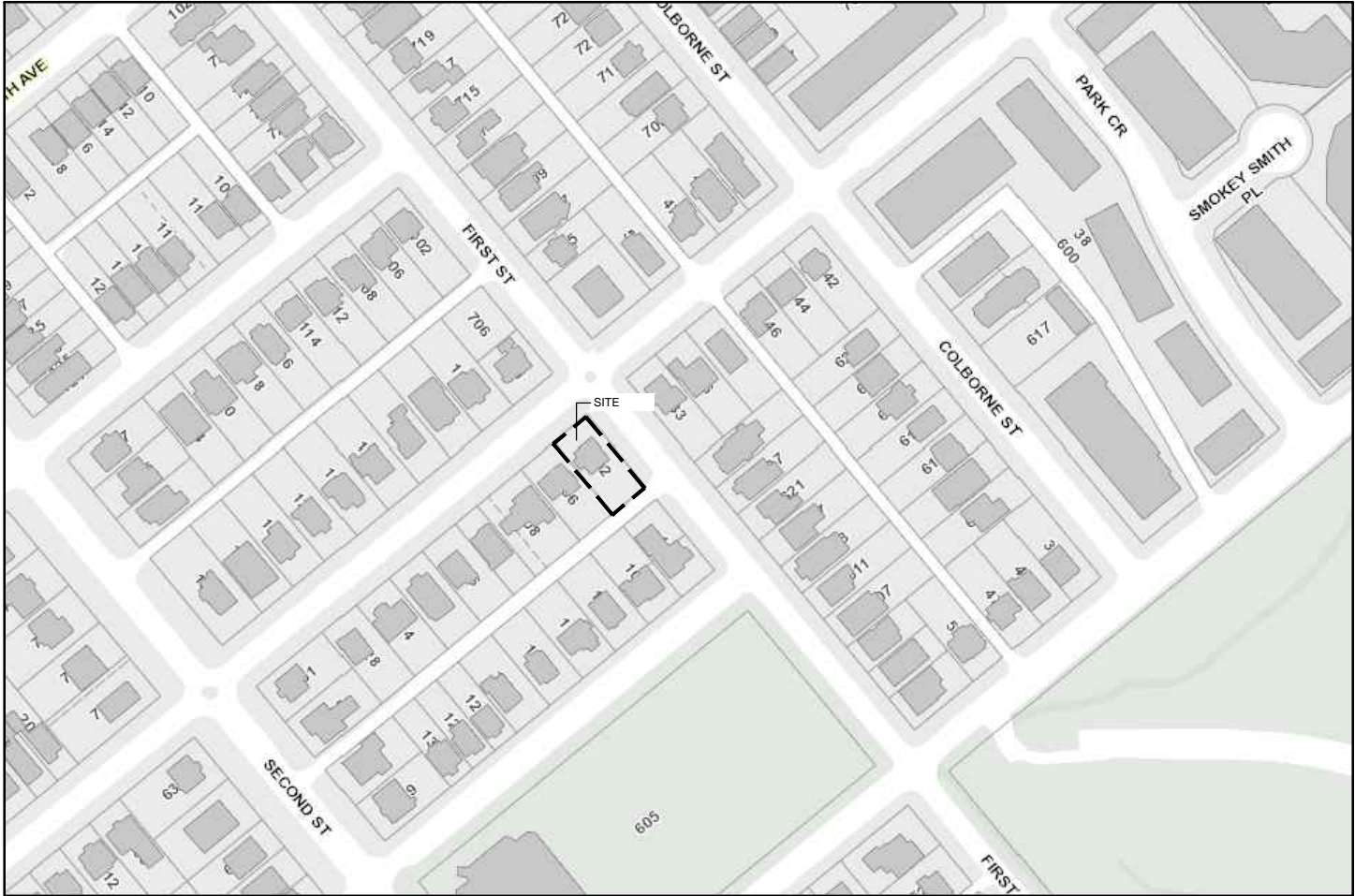
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CNW GIS Services

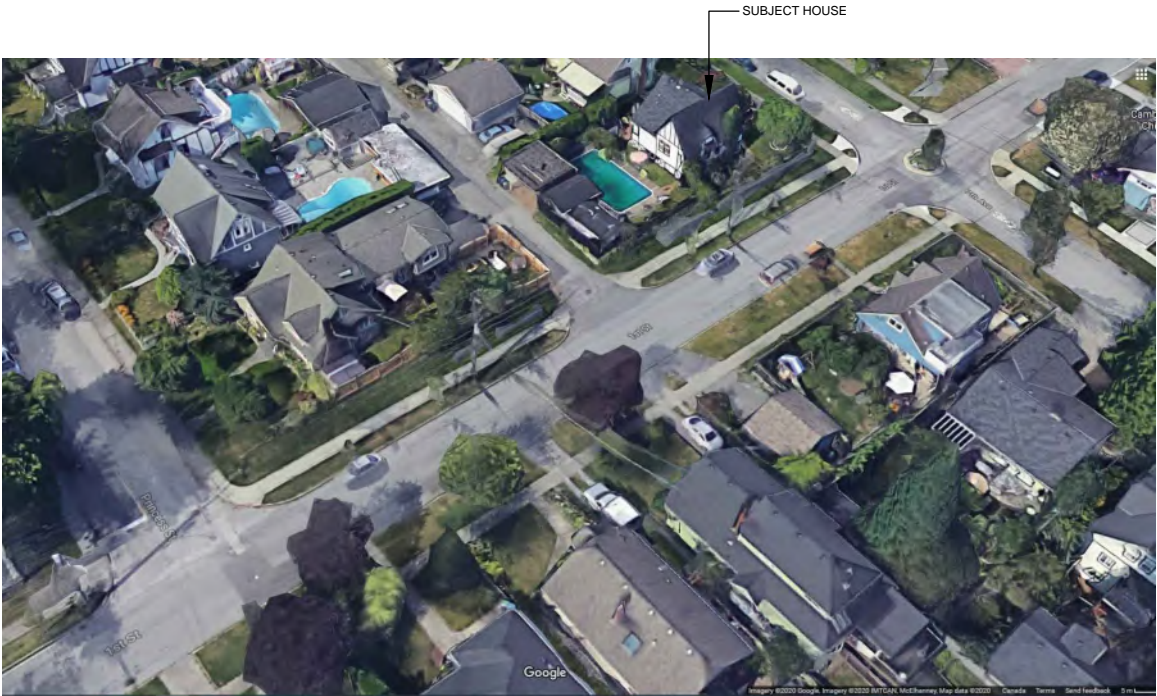
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

Appendix *B*

Proposed Design Plans



1 CONTEXT MAP
SCALE: N.T.S.



2 SITE CONTEXT
SCALE: N/A

OVERALL SITE PROJECT DATA

LEGAL DESCRIPTION: LOT A OF LOTS 3 AND 4 OF THE NORTH HALF OF LOT 6
SUBURBAN BLOCK 13 NWD PLAN 6672

PID: 002-367-343

CIVIC ADDRESS: 102 SEVENTH AVENUE

EXTG ZONING: SINGLE DETACHED/RS-1

PROPOSED ZONING / USE: HERITAGE REVITALIZATION AGREEMENT (HRA)

LOT SIZE: 6017 SF [558.97m²]

	PERMITTED/REQ'D	EXTG/PROPOSED
PROJECT FLOOR SPACE RATIO:	0.5 (3008.50 SF)	0.76 (4558.22 SF)
PROJECT SITE COVERAGE:	35% (2106.95 SF)	32.57% (1959.85 SF)
PROJECT ATTACHED ACCESSORY:	10% (601.70 SF)	2.20% (132.46 SF)
PARKING:	4	4
BIKE PARKING:	0	4

DEVELOPMENT VARIANCE REQUIRED

PROJECT DATA - NEW LOT HERITAGE HOUSE

CIVIC ADDRESS: 102 SEVENTH AVENUE

EXTG ZONING: SINGLE DETACHED/RS-1

PROPOSED ZONING / USE: HERITAGE REVITALIZATION AGREEMENT (HRA)/SINGLE DETACHED

NOTE: ZONING CALCULATIONS COMPARED TO RS-1 RESIDENTIAL ZONE REGULATIONS

HEIGHT DATUM: (290.1'+285.9'+292.0'+292.2')/4 = 290.1'

	PERMITTED/REQ'D	EXTG/PROPOSED
LOT SIZE:	6000.00 SF	3320.52 SF
HEIGHT:	25.00'	19.83'
ROOF PEAK:	35.00'	26.40'
FLOOR SPACE RATIO:	0.5 (1660.26 SF)	0.75 (2497.20 SF)
SITE COVERAGE:	0.35 (1162.18 SF)	0.30 (984.85 SF)
ATTACHED ACCESSORY:	10% (332.05 SF)	1.6% (52.46 SF)
SETBACKS:		
FRONT YARD (SEVENTH AVE):	12.8'	27.7'
SIDE YARD (FIRST ST.):	5.0'	11.4'
REAR YARD (SOUTH):	12.8'	2.9'
SIDE YARD (WEST):	5.0'	6.8'

PROJECT DATA - NEW LOT DUPLEX

CIVIC ADDRESS: 686 FIRST STREET

EXTG ZONING: SINGLE DETACHED/RS-1

PROPOSED ZONING / USE: HERITAGE REVITALIZATION AGREEMENT (HRA) DUPLEX

NOTE: ZONING CALCULATIONS COMPARED TO RT-1 DUPLEX ZONE REGULATIONS

HEIGHT DATUM: (292.0'+292.2'+290.3'+295.3')/4 = 292.4'

	PERMITTED/REQ'D	EXTG/PROPOSED
LOT SIZE:	6000.00 SF	2696.64 SF
HEIGHT:	25.0'	19.6'
FLOOR SPACE RATIO:	0.6 (1617.98 SF)	0.76 (2050.00 SF)
SITE COVERAGE:	0.4 (1078.66 SF)	0.38 (1025.00 SF)
ATTACHED ACCESSORY:	10% (269.66 SF)	3.00% (80.00 SF)
SETBACKS:		
FRONT YARD (FIRST ST.):	10.6'	7.0'
SIDE YARD (LANE):	5.0'	20.0'
REAR YARD (WEST):	10.6'	10.8'
SIDE YARD (NORTH):	5.0'	1.04'
TOTAL SIDE YARDS:	12.5'	20.04'

DWELLING UNIT SUMMARY (FSR)

BLDG.	UNIT	ADDRESS	TYPE	AREA	BLDG. TOTAL	ATTACHED ACCESSORY	PRIV. OUTDR.
HERT. HS.	UPPER	1-102 SEVENTH AVE.	3 BDRM	1515.70 SF		39.80 SF	232.00 SF
	LOWER	2-102 SEVENTH AVE.	2 BDRM RENTAL	981.50 SF		12.66 SF	159.50 SF
	TOTAL			2497.20 SF	2497.20 SF	52.46 SF	
DUPLEX	UNIT A	1-686 FIRST ST.	2 BDRM	1025.00 SF		40.00 SF	213.80 SF
	UNIT B	2-686 FIRST ST.	2 BDRM	1025.00 SF		40.00 SF	161.90 SF
				2050.00 SF			
	TOTAL			4547.20 SF		184.92 SF	767.20 SF

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DATE: 21/09/01
Y/M/D

ISSUE/REVISION
ISSUED FOR HRA REZONING



2119 Edinburgh Street
New Westminster, BC
V3M 2X9 Canada

778-883-2024
christa@lodgecraft.ca

PROJECT NO.: 19-011

PROJECT TITLE:
HRA RESTORATION AND
INFILL

102 SEVENTH AVENUE
NEW WESTMINSTER, BC

DRAWING TITLE:
PROJECT DATA
CONTEXT MAP

DWG. START DATE: JAN 2020

SCALE: 1/8"=1'-0"


REVISION NO.: 0

DRAWING NO.:

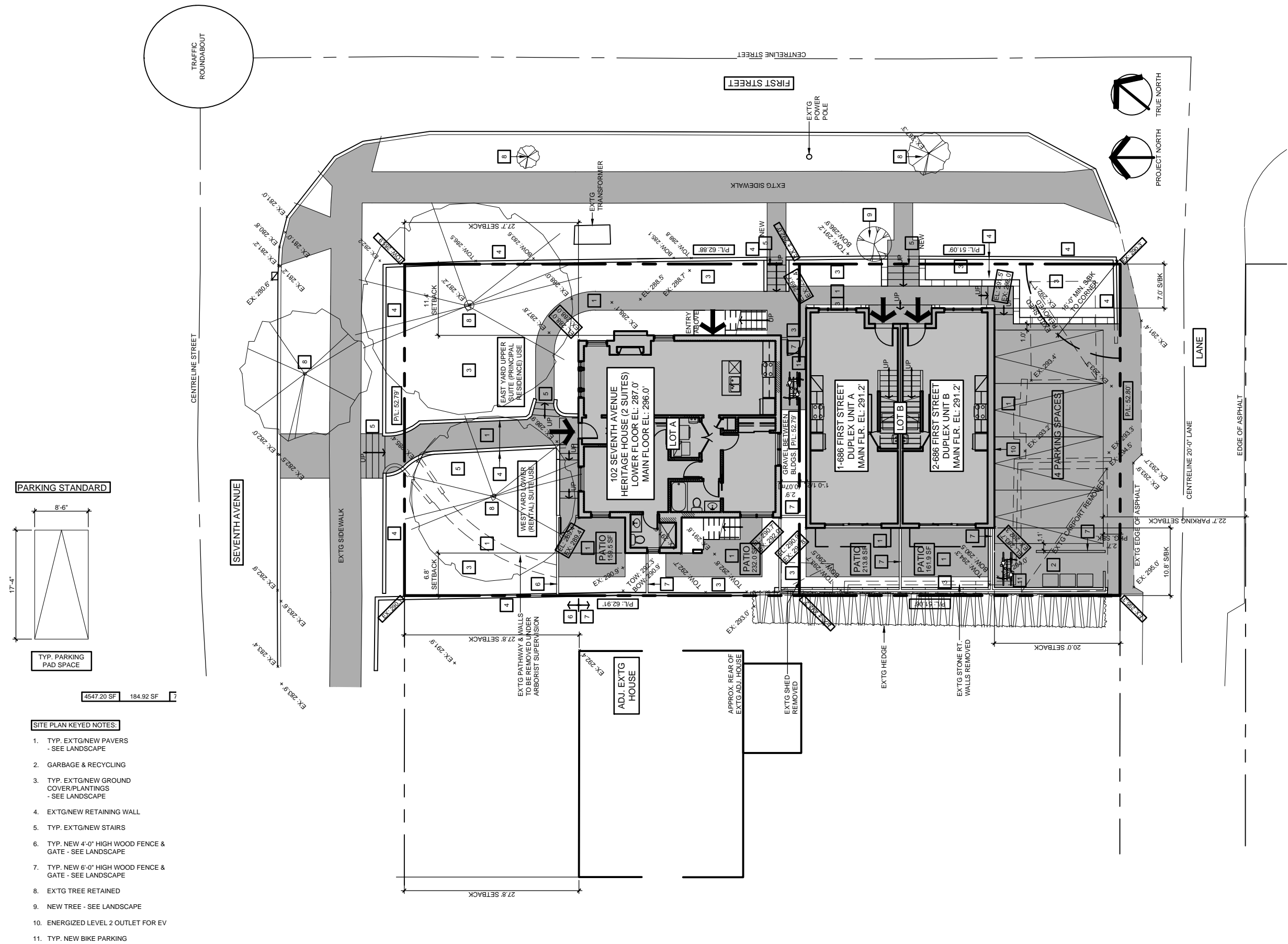
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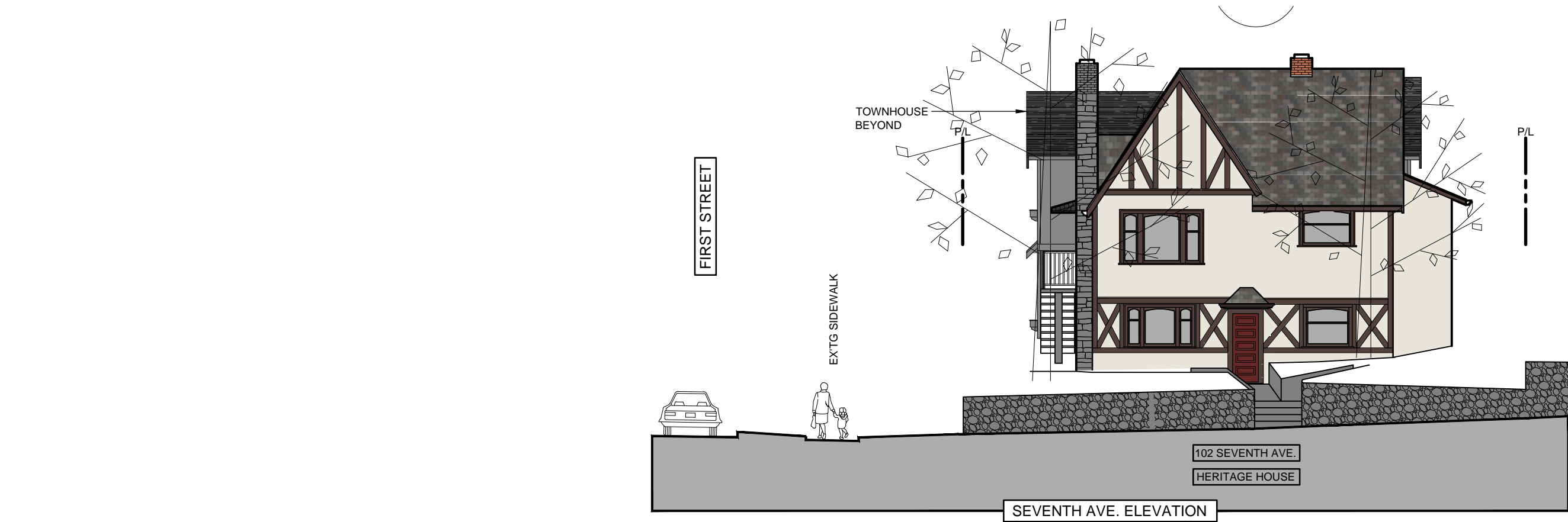
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21/09/01	ISSUED FOR HRA REZONING

778-883-2024
christa@lodgecraft.ca

DWG. START DATE:	JAN 2020
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DATE: Y/M/D	ISSUE/REVISION
21/09/01	ISSUED FOR HRA REZONING



2119 Edinburgh Street
New Westminster, BC
V3M 2X9 Canada

778-883-2024
christa@lodgecraft.ca

PROJECT NO.: 19-011

PROJECT TITLE:
HRA RESTORATION AND
INFILL

102 SEVENTH AVENUE
NEW WESTMINSTER, BC

DRAWING TITLE:
STREET ELEVATIONS

DWG. START DATE:	JAN 2020
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REVISION NO.:	Δ
DRAWING NO.:	

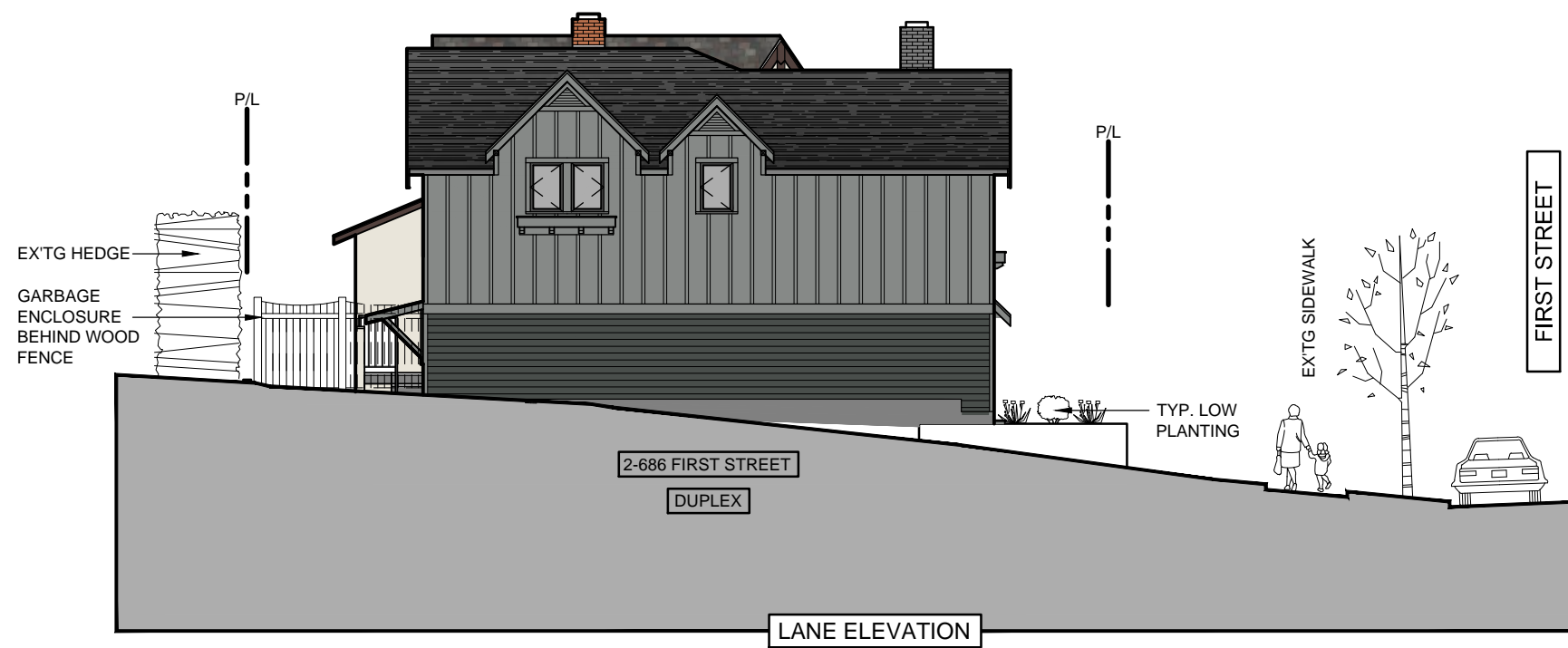
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CONTRACTORS SHALL VERIFY ALL DIMENSIONS, DATUM AND LEVELS PRIOR TO COMMENCEMENT OF THE WORK AND IS HELD RESPONSIBLE FOR REPORTING ANY DISCREPANCY OR OMISSION TO THE DESIGNER.

DATE: Y/M/D	ISSUE/REVISION
21/09/01	ISSUED FOR HRA REZONING



2119 Edinburgh Street
New Westminster, BC
V3M 2X9 Canada

778-883-2024
christa@lodgecraft.ca

PROJECT NO.: 19-011

PROJECT TITLE:
HRA RESTORATION AND
INFILL

102 SEVENTH AVENUE
NEW WESTMINSTER, BC

DRAWING TITLE:
SITE SECTIONS

DWG. START DATE:	JAN 2020
SCALE:	3/32"=1'-0"
REVISION NO.:	6
DRAWING NO.:	

A-1.5

Heritage Conservation Plan

102 Seventh Avenue, New Westminster BC :: Maddock House ~ 1941



Prepared by Elana Zysblat, CAHP :: Ance Building Services :: Revised for September 2021

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Statement of Significance - 102 Seventh Avenue, New Westminster

Description of the Historic Place

The Maddock House is a two and a half storey Tudor Revival wood-frame house with an asymmetrical cross-gabled roof located at the corner of 1st Street and Seventh Avenue in the Glenbrooke North neighbourhood of New Westminster, BC.

Heritage Values of the Historic Place

Built in 1941, the Maddock House is valued for its association with one of the pivotal development periods of the Glenbrooke North neighbourhood of New Westminster. Glenbrooke North saw three major development periods in the first half of the 20th century - the Edwardian boom just prior to WWI, the 1920s-30s 'bungalow boom' and finally the WWII and post war growth of which the subject house is specifically representative. The subject block and surrounding streets near Herbert Spencer School (1912), are valued for representing the early section of the neighbourhood which developed initially due to its proximity to Queen's Park and other early neighbourhoods of the City.

The Maddock House makes a valued contribution to the architectural eclecticism of this historic neighbourhood. This one-of-a-kind house is noteworthy for being designed by an architect while the majority of the neighbourhood house designs were likely copied from house plan catalogues. Its strong Tudor Revival design, featuring unique and custom architectural details, is reflective of English-born Gerald and Bessie Maddock's culture from the "old country" and of Gerald's professional capacity as an architect. It is also important that this home befits the sense of stateliness that was a signature for many New Westminster streets prior to the "suburbanization" and "modernization" initiatives that began to reshape the city in the 1950s and 1960s.

Following the Maddock family 10-year residency, the Maddock House is valued for the subsequent longstanding ownership of the family of Ingval Fagerdahl, a life-long employee at the local Canfor lumber and pulp mill. This property was the Fagerdahl family home from 1951 until 2002 at least, reflecting the stability and community that many working-class families found in the Glenbrooke North neighbourhood in the decades following World War II.

Character-defining elements

- Residential use since 1941
- Location on the corner lot, with primary facades and entrances on both Seventh Avenue and First Street.

- Elements of the property that provide a sense of an English country home, including the Tudor Revival design of the home, the intentional use of wood boards with some imperfections and a hand-hewn, rustic aesthetic for half-timbering details 'fastened' by round wood pegs, the informal masonry materials (granite and rubble stone) and the organic shape of the property's stone retaining walls with partially extruded cement mortar and the English-style garden.
- Residential scale, height (2.5 storeys) and massing
- Tudor Revival style, with asymmetrical facades, steeply pitched rooflines, stucco cladding and decorative half-timbering.
- Detailing of decorative half-timbering, including the use of rustically or irregularly finished boards with round wood pegs at joints, and extensive use of a crossed application pattern.
- Original window and door openings on all facades as well as two original wood entrance doors.
- Wood windows (single, double and triple assemblies) with segment top upper sashes.
- One internal brick chimney at side gable peak and one granite & concrete brick top end-wall chimney on 1st Street elevation

Current Photos



Front elevation -
north



Front and side
elevations -
northeast corner



Side elevation -
east (facing 1st
Street)



Rear elevation -
south



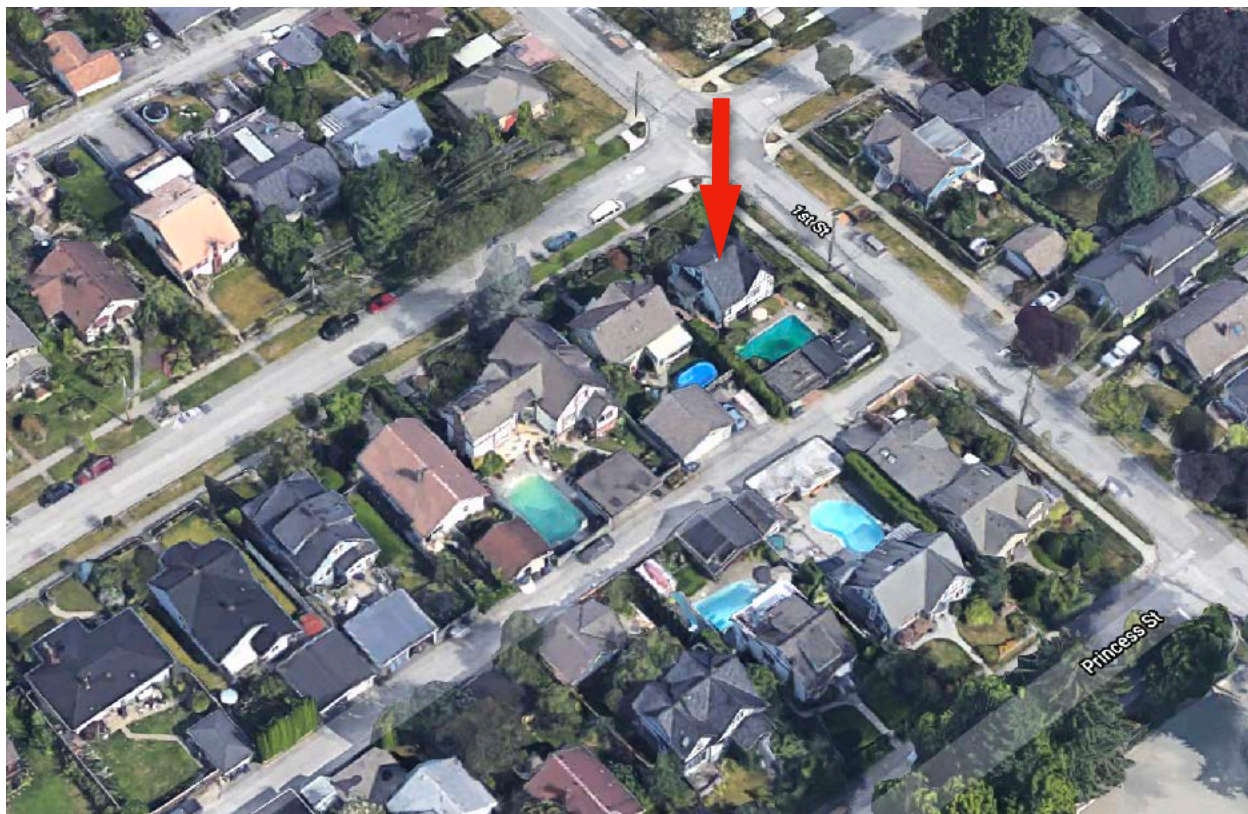
Side elevation -
west (viewed
from front)



Side elevation -
west (viewed from
rear)



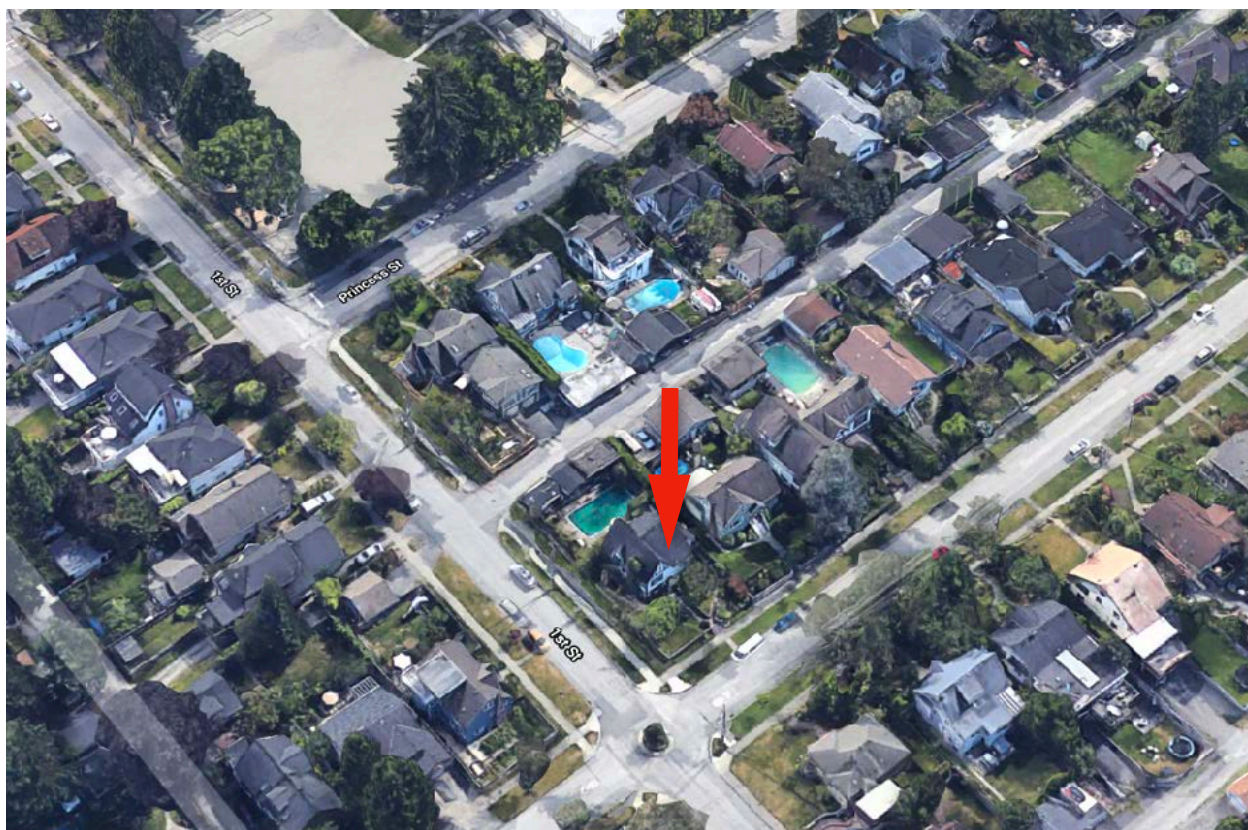
1st Street granite & concrete brick top chimney exposed after vine removal in early 2021.



Google satellite 3D view

above: from southwest **below:** from northeast.

Subject house marked with an arrow



Research Findings

Legal Address: LOT A, NEW WEST DISTRICT, PLAN NWP6672 SUBURBAN BLOCK 13, PART N 1/2, GROUP 1, OF LOTS 3 & 4; N1/2 OF LOT 6.

Date of Construction: 1941

Source: City of New Westminster Building permit – BPH07706

Original Owners: Gerald Lewellyn & Bessie Maddock

Source: City of New Westminster Building permit – BPH07706 and City Directories

Architect: Gerald Maddock

Source: City of New Westminster Building permit – BPH07706

Builder: unknown

Residents:

1941 - 1950 Maddock family

1951 - 2002 (at least) Fagerdahl family

After Fagerdahl (2007 or 2010) until today - various renters

1970: No return

1971: Victor Chandar, mechanic at ABC Muffler, married to Joyce Chandar

1972: No return

1973: S. Smiley [no occupation mentioned]; Orval G. Smiley, laborer at Bby Corp; Antoni Gouglas, employee at Alcan, married to Brenda Gouglas

1974: Vacant

1975-1981: Dennis A. Broughton, shipper at Jan Eden's Ltd, married to B. Joan Broughton

1982: Vacant

1983-1984: Don Bayard, roofer at Sears, married to Jo-Ann Bayard

1985: Bio Force Can Ltd

1986-1998: Norman Rev Baugh, pastor, married to Kathy Baugh

***1994:**

Conservation Objectives

Preservation is the overall conservation objective for the historic house.

A minor **Restoration** intervention is proposed on the East (1st Street) elevation, and minor **Rehabilitation** interventions are proposed on the West (side) and South (rear) elevations.

Rehabilitation is the overall conservation objective for the property.

The Maddock House will be conserved on its original site, with its detached single-family & rental suite existing residential use, and preserved in its 1941 exterior appearance.

To meet the development potential of the property without impacting the heritage values and Character Defining Element of the historic building, allowable and additional FSR will be added in the form of an infill duplex at the rear of this rectangular, corner lot, fronting 1st Street. The contemporary duplex design does not distract from the prominence and unique character of the Maddock House. It fits in with the surrounding homes' scale, form and finishes while being distinguishable as a contemporary introduction.

Two low-visibility, minor exterior changes are proposed for the heritage house:

1. **Restoration:** Removal of the northern flight of a twinned stair on the East elevation, introduced in the 1960s, which cuts across a ground level window opening and partially obstructs the visibility of the character defining end-wall chimney. The southern flight, which is a stair direction deemed to be original to the design of the house, will be retained.
2. **Rehabilitation:** Adjustment of a few window and door openings on the two lowest visibility elevations (west and south) to accommodate layout changes on the interior.

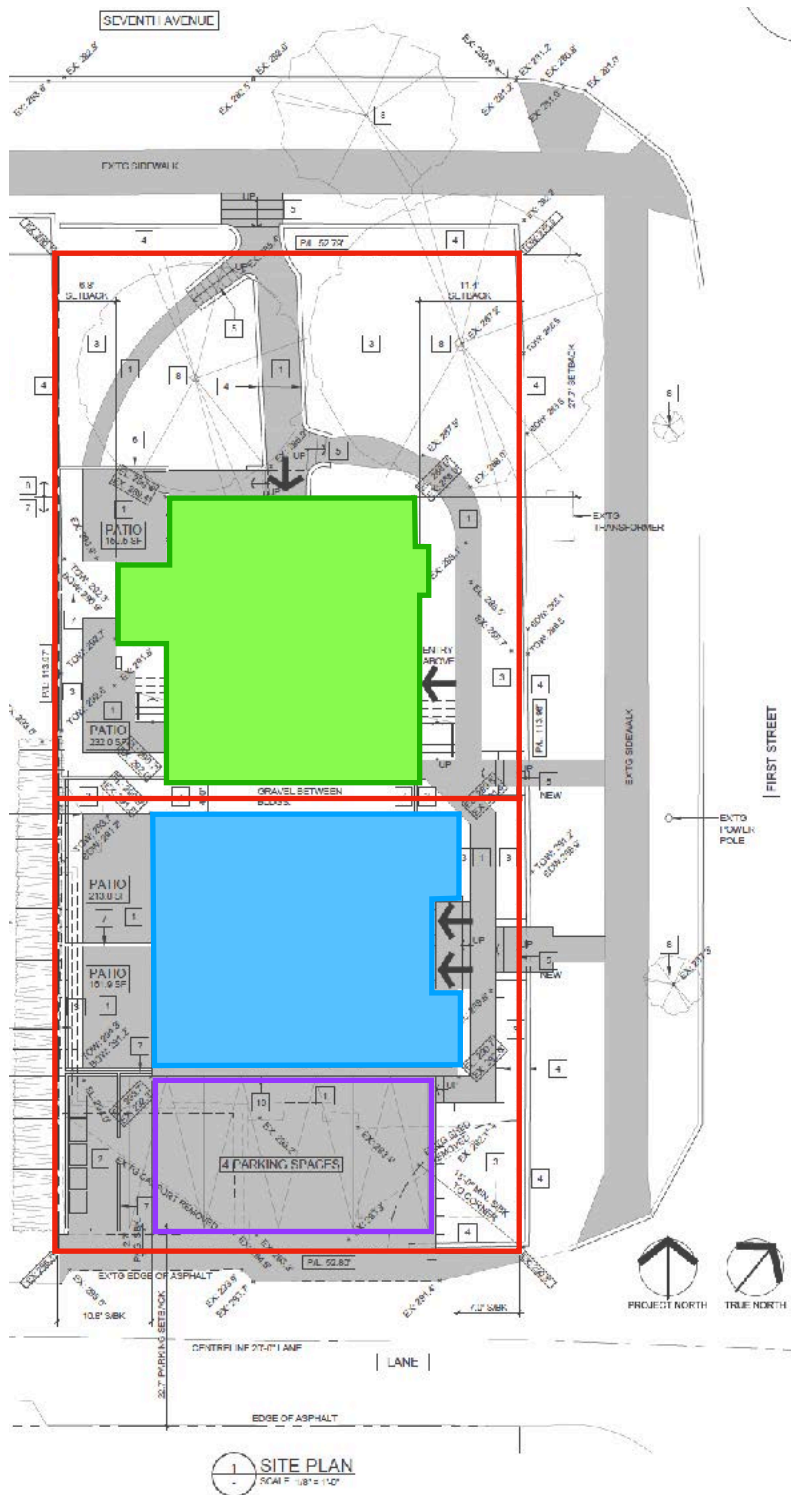
Preservation: *The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.*

Restoration: *The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*

Rehabilitation: *The action or process of making possible a continuing or compatible contemporary use of an historic place or of an individual component, through repair, alterations, and/or additions, while protecting its heritage value.*

The above conservation treatment definitions are taken from the Standards & Guidelines for the Conservation of Historic Places in Canada (2nd edition).

Site Plan



The relatively under built lot (outlined in red) can accommodate two separate buildings and four family units.

The existing heritage house (green) will be preserved in situ, retain its historic division into two suites, its original front yard size and landscaping character.

The proposed infill building (blue) will contain two side by side townhouses. The siting of the duplex building is at the rear of the heritage house but has its own frontage onto 1st Street.

Four off-street parking pads (outlined in purple) accessed from the lane, accommodate all four proposed units.

Site plan source: Lodge Craft.
Colours and outlines applied by author.

The infill building design does not detract from the prominence and character of the Maddock House. See below renders of the preserved heritage house with the proposed infill duplex at the rear as viewed from Seventh Avenue (top), or along the side (bottom), as viewed from 1st Street. Standard 11 for Rehabilitation, in the Standards and Guidelines for the Conservation of Historic Places in Canada, requires new additions to historic places to be *subordinate*, *distinguishable* and *compatible*. The proposed duplex design, form and siting achieves this in its matching scale to the surrounding homes, and its traditional gabled roofs (compatibility); Clear contemporary design and finishes (distinguishability); Reduced texture and architectural ornamentation (subordinate).



Renders Source: Lodge Craft

Condition Assessment

Overall the building is in **good** condition.

a. Structure

The building lines are true to the eye - there is no visual evidence of structural distortion.

b. Foundation

The visible portions of the board-formed concrete foundation on the exterior appear in **good** condition, but a full structural assessment of the foundation was not conducted.

Right: A photo of the northeast corner of the white-painted board-formed concrete foundation



c. Exterior Wood Elements

The fascia and trim boards as well as the decorative half-timbering boards are all in **good** condition. No individual board was identified as damaged or deteriorated.

Right: A close-up photo of the intentional rustic character of the half-timbering boards



d. Stucco cladding

The textured stucco cladding is generally in **good** condition but there are minor spots (especially at corner or entrances) where it has been nicked and broken.

e. Roofing and gutters

The roof shingles and rainworks are all in **fair** condition and appear to be towards the end of their life cycle.

f. Chimneys

The internal brick chimney at side gable peak is in **fair** condition with gaping mortar joints and possibly inappropriate mortar. The excessive flashing is distracting. This chimney needs to be closely assessed by a conservation mason.



The granite & concrete brick top end-wall chimney on the 1st Street elevation is also in **fair** condition. There is evidence of inappropriate or inconsistent repairs in the concrete brick portion of the stack and evidence of missing mortar, loose granite stones and even missing granite stores on the north edge where it meets the roof. This chimney needs to be closely assessed by a conservation mason.



g. Windows and Doors

All of the windows and doors are wood and appear to be original to the 1941 construction and design. They appear to be in **good** condition but their individual operability was not assessed yet.

Right: A photo showing the segment-top wood windows.



h. Finishes

The current paint finish is in **good** condition both on the wood elements and stucco.

i. Concrete side stair

Likely a 1960s replacement of an earlier stair case, this concrete stair at the 1st Street entrance is distinguishable and subordinate as an addition and is in **good** condition. The only flaw is its unnecessary twinned flights, the northern of which blocks an original basement window and encroaches too closely on the character defining granite chimney.

Right: The northern flight of the side concrete stair blocking a window and in very close proximity to the granite chimney.



Recommended Conservation Treatments

a. Structure - *Preservation*

Conserve the existing structure in situ with no proposed changes.

b. Foundation - *Preservation*

Structural engineer to thoroughly inspect existing concrete foundation. Preserve in situ with no proposed changes.

c. Exterior Wood Elements - *Preservation*

Preserve all exterior wood elements in situ, unless certain boards are determined by a finishing carpenter to be damaged beyond repair and confirmed by heritage consultant. Boards that cannot be preserved are to be restored (replaced in-kind with the same dimension, profile and unique rustic finish).

d. Stucco cladding - *Preservation*

Retain the original, textured stucco cladding in situ. Repair any damaged spots with the help of a stucco professional who can replicate the exact texture seamlessly.

e. Roof and gutters - *Restoration*

Reroof in multi-coloured duroid roofing shingles (an acceptable alternative for cedar shakes) to restore the look of a rustic cedar or thatched roof typical of Tudor Revival homes (see shingle specification in Lodge Craft HRA package). Install new neutral/discreet coloured gutters (slate grey).

f. Chimneys - *Restoration*

Work with a conservation mason to assess both chimneys and conduct careful repointing for internal red brick chimney and carry out repointing, repairs and installation of missing granite stones (rustic, organic cuts as per current character of chimney) at granite end-wall chimney. For end-wall chimney also restore missing granite stones (see missing area in photo) using the ashlar pattern and multi-sized rough cut stones, and address inconsistent repairs and brick sizes at concrete brick stack.




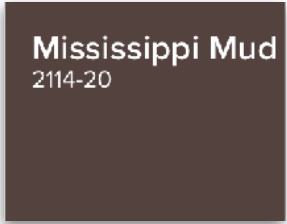
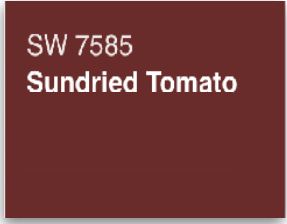

g. Windows and Doors - *Preservation and Rehabilitation*

Preserve all the windows and the front and side (1st St.) doors in situ. Assess their operability and perform any repair and maintenance needed to improve these, using an experienced finishing carpenter with proven experience in working with historic windows and doors.

Remove four low visibility windows on the south elevation and one basement window on the west elevation, which conflict with proposed new and improved layouts. Relocate the rear (west) door to an existing window opening and enlarge a small window opening on this elevation as well, both reasonable and low visibility interventions to improve natural light and flow in the main house. See door and window schedule in Lodge Craft HRA package and elevation details on pages 21 and 22.

h. Finishes - *Restoration*

Repaint the exterior in a traditional Tudor Revival colour scheme with traditional sheens, as current, but using researched late 1930s colours:

	<u>Building area</u>	<u>Researched 1930s Colour</u>	<u>Sheen</u>
	body (stucco)	Sensible White (California Paints) matches Benjamin Moore Dove Wing OC-18	Low luster
	All trim boards, sills facia, half-timbering, window sashes	Eclectic Trim (California Paints) matches Benjamin Moore Mississippi Mud 2114-20	Semi-gloss for trim boards and high gloss for window sashes
	Doors	Bright Red 33 (General Paint) matches Sherwin Williams Sun-dried Tomato 7585	High gloss
	Roof shingles	Royal Granite (Iko Crown Slate)	

Light fixtures - Restoration

There are two high visibility locations for light fixtures at the front and 1st Street entrances.

Install new Tudor/Arts & Crafts style light fixtures - a flush mount for the front door and a wall lantern for the side door. Appropriate design/model options are below. Confirm with the heritage consultant before ordering.



Rejuvenation Columbia 5" Arts & Crafts Lantern Wall Sconce



Feiss Shepherd 2 Light Flush Mount

Proposed Changes by Elevation

Front (north) elevation

no proposed changes on front elevation expect for adjusted colour scheme



Existing front elevation
north



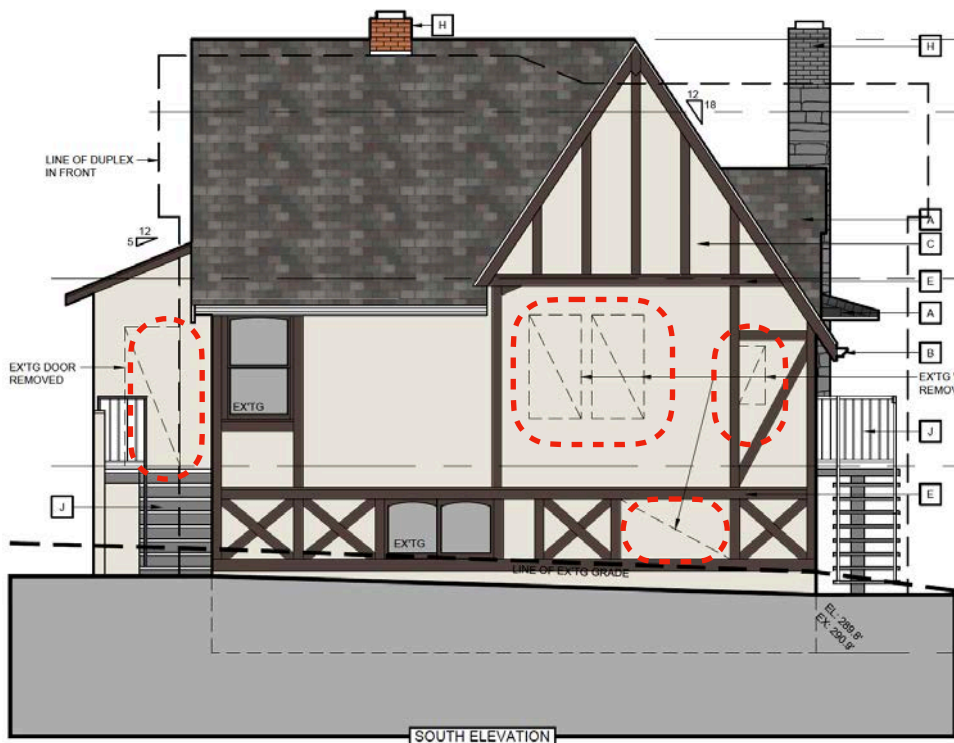
Proposed front elevation
north

Rear (south) elevation

Window and door opening changes to this very low visibility elevation to accommodate adjusted interior layouts (see outlined in red on proposed elevation).



Existing rear elevation
south



Proposed rear elevation
south

Side (east) elevation

Removal of northern flight of exterior stair



Existing side elevation
east



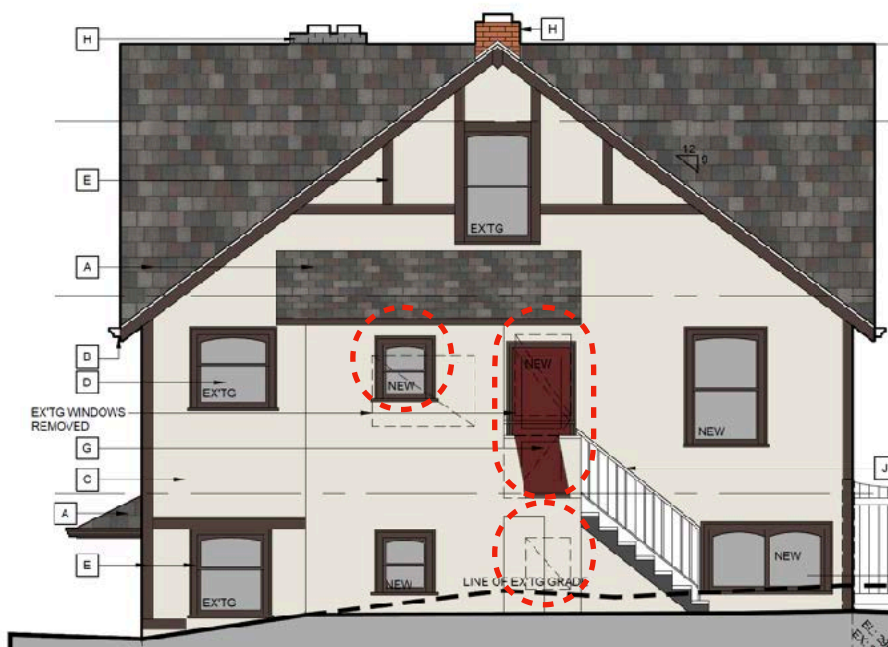
Proposed side elevation
east

Side (west) elevation

Window and door opening changes to this very low visibility elevation to accommodate adjusted interior layouts (see outlined in red on proposed elevation). Change of one window size (replica in-kind of existing window, but smaller), removal of a window, and change of one window opening into a door, through the relocation of the existing door from the porch structure to the elevation wall, now facing west.



Existing side elevation
west



Proposed side elevation
west

Maintenance Plan

Following completion of the conservation works, the owner must maintain the building and land in good repair and in accordance with generally accepted maintenance standards. All work should follow *The Standards and Guidelines for the Conservation of Historic Places in Canada (2nd Edition)*. The local government determines an acceptable level or condition to which the heritage building is maintained through the Heritage Maintenance Bylaw. As with the Heritage Conservation Plan, such maintenance standards apply only to the building exterior.

As general upkeep is frequently overlooked and will lead to deterioration of heritage resources, maintenance standards warrant special attention. Any building should be kept in a reasonable condition so it continues to function properly without incurring major expenses to repair deterioration from neglect. The most frequent source of deterioration problems are from poorly maintained roofs, rainwater works and destructive pests.

Establish a maintenance plan using the information below:

Maintenance Checklist

a. Site

- Ensure site runoff drainage is directed away from buildings.
- It is recommended to maintain min. 2 foot clearance between vegetation and building face and a 12 inch wide gravel strip against the foundation in planted areas.
- Constantly manage vegetation (vines, etc.) that is ornamentally attached to the building.

b. Foundation

- Review exterior, and interior where visible, for signs of undue settlement, deformation or cracking of foundation and if encountered seek advice from Professional Engineer.
- Ensure perimeter drainage piping is functioning satisfactorily.
- Inspect basement interior for signs of moisture migrating through foundation walls in the form of efflorescence (a white powder on concrete) or staining of finishes. A "smell test" for musty air can indicate a moisture problem.

c. Wood Elements

- In the wet coastal climate of British Columbia maintaining integrity of exterior wood elements is critical in preventing water ingress into buildings.
- Annually inspect wood elements for signs of deterioration, identify source of problem and take corrective repair/replacement action:
 - o wood in contact with ground or plantings;
 - o excessive cupping, loose knots, cracks or splits;
 - o open wood-to-wood joints or loose/missing fasteners;
 - o attack from biological growth (moss, moulds, etc.) or infestations (carpenter ants, etc.);
 - o animal damage or accumulations (chewed holes, nesting, bird/rodent droppings) USE HAZARDOUS MATERIALS PROCEDURES;
 - o signs of water ingress (rot, staining, mould, infestation).
- Closely inspect highly exposed wood elements such as porches, railings and stairs for deterioration. Anticipate replacement in-kind of portions of these elements every 10-15 years.
- Inspect visible caulking joints for continuity and shrinkage. Expect to redo caulking every 3-5 years.
- Repainting shall be in historic colours as approved in this plan or with a Heritage Alteration Permit (HAP) issued by the Local Authority.

d. Stucco

- Most stucco deterioration is the result of water infiltration, either through the roof, around chimneys, window and door openings, or excessive ground water or moisture penetrating through, or splashing up from the foundation. After the cause of deterioration has been identified, any necessary repairs to the building should be made first before repairing the stucco.
- In the interest of saving or preserving as much as possible of the historic stucco, patching rather than wholesale replacement is preferable.

e. Windows and Doors

- Replace cracked or broken glass as it occurs.
- Check satisfactory operation of windows and doors.
- Check condition and operation of hardware for rust or breakage. Lubricate hardware annually.
- Inspect weather stripping for excessive wear and integrity.

f. Roofing and Rainwater Works

- Inspect roof condition every 5 years, looking for:
 - o loose, split or missing shingles, especially at edges, ridges and hips;
 - o excessive moss growth and/or accumulation of debris from adjacent trees;
 - o flashings functioning properly to shed water down slope.
- Remove roof debris and moss with gentle sweeping and low-pressure hose.
- Plan for roof replacement every 18-22.
- Annually inspect and clean gutters, flush out downpipes. Ensure gutters positively slope to downpipes, there are no leaks or water splashing onto building.
- Ensure gutter hangers and rainwater system elements intact and secure.
- Ensure downpipes inserted into collection piping stub-outs at grade and/or directed away from building onto concrete splash pads.

g. General Cleaning

- Building exterior should be regularly cleaned depending on build up of atmospheric soot, biological growth and/or dirt up-splash from ground.
- Cleaning prevents buildup of deleterious materials which can lead to premature and avoidable maintenance problems.
- Windows, doors and rainwater works should be cleaned annually.

- When cleaning always use gentlest means possible such as soft bristle brush and low-pressure hose. Use mild cleaner if necessary such as diluted TSP or Simple Green®.
- Do not use high-pressure washing as it will lead to excessive damage to finishes, seals, caulking and wood elements, and it will drive water into wall assemblies and lead to bigger problems.

Research Resources

ancestry.ca Municipal voters lists

BC Archives - Death certificates for Maddocks and Fagerdahls

BC Assessment – Listing for 102 7th Avenue. States house built in 1941. Link: <https://www.bcassessment.ca//Property/Info/QTAWMDAzVVNZRw>

City of New Westminster- Building permit records - CityViews database

New Westminster Museum & Archives - Tax Assessments, Water Connection Records, Field Inspection Cards, 1931-1947 Fire Insurance Plan

New Westminster Public Library - Historic directories, Fire insurance maps, Municipal Voters Lists, Columbian Daily newspaper - various archival editions

Donald Luxton & Associates. 2018. Heritage Resources of Maple Ridge (Brief mention about architect Gerald Maddock on page 193)

Denise Cook Design, Birmingham & Wood, Jean Barman. 2009. Historical Neighbourhood Context Statement for Glenbrooke North.

newspapers.com:

Ingval Olaf Fagerdahl obit (with photo) Source: Province Newspaper July 5, 2007.

Newspaper obituary for Rita Fagerdahl, Vancouver Sun January 8, 2010.

Appendix *D*

Project Relaxations and Statistics Summary

PROJECT RELAXATIONS AND STATISTICS SUMMARY

Table 3: Project Statistics for the Heritage House at 102 Seventh Avenue

Characteristic	RS-1 Zoning	Proposed	Relaxation
Lot Area	6,000 sq. ft. (557.4 sq. m.)	3,320 sq. ft. (308 sq. m.)	2,680 sq. ft. (249 sq. m.)
Lot Frontage	22.6 ft. (6.9 m.)	52.8 ft. (16.1 m.)	--
Total Floor Area	1,660 sq. ft. (154 sq. m.)	2,497 sq. ft. (232 sq. m.)	837 sq. ft. (78 sq. m.)
Floor Space Ratio	0.5	0.75	0.25
Units	One principal dwelling unit and a secondary suite, one DADU	One principal dwelling unit and a secondary suite	--
Site Coverage	35%	30%	--
Min Front Yard Setback	12 ft. (3.7 m.)	27.7 ft. (8.4 m.)	--
Min Rear Yard Setback	12 ft. (3.7 m.)	2.9 ft. (0.9 m.)	9.1 ft. (2.8 m.)
Side Yard Setback (West)	5 ft. (1.52 m.)	6.8 ft. (2.1 m.)	--
Side Yard Setback (First St.)	5 ft. (1.52 m.)	11.4 ft. (3.5 m.)	--
Height (Roof Peak)	35 ft. (10.7 m.)	26.4 ft. (8.0 m.)	--
Height (Midpoint)	25 ft. (7.62 m.)	19.83 ft. (6.04 m.)	--
Accessory Structures Area	332 sq. ft. (30.8 sq. m.)	52.5 sq. ft. (4.8 sq. m.)	--
Off-Street Parking	2	2	--

Table 4: Project Statistics for the Duplex (686 First Street)

Characteristic	RS-1 Zoning	Proposed	Relaxation
Lot Area	6,000 sq. ft. (557 sq. m.)	2,695 sq. ft. (250 sq. m.)	3,305 sq. ft. (307 sq. m.)
Lot Frontage	21.4 ft. (6.5 m.)	52.8 ft. (16.1 m.)	--
Total Floor Area	1,348 sq. ft. (125 sq. m.)	2,050 sq. ft. (190 sq. m.)	702 sq. ft. (65 sq. m.)
Floor Space Ratio	0.5	0.76	0.26
Permitted Uses	Single detached dwellings, DADUs, secondary suites	Duplexes	Duplexes

Characteristic	RS-1 Zoning	Proposed	Relaxation
Units	1 principal unit, 1 secondary suite, 1 DADU	Two duplex dwellings	Two duplex dwellings
Site Coverage	35%	38%	3%
Front Yard Setback	10.6 ft. (3.2 m.)	7 ft. (2.1 m.)	3.6 ft. (1.1 m.)
Rear Yard Setback	10.6 ft. (3.2 m.)	10.8 ft. (3.3 m.)	--
Side Yard Setback (North)	5 ft. (1.52 m.)	1 ft. (0.3 m.)	4 ft. (1.2 m.)
Side Yard Setback (Lane)	5 ft. (1.52 m.)	20 ft. (6.1 m.)	--
Height (Roof Peak)	35 ft. (10.7 m.)	23.3 ft. (7.1 m.)	--
Height (Midpoint)	25 ft. (7.62 m.)	19.6 ft. (6.0 m.)	--
Accessory Structures Area	270 sq. ft. (25 sq. m.)	80 sq. ft. (7.4 sq. m.)	--
Off-Street Parking	2	2	--

REPORT

Climate Action, Planning and Development

To: Community Heritage Commission **Date:** October 6, 2021

From: Athena von Hausen,
Development Planner **File:** OCP00033
REZ00916

Item #: [Report Number]

Subject: Heritage Review (Demolition): 909-915 Twelfth Street

PURPOSE

To review the heritage value of the buildings and provide a recommendation on demolition.

SUMMARY

A redevelopment application for a five-storey residential building at 909-915 Twelfth Street would result in the demolition of a 1911 house along with three mid-century commercial buildings. The proposed development is consistent with the Official Community Plan and therefore can be considered by Council. However, the house is over 100 years old, and as such it is being reviewed for heritage value by staff and the Community Heritage Commission as part of the redevelopment process. Also as part of the process, it was identified that Croton Studios was located on this site which could be considered intangible heritage.

GUIDING POLICY AND REGULATIONS

Development Policy

Official Community Plan (OCP) Land Use Designation

The Official Community Plan (OCP) is a document that sets out the City's anticipated future land uses to guide development. The subject properties are designated for Residential Multiple Unit Buildings (RM) in the OCP. This designation is intended to provide for a mix of small to moderately sized medium density multi-unit residential buildings with up to six storeys in height. The designation also outlines that the development of multiple unit buildings should be sympathetic to and respectful of

heritage assets. The proposed building is consistent with the land use designation, which means the development application can be considered by Council.

Zoning Bylaw and Development Permit Area

The subject properties are zoned Community Commercial Medium Rise (C2-A). The intent of this zone is to “allow mixed use development consisting of pedestrian oriented commercial businesses and three storeys of residential development above”. The site would need to be rezoned to a Comprehensive Development Zone to permit the proposed use as the development is over three storeys in height and does not incorporate a commercial use at grade. A Development Permit would also be required as part of the application, in order to govern form and character of the new building.

Heritage Policy

Heritage Protection

The buildings are not legally protected by bylaw or listed on the City’s Heritage Register or the City’s Heritage Resource Inventory (1986).

50 Years and Older Heritage Review Policy

The City’s heritage review policy is that demolition applications for a building or structure older than 50 years is automatically forwarded to the Planning Division for review, and may be referred to the Community Heritage Commission (CHC) for comment if it is deemed by the Planning Division to have sufficient heritage significance.

100 Year and Older Heritage Review Policy

In 2020, Council approved a revised heritage review policy, which highlights the City’s interest in retaining New Westminster’s oldest buildings. As such, Demolition Permit applications for buildings that are 100 years and older require a Heritage Assessment (see Attachment A) and review by the Community Heritage Commission.

If a Heritage Assessment identifies a building as having heritage value, legislative tools can be used to encourage the retention, rehabilitation, reuse or restoration of the heritage asset. Through the CHC review process, the Commission can recommend to Council the retention of an asset if the asset is deemed to have heritage value.

BACKGROUND INFORMATION

Site Characteristics and Context

The subject site consists of three lots (909, 911/913, and 915 Twelfth Street) and the adjacent City-owned lane. The site is located on the corner of Twelfth and London Streets at the edge of the Moody Park Neighbourhood. There are four existing buildings

on site: a 1911 house, as well as a two-storey and a one-storey commercial building, both built in 1948, and a small building from 1959. The 1911 house is located at the rear of the site against the lane. The commercial buildings are located on the front portion of the property along Twelfth Street.

To the northeast of the site are single detached dwellings, most of which are Arts and Crafts or Craftsman bungalows, constructed between the 1920s and 1940s. Across from Twelfth Street are several mixed-use commercial retail buildings that were all constructed in the 1980s. A site context map and aerial image is provided in Appendix A.

Within a block of the site there are two houses that were both constructed around the same time period as Arkle House (see below) and included on the Heritage Register. These include 1110 Dublin Street (1911) which was the residence of William and Elizabeth Plows and 829 Twelfth Street (1908) which is recognized as the Arthur Hale House. The Plows residence is a modest example of British Arts and Crafts design and the Hale house is an example of an Edwardian-style house. The Hale house has a commercial addition similar to that of Arkle House, added in 1938 which is indicative of the expansion of small-scale neighbourhood commercial uses during this time period.

Project Description

The proposal would see demolition of all four existing buildings in favour of a new mid-rise building with 40 residential units (see drawings in Appendix C). The proposed development is consistent with the Official Community Plan and therefore can be considered by Council through a rezoning application.

ITEMS FOR DISCUSSION

Heritage Value

Croton Studio

The three mid-century commercial buildings on site (pictured in Appendix D) are not considered to be strong candidates for retention at this time. Per the Heritage Review policy, due to the buildings' ages, they would not otherwise require further assessment or review.

However, one of the 1948 buildings was home to Croton Studio. Croton was the official municipal photography studio for New Westminster. Their clients also included CKNW Radio and the Vancouver Sun. Croton Studio was established on Twelfth Street by brothers Don F. and Roy M. LeBlanc in 1949. Around 1960, the studio moved to Kingsway in Burnaby. Though, it continued operating locally, including in New Westminster, until 1980. Their fonds are now located in the City Archives, with images at the Vancouver and Provincial archives as well. When the City received the fonds, it included more than 4,000 envelopes of negatives.

Could this site be considered to have intangible heritage value?

If so, would it be appropriate for that value to be represented in the proposed new development? Or is the substantial archival record sufficient documentation of the history?

Arkle House

Due to the age of the house, a heritage assessment was requested from the applicant (Appendix B) per the Heritage Review policy for buildings older than 100 years. The assessment outlines that the house was constructed for Christopher Arkle. The house looks to be a basic four-square style common from about 1905 to 1930. However, photographic evidence shows that it was originally an Edwardian style with a steeply pitched front-facing gable roof, a large front porch, exposed rafter ends, and other typical Edwardian design features.

From 1939-1949 the design and massing were heavily altered. The most significant change was the removal of the front porch and upper deck to allow for a commercial building to be constructed at the front. Based on historic photographs, windows have been removed and also added over time on the other three sides of the building.

Currently, the building has a rectangular floor plan with no decorative elements. It is clad in stucco and has a flat roof with a projecting overhang and narrow cornice. The front (west) elevation is close against the commercial building, blocking it from Twelfth Street. Photographs of the house are available in Appendix B.

The heritage assessment provides the following evaluation:

- The house has historic value for its age but has lost all aesthetic value;
- The original owner/builder did not live in the house, nor was the family of particular importance to the development of New Westminster;
- There are no social, cultural, spiritual, or scientific values identified;
- The house can barely be seen from the street and has been substantially altered over time; and
- The character-defining elements for the house could include the two small diamond windows on the front elevation, which may or may not have the original glass.

Does this building have sufficient heritage value to warrant retention or legal protection as part of a redevelopment?

Heritage Inspired Design Elements

The assessment concluded that the 1911 house has minimal heritage value, though some is present due to its age and the two unusual small diamond windows on the front

elevation (which are the only confirmed original windows on the building). The proposed architectural design of the new mid-rise building incorporates diamond-shaped windows at the corner of Twelfth and London Streets, to reflect this historic element. See an image of the draft design in Appendix C.

Should the diamond windows be considered a character defining element for the house?

If so, and given the heritage value discussion above, is it warranted for this character element to be reflected in the design for the new building?

FEEDBACK FROM THE COMMISSION

The Community Heritage Commission is being asked to provide feedback in relation to the heritage value of both the 1911 house and the site's association with Croton Studio. As such, the following options are offered for the Commission's consideration:

- 1) That the Community Heritage Commission recommend that Council consider retention of the 1911 Arkle House as part of the proposed redevelopment application at 909-915 Twelfth Street; or
- 2) That the Community Heritage Commission recommend the Director of Development Services issue demolition permits for all existing buildings at 909-915 Twelfth Street; and
- 3) That the Community Heritage Commission recommend the intangible heritage of the site be reflected in the design of the proposed redevelopment at 909-915 Twelfth Street; or
- 4) That the Community Heritage Commission provides an alternative recommendation, based on the elements identified in their discussion.

ATTACHMENTS

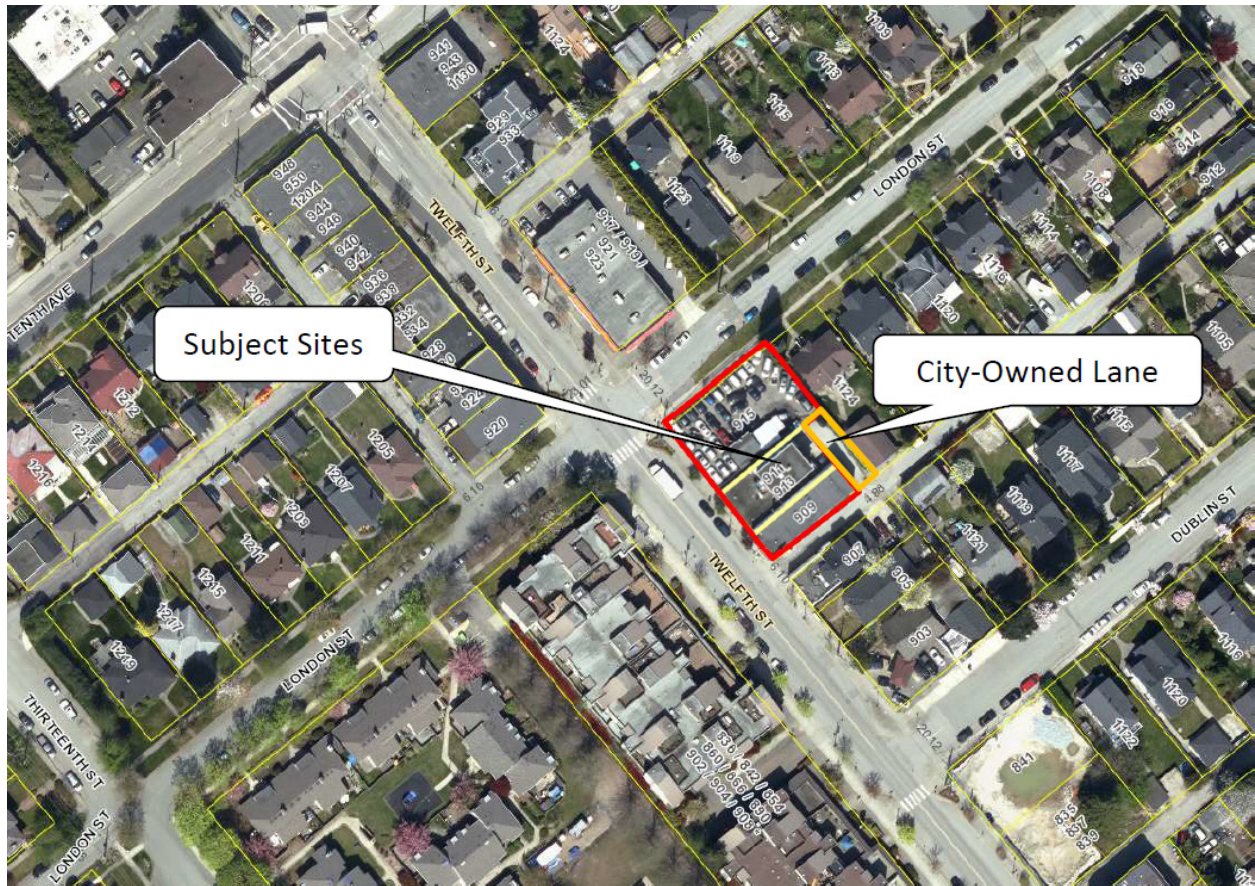
Appendix A: Site Context Map
Appendix B: Heritage Assessment for House
Appendix C: Architectural Drawings
Appendix D: Photographs of the Commercial Buildings

APPROVALS

This report was prepared by:
Athena von Hausen, Development Planner

This report was reviewed/approved by:
Britney Dack, Senior Heritage Planner

Appendix A
Site Context Map



Appendix B

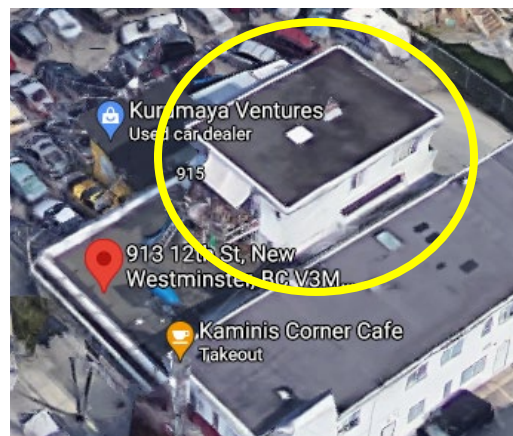
Heritage Assessment for House

May 2021

Introduction

The subject building is located at 913 Twelfth Street in New Westminster, British Columbia and is being evaluated in order to determine if it has heritage value. There are two types of documents that discuss the heritage value of a building: a Heritage Assessment and a Statement of Significance. The purpose of a Heritage Assessment is to determine if a building has heritage value, while a Statement of Significance (SOS) identifies what those heritage values are.

The heritage value of a place is determined by assessing if it has aesthetic, cultural, historic, scientific, social and/or spiritual importance or significance for past, present and future generations (using the *Standards and Guidelines for the Conservation of Historic Places in Canada*¹). If present, these values would be embodied by character-defining elements typically identified as materials, forms, location, spatial configurations, uses and cultural associations or meanings. This document is an assessment and therefore does not go into the level of detail of an SOS, but it will make general statements regarding heritage value and character-defining elements.



South (Side) Elevation – courtesy of Google Maps

In-person site visits and research at libraries and archives is not possible due to the Pandemic. This assessment is therefore a 'desktop' review, which is acceptable to the City of New Westminster. Every effort has been made to provide thorough on-line research upon which this heritage assessment has been based. Additionally, the New Westminster Museum and Archives has assisted with the research and provided any information it has.

Context

Constructed in 1911, the house is located in the West End (Kelvin) neighbourhood of New Westminster, British Columbia. The property has the following site physical characteristics: **Note that the subject building is on the rear portion of the property and that there is a two-storey commercial building on the front portion of the property.*

Site Area:	315 sqm (3,388 sf)
Frontage:	12.22 m (40.09 ft)
Average Depth:	25.76 m (84.52 ft)
Floor Space Ratio	1.155

¹ *The Standards and Guidelines for the Conservation of Historic Places in Canada*, Second Edition, 2010. p. 5.

The property is zoned Community Commercial District (C-2A), the intent of which is to “allow mixed use development consisting of pedestrian-oriented commercial businesses and three storeys of residential development above”². For more details on the expectations for this zone, please consult with the City’s Planning Division.

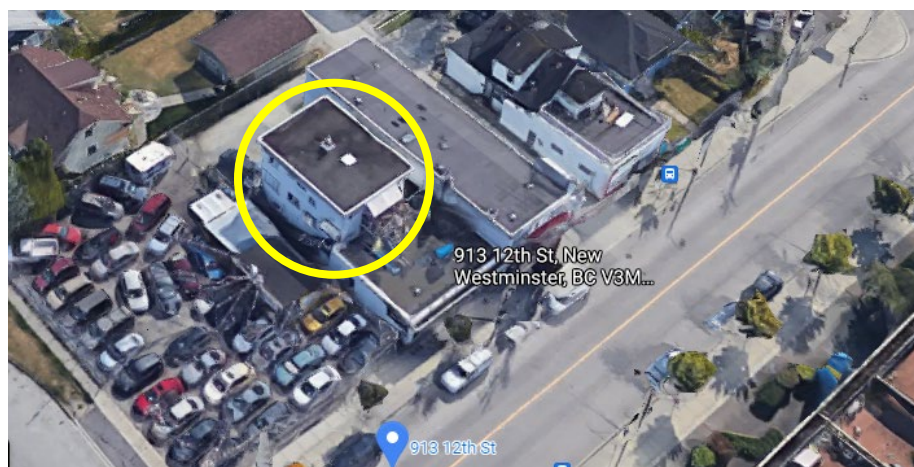
The property is identified in the Official Community Plan as M-RM (Residential – Multiple Unit Buildings), the purpose of which is “to provide a mix of small to moderate sized multiple unit residential buildings”³.

For more details on the expectations for this land use designation, please consult with the City’s Planning Division.

The property is shown on the following maps, outlined in yellow. The property is located along the Twelfth Street commercial area, close to the border with Burnaby. To the north is a car dealership, across the street and to the south are commercial buildings, and behind (to the east) is a single-family residential area.



Map courtesy of Google Maps



Map courtesy of City Views Map, CNW

² City of New Westminster Zoning Bylaw, Section 513.

³ City of New Westminster Official Community Plan – Mainland Use Designations, p. 5.

Photographs of the Subject Building (May 2021)
Courtesy of Vivid Green Architecture



Photos of the front (west) elevation, from the street and from the roof of the commercial building.



Photos of the rear (east) elevation, from the lane.



Photos of the north side elevation, from the next door property and an oblique angle taken from the lane.



Photo of the south side elevation, from the lane.



South (Side) Elevation – courtesy of Google Maps

The Building

The building was constructed in 1911 for Christopher Arkle, as a single-family house. Today it has three residential units. The house looks to be a basic four-square style of house, a style common in North America from about 1905 to 1930.⁴ But, photographic evidence shows that it was originally a beautiful Edwardian house with a steeply pitched front-facing gable roof, a large front porch, exposed rafter ends, and other typical Edwardian design features.

Most of the building is difficult to see today as it has had a two-storey commercial building constructed in front of it and it has very narrow (or zero) side yards. The building has a rectangular floor plan with no decorative elements. It is clad in stucco and currently has a flat roof with a projecting overhang and narrow cornice.



On the rear of the building, there is one triple slider window and one single hung window on the main level, as well as one small single pane window on the ground level. The front (west) elevation is close against the two-storey commercial building in front of it and only appears to have windows on the upper two levels, which consists of a newer sliding glass door and two small diamond windows (which are the only confirmed original windows on the building), a triple slider, a single pane, and a small double pane window. There are six windows evident on the north elevation, including a triple picture frame window and a small single hung window. The remaining windows on this elevation are double sliders of varying sizes and orientations. The south elevation has what appears to be one double slider and one triple slider on the upper storey, and a large multi-pane window on the main level. All of the windows appear to have newer vinyl inserts placed within either narrow casings or what might be the original casings. Based on historic photographs, windows have been removed and also added over time.

In November 1947, the property owner was issued a Variance by the City of New Westminster to construct a two-storey commercial building and in February 1948 was issued a Building Permit with a note that the intention was to construct “stores”. In July 1962, another Building Permit was issued with a note that it was to repair fire damage, but it is unclear if the fire damage was to the commercial building, the residential building, or both. In March 1978, a storage area of approximately 9.5’ x 28’ was added to the ground floor of the commercial building and in January 1986, the commercial building was altered (no details on what the alteration was).

Two historic photographs - showing the house in 1939 and then again in 1949-54 - provide visual clues of an interesting progression of the massing and design of the house. Note that there are no Building Permits or other documentation to confirm the changes shown in the photographs.

⁴ Virginia Savage McAlester. A Field Guide to American Houses. New York: Alfred Knopf, 2018, p. 146.

The first photograph shown below was taken in 1939 and shows King George VI and Queen Elizabeth with their motorcycle escort as they drove along Twelfth Street. Someone wrote that the house in the background was “Scott’s House” at 911 Twelfth Street. A comparison with the next photograph suggests that “Scott’s House” is the larger house that is directly behind the car. The subject property currently has two addresses assigned to it: 911 and 913, with the house being given the address 913. It is reasonable that it originally had the address 911 when there was only one building on the lot. Note that the diamond windows are evident.



Photograph Courtesy of the New Westminster Museum and Archives 1939 IHP8610

The second photograph, shown below, shows a police officer addressing a group of people with Twelfth Street in the background. Morris Cleaners was at 907 Twelfth Street, so we know that this is the 900 block of Twelfth Street. The subject house can be seen in the background behind the ‘brand new’ commercial building (one storey at this point rather than the allowed and later two storeys). The diamond windows are only just evident. Visible now is the two-storey commercial building next door to

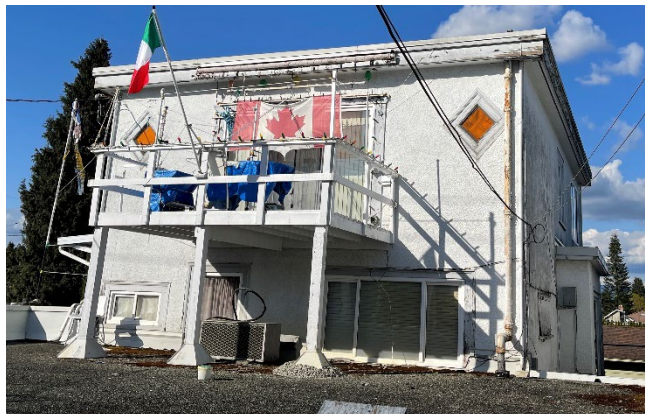


Photograph Courtesy of the New Westminster Museum and Archives 1949-54 IHP9267-0487

the subject property, which is still present today.

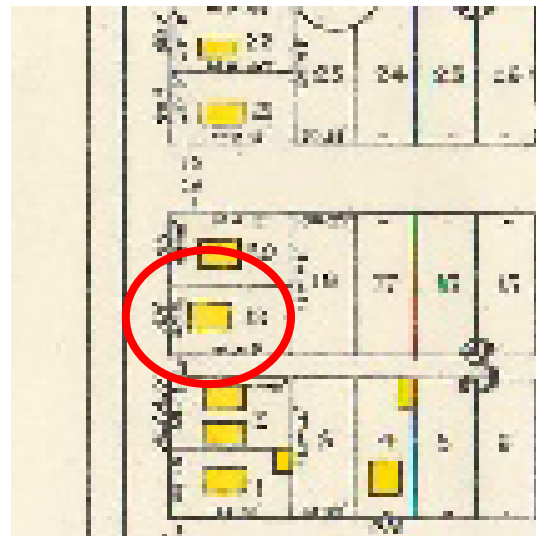


Zooming in on the two historic photographs, it is clear that the house had already undergone some changes between 1939 and 1949. The most significant is that the front porch and the upper deck were removed to allow for the new commercial building to be constructed in front.



Unfortunately, it is no longer possible to take a photograph of the house from the distance and the angle shown in the two historic photographs (in order to do a proper comparison); however, the photograph (shown at left) does show how very different the house is now and how much of its original design is gone.

Also of note is that it is possible that the house was shifted back on the lot when the commercial building was built. The Goad's map from 1913 (a portion of which is shown at right) indicates that the house was forward on the lot at the time the map was created. This is not, however, definitive proof, but it is certainly a possibility.



Goad's Atlas of the City of New Westminster, BC. 1913. Plate 116.

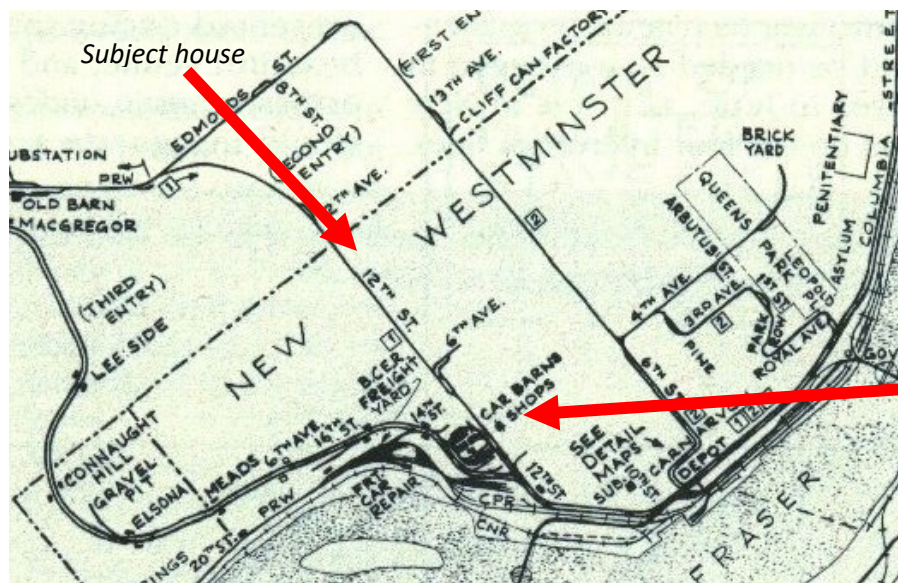
Heritage Value and Evaluation

Heritage Value

First Owner/Developer

The original owner or builder of the building was Christopher Arkle. There are records of a Christopher Arkle (1843-1897), who was married to Esther Dorothy Wilburn (1843 – 1922), but there is very little information on either Christopher or Esther, and it is unclear from research if these are the owners/builders or the parents of the original owner. Given that there is a record for a Christopher Arkle of New Westminster and that he died in 1897 at the age of 54, and that Ethel was born the same year as him, it is unlikely that it was this couple who had the house built and more likely that the building owner/builder was their son, who was named after his father, but for whom no death or marriage records exist.

In the 1911 Directories, a Christopher Arkle (the son?) lives at 710 Queen's Avenue in New Westminster and is a "Lino" operator with the British Columbian. The next year, in 1912, he is listed as a Stoneman with the Columbian Company, but no residential address is given. There is no listing for any Arkles in 1913. In 1914, Mrs. C. Arkle is listed with a residence at 217 Third in New Westminster (no indication if it is Street or Avenue). In 1915, Esther D. Arkle is listed as a widow and living in Vancouver at 22 East 8th Avenue. More in-depth research would be required to confirm the details of the Arkle family.



Map Courtesy of the Website with the article: "A Short History of Inter Urbans in the Lower Mainland"

the Burnaby and Vancouver lines.⁵ Building a house on the doorstep of this new and efficient method for getting to work, etc. was a smart idea.

It is not coincidental that houses would start to be constructed on Twelfth Street during the first decades of the Twentieth Century.

In 1903, the BCER (BC Electric Railway) built a new car barn and factory at the foot of Twelfth Street.

In late 1909, the Eburne-New Westminster BCER line was opened, providing regular service within New Westminster and also providing a connection to

⁵ "A Short History of Inter Urbans in the Lower Mainland"
<https://buzzer.translink.ca/2009/03/a-short-history-of-interurbans-in-the-lower-mainland/>

Heritage Value – Standards and Guidelines for the Conservation of Historic Places in Canada

The heritage value of the subject house has been assessed based on possible aesthetic, historic/cultural, scientific, social and/or spiritual importance or significance for past, present and future generations, as per the “Standards and Guidelines”. *See the definitions of these values in Appendix B.* As noted above, a more detailed listing of values, if present, would form part of a Statement of Significance.

For this Heritage Assessment, the following summary is provided:

The house has historic value for its age but has lost all of its aesthetic value. The original owner/builder did not live in the house, as far as can be determined with the on-line Directories, nor was the family of particular importance to the development of New Westminster. There is no social, cultural or scientific value as the house can barely be seen from the street and has been so substantially altered over time. There is no known spiritual value associated with the house, but to determine if there is spiritual value associated with the house or the land upon which it sits would require consultation with First Nations and other cultural groups.

The character-defining elements for this house would only include the two small diamond windows on the front elevation (which may or may not have the original glass).

Conclusion

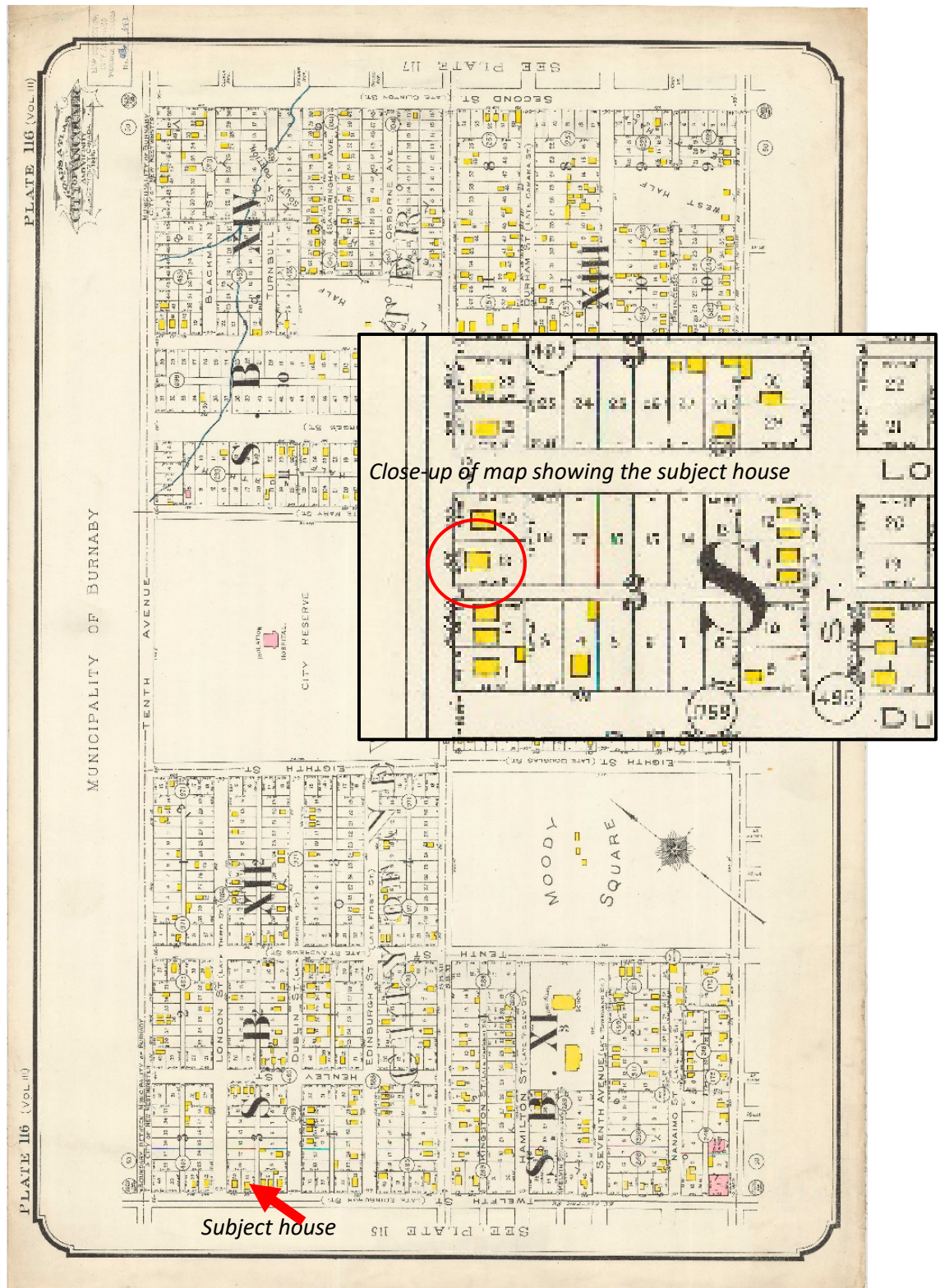
After assessing the heritage value of the building, it is the recommendation of this heritage professional that the property has minimal heritage value for its age and for the two small diamond windows on the front elevation. Given the substantial changes that this building has undergone over time, both in terms of design, material and context, there is no other heritage value associated with this building.

Demolition of the building is acceptable.

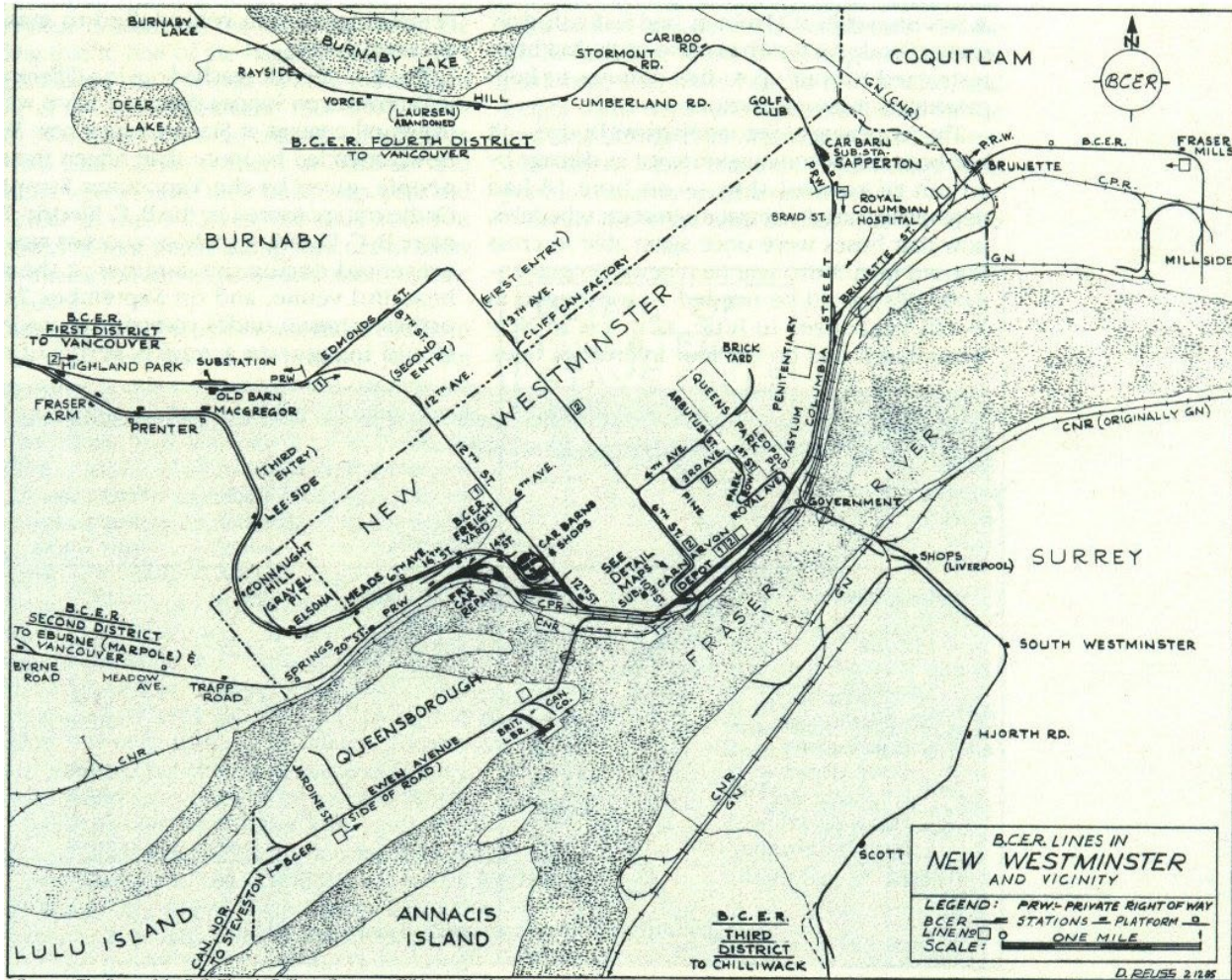
JSchueck

Julie Schueck, Principal
Schueck Heritage Consulting
julie@schueckconsulting.com
778-838-7440

Appendix A: Historic Information



Goad's Atlas of the City of New Westminster, BC. 1913. Plate 116.



Courtesy The Story of the B.C. Electric Railway Company (Whitecap Books)

Map Courtesy of the Website with the article: "A Short History of Inter Urbans in the Lower Mainland"

Royal car on Twelfth Street - Record Detail

Search Results - Record 31 of 112. - Permanent Link

 SHARE

Royal car on Twelfth Street. - 1939.



Part Of:	Photo Collection [Description]
Description Level	Item
Item No.	IHP8610
Date Range	1939
Title Source	Title based on content of image.
Physical Description	1 photograph : b&w ; 7 x 11 cm
Scope & Content	Photograph shows King George VI and Queen Elizabeth in the open Packard convertible with their motorcycle escort coming up Twelfth Street.
Inscriptions	On recto : 911 12th Street / Scott's house.
Subject(s)	Events - Royal Visits
Geographic Location	New Westminster (B.C.) Twelfth Street
Record ID	45203
Comment on this record	archives@newwestcity.ca

Police officer addressing a group of children - Record Detail

Search Results – Record 45 of 112. – [Permanent Link](#)



Police officer addressing a group of children. – [between 1949 and 1954].



Part Of:	Frank Goodship fonds [Description]
Description Level	Item
Series No.	B
File No.	7
Item No.	IHP9267-0487
Date Range	[between 1949 and 1954]
Title Source	Title based on content of image.
Physical Description	1 photograph : b&w negative ; 6 x 6 cm
Scope & Content	Photograph shows a police officer addressing a group of children from an open structure on the grounds of the Providence Orphanage looking towards Twelfth Street. Morris Cleaners in the background was at 907 Twelfth Street.
Subject(s)	Street Views People – Unidentified Occupations – Police
Geographic Location	New Westminster (B.C.) Twelfth Street 907 Twelfth street
Record ID	48032
Comment on this record	archives@newwestcity.ca

Appendix B: Definitions

The following definitions of heritage value are quoted directly from the “Canadian Register of Historic Places: Writing Statements of Significance” guide:

Aesthetic value refers to the sensory qualities of a historic place (seeing, hearing, touching, smelling and tasting) in the context of broader categories of design and tradition. A place may have aesthetic significance because it evokes a positive sensory response, or because it epitomizes a defined architectural style or landscape concept. Visual aesthetic value is typically expressed through form, colour, texture or materials. It is possible for historic places to have other aesthetic values as well, such as auditory ones. Historic places with aesthetic significance may reflect a particular style or period of construction or craftsmanship, or represent the work of a well-known architect, planner, engineer or builder.

Historical and cultural values are sometimes combined and refer to the associations that a place has with past events and historical themes, as well as its capacity to evoke a way of life or a memory of the past. Historical or cultural value may lie in the age of a heritage district, its association with important events, activities, people or traditions; its role in the development of a community, region, province, territory or nation; or its patterns of use. Historical or cultural value can lie in natural or ecological features of the place, as well as in built features.

Scientific value refers to the capacity of a historic place to provide evidence that can advance our understanding and appreciation of a culture. The evidence is found in the form, materials, design and/or experience of the place. Scientific value can derive from various factors, such as age, quality, completeness, complexity or rarity. Scientific value may also be present when the place itself supplements other types of evidence such as written sources, such as in archaeological sites.

Social value considers the meanings attached to a place by a community in the present time. It differs from historical or cultural value in that the value may not have an obvious basis in history or tradition and relates almost entirely to the present time. Social value may be ascribed to places that perform a key role within communities, support community activities or traditions, or contribute to the community’s sense of identity. Places with social value include sites that bring the community together and create a sense of shared identity and belonging.

Spiritual value is ascribed to places with religious or spiritual meanings for a community or a group of people. Sacred and spiritual places could include places of mythological significance, landscape features associated with myth and legends, burial sites, rock cairns and alignments, fasting/vision quest sites etc., places representing particular belief system(s) or places associated with sacred traditions, ceremonial practices or rituals of a community/group of people.⁶

⁶ Historic Places Program Branch, “Canadian Register of Historic Places: Writing Statements of Significance,” Parks Canada, November 2006, pp. 12-13.

Appendix D: Bibliography and Sources

"A Short History of Inter Urbans in the Lower Mainland"

<https://buzzer.translink.ca/2009/03/a-short-history-of-interurbans-in-the-lower-mainland/>

City of New Westminster Website

newwestcity.ca

Goad's Atlas of the City of New Westminster, City of Vancouver Archives

<https://searcharchives.vancouver.ca/goads-atlas-of-city-of-new-westminster-b-c>

Google Maps

google.com/maps

Gottfried, Herbert and Jan Jennings. American Vernacular Architecture: Buildings and Interiors 1870-1960. W.W. Norton & Company Inc. New York/London, 2009.

Historic Places Program Branch, "Canadian Register of Historic Places: Writing Statements of Significance," Parks Canada, November 2006

McAlester, Virginia Savage. A Field Guide to American Houses. New York: Alfred Knopf, 2018.

Royal BC Museum for Marriage and Death Certificates

<http://search-collections.royalbcmuseum.bc.ca/Genealogy>

Standards and Guidelines for the Conservation of Historic Places in Canada, Second Edition, 2010

Vancouver Heritage Foundation

<https://www.vancouverheritagefoundation.org/house-styles>

Appendix C

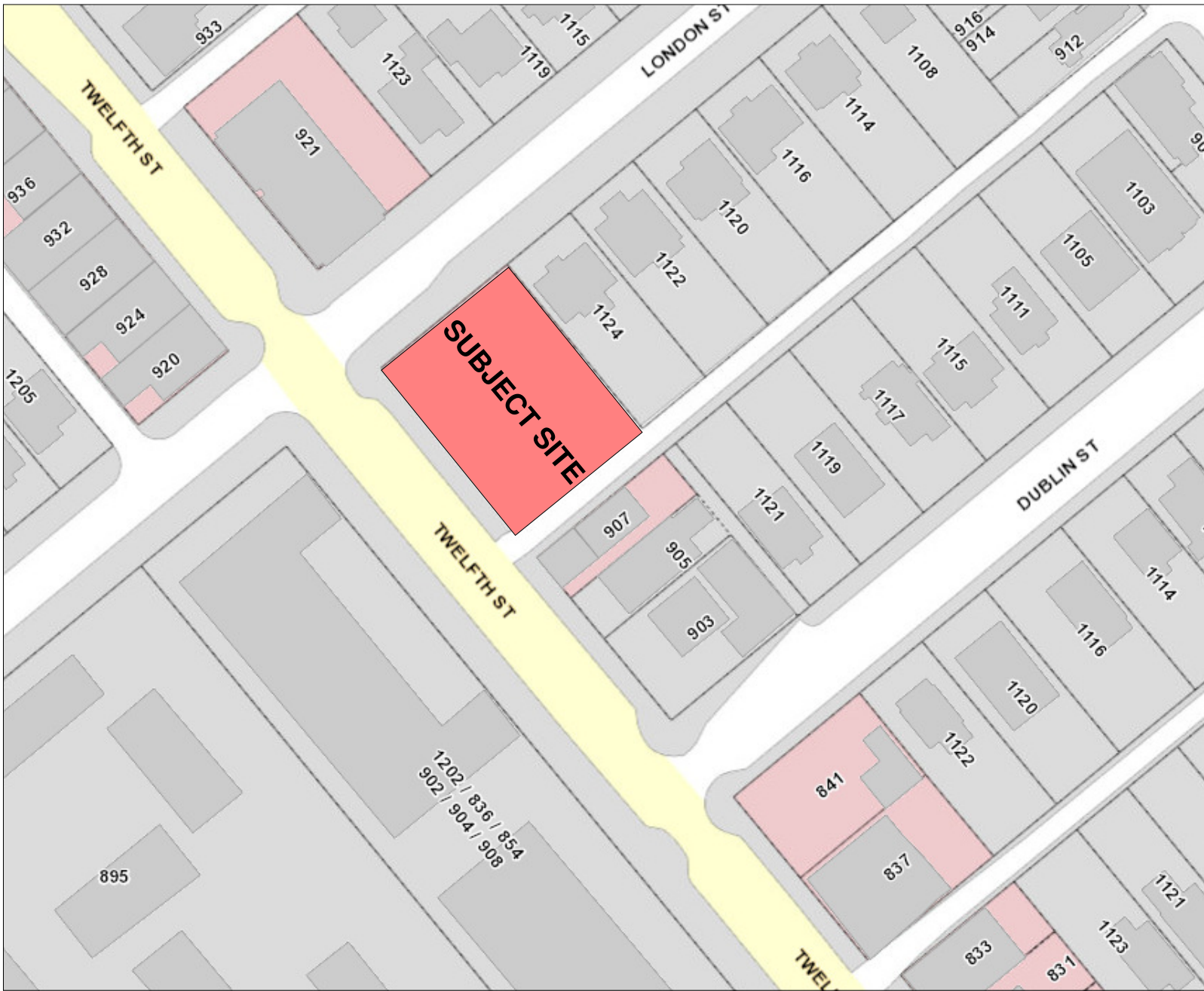
Architectural Drawings

LONDON RESIDENCE

909, 911 & 915 12TH STREET,
NEW WESTMINSTER, BC



SHEET LIST	
SHEET NO.	SHEET NAME
A0.0	Cover
A1.0	Site Plan
A1.1	Survey Plan
A1.2	Site Location
A2.0	Parkade Level 2
A2.1	Parkade Level 1
A2.2	Level 01
A2.3	Level 02
A2.4	Level 03
A2.5	Level 04
A2.6	Level 05
A2.7	Roof Plan
A2.8	Area Overlays
A2.9	Detail Drawings
A3.0	Elevation (North / South)
A3.1	Elevation (East / West)
A4.0	Sections
A4.1	Sections
A5.0	Shadow Study
A5.1	3D Studies
A5.2	3D Studies
A5.3	3D Studies
A5.4	3D Studies



UNIT TYPE AND COUNT								
UNIT TYPE	1BED	1BED + DEN	2 BED	2 BED + DEN	2 BR TH	3 BR TH	3 BED	
LEVEL	Sq.Ft.	448 - 653	510 - 756	707 - 879	752 - 848	864 - 1056	940 - 1042	699 - 854
LEVEL 1	1	1	1	-	4	2	-	
LEVEL 2	2	1	2	1			-	
LEVEL 3	5	3	2	-	-	-	1	
LEVEL 4	3	-	1	1	-	-	2	
LEVEL 5	3	-	1	1	-		2	
TOTAL	14	5	7	3	4	2	5	
40 UNITS	19		14			7		
100%	47.5%		35%			17.5 %		

DEVELOPMENT DATA	
CIVIC ADDRESS:	909, 911 & 915- 12TH STREET, NEW WESTMINSTER
LEGAL DESCRIPTION:	LOT 20 OF LOT 3 SUBURBAN BLOCK 12 PLAN 2620.
	LOT 1 & 2 , NEW WEST DISTRICT, PLAN NWP9798 SUBURBAN BLOCK 12, GROUP 1.
PLANNING AREA(S):	COMMERCIAL & MIXED USE DEVELOPMENT PERMIT AREAS (MAP D1) - UPPER TWELFTH STREET

SITE SIZE:	13,091 SF (1216 SM)
LAND-USSES:	MIXED-USE
OCP DESIGNATION:	COMMERCIAL & MIXED USE DEVELOPMENT PERMIT AREAS
ZONING:	COMMUNITY COMMERCIAL DISTRICT (MEDIUM RISE) (C-2A)

	BYLAW / OCP REQUIREMENT	PROPOSED
DENSITY:	90 UNITS PER ACRE=90 X 0.3(39.273) = 27	40 RESIDENTIAL UNITS
FLOOR SPACE RATIO:	-	2.50
LOT COVERAGE:	-	70 % (9,257 SF)
USABLE OPEN SPACE:	10% GROSS RESIDENTIAL SPACE	5,253 SF
HEIGHT:	6 STOREYS	5 STOREYS
GROSS FLOOR AREA:	3.0 X 13,091 SF = 39,273 (3,648 SM)	32,710 SF - 2.499 FAR
HEIGHT	40 F (12.19 M)	50 F (15.24 M)
SETBACK - LONDON STREET (NORTH-WEST)	N/A	8' (2.4 M)
SETBACK - 12TH STREET (SOUTH-WEST)	N/A	9' - 10" (3.0 M)
SETBACK - REAR YARD (NORTH-EAST)	N/A	12' (3.7 M)
SETBACK - LANE (SOUTH EAST)	N/A	4'-10" (1.5 M)
SETBACK - REAR YARD (3RD STOREY)	12' (3.7 M)	21'-10" (6.7 M)
SETBACK - 4TH STOREY AND ABOVE	12' (3.7 M)	31'-8" (9.7 M)
ADAPTABLE UNITS	40% : 0.4X40 = 16	14
VEHICLE PARKING	1.2 PER 1-BEDROOM: 1.2X16=19.2 1.4 PER 2-BEDROOM: 1.4X18=25.2 1.5 PER 3-BEDROOM: 1.5X6=9 0.2 PER VISITOR: 0.2X40=8 TOTAL: 61	#61 (#8 Visitor)
ACCESSIBLE PARKING SPACES:	3 SPACES FOR 70 SPACES	3
SMALL CAR PARKING SPACES:	30% OF TOTAL SPACES (18)	18
LOADING SPACE:	N/A	1
BICYCLE PARKING (LONG TERM)	1.25 PER UNIT: 1.25X40=50	50
BICYCLE PARKING (SHORT TERM)	6 SPACES	6 SPACES

REZONING APPLICATION

3	20-06-30	DP-RZ	BP	RS
2	19_10_09	DP-RZ	BP	RS
1	18-09-28	Pre-Application	BP	RS

REV	YY-MM-DD	ISSUE DESCRIPTION	DRAWN	REVIEWED
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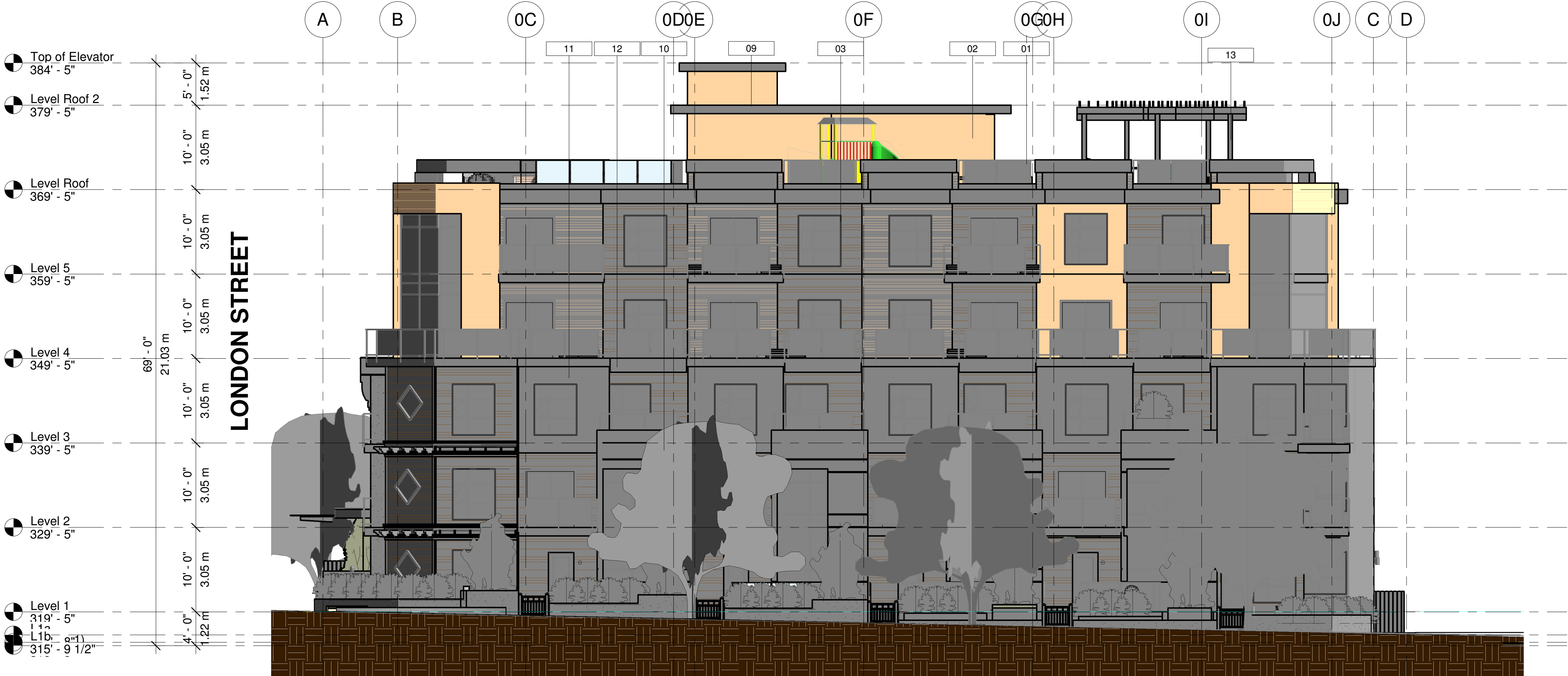
PROJECT
LONDON RESIDENCE

909, 911 & 915 12TH STREET
NEW WESTMINSTER, BC
ARCHITECTURAL

Cover

DESIGNED	RS, BP	SEAL
DRAWN	BP	
SCALE	As indicated	
DATE	06/01/21	

PROJECT NO. 1832	DRAWING NO. A0.0	REV 
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MATERIALS LEGEND	
Key Value	Keystone Text
01	ALUMINUM RAILINGS WITH GLASS PANELS - DARK GRAY BM DEEP CAVIAR 2130-20
02	METAL CLADDING - HORIZONTAL CORRUGATED - BONE WHITE FINISH
03	METAL CLADDING - HORIZONTAL CORRUGATED - WOODGRAIN FINISH
05	VINYL WINDOW FRAME - DARK GRAY BM DEEP CAVIAR 2130-20
07	CONCRETE WALL
09	METAL CLADDING - HORIZONTAL CORRUGATED - WHITE FINISH
10	PREFINISHED METAL CLADDING - FLAT PROFILE - BM SILVER SPRING
11	METAL CLADDING - HORIZONTAL CORRUGATED - DARK GRAY FINISH
12	FLAT SIDING - WOOD GRAIN FINISH
13	CEDAR - WOOD TRELLIS

REZONING APPLICATION

3	20-06-30	DP-RZ	BP	RS
2	19-10-09	DP-RZ	BP	RS
1	18-09-28	Pre-Application	BP	RS

REV	YY-MM-DD	ISSUE DESCRIPTION	DRAWN	REVIEWED
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PROJECT
LONDON RESIDENCE

909, 911 & 915 12TH STREET
NEW WESTMINSTER, BC
ARCHITECTURAL

Elevation (North / South)

DESIGNED	RS / BP	SEAL
DRAWN	BP	
SCALE	As indicated	
DATE	06/20/19	

PROJECT NO. 1832	DRAWING NO. A3.0	REV 1
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MATERIALS LEGEND	
Key Value	Keynote Text
01	ALUMINUM RAILINGS WITH GLASS PANELS - DARK GRAY BM DEEP CAVIAR 2130-20
02	METAL CLADDING - HORIZONTAL CORRUGATED - BONE WHITE FINISH
03	METAL CLADDING - HORIZONTAL CORRUGATED - WOODGRAIN FINISH
05	VINYL WINDOW FRAME - DARK GRAY BM DEEP CAVIAR 2130-20
07	CONCRETE WALL
09	METAL CLADDING - HORIZONTAL CORRUGATED - WHITE FINISH
10	PREFINISHED METAL CLADDING - FLAT PROFILE - BM SILVER SPRING
11	METAL CLADDING - HORIZONTAL CORRUGATED - DARK GRAY FINISH
12	FLAT SIDING - WOOD GRAIN FINISH
13	CEDAR - WOOD TRELLIS

3 EAST ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"

REZONING APPLICATION

3	20-06-30	DP-RZ	BP	RS
2	19-10-09	DP-RZ	BP	RS
1	18-09-28	Pre-Application	BP	RS

REV	YY-MM-DD	ISSUE DESCRIPTION	DRAWN	REVIEWED
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PROJECT
LONDON RESIDENCE

909, 911 & 915 12TH STREET
NEW WESTMINSTER, BC
ARCHITECTURAL

Elevation (East / West)

DESIGNED	RS / BP	SEAL
DRAWN	BP	
SCALE	1/8" = 1'-0"	
DATE	05/31/21	

PROJECT NO. 1832	DRAWING NO. A3.1	REV 1
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Appendix D

Photographs of the Commercial Buildings

915 Twelfth Street



Building from London Street looking south



Building from Twelfth Street looking east

911 (Left) & 909 (Right) Twelfth Street



911 Twelfth Street (Crofton Studios) and 909 Twelfth Street looking east



911 Twelfth Street (Crofton Studios) and 909 Twelfth Street looking northeast

REPORT

Climate Action, Planning and Development

To: Community Heritage Commission **Date:** October 6, 2021
From: Samantha Bohmert, Planning Assistant **File:** HER00843
Item #: [Report Number]
Subject: Heritage Review (Demolition): 1212 and 1214 Fifth Avenue

PURPOSE

To review the heritage value of the buildings and provide a recommendation on demolition.

SUMMARY

Two houses are being considered for demolition. The house at 1212 Fifth Avenue was constructed in 1907 in a modest, single storey cottage style. The house at 1214 Fifth Avenue was constructed in 1909 in a two storey gabled vernacular style. The buildings, in the Brow of the Hill neighbourhood, are in poor condition and reflect several interventions and alterations over time. The buildings are not legally protected, nor listed on the City's Heritage Register or Inventory. However, as a result of their ages, the Community Heritage Commission is being asked to review for heritage value, in advance of the Director's consideration of Demolition Permits.

GUIDING POLICY AND REGULATIONS

100 Year and Older Heritage Review Policy

In 2020, Council approved a revised heritage review policy, which highlights the City's interest in retaining New Westminster's oldest buildings. As such, redevelopment applications for buildings that are 100 years and older require a Heritage Assessment and review by the Community Heritage Commission.

Demolition Permits

Demolition Permits are issued by the Director of Development Services, though the Director may forward the application to Council for further consideration, or consideration of a temporary protection order where warranted.

Temporary Protection Order

A temporary protection order may be issued by Council for a property that is or may be considered to have heritage value sufficient to justify its conservation. This can include properties that are not listed on the Heritage Register. Without consent of the owner, a temporary protection order may only last 60 days, after which the permit must be issued.

Heritage Designation

A Heritage Designation Bylaw is a form of land use regulation that places long-term protection on the land title of a property and which is the primary form of regulation that can prohibit demolition. Heritage Designation does not require owner consent. However, without consent of the owner, the owner is entitled under Provincial law, to claim compensation for loss of zoning entitlement value from the Designation.

BACKGROUND INFORMATION

Site Characteristics

1212 Fifth Avenue

Built in 1907, this is a one storey house with a basement. The building has an area of 156 square metres (1,676 square feet) and is on a 650 square metre (7,000 square foot) lot. It has a floor space ratio of 0.24 and a site coverage of 12%. Though changes have likely been made to the house, there are no permits on record. Current photographs of the building are included in Appendix A.

1214 Fifth Avenue

Built in 1909, this is a two storey house with a basement. The building has an area of 239 square metres (2,568 square feet) and is on a 650 square metre (7,000 square foot) lot. It has a floor space ratio of 0.37 and a site coverage of 12.76%. Though changes have likely been made to the house, there are no permits on record. Current photographs of the building are included in Appendix B.

Location and Context

The properties are on the south side of Fifth Avenue, between Twelfth and Thirteenth Streets, in the Brow of the Hill neighbourhood. They are surrounded by single detached

dwelling and low rise multi-unit residential buildings, which is typical for the neighbourhood. The single detached dwellings range in age from 1908 to 1937 and three are recognized on the Heritage Inventory, an informal listing of historic properties. The buildings in question are consistent in age with this streetscape. There is a commercial building nearby fronting Twelfth Street. A site context map is included in Appendix C.

Development Policy and Regulations

The sites are zoned Single Detached Residential Districts (RS-2), which permits a single detached house and a secondary suite to a maximum size of 0.51 floor space ratio. All properties on the block, including the sites, are designated Residential – Multiple Unit Buildings (RM) in the Official Community Plan (OCP). The intent of this designation is to provide a mix of small to moderate sized multiple unit residential buildings. Therefore, a development application that included these properties may allow a townhouses or a mid-rise building.

Heritage Protection

The buildings are not legally protected nor listed on the City's Heritage Register or Inventory. However, they are over 100 years old. Under the current zoning, no heritage-related permits or Council approvals are required for construction of new houses on the sites. However, the current houses were flagged for review for potential heritage value due to their age.

ITEMS FOR DISCUSSION

1212 Fifth Avenue

Heritage Value

The style is a blend of the Gabled Vernacular and Neoclassical cottage styles. Character defining elements include its hipped roof and hipped gable, wood frame windows, and internal brick chimney. The building has historic value associated with its owners and age. The current owners, the Yakinovich/Chipak family, have owned the site since 1961. The modest cottage represents an early stage in the neighbourhood development of Brow of the Hill.

Building Condition

A heritage assessment was completed in August 2021, which indicates the building is in poor condition. The siding (porcelain tile and insul-brick) is not original, although traces of the original siding is found underneath. The original door has been replaced. Some of the window sashes have been replaced with non-wood materials. The front window is likely an intervention in the 1930s. Changes to the massing of the building include a

shed roof addition at the rear, which may be a filled in porch, and possible alterations to the front entrance. An assessment is included as Appendix D.

1214 Fifth Avenue

Heritage Value

The building is in the gabled vernacular style. Character defining elements include the front gable roof, projected tympanum, inset front porch, wood frame windows, stained glass and bay windows, diamond shaped attic window, narrow lap siding on the rear addition, and an internal brick chimney.

The building has historic value associated with its owners, developer, architect, and age. The current owners, the Yakinovich/Chipak family, have owned the site since 1950. The developer, Edgar Hugh Sands, emigrated from the United Kingdom, settled in New Westminster, and was a member of the Board of Trade of New Westminster. The architect, Edmund Boughen, also emigrated from the United Kingdom, and practiced on-and-off in New Westminster and Vancouver until at least after World War II. The building represents an early stage in the neighbourhood development of Brow of the Hill.

Building Condition

A heritage assessment was completed in August 2021, which indicates the building is in poor condition. The original siding was removed and replaced with bottle-dash stucco in the 1930's. The front porch was enclosed and the window openings on the ground floor at the front are atypical. The windows are wood; some of the window sashes have been replaced with non-wood material. In the 1950's, a single storey rear addition, without basement, was added. The assessment is included as Appendix E.

FEEDBACK FROM THE COMMISSION

The following options are available for consideration by the Community Heritage Commission:

- 1) That the Community Heritage Commission recommend the Director of Development Services issue the Demolition Permits for 1212 and 1214 Fifth Avenue, and that the applicant consider deconstruction as an alternative to demolition waste; or
- 2) That the Community Heritage Commission recommend the Director of Development Services direct staff to further explore retention options (i.e. redevelopment or relocation) for the house at 1212 and/or 1214 Fifth Avenue; or
- 3) That the Community Heritage Commission provide an alternative recommendation, based on their discussions.

ATTACHMENTS

Appendix A: Photos of 1212 Fifth Avenue

Appendix B: Photos of 1214 Fifth Avenue:

Appendix C: Site Context Map

Appendix D: Heritage Assessment for 1212 Fifth Avenue

Appendix E: Heritage Assessment for 1214 Fifth Avenue

This report was prepared by: Samantha Bohmert, Planning Assistant

This report was reviewed and approved by: Britney Dack, Senior Heritage Planner

Appendix A

Photos of 1212 Fifth Avenue

1212 West



1212 North



1212 South





Appendix B

Photos of 1214 Fifth Avenue





1214 South





Appendix C

Site Context Map

City of New Westminster: 1212 and 1214 Fifth Avenue



1: 1,000



0.1 0 0.03 0.1 Kilometers

NAD_1983_UTM_Zone_10N
 CNW GIS Services

This map is a user generated static output from an Internet mapping site and
 is for reference only. Data layers that appear on this map may or may not be
 accurate, current, or otherwise reliable.

Appendix D

Heritage Assessment for 1212 Fifth Avenue

1212 FIFTH AVENUE

New Westminster, B.C.

HERITAGE ASSESSMENT & BACKGROUND
AUGUST 2021



dewhirst lessard
consulting

2095 Thompson Road, Gabriola BC V0R 1X7
308-1251 Cardero St. Vancouver BC V6G 2H9
dewhirstlessard@shaw.ca

Name:**Address:** 1212 Fifth Avenue, New Westminster, B.C.**First use:** Single family house**First long-term resident:** Henry Haidenger**Builder:** David Dominick Bourke**Date of Construction:** 1907**Heritage Assessment****1. Description of the Historic Place**

1212 Fifth Avenue, built in 1907, is a one-storey wood frame cottage located in Brow in the Hill, a neighbourhood of New Westminster, British Columbia. The mid block property is overgrown with trees and bushes; the cottage has been neglected for a long time.

2. Heritage Value

The property is valued for its location, its age, and its typical cottage style.

The 1212 Fifth Avenue is located just southeast of 12th Street, which is a major historic artery. The BC Electric Railway established a major route on 12th Street in 1892 which generated residential, commercial, and industrial development along the line. The immediate surroundings of the property are varied, comprising apartment buildings and single-family houses, which is typical of the Brow of the Hill neighbourhood.

The Brow of the Hill is one of the oldest residential neighbourhoods, and the 1212 Fifth Avenue cottage, built in 1907 is representative of the evolution and development fluctuations in the area.

The population of Brow of the Hill has been traditionally working class, and the 1212 Fifth Avenue cottage is representative of the modest dwelling built at the turn of the twentieth century in the west end of New Westminster. The style of the cottage is a blend of Gabled Vernacular and Neoclassical Cottage, which is characterized by its hipped roof and hipped gable. The cottage is associated with David Dominick Bourke, who purchased two adjacent properties in 1905 and developed 1212 Fifth Avenue. The cottage is also associated with the Yakinovich/Chipak family having owned 1212 & 1214 Fifth for 25 years, and particularly, the family owned 1212 Fifth Avenue since 1961.

3. Character-defining Elements

The elements that define the heritage value of 1212 Fifth Avenue include the following:

Position within the block with its unique setback and siting

Sloping ground and massing

Hipped roof and hipped gable

Wood frame windows

Internal brick chimney

Conclusion:

There have been numerous alterations to the original cottage, some visible, others integrated and hidden. The original character-defining elements, and common construction pieces remaining, such as wood frame windows and the original siding are in very poor condition or missing, thus irrecoverable. The house is also out-of-sync with the rest of the block, thus projecting a pastoral appearance rather than part of an urban environment. The house has been a bystander for an important period of history in Brow of the Hill, but did not in any way, as far as we know, contribute to the community, or participated in its vitality. Most importantly, the site is a safety and health hazard; it is littered with garbage, broken glass and debris. We recommend that the City of New Westminster considers allowing the demolition of 1212 Fifth Avenue. Its demolition would clear the site of the ruined cottage and the wild nature of the property for a more appropriate development.

Index:

Heritage Assessment (Page 3)

- 1. Description of the Historic Place**
- 2. Heritage Value**
- 3. Character-defining Elements**

1. Heritage Assessment Background

- 1.1. Preface**
- 1.2. Content and Methodology**
- 1.3. Source and Documentation**

2. Heritage Character

- 2.1. Building Description**
 - 2.1.1. Location**
 - 2.1.2. Property**
- 2.2. Planning and Zoning**
 - 2.2.1. Brow of the Hill**
 - 2.2.2. Chronology**
 - 2.2.3. Zoning**

3. Historical Context

- 3.1. Site Archaeology**
 - 3.1.1. Topography**
 - 3.1.2. Early Brow of the Hill**
- 3.2. Building History and Chronology**
 - 3.2.1. Occupancy**
 - 3.2.2. David Dominick Bourke**
 - 3.2.3. Henry Haidenger**
 - 3.2.4. The Yakinovich/Chipak family**

4. Heritage Analysis

- 4.1 House Style**
- 4.2 Integrity**

Consultant:

Heritage consultant: dewhirst lessard consulting

The firm dewhirst lessard is a consulting firm specializing in building conservation; we offer services in conservation documentation for the purpose of Development Permit Applications and Heritage Revitalization Agreements. Barbara Dewhirst and André Lessard have extensive experience as practicing architects and have been involved in numerous heritage projects in BC, Alberta and Ontario. We have completed restorations, rehabilitations and adaptive reuse projects from design to construction.

André Lessard, the principal in charge has experience in planning, design and construction. He is a building conservation specialist. André, a former member of the AIBC, is a member of the Canadian Association of Heritage Professionals, and former president of the BC chapter and member of the national board of directors. He is a former member of the Vancouver Heritage Commission. André is also a LEED Accredited Professional, including field certification experience (BD+C). He has lectured for twelve years in "Building Science for Architectural Conservation" at University of Toronto and Ryerson University.

**Photographs in this document were taken by dewhirst lessard consulting unless otherwise noted*

I. Heritage Assessment Background

I.1. Preface

The subject cottage is located on Fifth Avenue in the Brow of the Hill neighbourhood in New Westminster. The historic place, built in 1907, is not listed on the current New Westminster Heritage Register, and does not appear in the 1986/89 Heritage Inventory. The house was originally built as a single-family house.

This proposed Heritage Assessment is part of a conservation strategy endorsed by the City of New Westminster and will serve to inform the owner and City staff of the heritage status of the property. The owner is considering demolition of the existing house. The property is subject to be purchased by the client soon.

I.2. Content and Methodology

The *Heritage Assessment* is a synopsis of the heritage value of the historic structure. Research and documentation supporting the *Heritage Assessment* is included in the background associated with the assessment. This document is not an exhaustive assessment of the historic structure, neither is it a definitive statement about the heritage building. The Assessment is a work in progress which will evolve as more information is gathered by the stakeholders and the community at large. This report aspires to be a framework to compile information and to establish the relation between history and the conservation strategy for the heritage property. We visited the property on August 2nd, 2021. The guidelines used to assess the Heritage value are the *Standards and Guidelines for the Conservation of Historic Places in Canada; Parks Canada 2003* (revised 2010).

I.3. Source and Documentation

New Westminster Public Library – Reference and online Historic Pictures
 New Westminster Archives online
 New Westminster Heritage
 New Westminster 1986 Heritage Inventory, Volume III
 Online Vancouver Public Library Historic Photos
 Royal City - A Photographic History of New Westminster, 1858-1960, Jim Wolf (2005)
 A New Westminster Album - Glimpses of the City as It Was, Gavin Hainsworth (2005)
 1897 Goad Fire Atlas Map Corrected in 1901, 1907 and 1913
 Vancouver Heritage Foundation: House Styles
 Brow of the Hill Historical Context Statement; August 2016, Birmingham & Wood, Denise Cook Design
 Canadian Encyclopedia
 Report by West Coast Title Search Ltd
 Interview with Karl Chipak

2. Heritage Character

2.1. Building Description

2.1.1. Location

1212 Fifth Avenue is in the Brow of the Hill neighbourhood in the west end of New Westminster, east of 12th Street and north of the Stewardson Way.



Figure 1: Map showing 1212 Fifth Avenue in red, just west of 12th Street with the Riverside Adventure Park on the left and the Simcoe Park on the right
Map from City of New Westminster

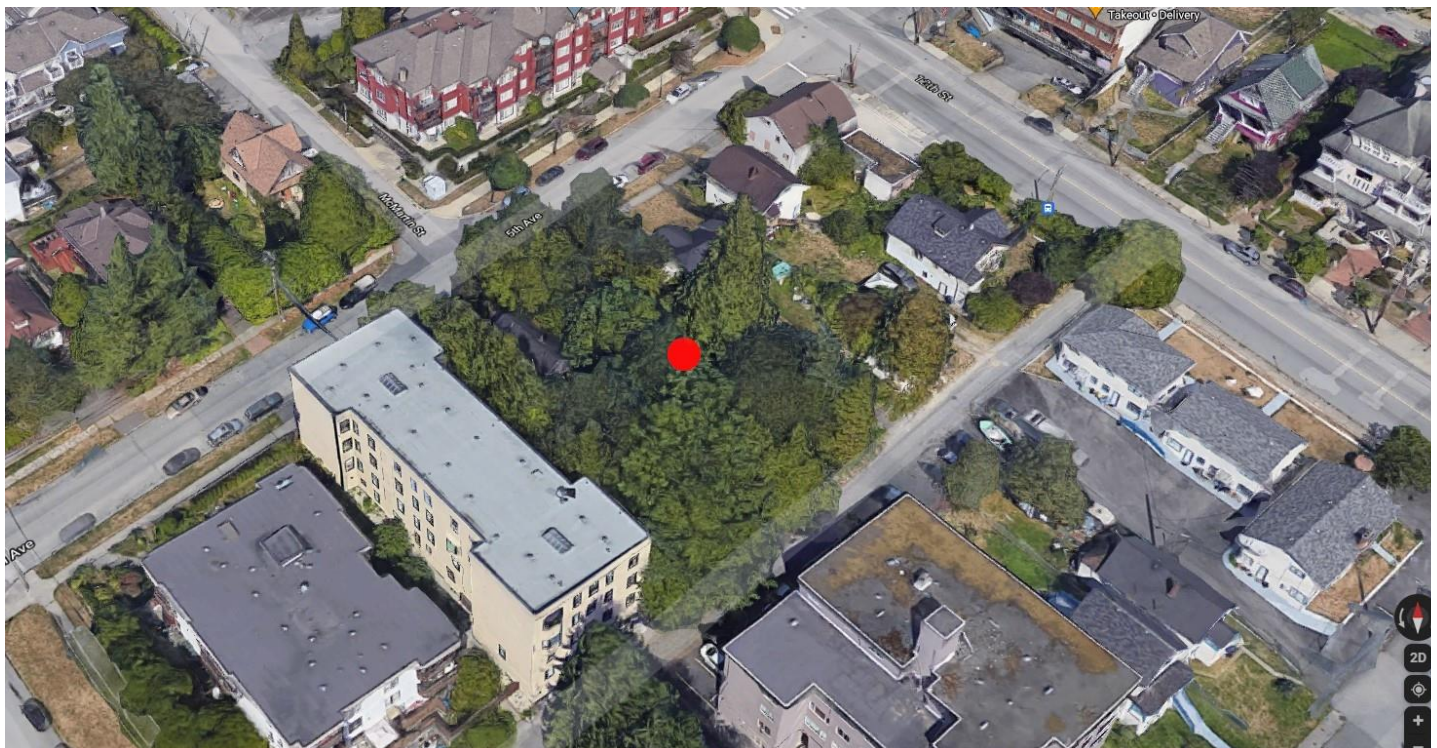


Figure 2: Looking northwest at 1212 Fifth Ave immediate surrounding with 12th Street on the top right (Google map)

2.1.2. Property

The 1212 Fifth Avenue property measures 15.24m (50 Ft) wide and approximately a depth of 43m (140 Ft) for an area of 650 Sqm (7,000 Sqft). There is a difference of elevation of approximately 1.2m (4 Ft) between the northeast corner down toward the southwest corner of the property. The cottage has a floor area of 78 Sqm (838 Sqft) with a basement of the same dimension. The cottage is in the middle of the lot which does not line up with the other buildings on the block. The cottage has been neglected for several years. The property is covered with trees and bushes, with no visible driveway or pedestrian access. The site is also littered with garbage, broken glass, and debris. The bad smell is overwhelming. A lane at the back of the property runs through the entire length of the block.

The cottage is a one-storey wood frame structure with a corresponding basement of the same size. The cottage has a hipped roof with a hipped gable on the front. There is also shed roofed extension at the back of the main body of the cottage, which may have been an original back porch now infilled. The current siding is porcelain tile cladding with (asphalt) insul-brick siding. Windows are wood frame, most of which are double hung. The front room has a triple frame window, with two internal arched double-hung sashes and one fixed internal arched sash. There is an internal brick chimney on the south end of the ridge of the cottage roof. The interiors are filled with debris and unsafe.



Figure 3: Front façade with hipped gable roof, front door and access bridge (composite picture)



Figure 4: Southwest corner with lean-to extension, and brick chimney at the south end of the ridge



Figure 5: West elevation with hipped gable on the top right



Figure 6: East elevation with lean-to extension on the left



Figure 7: west side double hung window



Figure 8: Interior multi-pane window and casing (Owner's photo)



Figure 9: Roof soffit detail



Figure 10: Soffit at lean-to extension on the west elevation

2.2. Planning and Zoning

2.2.1. Brow of the Hill

The Brow of the Hill neighbourhood is the area located between Queen's Avenue to the south, Stewardson Way to the west, 6th Avenue to the north and 8th Street to the east. The neighbourhood is primarily residential with small pockets of light industrial and commercial use, and is characterized by its topography, with steep slopes to the west that provide significant views to the Fraser River.

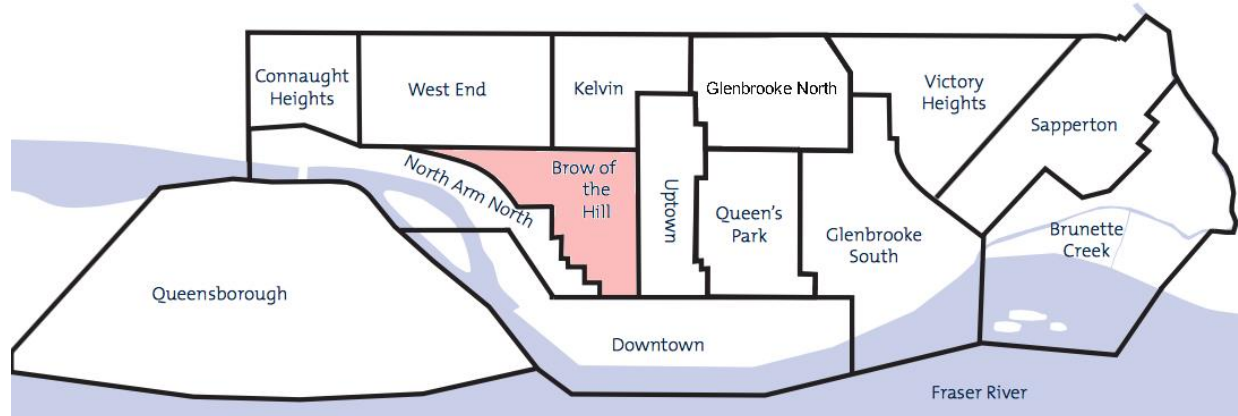


Figure 11: New Westminster by districts: Brow of the Hill Neighbourhood in red (City of New Westminster)

"Brow of the Hill is valued for its singularity as a neighbourhood of New Westminster, derived from its location, geography, cultural and visual diversity, working class history and association with industry in the city. Brow of the Hill is significant for its geographical location, stretching uphill from the Fraser River and culminating the "brow," the highest part of a hill where the ground begins to flatten out. Within this geographic scope is a neighbourhood of diversity, variety and contrast. As one of New Westminster's earliest residential neighbourhoods, Brow of the Hill is significant for its working-class history and the architecture that supported it. Early single-family homes, some dating back to the 1880s, housed people who held a variety of blue-collar jobs and professions, yet the area is also home to many larger dwellings of prominent New Westminster residents. As the working population grew, areas of apartments emerged, and larger homes were divided into multiple dwelling units. The result is a neighbourhood of contrasts, seen in such aspects of the place as large homes and modest apartments on 9th Street, light industrial and small-scale retail on 12th Street, a wide mix of housing ages and styles, and small corner stores dotted throughout the community. Wider thoroughfares such as 8th street are in contrast with areas of fine grain, short streets, courtyard, small lots, and heritage houses."

Brow of the Hill Historical Context Statement 2016

2.2.2. Chronology: Brow of the Hill

1860	The Royal Engineers surveyed Brow of the Hill, superimposing a grid pattern parallel to the Fraser River on the natural topography, with streets running up the hill and avenues across it. An Indian Reserve is established on Poplar Island, one of three in the area for the Qayqayt First Nation (New Westminster Indian Band).
1865	Douglas Road, now Eighth Street, connects Brow of the Hill to Burnaby and Hastings Townsite
1884	The New Westminster Reserve Act transfers St. Andrews Square, originally set aside as government reserve in the Royal Engineers' survey, to the City of New Westminster, opening it up for residential development Initial subdivision consists of large suburban lots
1889-90	City Council approved the establishment of waterworks in the neighbourhood, established electrical utilities and proceeded with a street improvement program.
1892	Streets were cleared and graded, and 167 dwellings were connected to water and electrical systems. The Interurban Railway is constructed on 12th Avenue and residential, commercial and industrial development begins along the line. Prominent local citizens begin to construct homes in the neighbourhood
1906	Most of the remaining large parcels are subdivided into smaller building lots.
1907	A railway route to Marpole is opened along the current alignment of Stewardson Way.
1909	The Immanuel Lutheran Church is established to serve the local Swedish community
1912	Commercial development begins slowly. The 10th Street Grocery is opened. The Bradley Apartment Building is built at 1218 Fifth Avenue
1913	There are a total of 606 dwellings in the neighbourhood. The Ambrose Apartments, an early mixed retail and residential block, opens on 13th Street.
1914-19	The industrialization of the North Arm of the Fraser River attracts factory workers to the neighbourhood, changing the type of residences being constructed into more affordable housing.
1927	The subdivision of the Thomas Ovens property at 302 Eighth Street is the final division of the neighbourhood's original large lots into smaller building parcels.
1930's	Prosperity results in new construction and infill in the neighbourhood. The suspension of municipal zoning bylaws results in an increase in the number of homes being converted into rooming houses.
1950's	The construction of apartment buildings begins in the neighbourhood to alleviate housing shortages. Between 50 and 100 apartment units are constructed each year
1964	Apartment units make up 38% of the housing in Brow of the Hill. Stewardson Way opens, the roadway separates Brow of the Hill from the industrial lands to the south.
1969	Apartment units make up 75% of the housing stock in Brow of the Hill.
1971	Simcoe and Riverside Parks are established.

2.2.3. Zoning

Single Detached Residential Districts (RS-2)

"The intent of this district is primarily to maintain the residential character of the district in the form of one-family dwellings, secondary suites, laneway houses, infill, multiple conversion dwellings, two-family dwellings with secondary suites on larger lots and with lock-off units on smaller lots, multiple dwellings on large lots, and infill and multiple conversion dwellings in conjunction with retention of character houses." City of New Westminster

3. Historical Context

3.1. Site Archaeology

The people who were originally permanent residents of what is now considered New Westminster were Musqueam and Kwantlen. In 1879, the federal government allocated three reserves as general reserves for “All Coastal Indians.” These reserves were established inclusive of the South Westminister Reserve, the North Arm of the Fraser River and Poplar Island. *Qayqayt First Nation in Wikipedia*

Colonel Richard Clement Moody was appointed commander of the British Columbia Detachment, Royal Engineers, in 1858 and chief commissioner of lands and works, and lieutenants-governor of the new crown colony of British Columbia in 1859. The Royal Engineers, established for military, practical and scientific purposes, policed the goldfields in the interior, surveyed townsites, constructed roads and selected New Westminster as the colony's first capital. In 1863, the Royal Engineers were disbanded. *Canadian Encyclopedia*

Brow of the Hill is one of New Westminster's earliest suburban residential neighbourhoods. Colonel Moody's 1859 plan for the city earmarked this area as a neighbourhood for working class housing, spurred by the transfer of St. Andrew's Square by the city from the government reserve to the city in 1884, which was a catalyst for surrounding private landowners to subdivide their land. As a result, although with some exceptions, many of the homes here tended to be smaller and at a more modest scale. The BC Electric Railway was constructed along 12th Avenue in 1893, attracting more residents to the neighbourhood and establishing the location of a commercial strip, while a BCER streetcar construction facility at the foot of 12th Street provided employment. *Brow of the Hill Historical Context Statement 2016*

Fifth Avenue used to be called Melbourne Street, prior to 1913 and Twelfth Street used to be called Edinburgh Street.

3.1.1 Topography



Figure 12: 1866 View of New Westminster from Surrey NWA IHP2914



Figure 13: Looking southwest down 5th Ave in front of 1218 Fifth Ave (on the left) with view of the Fraser River



Figure 14: Looking northeast down 13th Street and up Fifth Avenue with long view of the Fraser River on the right Google Map

Fifth Avenue north of 13th Street has been identified as comprising some of the steepest hills in the Brow of the Hill neighbourhood, by the 2016 Historical Context Statement. The subject property is representative of this distinctive feature of the Brow of the Hill. As a result, the site offers spectacular southeast and northwest long views of the Fraser River.



Figure 15: Contour map with 1212 Fifth Avenue in bright red

3.1.2. Early Brow of the Hill

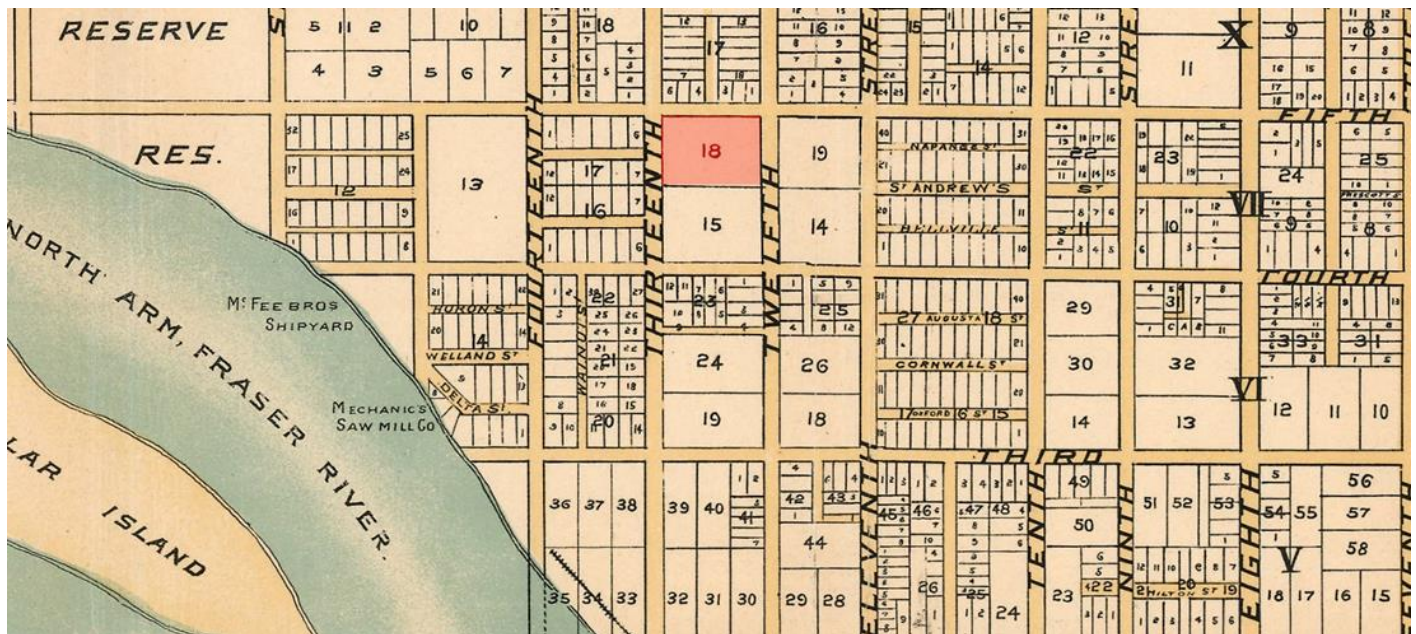


Figure 16: 1892 Map of existing subdivisions around 1212 Fifth Ave, with lot 18 (in red) and the Fraser River at the bottom on the left

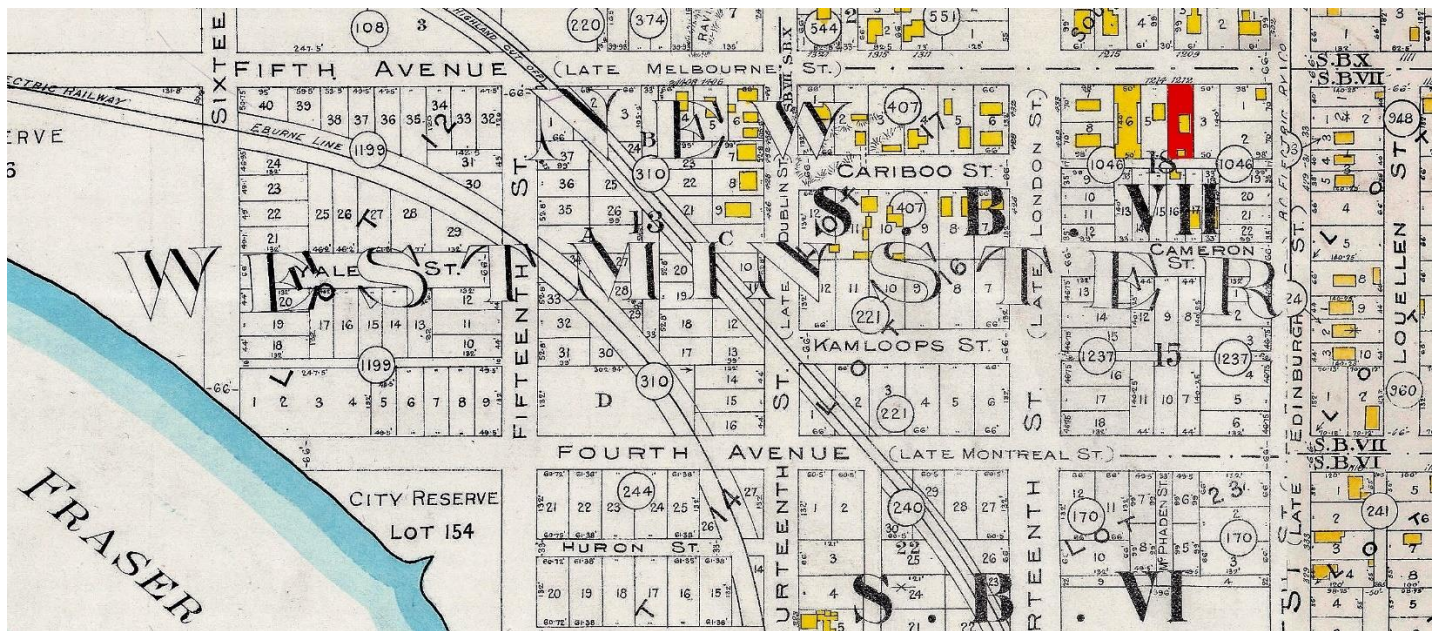


Figure 17: 1913 Goad's Insurance Plan showing: 1212 Fifth Ave in red with concentration of building around 5th Avenue and 12th St. (National Archives)

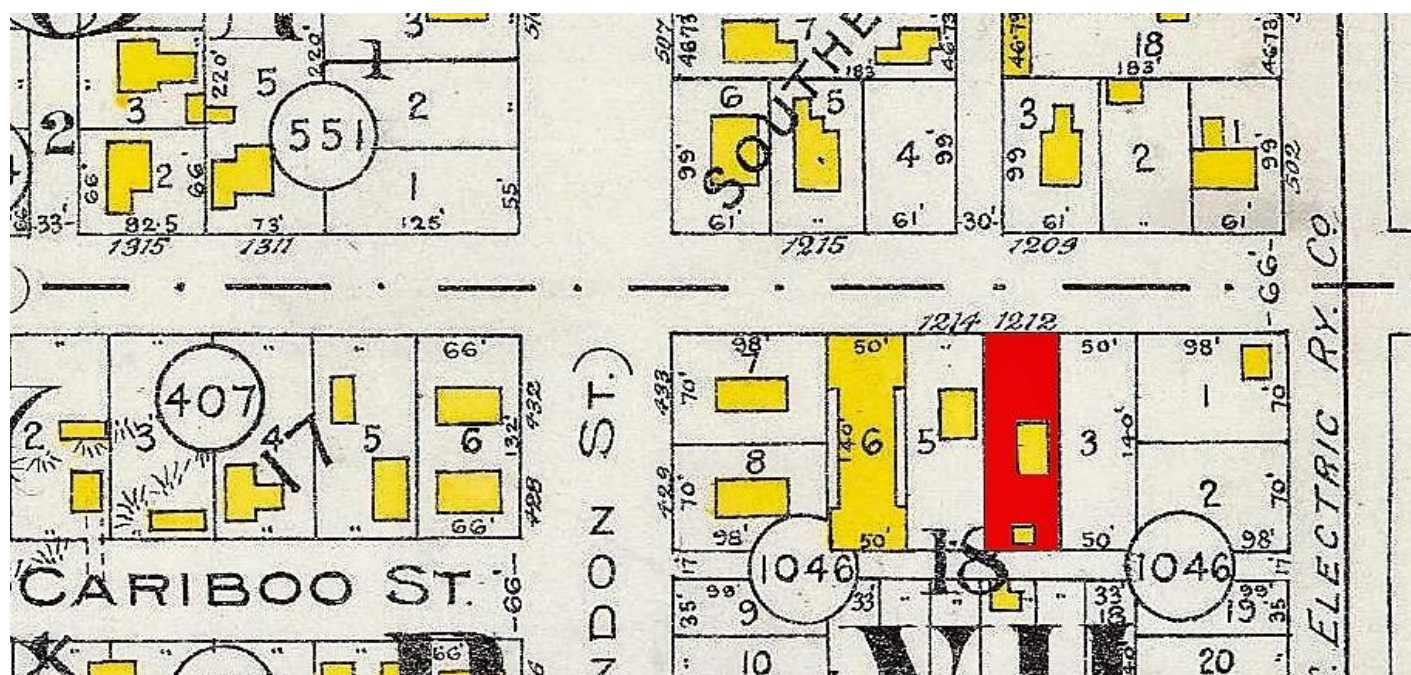


Figure 18: 1913 Goad's Insurance Plan showing 1212 Fifth Avenue in red (National Archives)

Below is a sample of residential buildings in the vicinity of 1212 5th Ave, starting with adjacent properties 1208 and 1218 Fifth Ave. Most of these below are listed in the 1986/89 Heritage Inventory; except for 502 12th Street, the others all exist. The intersection of Fifth Ave and 12th Street is an enclave of heritage houses:



Figure 19: 1218 Fifth Ave; "The Bradley Apartments" built in 1912.
Adjacent to 1214 Fifth Ave, Google map



Figure 20: 1208 Fifth Ave built in 1930.
Adjacent to 1212 Fifth Ave, Google map



Figure 21: Isaac Martin House, 502 12th St built in 1905 - demolished, Northeast corner of Fifth Ave, NWA IHP8008-227



Figure 22: 415 12th Street, built in 1910 NWA IHPI4483, Photo 1985



Figure 23: Rebecca Young House, 433 12th Street, built 1913 One block north of 1212 Fifth Ave, NWA IHPI4485 photo 1982



Figure 24: 431 12th Street, built in 1912 One block north of 1212 Fifth Ave, NWA IHPI4484, photo 1982

3.2. Building History and Chronology

3.2.1. Occupancy

The table below shows the owners of 1212 Fifth Ave with the dates of each land transfer following a historical title search.

Title No.	Registered Owner	Title Registered	Title Cancelled	Prior Legal(s)	Title attached for Charges
Ca7744357	Margaret Shirley Chipak	2019-09-12	Current	Lot 4 of lot 18 sub block 7 plan 2620	Current title/charges
Ca2917813	Karla E. Ramos, Margaret S. Chipak	2012-12-14	2019-09-20		Cancelled title/charges
Ca2917812	Margaret Shirley Chipak	2012-12-14	2012-12-31		Cancelled title/charges:
Ca1722772	Margaret Shirley Chipak Karl Robert Chipak	2010-09-07	2012-12-31		Cancelled title / charges:
Bk49610	Margaret Shirley Chipak	1996-02-21	2010-09-15		Cancelled title / charges:

Z215081e	Dora E. Anderson Margaret Shirley Chipak	1986-11-24	1996-02-28		Cancelled title / charges:
515987E	Dora Elizabeth Anderson	1963-05-1	1986-1-24		Cancelled title / charges:
475194E	William Yakinovich Fanny C. Yakinovich	1961-03-07	1963-05-21		Cancelled title / charges:
249310E	Mary Mildred Mulligan	1948-12-15	1961-03-10		Cancelled title / charges:
180953E	Fredrick L. S. Broad Edith Maude Broad	1944-12-04	1948-12-17		Cancelled title / charges:
44776E	Annie Marie Hayward	1922-01-26	1945-01-10		Cancelled title / charges:
37539E	Samuel Hayward	1921-01-13	1922-01-27		Cancelled title / charges:
33224E	Albert William Buckett	1920-06-08	1921-01-13		Cancelled title / charges:
18695F	Henry Haidenger	1909-09-24	1920-06-08	Lot 4 of Lot 18 Sub Block 7 map 1046 NW	Cancelled title / charges:
7402f	David Dominick Bourke	1905-06-06	1908-07-10	City New West Lot 18 and sub 11 & 12 & south half of sub 1 & 2 of lot 17 Sub block 7 map 407	Cancelled title / charges:

Report by West Coast Title Search Ltd

3.2.2. David Dominick Bourke

David Dominick Bourke was a builder and developer. He bought the 1212 Fifth property in 1905 and sold it with the cottage in 1908. The cottage was built in 1907. Bourke also purchased the property next door at 1214 Fifth Avenue at the same time and sold it undeveloped in 1909. D.D. Bourke is listed in the 1909 Directory as “Retired” and living at 11316 Cariboo Street.

3.2.3. Henry Haidenger

Haidenger is listed in the 1908 Directory as a carpenter living at 388 Carnarvon Street. The first listing of 1212 Fifth Avenue in the Directories is in 1909, and the resident, in this case, the owner, was Henry Haidenger. Haidenger owned the cottage until 1920 but appears in the Directory only until 1914. From 1915 to 1920, the cottage was either vacant or rented. Haidenger was not listed during that period. These were the years of the Great War.

3.2.3. The Yakinovich/Chipak family

William and Fanny Yakinovich purchased 1214 Fifth Avenue in 1950, and 1212 Fifth Avenue in 1962; they were the grandparents of the current owner, Karl Chipak. Dora Elizabeth Anderson, the other grandmother of Chipak, owned the cottage from 1963 to 1986. The name of Margaret Shirley Chipak appears on the title in 1986 with Anderson; Karl Robert Chipak, Margaret’s son helped with the mortgage in 2010.

4. Heritage Analysis

4.1. House Style: Gabled Vernacular (1886-1915)

The style of the cottage at 1212 Fifth Avenue is a combination of Gabled Vernacular, Neo-classical cottage and Shingle styles, as illustrated below. The way the house stands low and wide onto the ground may also suggest a Craftsman Style massing, without the common ornamentation associated with the style. See the Robert J. Watson House at 219 Regina Street, built in 1908, for an illustration corresponding to the Shingle Style. The style of the cottage is difficult to confirm due to the extent of alterations that may have occurred over the years. Amongst the ones listed in the Vancouver Heritage Foundation House Styles, the Gabled Vernacular most corresponds with the cottage at 1212 Fifth Avenue because of the features of its design. Below is the Vancouver Heritage Foundation's description of the Gabled vernacular with the corresponding features in bold characters:



Figure 25: VHF Illustration of Gabled Vernacular roof

"The Gabled Vernacular cottages are 1-1/2 storey tall with **front-gabled roofs** (although technically a hipped roof); the roof may have a **skirt across the bottom of the gable**. In this style, the house is usually set a half to a full storey above the ground (due to the basement space required for central heating). Its full-width front porch commonly has a hipped roof held up by posts (typically round Tuscan-style). The **front door is almost always set on one side of the facade** in line with the front stairs and there may be a bay window on one side of the porch, sometimes repeated on the upper storey. Examples of the style usually have **very few decorative elements** such as brackets and fretwork. Gabled Vernacular **roofs were usually made of cedar shingles**. Siding was usually drop siding with a pronounced channel or concave cove shape at the top of the board."

Below are examples of the type of cottages of the same age found in New Westminster, with partial descriptions taken from the New Westminster 1986/89 New Westminster Heritage Inventory:



Figure 26: 234 Eleventh Street (Google map)

234 Eleventh Street Neoclassical Cottage Style Edwardian Eclectic Period

234 Eleventh Street was built in 1910 and shows a simple design consisting of a hipped roof with hipped gable and partial width entry porch.



Figure 27: 423 Oak Street (Google map)

421 & 423 Oak Street
Robert Smith and W. Brownlee
Builders

Neoclassical Cottage Style
Edwardian Period

421 & 423 Oak Street were owned and built by Smith and Brownlee. This variation of Neoclassical cottage style has a front gable roof. 421 is clad in narrow lap siding and 423 has been covered in stucco.



Figure 28: William Innes House 506 St George Street

William Innes House
506 St George Street
Craftsman Style

This 1907 cottage takes its low-pitched roof form from the Craftsman style. A partial width porch is set under the main roof. William Innes was a local carpenter.

4.3. Integrity

Following a preliminary review, we have identified some of the elements added, altered or removed from the original design. Further investigation will provide a better understanding of the original cottage:

Roofing	The original roof was cedar shingles; the current is a recently installed asphalt shingle roof
Front porch	The front porch may have been infilled or had a recessed entrance
Front windows	The front internal arch window is one of a kind in the cottage and typical of the 1930's
Front door	Incongruous with the style of the house
Porcelain tile siding	The existing siding is the second porcelain tile siding after the original siding. Traces of cove lap siding has been found on site beneath the porcelain tiles.
Insul-brick siding base	Traces of cedar shingles has been found on site beneath the insul-brick
Back lean-to extension	The shed roof extension may have been a back porch originally and infilled at later date.
Window sash	Some of the window sashes have been replaced with incongruous material



Figure 29: Cove lap siding below board underlay; the original siding is missing; the lower left are traces of cedar shingles



Figure 30: Traces of cove lap siding above the main floor level



Figure 31: Board underlay beneath insul-brick siding

End of Heritage Assessment Background

Appendix E

Heritage Assessment for 1214 Fifth Avenue

1214 FIFTH AVENUE

New Westminster, B.C.

HERITAGE ASSESSMENT & BACKGROUND
AUGUST 2021



dewhirst lessard
consulting

2095 Thompson Road, Gabriola BC V0R 1X7
308-1251 Cardero St. Vancouver BC V6G 2H9
dewhirstlessard@shaw.ca

Address: 1214 Fifth Avenue, New Westminster, B.C.

First use: Single family house

Builder: Edgar Hugh Sands

Architect: Edmund John Boughen

First Resident: Tenant

Date of Construction: 1909

Heritage Assessment

1. Description of the Historic Place

1214 Fifth Avenue, built in 1909, is a two-storey wood frame house located in Brow in the Hill, a neighbourhood of New Westminster, British Columbia. The mid block property is overgrown with trees and bushes; the house has been neglected for a long time.

2. Heritage Value

The property is valued for its location, its age and its house style.

The 1214 Fifth Avenue is located just southeast of 12th Street, which is a major historic artery. The BC Electric Railway established a major route on 12th Street in 1892 which generated residential, commercial, and industrial development along the line. The immediate surrounding of the property is varied, comprising apartment buildings and single-family houses, which is typical of the Brow of the Hill neighbourhood.

The Brow of the Hill is one of the oldest residential neighbourhoods, and the 1214 Fifth Avenue house was built in 1909 is representative of the evolution and fluctuations of development in the area.

The population of Brow of the Hill has been traditionally working class, and the 1214 Fifth Avenue house is representative of the modest dwelling built at the turn of the twentieth century in the west end of New Westminster. The style of the house is Gabled Vernacular which is characterized by its steep gable roof, and its inset front porch. The house is associated with builder Edgar Hugh Sands and the architect Edmund Boughen who together purchased the property from David Dominick Bourke, also owner of the adjacent property at 1212 Fifth Avenue. Sands and Boughen built the house at 1214 Fifth Avenue in 1909; Boughen occupied one room of the house before it was sold in 1912. The house is also associated with the Yakinovich/Chipak family having owned 1212 & 1214 Fifth for 25 years, and particularly 1214 Fifth Avenue from 1950, until now.

3. Character-defining Elements

The elements that define the heritage value of 1214 Fifth Avenue include the following:

Consistent set back with the rest of the block

Sloping ground against the building massing

Front gable roof, projected tympanum and inset front porch

Wood frame windows with wide exterior casings, stained glass and bay windows, and diamond shaped attic window

Narrow lap siding

Internal brick chimney

Conclusion:

There have been numerous alterations to the original house, some visible, others integrated and hidden. The original character-defining elements, and common construction pieces remaining, such as wood frame windows are in very poor condition, thus irrecoverable. The house has been a bystander for an important period of history in Brow of the Hill, but did not in any way, as far as we know, contribute to the community, or participated in its vitality. Most importantly, the site is a safety and health hazard; it is littered with garbage, broken glass and debris. We recommend that the City of New Westminster considers allowing the demolition of 1214 Fifth Avenue. Its demolition would clear the site of the ruined house and the wild nature of the property for a more appropriate urban development.

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- 4.1 House Style**
- 4.2 Integrity**

Consultant:

Heritage consultant: dewhirst lessard consulting

The firm dewhirst lessard is a consulting firm specializing in building conservation; we offer services in conservation documentation for the purpose of Development Permit Applications and Heritage Revitalization Agreements. Barbara Dewhirst and André Lessard have extensive experience as practicing architects and have been involved in numerous heritage projects in BC, Alberta and Ontario. We have completed restorations, rehabilitations and adaptive reuse projects from design to construction.

André Lessard, the principal in charge has experience in planning, design and construction. He is a building conservation specialist. André, a former member of the AIBC, is a member of the Canadian Association of Heritage Professionals, and former president of the BC Chapter and member of the national board of directors. He is a former member of the Vancouver Heritage Commission. André is also a LEED Accredited Professional, including field certification experience (BD+C). He has lectured for twelve years in "Building Science for Architectural Conservation" at University of Toronto and Ryerson University.

I. Heritage Assessment Background

I.1. Preface

The subject house is located on Fifth Avenue in the Brow of the Hill neighbourhood in New Westminster. The historic place, built in 1909, is not listed on the current New Westminster Heritage Register, and does not appear in the 1986/89 Heritage Inventory. The house was originally built as a single-family house.

This proposed Heritage Assessment is part of a conservation strategy endorsed by the City of New Westminster and will serve to inform the owner and City staff of the heritage status of the property. The owner is considering demolition of the existing house. The property is subject to be purchased by the client in the near future.

I.2. Content and Methodology

The *Heritage Assessment* is a synopsis of the heritage value of the historic structure. Research and documentation supporting the *Heritage Assessment* is included in the background associated with the assessment. This document is not an exhaustive review of the historic structure, neither is it a definitive statement about the heritage building. The Assessment is a work in progress which will evolve as more information is gathered by the stakeholders and the community at large. This report aspires to be a framework to compile information and to establish the relation between history and the conservation strategy for the heritage property, if required. We visited the property on August 2nd, 2021. The guidelines used to assess the Heritage value are the *Standards and Guidelines for the Conservation of Historic Places in Canada; Parks Canada 2003* (revised 2010).

I.3. Source and Documentation

New Westminster Public Library – Reference and online Historic Pictures
 New Westminster Archives online
 New Westminster Heritage
 New Westminster 1986 Heritage Inventory, Volume III
 Online Vancouver Public Library Historic Photos
 Royal City - A Photographic History of New Westminster, 1858-1960, Jim Wolf (2005)
 A New Westminster Album - Glimpses of the City as It Was, Gavin Hainsworth (2005)
 1897 Goad Fire Atlas Map Corrected in 1901, 1907 and 1913
 Vancouver Heritage Foundation: House Styles
 Brow of the Hill Historical Context Statement; August 2016, Birmingham & Wood, Denise Cook Design
 Canadian Encyclopedia
 Ancestry.com
 Report by West Coast Title Search Ltd
 Biographical Dictionary of Architects in Canada
 Building the West, Donald Luxton Talonbooks 2007
 Vancouver West End History_ Online
 Interview with Karl Chipak

**Photographs in this document were taken by dewhirst lessard consulting unless otherwise noted*

2. Heritage Character

2.1. Building Description

2.1.1. Location

1214 Fifth Avenue is in the Brow of the Hill neighbourhood in the west end of New Westminster, southeast of 12th Street and north of the Stewardson Way.



Figure 1: Map showing 1214 Fifth Avenue in red, just west of 12th Street with the Riverside Adventure Park on the left and the Simcoe Park on the right
Map from City of New Westminster



Figure 2: Looking northeast at 1212 Fifth Ave immediate surrounding with 12th Street on the top right (Google map)

2.1.2. Property

The 1214 Fifth Avenue property measures 15.24m (50 Ft) wide and approximately a depth of 43m (140 Ft) for an area of 650 Sqm (7,000 Sqft). There is a difference of elevation of approximately 1.5m (5 Ft) between the northeast corner down towards the southwest corner of the property. The house has a floor area of 156 Sqm (1,675 Sqft) with a basement under the main part of the house of 83 Sqm (893 Sqft). The setback of the house from the street is generally consistent with other buildings on the same block. The House has neglected for several years. The roof of the addition has recently collapsed and is now covered with a tarp. The property is covered with trees and bushes, with no visible driveway or pedestrian access. The site is also littered with garbage, broken glass, and debris. The bad smell is overwhelming. A lane at the back of the property runs through the entire length of the block.

The house is a one-and-a-half-storey wood frame structure. The house has a front gable roof with a recessed porch currently filled in. The current siding is a bottle-dash stucco cladding from top to bottom including the roof soffit. the original bay window at the inside wall of the front porch is still visible but covered with bottle dash stucco. There is also shed roofed addition clad with a narrow lap siding at the back of the house. Windows are wood frame, most of which are double hung with sash horns; the staircase window has a single stained-glass sash. The exterior wall of the infilled front porch has a window style of its own due to large openings, like a retail frontage. There is an internal brick chimney. The interiors are filled with debris and unsafe.



Figure 3: Current front façade of the house



Figure 4: Infilled front porch with bay-window, plastered with bottle-dash stucco, and exterior screen



Figure 5: Back elevation with tarp on top of collapsed roof of addition



Figure 6: West elevation facing 1218 Fifth Avenue



Figure 7: Front door with original step outside infilled porch

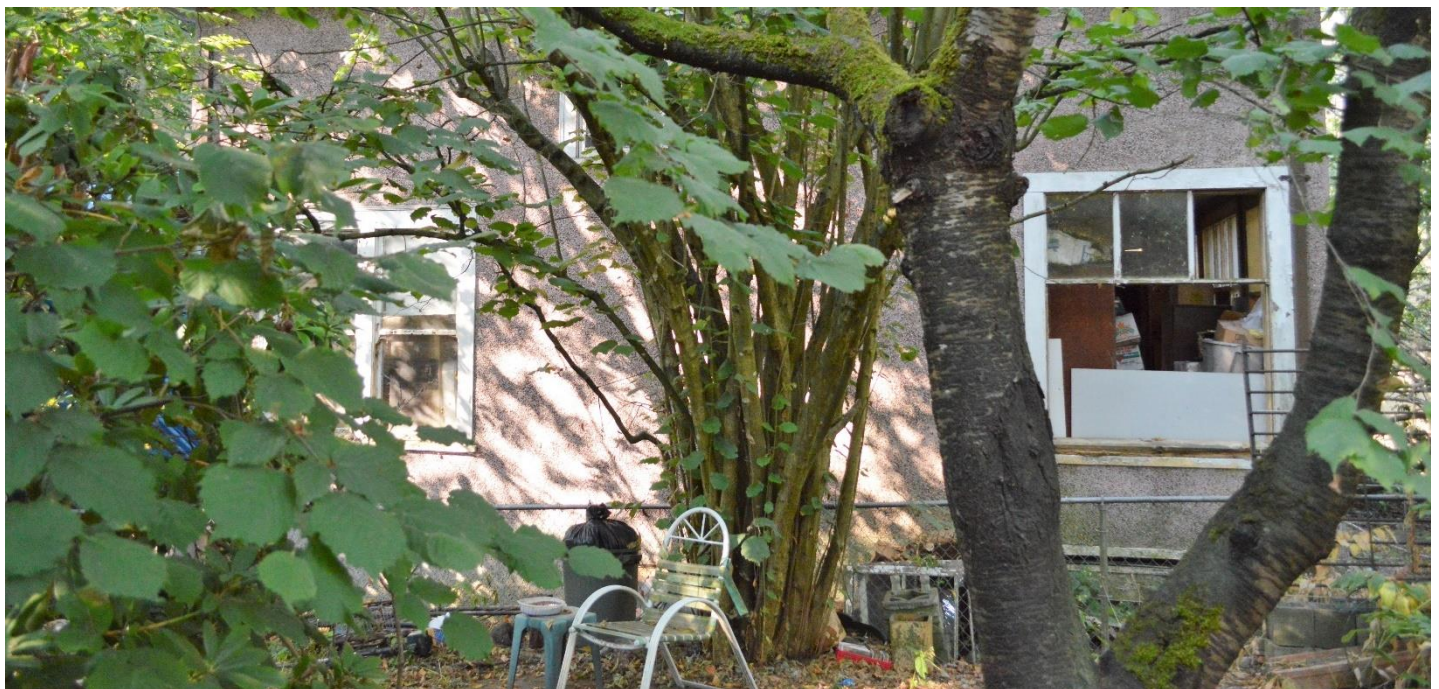


Figure 8: East elevation facing 1208 Fifth Avenue



Figure 9: West elevation next to 1218 Apartment Building (Buyer's photo)



Figure 10: Shed addition from 1950 without basement, facing back lane. Google maps



Figure 11: Bottle Dash Stucco detail



Figure 12: Gable end's return with stucco finish



Figure 13: Staircase-stained glass window

"Predominately found in Vancouver, bottle-dash stucco appears throughout the Lower Mainland and occasionally in the rest of the province... Bottle-dash stucco shows up in new construction and on older houses in the 1930s and 1940s. An apparent local variant to rock-dash, bottle-dash was used to add some colour and sparkle to the stucco finish. Crushed glass (brown beer bottles, green pop bottles, clear milk bottles and blue milk of magnesia bottles) was added to a white quartz aggregate... The commercial name for bottle-dash was Sparkle Stucco. Neale says his friend told him that his father and uncle were the Vancouver area distributors of this stucco in the 1950/60s. I found a listing in the city directories of the time for Stucco Supply Co. – "stucco dash of all types" – they were located at 937 Main Street in Vancouver." From Vanalogue.

Figure 14: Staircase with stained glass window
(Owner's photo)Figure 15: Interior second floor framing
(Owner's photo)Figure 16: Second floor interior's condition
(Owner's photo)

2.2. Planning and Zoning

2.2.1. Brow of the Hill

The Brow of the Hill neighbourhood is the area located between Queen's Avenue to the south, Stewardson Way to the west, 6th Avenue to the north and 8th Street to the east. The neighbourhood is primarily residential with small pockets of light industrial and commercial use, and is characterized by its topography, with steep slopes to the west that provide significant views to the Fraser River.

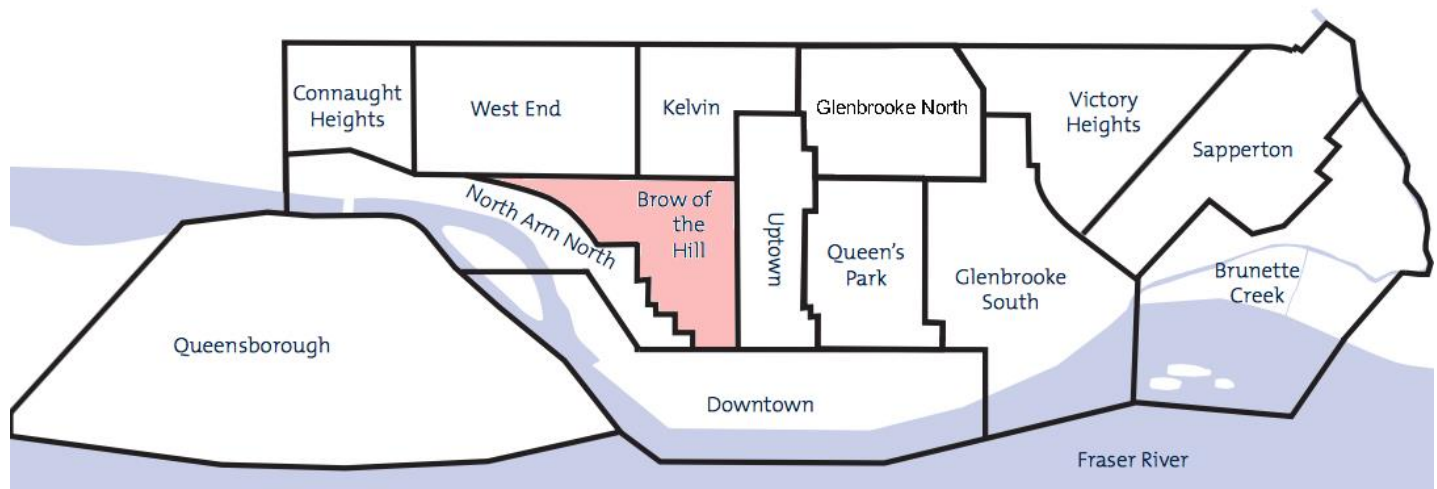


Figure 17: New Westminster by districts: Brow of the Hill Neighbourhood in red (City of New Westminster)

“Brow of the Hill is valued for its singularity as a neighbourhood of New Westminster, derived from its location, geography, cultural and visual diversity, working class history and association with industry in the city. Brow of the Hill is significant for its geographical location, stretching uphill from the Fraser River and culminating the “brow,” the highest part of a hill where the ground begins to flatten out. Within this geographic scope is a neighbourhood of diversity, variety and contrast.

As one of New Westminster’s earliest residential neighbourhoods, Brow of the Hill is significant for its working-class history and the architecture that supported it. Early single-family homes, some dating back to the 1880s, housed people who held a variety of blue-collar jobs and professions, yet the area is also home to many larger dwellings of prominent New Westminster residents. As the working population grew, areas of apartments emerged, and larger homes were divided into multiple dwelling units.

The result is a neighbourhood of contrasts, seen in such aspects of the place as large homes and modest apartments on 9th Street, light industrial and small-scale retail on 12th Street, a wide mix of housing ages and styles, and small corner stores dotted throughout the community. Wider thoroughfares such as 8th street are in contrast with areas of fine grain, short streets, courtyard, small lots, and heritage houses.”

Brow of the Hill Historical Context Statement 2016

2.2.2. Chronology: Brow of the Hill

1860	The Royal Engineers survey Brow of the Hill, superimposing a grid pattern parallel to the Fraser River on the natural topography, with streets running up the hill and avenues across it. An Indian Reserve is established on Poplar Island, one of three in the area for the Qayqayt First Nation (New Westminster Indian Band).
1865	Douglas Road, now Eighth Street, connects Brow of the Hill to Burnaby and Hastings Townsite
1884	The New Westminster Reserve Act transfers St. Andrews Square, originally set aside as government reserve in the Royal Engineers' survey, to the City of New Westminster, opening it up for residential development Initial subdivision consists of large suburban lots
1889	City Council approved the establishment of waterworks in the neighbourhood, established electrical utilities and proceeded with a street improvement program.
1892	Streets were cleared and graded, and 167 dwellings were connected to water and electrical systems. The Interurban Railway is constructed on 12th Avenue and residential, commercial and industrial development begins along the line. Prominent local citizens begin to construct homes in the neighbourhood
1906	Most of the remaining large parcels are subdivided into smaller building lots.
1907	A railway route to Marpole is opened along the current alignment of Stewardson Way.
1909	The Immanuel Lutheran Church is established to serve the local Swedish community
1912	Commercial development begins slowly. The 10th Street Grocery is opened. The Bradley Apartment Building is built at 1218 Fifth Avenue
1913	There are a total of 606 dwellings in the neighbourhood. The Ambrose Apartments, an early mixed retail and residential block, opens on 13th Street.
1914-19	The industrialization of the North Arm of the Fraser River attracts factory workers to the neighbourhood, changing the type of residences being constructed into more affordable housing.
1927	The subdivision of the Thomas Ovens property at 302 Eighth Street is the final division of the neighbourhood's original large lots into smaller building parcels.
1930's	Prosperity results in new construction and infill in the neighbourhood. The suspension of municipal zoning bylaws results in an increase in the number of homes being converted into rooming houses.
1950's	The construction of apartment buildings begins in the neighbourhood to alleviate housing shortages. Between 50 and 100 apartment units are constructed each year
1964	Apartment units make up 38% of the housing in Brow of the Hill. Stewardson Way opens, The roadway separates Brow of the Hill from the industrial lands to the south.
1969	Apartment units make up 75% of the housing stock in Brow of the Hill.
1971	Simcoe and Riverside Parks are established.

2.2.3. Zoning

Single Detached Residential Districts (RS-2)

"The intent of this district is primarily to maintain the residential character of the District in the form of one-family dwellings, secondary suites, laneway houses, infill, multiple conversion dwellings, two-family dwellings with secondary suites on larger lots and with lock-off units on smaller lots, multiple dwellings on large lots, and infill and multiple conversion dwellings in conjunction with retention of character houses." City of New Westminster

3. Historical Context

3.1. Site Archaeology

The people who were originally permanent residents of what is now considered New Westminster were Musqueam and Kwantlen. In 1879, the federal government allocated three reserves as general reserves for “All Coastal Indians.” These reserves were established inclusive of the South Westminister Reserve, the North Arm of the Fraser River and Poplar Island. *Qayqayt First Nation in Wikipedia*

Colonel Richard Clement Moody was appointed commander of the British Columbia Detachment, Royal Engineers, in 1858 and chief commissioner of lands and works and lieutenants-governor of the new crown colony of British Columbia in 1859. The Royal Engineers, established for military, practical and scientific purposes, policed the goldfields in the interior, surveyed townsites, constructed roads and selected New Westminster as the colony's first capital. In 1863, the Royal Engineers were disbanded. *Canadian Encyclopedia*

Brow of the Hill is one of New Westminster's earliest suburban residential neighbourhoods. Colonel Moody's 1859 plan for the city earmarked this area as a neighbourhood for working class housing, spurred by the transfer of St. Andrew's Square by the city from government reserve to the city in 1884, which was a catalyst for surrounding private landowners to subdivide their land. As a result, although with some exceptions, many of the homes here tended to be smaller and at a more modest scale. The BC Electric Railway was constructed along 12th Avenue in 1893, attracting more residents to the neighbourhood and establishing the location of a commercial strip, while a BCER streetcar construction facility at the foot of 12th Street provided employment. *Brow of the Hill Historical Context Statement 2016*

Fifth Avenue used to be called Melbourne Street, prior to 1913 and Twelfth Street used to be called Edinburgh Street.

3.1.1 Topography



Figure 18: 1866 View of New Westminster from Surrey NWA IHP2914



Figure 19: Looking southwest down 5th Ave in front of 1218 Fifth Ave with view of the Fraser River



Figure 20: Looking northeast down 13th Street and up Fifth Avenue with long view of the Fraser River on the right Google Map



Figure 21: Contour map with 1212 Fifth Avenue in bright red

Fifth Avenue north of 13th Street has been identified as comprising some of the steepest hills in the Brow of the Hill neighbourhood, by the 2016 Historical Context Statement. The subject property is representative of this distinctive feature of the Brow of the Hill. As a result, the site offers spectacular southeast and northwest long views of the Fraser River.

3.1.2. Early Brow of the Hill

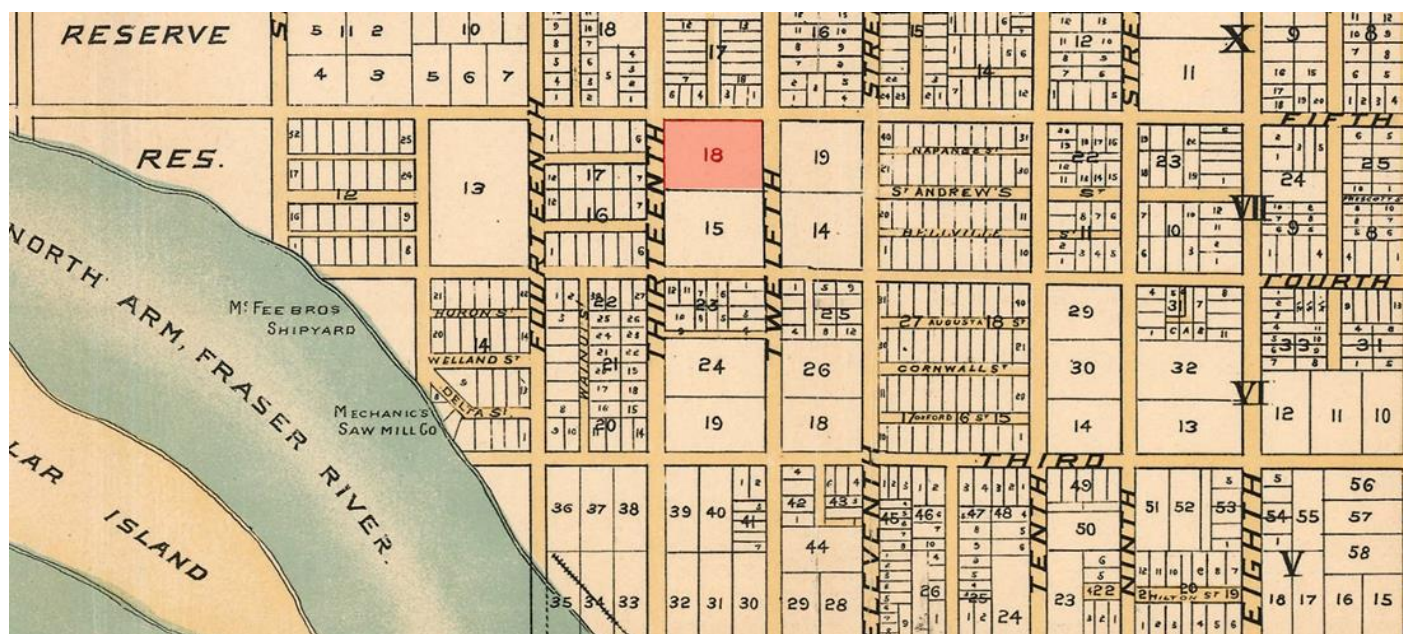


Figure 22: 1892 Map of existing subdivisions around 1214 Fifth Ave, with lot 18 (in red) and the Fraser River at the bottom on the left

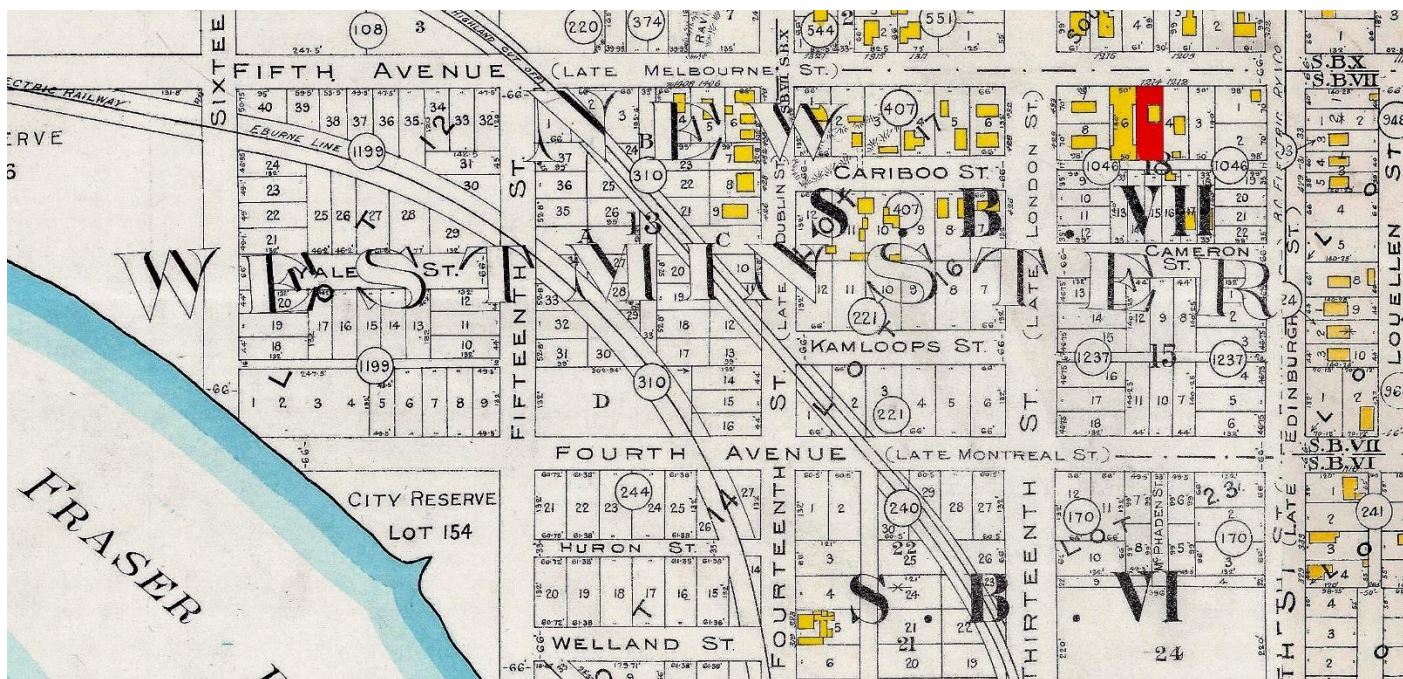


Figure 23: 1913 Goad's Insurance Plan showing: 1214 Fifth Ave in red with concentration of building around 5th Avenue and 12th St. (National Archives)

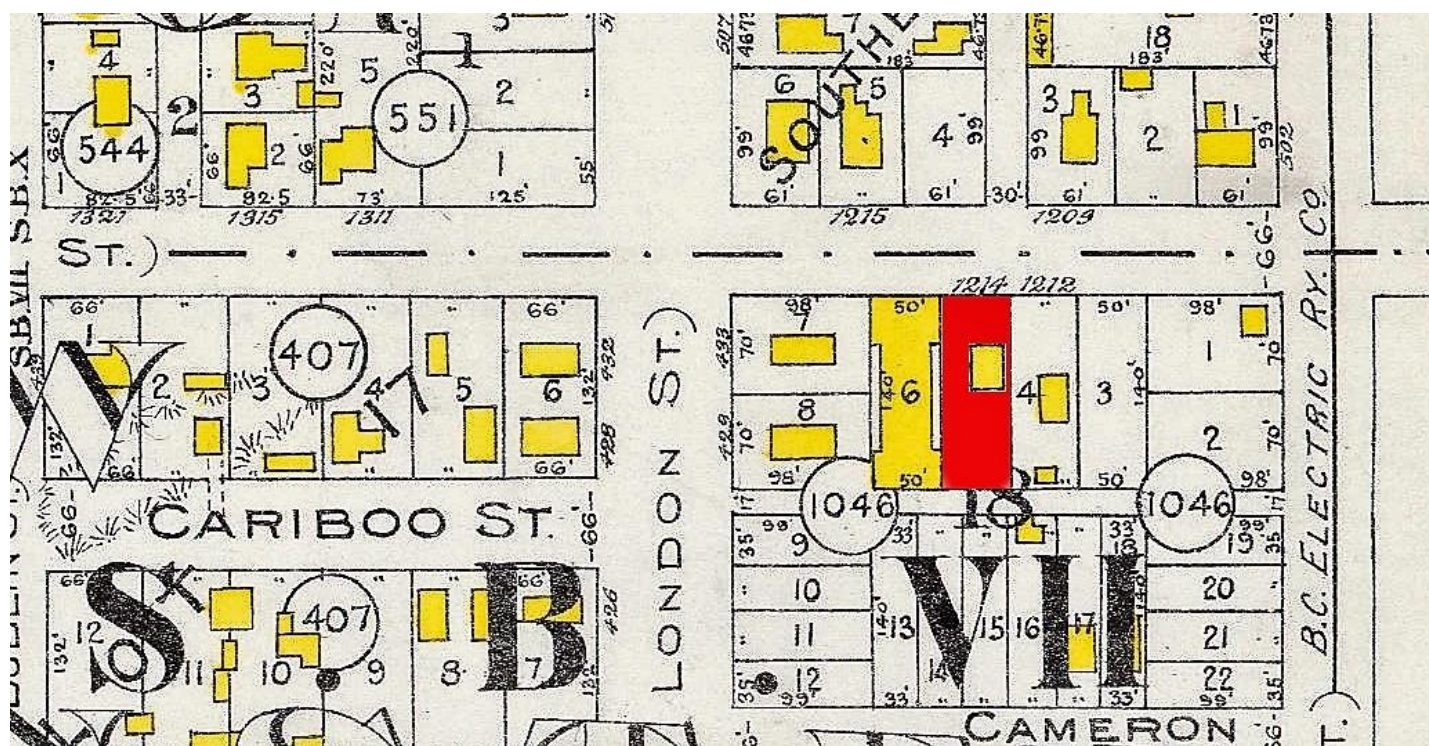


Figure 24: 1913 Goad's Insurance Plan showing 1214 Fifth Avenue in red (National Archives)

Below is a sample of residential buildings in the vicinity of 1214 Fifth Ave, most of which are listed in the 1986 / 89 Heritage Inventory: starting with adjacent properties to 1214 Fifth Avenue, 1208 and 1218 Fifth Ave. Except for 502 12th Street, the others below still exist. The intersection of 5th Ave and 12th Street is an enclave of heritage houses:



Figure 25: 1218 5th Ave; "The Bradley Apartments" built in 1912.
Adjacent to 1214 Fifth Ave, Google map



Figure 26: 1208 Fifth Ave built in 1930.
Adjacent to 1212 5th Ave, Google map



Figure 27: Isaac Martin House, 502 12th St built in 1905 - demolished, Northeast corner of 5th Ave, NWA IHP8008-227



Figure 28: 415 12th Street, built in 1910 NWA IHPI4483, Photo 1985



Figure 29: Rebecca Young House, 433 12th Street, built 1913 One block north of 1214 Fifth Ave, NWA IHPI4485 photo 1982



Figure 30: 431 12th Street, built in 1912 One block north of 1214 Fifth Ave, NWA IHPI4484, photo 1982

3.2. Building History and Chronology

3.2.1. Occupancy

The table below shows the owners of 1214 Fifth Ave with the dates of each land transfer following a historical title search.

Title No.	Registered Owner	Title Register	Title Cancelled	Prior Legal(s)	Title&Charges
CA4023515	Margaret S. Chipak	2014-10-16	Current		Mortgage
CA2917805	Karl Robert Chipak Margaret S. Chipak	2012-12-14	2014-10-23		Mortgage
BG198069	Margaret S. Chipak	1993-06-08	2013-01-02		Mortgage
AD4592	Karl R. Chipak (1/3) Margaret S. Chipak (2/3)	1990-01-05	1993-06-21		Mortgage
X124451E	Karl R. Chipak (1/2)	1984-10-23	1988-08-09		Mortgage
K45527E	Karl Robert Chipak Margaret S. Chipak	1974-04-19	1988-08-09		Mortgage

270611E	William Yakamovich Fanny Yakamovich	1950-06-20	1974-04-19		Nil Pertinent
266511E	Martha Wikman	1950-03-20	1950-06-20		Nil Pertinent
195626E	John Walter friend Maggie friend	1945-12-07	1950-03-22		Nil Pertinent
35526F	Hans Bendickson	1912-01-09	1913-07-02		Excerpt ind. fee
18422F	Edgar H. Sands Edmund J. Boughen	1909-08-28	1912-01-09	City New West Lot 5 of Lot 18 Sub Block 7, Map 1046	Excerpt from indefeasible fee book
14150F	David Dominick Bourke	1905-06-06	1908-07-10	City New West Lot 5 of Lot 18 and south half of sub.1&2 of lot 17 Sub Block 7, Map 407	Excerpt from indefeasible fee book multiple transfers

Report by West Coast Title Search Ltd

3.2.2. David Dominick Bourke

Bourke purchased the 1212 and 1214 Fifth Ave. properties in 1905 and sold 1212 with a cottage he had built in 1908. Bourke sold the 1214 Fifth Ave property undeveloped in 1909.

3.2.3. Edgar Hugh Sands

Sands is named as the developer of the 1214 Fifth Ave house in the City Assessment records. Sands purchased the property with the architect Edmund Boughen in 1909 from David Dominick Bourke who also owned the property next door at 1212 Fifth Ave. Sands was born on February 9, 1874, in Maidstone, Kent. Sands arrived in British Columbia in 1896. He married Whilamina Rose Avery Hawkins in 1902, in St. Thomas, Ontario. He was a member of the Canadian Legion and a member of the Board of Trade in New Westminster. He died in New Westminster, on March 19, 1944. In 1911, Sands lived at 515 12th and Boughen lived at 407 7th Avenue.

3.2.4. Edmund Boughen Architect

Boughen, Edmund John (1874-1967) of London, England, came to Canada after 1900. He was active in New Westminster, B.C. from 1911 onward, and designed several commercial and residential works there. He moved to Vancouver after WWI where he maintained a practice in 1922-25. He appears to have abandoned the profession from 1925 until 1945 as his name is absent from membership records of the Architectural Institute of British Columbia during this period. His name reappears as an architect in 1946. The Vancouver City Archives holds several sets of signed drawings prepared by Boughen from 1946 to 1950 (*D. Luxton, Building the West: The Early Architects of British Columbia, 2003, 455, 493*). Boughen died at Coquitlam, B.C. on 30 October 1967.

According to Karl Chipak, Boughen lived in a room on the second floor of the house for a year and a half before the property was sold in 1912. Chipak is holding some documents left behind by the architect, but not available currently.

3.2.3. The Yakinovich/Chipak family

William and Fanny Yakinovich purchased 1214 Fifth Avenue in 1950; they were the grandparents of the current owner. The name of Margaret Shirley Chipak, their daughter, appears on the title in 1974 with Karl Robert Chipak, Margaret's son who helped with the mortgage from then until now.

Following are examples of Boughen's design:



Figure 31: The William Furness House, 340 Tenth Street New Westminster (1913)
NWA 2679



Figure 32: David and Annie Archibald House, 218 St Patrick St, (1913) Originally built at 508 Sixth Ave. New West NWHPs

See other houses designed by Boughen in the following section:

4. Heritage Analysis

4.1. House Style: Gabled Vernacular 1986-1915

The 1214 Fifth Ave House is a mix of Gabled Vernacular and Shingle Style, at least with a corresponding shape of the two styles. The architect Edmund Boughen, who designed the house at 1214, was an advocate of the Shingles and the Chalet Style as illustrated below. The 1214 Fifth Avenue house was probably one of his first designs in New Westminster since it was built in 1909 and his practice started to flourish from 1911 onwards.

The following is the description of the Gabled Vernacular Style from the Vancouver Heritage Foundation House Styles, with features corresponding to 1214 Fifth Avenue in bold:

*The most common surviving houses of old Vancouver, Gabled Vernaculars are 1-1/2 to 2-1/2 stories **tall with front-gabled roofs**; the roof may have **a skirt across the bottom of the gable**. In this style, the house is usually set a half to a full storey above the ground (due to the basement space required for central heating). Its **full-width front porch** commonly has a hipped roof held up by posts (typically round Tuscan-style). The **front door is almost always set on one side of the facade** in line with the front stairs and there may be **a bay window** on one side of the porch, sometimes repeated on the upper storey. Dormers may be hipped or gabled. Examples of the style usually have **very few decorative elements** such as brackets and fretwork.*

Below are examples of the type of houses of the same age found in New Westminster, with partial descriptions taken from the New Westminster 1986/89 New Westminster Heritage Inventory:



Figure 33: The Hans Goranson House; New West 1986 Heritage Inventory

Hans Goranson House (Demolished)

421 Eighth Street, Edmund J. Boughen architect
Shingle Style – Late Victorian

This 1911 house has a A-frame shape and extended shed dormer typical of the shingle style. It has rusticated stone foundation and stone retaining wall. The original exterior cladding has been replaced by asphalt shingles and modern encloses the porch which was set under the main roof.



Figure 34: The Speck House, Google Maps

The G.R. Speck House

109 Third Avenue, Edmund J. Boughen architect
Shingle Style Cottage_ Late Victorian Period

109 Third Avenue was designed by Boughen in 1911 for George Speck, who operated a bicycle and sporting goods business in New Westminster. The front Gables Shingle Style house creates visual interest in its roof line and variety eaves levels. The use of wood trim as decoration and the inset sleeping porch in the front gable show an influence from Chalet Style.



Figure 35: The H. Way House, New West 1986 Heritage Inventory

H. Way House

820 Kennedy Street, Edmund J. Boughen architect
Shingle Style _ Late Victorian Period

This house on Kennedy Street shows the typical Shingle style A-frame shape with a side shed dormer, but Boughen 's design borrows elements from other popular styles of the time. The upper porch, set into the gable and cutting the roofline, acknowledges the Chalet Style. The false rafter ends, cut into decorative shapes and added under the eaves overhang show a secondary influence from the Craftsman style. It was built in 1911 for H. Way carpenter.

4.3. Integrity

The following is a preliminary review; we have identified some of the elements added, altered or removed from the original design. Further investigation will provide a better understanding of the original cottage:

Roofing	The original roof was cedar shingles, but the current is asphalt shingles
Front porch	The front porch was infilled
Front windows	The existing front windows are incongruous with the rest of the house
Cladding	The existing bottle-dash stucco dates from the 1930's; the original siding was removed before the existing stucco was installed.
Back shed addition	The shed roof addition at the back was added in the 1950's along with narrow lap siding.
Window sash	Some of the window sashes have been replaced with incongruous material



Figure 36: One-inch-thick board underlay beneath bottle dash stucco



Figure 37: Double-hung window with sash horn



Figure 38: East side multipaned piano window with colour glass

End of Heritage Assessment Background

REPORT

Climate Action, Planning and Development

To: Community Heritage Commission **Date:** October 6, 2021

From: Samantha Bohmert, Planning Assistant **File:** HER00843

Item #: [Report Number]

Subject: Heritage Review (Demolition): 848 Fifth Street

PURPOSE

To review the heritage value of the building and provide a recommendation on demolition.

SUMMARY

The two storey vernacular style house at 848 Fifth Street in the Glenbrooke North neighbourhood was constructed in 1912. The house is in good condition and, with the exception of stucco applied to the exterior, there have been few interventions in the building and most original materials remain. The building is not legally protected, nor listed on the City's Heritage Register or Inventory. However, as a result of the building's age, the Community Heritage Commission is being asked to review the heritage value of this building, in advance of the Director's consideration of a Demolition Permit.

GUIDING POLICY AND REGULATIONS

100 Year and Older Heritage Review Policy

In 2020, Council approved a revised heritage review policy, which highlights the City's interest in retaining New Westminster's oldest buildings. As such, redevelopment applications for buildings that are 100 years and older require a Heritage Assessment and review by the Community Heritage Commission.

Demolition Permits

Demolition Permits are issued by the Director of Development Services, though the Director may forward the application to Council for further consideration, or consideration of a temporary protection order where warranted.

Temporary Protection Order

A temporary protection order may be issued by Council for a property that is or may be considered to have heritage value sufficient to justify its conservation. This can include properties that are not listed on the Heritage Register. Without consent of the owner, a temporary protection order may only last 60 days, after which the permit must be issued.

Heritage Designation

A Heritage Designation Bylaw is a form of land use regulation that places long-term protection on the land title of a property and which is the primary form of regulation that can prohibit demolition. Heritage Designation does not require owner consent. However, without consent of the owner, the owner is entitled under Provincial law, to claim compensation for loss of zoning entitlement value from the Designation.

BACKGROUND INFORMATION

Property Description

The building at 848 Fifth Street is a two storey house with a basement. The building is has an area of 193 square metres (2,078 square feet) and is on a 556 square metre (6,094 square foot) lot. It has a floor space ratio of 0.34 and a site coverage of 13%. The only Building Permit issued was in 1912, to construct the house, which is consistent with the few apparent changes to the building's structure. Current photographs of the building are included in Appendix A.

Location and Context

The property is located mid-block on the west side of Fifth Street, between Eighth and Tenth Avenues. It shares the rear lane with the future affordable housing development at 823-841 Sixth Street, and is otherwise surrounded by single detached houses. The site is one block east of New Westminster Secondary School. A site context map is included in Appendix B.

Development Potential

The properties on Fifth Street, including this one, are zoned Single Detached Residential Districts (RS-1). This zone allow a house, a secondary suite, and a laneway house. These properties are designated Residential – Detached and Semi-Detached Housing (RD) in the Official Community Plan (OCP), which envisions a mix of low density residential units.

The properties across the rear lane from this property, facing Sixth Street, are generally zoned Single Detached Residential Districts (RS-2), which also permits single detached houses with secondary suites, though these properties are designated in the OCP for

Infill Townhouse (RT). Recently, 823-841 Sixth Street, which is across the lane from this property, was approved for a mid-rise development.

Heritage Protection

The building is not legally protected nor listed on the City's Heritage Register or Inventory. However, it is over 100 years old. Under the current zoning, no heritage-related permits or Council approvals are required for construction of a new house on the site. However, the current house has been flagged for review for potential heritage value due to its age.

ITEMS FOR DISCUSSION

Heritage Value

The building is in a modest vernacular style. It has historic value associated with its age. It was built during the Edwardian era boom (1899-1913) and remains one of the oldest surviving houses on the block, contributing to a diverse streetscape. It has been in continuous residential use since construction.

Building Condition

A heritage assessment was completed August 2021, which indicates that the building is in fair to good condition. Most original architectural elements remain, including the front-gable roof and fascia board, original windows, early doors, front half-porch, wood railing, dormers, chimney, and wood railing, and basement cladding. Some windows have been replaced with wood or vinyl inserts. The original wood siding of the house has been covered with stucco. The assessment is included as Appendix C.

FEEDBACK FROM THE COMMISSION

The following options are available for consideration by the Community Heritage Commission:

- 1) That the Community Heritage Commission recommend the Director of Development Services issue the Demolition Permit for 848 Fifth Street, and that the applicant consider deconstruction as an alternative to demolition waste; or
- 2) That the Community Heritage Commission recommend the Director of Development Services direct staff to further explore retention options (i.e., redevelopment or relocation) for the house at 848 Fifth Street; or
- 3) That the Community Heritage Commission recommend that Council consider a temporary protection order on 848 Fifth Street; or

- 4) That the Community Heritage Commission provide an alternative recommendation, based on their discussions.

ATTACHMENTS

Appendix A: Photos

Appendix B: Site Context Map

Appendix C: Heritage Assessment

This report was prepared by: Samantha Bohmert, Planning Assistant

This report was reviewed and approved by: Britney Dack, Senior Heritage Planner

Appendix A

Photos









Exterior Photos

849 Roof eaves rotten and high potential of mold and structural damage



616 Long term gutter and stucco failure, high chance of internal rot and mold



848 Fifth Street Contractor Photos

416 most wood windows beyond repair, fully decayed



503 most wood windows beyond repair, fully decayed



848 Fifth Street Contractor Photos

439 most wood windows beyond repair, fully decayed



926 poorly maintained roof edges, high chance of internal water damage



848 Fifth Street Contractor Photos

621 roof failure, high chance of structural damage



356 long term stucco failure, high chance of structural damage



608 long term gutter failure, high chance of structural damage



848 Fifth Street Contractor Photos

Interior Photos

037 active water damage evident in basement along with mold



049 water damage



209 Rodent infestation (rats)



Appendix B

Site Context Map



0.1 0 0.03 0.1 Kilometers

NAD_1983_UTM_Zone_10N
CNW GIS Services

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

Appendix C

Heritage Assessment

Heritage Assessment

848 5th Street, New Westminster, BC :: 1912



Prepared by Elana Zysblat, CAHP :: Ance Building Services :: August 2021
Research & Analysis by Jurian ter Horst, MA :: ter Horst Research

RESEARCH FINDINGS

NEIGHBOURHOOD: Glenbrooke North

ORIGINAL OWNERS:

Charles M. Vanstone (1912)

Albert B. Tigar, Ronald F. Tigar, George F. Collier (1912-1916 or later)

Emily Jane Pentland (1913-1920)

OTHER SIGNIFICANT OWNERS:

Margaret J. & James A. McLean (1921-1941)

Ethel L. & Melker A. Berquist (1957-1980)

ARCHITECTS: none/unknown

BUILDERS: Albert B. Tigar, Ronald F. Tigar, George F. Collier

CONSTRUCTION DATE: 1912

LEGAL: Lot 27 Sub Block14 Plan NWP2620 Land District 36 OF S1/2 OF LT11

STATE: Vacant

HERITAGE STATUS: N/A

HISTORIC BRIEF

One of the oldest surviving buildings on the 800/900 block of 5th Street, the subject house was built in 1912 during the Edwardian-era boom (1899-1913) by Albert B. Tigar (carpenter), Ronald F. Tigar, and George F. Collier (millwright). The two-storey house, initially listed in the city directory as 838 5th Street, was first co-owned by its three developers (1912-1916 or later), Dr. Charles Morley Vanstone from Manitoba (1912), and a year later by Mary J. Pentland (1913-1919 or 1920). The subject house was used for rental purposes in the first couple of years after it was built. Dr. Vanstone, who had relatives in New Westminster, practised medicine at Wawanesa, Manitoba, until 1912 when he moved to North Battleford, Saskatchewan, and thus never lived at the subject house. Mary J. Pentland, an Irish immigrant who arrived in Canada around 1910, only moved in a few years after being added to the ownership title. The first long-term residents and owners of the subject house were Margaret J. and James A. McLean. The couple lived together with their big family at 838 5th Street until Alexander passed away in 1929; Margaret continued to live at the subject house until 1941.

The subject house's second iteration as a rental started during World War II in 1941/1942, when the property was purchased by the Canada Permanent Mortgage Company. In the same year, the property's address was changed to 848 5th Street. While the property changed hands a few times within the following 15 years, different families lived at the house almost every other year. The next long-term owners were Ethel L. and Melker A. Berquist. The couple moved in to the subject house in 1961, where they enjoyed their retirement until Melker passed away in 1973, after which Ethel lived at the house until 1980.

This house is a modest vernacular, front-gabled house on an elongated block, amid an eclectic mix of houses built throughout the 20th and 21st centuries. Although no archival images of the subject house were located, it can be determined that the house was subsequently stuccoed, covering the wood siding of the main and upper floors. Original and early material survives throughout. Almost all window frames and many sashes, the porch elements and the basement cladding. Inside, original heat registers survive in almost every room. French doors and wood staircase are additional original elements of the interior.

ASSESSMENT

Evaluation criteria	Value	Comments
Historical Association	7/10	
a. Level of importance of a directly associated person or event (national/provincial/local).	2/10	Dr. Charles M. Vanstone, a medicine practitioner and later managing director of Wawanesa Mutual Insurance Company, was the first owner of the subject house; however, he never resided at 848 5 th Street.
b. Does the building illustrate a significant phase in the history/development of the local community?	5/10	The building is one of the oldest remaining buildings on the 800/900 block of 5 th Street, and testament to the Edwardian-era boom in New Westminster.
Architecture	25/40	
a. Visual quality of the building in the context of an architectural style or type (aesthetics).	8/15	Vernacular and thus common, this house retains its original scale, design and many of its architectural elements.
b. Is building still used for original function?	10/10	Single family detached home.
c. Quality of workmanship and handling of materials.	7/10	The structure is generally in good condition. Original wood trim is in fair condition; porch columns, railing and soffit are in good condition; the stucco is in good condition (there is evidence of wood cladding underneath the stucco, but insufficient to determine its condition); Original material such as roofing and soffits have been replaced over time.
d. Association with particular designer or architect.	0/5	N/A

Evaluation criteria	Value	Comments
Context	13/35	
a. The integrity of historic relationship between the building and its associated context.	8/10	The building was built during the Edwardian-era boom in New Westminster, and is one of the earliest developments on the 800/900 block on 5 th Street. It is part of an early, traditional single-family, streetscape.
b. Influence of the building on the present character of the area (setting).	5/10	It stands testament to the fact that this neighbourhood was developed early, but is only one of a few surviving structures from the Edwardian era
c. Nature of the building's identity within the community (landmark).	0/15	The building is part of the streetscape and does not stand out as unique.
Adaptability	20/20	
a. Can the building continue with its current/original use?	10/10	Although interior and exterior updates are required, the building can continue its use as a single-family dwelling.
b. Can the building be adapted for new contemporary uses without compromising heritage values?	10/10	Its siting on a lane, and on a relatively large (long) lot makes infill or extension very viable without impacting its character and design, nor its role in the historic streetscape.

Evaluation criteria	Value	Comments
Integrity	22/30	
a. Presence of original character-defining elements.	8/10	<ul style="list-style-type: none"> - Continuous residential use since 1912 - Residential scale, form and massing - Two-storey height with basement - Original siting set back from the street - Architectural elements, including: front-gable roof and fascia board; mostly original windows and early doors on all four elevations, front half-porch with porch columns (two with capitals), wood railing, low-pitched gabled roof and stairs; bay window on the south elevation; dormers on the south and north elevations; exterior chimney; - The only element obscured is the original wood cladding.
b. Compatibility of contemporary alterations and materials.	7/10	The application of stucco cladding is a common intervention on a house of this age and style. In this case the stucco application did not alter the design or opening patterns and composition. There are some replacement aluminum or vinyl window inserts. Neither of these interventions significantly detracts from the building's original character or design and both are reversible.
c. Overall exterior condition of structure and materials.	7/10	The exterior material is in fair to good condition. The structure of the house is in good condition.
Summary: 60%	87/145	

CONCLUSION

The building at 848 5th Street is of common heritage value in that it contributes to an eclectic streetscape of early houses from the 20th and 21st centuries; its vernacular design is still clear and a strong representative of the Edwardian era pre-WWI boom; it is one of the earliest buildings on the block and has seen continuous residential use since 1912. Its social and cultural values are common so it is not an outstanding nor rare asset. Its siting on a lane on a relatively large (long) lot makes infill or extension very viable without impacting its character and design, nor its role in the historic streetscape.

RESEARCH RESOURCES

Ancestry.ca

- British Columbia, Canada, Death Index, 1872-1990
- Canada, Voters List, 1935-1980
- Find a Grave Index, 1600s-Current
- 1911 Census of Canada
- 1921 Census of Canada

BC Archives

- Birth, marriage and death indexes

BC Assessment (<https://www.bcassessment.ca/>)

City of New Westminster Archives

- Aerials
- Tax Assessment Rolls, 1912-1960
- Water Permit

City of New Westminster, CityViews Maps

- Public Development Site Report, 848 5th Street

City of Vancouver Archives

- Goad's Atlas of the City of New Westminster, 1913 (Volume III)

Manitoba Historical Society

- Memorable Manitobans: CHarles Morley Vanstone (1870-1953)

New Westminster Public Library

- Columbian Newspaper, 1957-1983
- Criss-Cross B.C. City Directories Greater Vancouver, 1993
- Information Files
- Lower Fraser Valley Directory 1956 - 1992
- Public Library Photo Database

UBC Library Open Collections

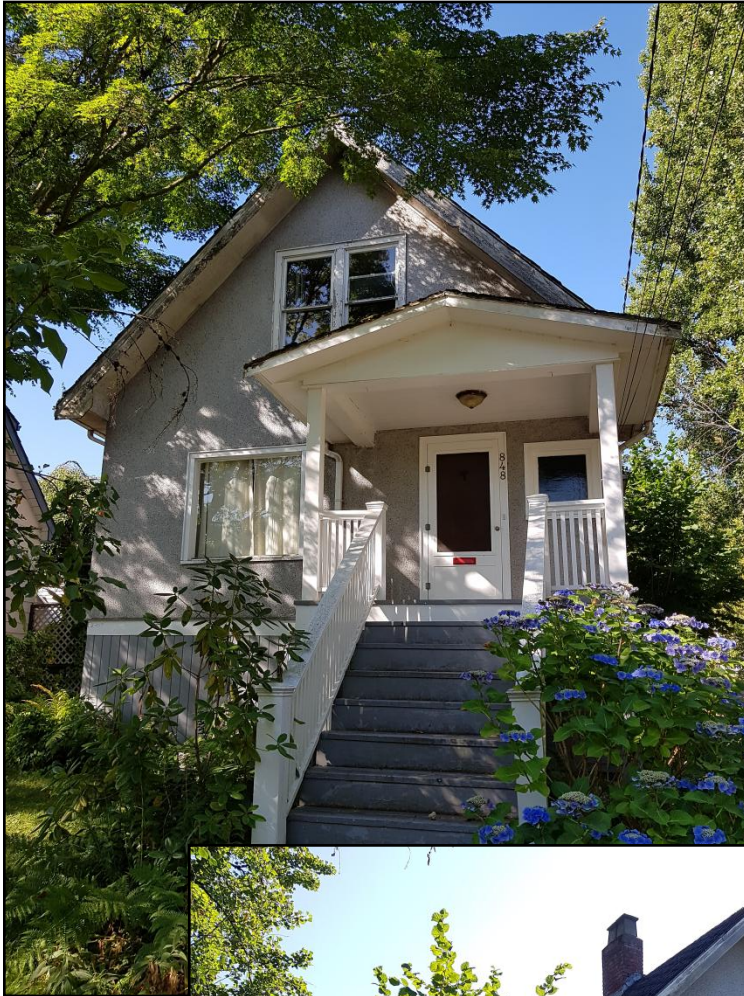
- BC Historical Newspapers

Vancouver Public Library:

- BC City Directories, 1860-1955 (<https://bccd.vpl.ca/>)
- Historical Photograph Collections

Site visit. July, 2021.

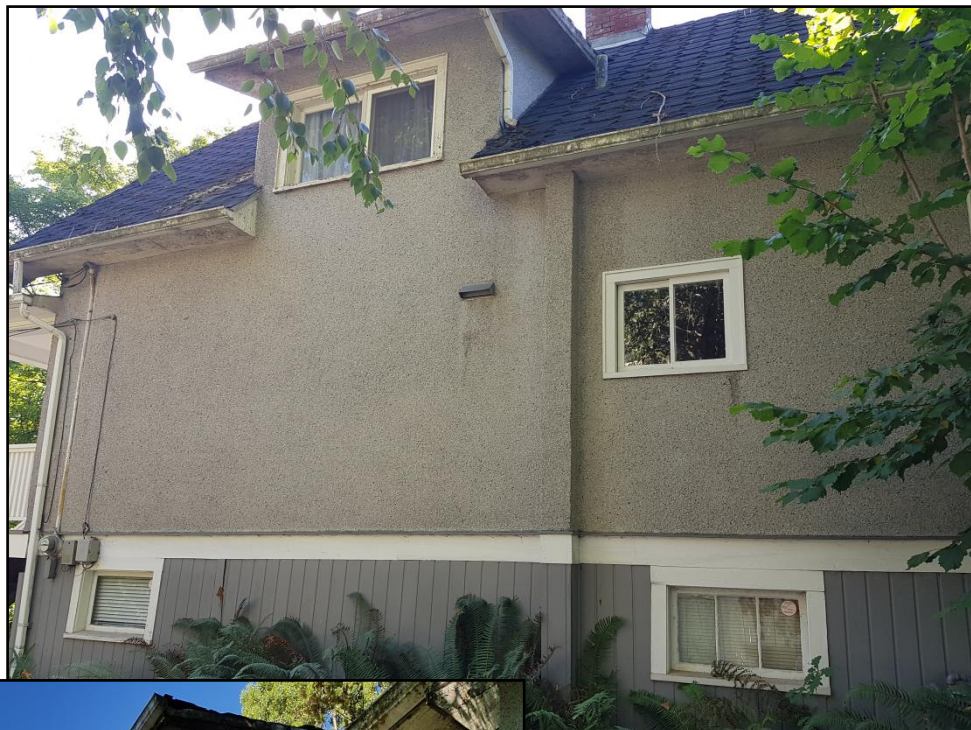
CURRENT PHOTOS



front view



rear view

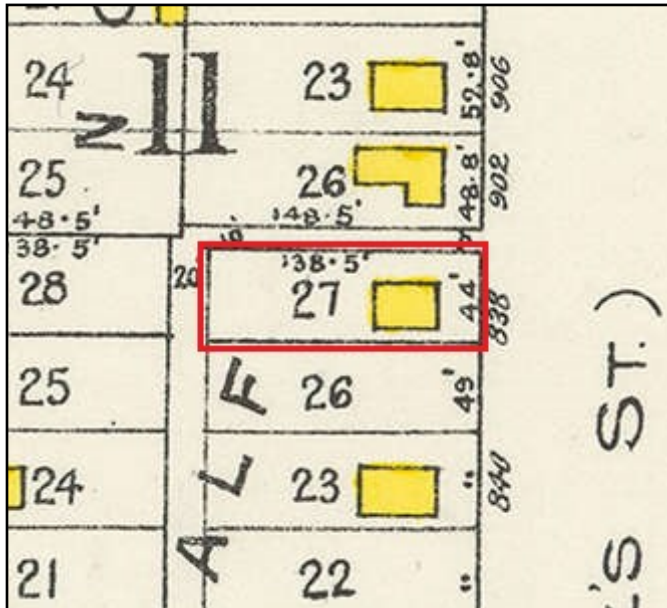


side view
(north
elevation)



side view (south
elevation)

ARCHIVAL IMAGES & RECORDS



Left: Fire Insurance Map of New Westminster, 1913. The map shows the subject property listed as 838 5th Street (previously St. George's St.), outlined in red. Note No. 840 south, and No. 902 north of the subject property.

Source: City of Vancouver Archives, Goad's Atlas of the City of New Westminster, 1913 (Volume III, plate 116), AM1594-MAP 342c (edited by author).

Right: A news article in The Pacific Canadian makes mention of Mrs. Pentland at 838 5th Street, who was protecting her geese from a large owl.

Source: The Canadian Pacific, 10 November, 1916.

Mrs. Pentland, 838 Fifth st., at the early hour of two Tuesday morning, captured a large horned owl which had one of her prize geese in its clutches. The midnight marauder, which had a wing spread of six feet and most formidable and business-like claws, had taken one of the fat geese on a previous occasion and, finding it good eating, had come back for the second, which it was trying to raise, when Mrs. Pentland grabbed the huge bird by both wings, close to the body, and hung on, calling for help. A neighbor, Mr. Hodson, fortunately came to her assistance and the winged poultry thief was landed and locked up.

McLEAN — PASSED AWAY AT
the Royal Columbian Hospital, on Aug. 26, 1933, George Herbert McLean of 838 5th St., New Westminster, age 59 years. He leaves to mourn his passing his loving wife, 2 sons, Cecil and Alex, of Burnaby, and 2 daughters, Mrs. T. Douglas, New Westminster, and Miss Grace McLean, at home; also his mother and five sisters, Mrs. P. V. Kinnee, Mrs. J. D. Kinnee, New Westminster; Mrs. L. C. Mills, Burnaby; Mrs. W. M. Wood, Abbotsford, and Miss Evelyn McLean, at home; also 3 brothers, W. S. of Vancouver, Albert and Donald of New Westminster. Funeral will be held Tuesday, Aug. 29, at 2 o'clock at the funeral home S. Bowell & Son. Interment Fraser Cemetery. Rev. J. L. Sloat officiating.

Left and below: The McLean Family at 838 5th Street suffered several losses within a couple of years. Four years after Alexander McLean had passed away, George Herbert died at the Royal Columbian Hospital; another two years later, last respects were paid to his brother, Donald.

Sources: The Vancouver News-Herald, 29 August, 1933. / The Vancouver Sun, 21 January, 1935.

McLEAN—PASSED AWAY JAN. 19TH,
1935, Donald McLean, 838 5th St., New Westminster, in his 48th year. Survived by his loving mother at home; 5 sisters, Mrs. W. M. Wood, Vancouver; Mrs. J. D. Kenney, Mrs. P. D. Kinnee, Mrs. L. C. Mills, New Westminster; Miss Evelyn at home; also 2 brothers, W. M. McLean, Vancouver, and Albert, New Westminster. The late Mr. McLean was a member of the 29th Battalion overseas. Funeral will be held Tuesday, Jan. 22nd, at 2 o'clock, from the Paterson Funeral Home, 8th St., and 6th Ave., New Westminster. Rev. Andrew Roddan officiating. Interment Returned Soldiers' Plot, Sapperton.

TODAY'S PRIZE RECIPE

Serve These at Your Salad Meal

Every day a prize of \$1 is awarded for the best recipe sent in by The Vancouver Sun readers.

Today's award goes to Miss C. McLean, 838 Fifth Street, New Westminster, for her tasty salad accompaniment.

CHEESE BALLS

1 cup grated cheese	1 egg
$\frac{1}{2}$ cup bread crumbs	1 teaspoon cream
$\frac{1}{2}$ teaspoon salt.	$\frac{1}{2}$ teaspoon dry mustard
$\frac{1}{2}$ teaspoon Worcestershire Sauce	

Combine the cheese, bread crumbs, salt and sauce. Beat the egg slightly and add the cream and mustard. Combine the two mixtures and form into small balls. Roll in crumbs and dip in egg. Fry in deep hot fat. Drain well on absorbent paper.

Serve with salads.

Today's Tested Prize Recipe

Bean Souffle

2 cups pureed beans	$\frac{1}{4}$ teaspoon dry mustard
3 tablespoons butter	$\frac{1}{2}$ teaspoon pepper
1 cup hot evaporated milk	1 tablespoon chopped pimiento
1 teaspoon salt	2 eggs, well beaten
$\frac{1}{4}$ cup grated cheese	

Any kind of beans can be used, such as baked beans or kidney beans. To the puree add the seasonings and beaten eggs. Pile lightly in a greased baking dish and sprinkle with the grated cheese and mustard. Bake in a moderate oven of 350 F. for 30 to 40 minutes. Serve immediately.

Here is a good way to use up left-over beans. This is delicious served with a crisp green salad. It wins today's \$1 prize for Miss E. McLean, 838 Fifth Street, New Westminster, and it has been tested in the Home Service Kitchen of the B. C. Electric by Miss Jean Mutch and her assistants.

We Want Economical Recipes.

Today's Tested Prize Recipe

Shubert Tea Bread

2 cups sifted all-purpose flour	$\frac{1}{4}$ teaspoon nutmeg
$\frac{1}{2}$ cup sugar	$\frac{1}{4}$ teaspoon cinnamon
$\frac{1}{2}$ teaspoon salt	$\frac{1}{2}$ teaspoon ginger
$\frac{1}{2}$ cup butter or other shortening	1 egg, well beaten
2-3 cup sour milk	
$\frac{1}{2}$ teaspoon baking soda	

Sift flour once, measure, add sugar and salt and sift again. Cut in butter until mixture resembles coarse crumbs. Reserve 1 cup of crumbs. To remainder add baking soda, spices, egg and sour milk, mixing well. Sprinkle half of the reserved crumbs in the bottom of a shallow pan, turn batter on them and sprinkle with remaining crumbs. Bake in moderate oven of 350°F for about 45 minutes. Serve warm.

These little tea squares won a prize for E. McLean, 838 Fifth Street, New Westminster. They have been tested in the Home Service Kitchen by Miss Mutch and her assistants.

Perhaps you can win a \$1 prize with one of your economical recipes. Send your entry to Edith Adams, winner.

The McLeans were mentioned in The Vancouver Sun several times for their prize-winning recipes.

Sources, top to bottom: The Vancouver Sun, 12 June, 1934 / 3 May, 1937 / 5 August, 1938.

6-room house, all newly decorated;
utility room off kitchen; full cement
basement, new furnace. 848 5th St.,
New Westminster.

Above: Advertisement for 848 5th Street in 1947. Source: The Vancouver Sun, 12 June, 1947.

Right: The property at 848 5th Street was for sale in 1974; however, Ethel Berquist eventually decided to not sell, and kept it as her home until 1980. Source: The Vancouver Sun, 1 May, 1974.

CATALOG **22**
ZONE
New West.

848 Fifth Street
Lovely older home has been
cared by elderly couple. 3
bdrms. & bath upstrs. Liv.
rm., din. rm., kit and util.
with toilet on main. Plus
bsmt. Vendor may carry
10% mtge. for good client.
DAVID BIRCH 521-5196 or
438-1311.

8. OUTSIDE NEEDS SOME
WORK but interior is ab-
solutely fantastic. 848 -
5th St. New Westmin-
ster. \$143,000

Left: 848 5th Street was listed for sale again in 1981. The Vancouver Sun, 30 March, 1981.

Appendix D

Letters from Applicant

September 29, 2021

We have always loved the Glenbrook community and wanted to have a home for our growing family there. Our son will be starting preschool next year and our hope is he will eventually transition to the Herbert Spencer Elementary School. We want our kids to grow up in the Glenbrook community which is why we purchased this home earlier this year.

Our goal was to keep this original home but unfortunately, we realized it was not the safest place for them. We have a newborn baby and with the mold in the home and rat infestation we have not been able to move in. We appreciate the history and need to retain heritage homes in the neighbourhood. Unfortunately, this home is not in livable condition.

We want to build a new home that incorporates more traditional elements in keeping with the style of the neighbouring homes. In addition to this, we are going to have two rentable units (basement suite and laneway home) which will offer up more options for housing in the community.

We appreciate your time in considering our application. We hope we can move our family into the community soon.

Thank you,

Gurvir & Rylan Armstrong

----- Forwarded message -----

From: **Raj Sidhu** <proedgedevelopments@gmail.com>

Date: Wed, Sep 29, 2021 at 12:38 PM

Subject: Professional opinion

To: kirsten sutton <kirsten@d3design.ca>

Cc: Gurvir Armstrong <gurvarmstrong@gmail.com>

Hi Kirten,

As a professional contractor of 15 years. After doing a through review, I've come to the conclusion that the property on 848 5th street new westminister is beyond restoration. The property has been very poorly maintained specially the building envelope. There are many signs of active water damage and a active leak going down to the basement. Do do the fact the building envelope has been compromised I'm certain there will be major structural damage to the wood structure along with mold etc.

The house has major settlement issues, not visible with the eyes but with a builders level its very clear. The foundation is comprised in my opinion.

Overall the house is in very poor condition and not livable In my opinion. A renovation is not the right corrective action for this house. If this house would of been maintained over the years it could of been a great restoration project.

Sincerely

Raj Sidhu
Pro-Edge Developments Ltd

REPORT

Climate Action, Planning and Development

To: Community Heritage Commission **Date:** October 6, 2021

From: Nazanin Esmaeili,
Planning Assistant **File:** PF007103

Item #: [Report Number]

Subject: Heritage Review (Demolition): 1031 Cornwall Street

PURPOSE

To review the heritage value of the building and provide a recommendation on demolition.

SUMMARY

The house at 1031 Cornwall Street, in the Brow of the Hill neighbourhood, was built in 1926 in the vernacular cottage style. The building is not legally protected by bylaw, and is not listed on the City's Heritage Register or Heritage Resource Inventory. However, as a result of the building's age (near 100 years old) and as it has elements of its original style, the Community Heritage Commission is being asked to review the heritage value of this building in advance of a Demolition Permit process.

GUIDING POLICY

50 Years and Older Heritage Review Policy

The City's heritage review policy is that demolition applications for a building or structure older than 50 years are automatically forwarded to the Planning Division for review, and may be referred to the Community Heritage Commission (CHC) for comment if it is deemed by the Planning Division to have sufficient heritage significance.

Demolition Permits

Demolition Permits are issued by the Director of Development Services. The Director may forward the application to Council for further consideration, or consideration of a temporary protection order where warranted, or for consideration of retention through a development application (such as a Heritage Revitalization Agreement).

Heritage Protection

The City may only withhold a Demolition Permit if the building is legally protected. In this case, the building is not subject to a Designation Bylaw, and is not listed on the City's Heritage Register or Heritage Resource Inventory. Council could consider a Heritage Designation without the owner's consent, though a compensation claim could be made for the loss of zoning entitlement value from the designation. Alternatively, Council could put temporary protection in place, to allow time for staff to negotiate a potential development application.

BACKGROUND

Property Description

The house at 1031 Cornwall Street was built in 1926 and is approximately 181 sq. m. (1,137 sq. ft.). It is two stories with a basement. The house style has a simple cross-gabled roof form with a small covered entryway pediment and stairs up to the main entrance. Its site density is 0.3 floor space ratio (FSR). Photographs of the building in its current condition are available in Appendix B.

Building Condition

Based on current photos and heritage assessment (Appendix B), the building at 1031 Cornwall Street appears to be in somewhat poor condition. The original windows have been replaced, and it is unknown if the original siding is extant under the asbestos siding.

Development Policy Context

The property is zoned Single Detached Districts (RS-1) which allows for a house, suite, and laneway house to a combined maximum of 0.6 FSR. The owners are permitted double the density currently on the site without further Planning approvals. In the Official Community Plan (OCP), the property is designated as "Residential- Ground Oriented Infill Housing" (RGO) which envisions a mix of ground oriented infill housing forms such as du-quadruplexes or row/townhouses. These higher forms could only be achieved through a rezoning or similar application (i.e. a Heritage Revitalization Agreement).

Site Context

The subject site is located in the Brow of the Hill neighbourhood, on the north side of Cornwall Street between Eleventh and Tenth Streets. The properties in this block, fronting on the south side of Cornwall Street, are also zoned for Single Detached – with the exception being 1025 Cornwall Street which is zoned for Apartment (Low Rise). The properties in this block, fronting on the north side of Cornwall Street are primarily zoned Single Detached Residential Districts (RS-1).

This side of the block is dominated by a grouping of single family homes constructed in the same time period. Though, to the east and to the rear of the subject site are multifamily buildings. Across the street are also single-family houses, the oldest having been constructed in 1892 and the most recent in 2016. A site location map is included as Appendix A.

DISCUSSION

Heritage Value

The property is within a context of a mix of new and old houses and multi-family buildings; however most of the buildings have been renovated and are in better condition. The subject house was built in 1926, in the Vernacular Cottage style, 1031 Cornwall Street has some heritage value for its age and original design, and it retains some of its original features including:

- overall massing and design, and
- wood brackets, and
- fenestration pattern.

There is also some social value for its contribution to the community's sense of identity, and some scientific value for its contribution to the understanding and appreciation of the time when the house was constructed. However, the house is not an unusual or rare example of this design nor do the original occupants have high cultural significance beyond being representative of hardworking families. A heritage assessment with further details is available in Appendix B.

Feedback from the Commission

The following options are available for consideration by the Community Heritage Commission:

- 1) That the Community Heritage Commission recommend the Director of Development Services issue a Demolition Permit for the house at 1031 Cornwall Street and that the applicant consider deconstruction as an alternative to demolition waste;
- 2) That the Community Heritage Commission recommend the Director of Development Services direct staff to further explore retention options (i.e. redevelopment or relocation) for the house at 1031 Cornwall Street; or
- 3) That the Community Heritage Commission recommend that Council consider a temporary protection order for 1031 Cornwall Street; or
- 4) That the Community Heritage Commission provide an alternative recommendation, based on their discussions.

ATTACHMENTS

Appendix A: Site Context Map
Appendix B: Heritage Assessment

APPROVALS

This report was prepared by:

Nazanin Esmaeili, Planning Assistant

This report was reviewed by:

Britney Dack, Senior Heritage Planner

Appendix A:
Site Context Map



Appendix B:

Heritage Assessment

September 2021

Introduction

The subject building is a single-family house located at 1031 Cornwall Street in New Westminster, British Columbia. It is being evaluated to determine if it has heritage value. There are two types of documents that discuss the heritage value of a building: a Heritage Assessment and a Statement of Significance. The purpose of a Heritage Assessment is to determine if a building has heritage value, while a Statement of Significance (SOS) is based on heritage value being already determined and identifies the details of that heritage value.

The heritage value of a place is determined by assessing if it has aesthetic, cultural, historic, scientific, social and/or spiritual importance or significance for past, present and future generations (using the *Standards and Guidelines for the Conservation of Historic Places in Canada*¹). If present, these values would be embodied by character-defining elements typically identified as materials, forms, location, spatial configurations, uses and cultural associations or meanings. This document is an assessment and therefore does not go into the level of detail of an SOS, but it will make general statements regarding heritage value and character-defining elements.

An in-person site visit was made on September 10, 2021, during which photographs of the house were taken and the overall condition of the house was discussed. In-person research at the library and the Archives was not conducted given the Pandemic; however, online research has been carried out.

Context

The property has the following site physical characteristics:

Site Area:	607 sqm (6,534 sq ft)	Floor Space Ratio:	0.299
Frontage:	15.09 m (49.51 ft)	Site Coverage:	12.47%
Average Depth:	40.23 m (131.99 ft)		

The property is zoned Single-Family Residential (RS-1), the intent of which is to “allow single detached dwellings, secondary suites, and laneway or carriage houses in residential neighbourhoods.”²

The property is identified in the Official Community Plan as (RGO) Residential – Ground Oriented Infill Housing, the purpose of which is: “to allow a mix of ground oriented infill housing forms which are complementary to the existing neighbourhood character. Generally forms with a higher number of units

¹ *The Standards and Guidelines for the Conservation of Historic Places in Canada*, Second Edition, 2010. p. 5.

² City of New Westminster Zoning Bylaw, Section 310.

are expected to be located on larger properties. Units can be attached, detached or a combination of the two.”³

For more details on the expectations for this Zoning category and the OCP designation, please consult with the City’s Planning Division.

The property is shown on the following maps, outlined in yellow. It is located in the Brow of the Hill neighbourhood, on the north⁴ side of Cornwall Street, between Tenth and Eleventh Streets. To its west are other single-family houses that were constructed in the same time period. To its east and to the rear are multifamily buildings. Across the street are single-family houses, the oldest having been constructed in 1892 and the most recent in 2016. The subject house is within a context of a mix of new and old houses and of multi-family buildings.



Map Courtesy of City Views (CNW) V. 3.0



Map Courtesy of Google Maps, 2021

³ City of New Westminster Official Community Plan – Mainland Use Designations, p. 4.

⁴ Project North

Photographs of the Subject Building (September 2021)



Project South (Front) Elevation



Project North (Rear) Elevation



Project West (Side) Elevation



Project East (Side) Elevation

The Building

The building, according to the City's Development Site Report, was constructed in 1926 by J. Percy. The style is a simple vernacular cottage style, with a side gable roof and a small projecting porch that is covered with a front facing gable roof. At some point, likely in the 1950s or 60s when it was popular, the house was reclad in asbestos siding. There are windows of varying sizes and styles, all of which have newer vinyl inserts. There are open knee brackets in the medium width overhanging eaves and wide bargeboards in the gable edges. The roof is clad in a medium-dark asphalt shingle and there is one internal chimney, with a double chimney cap, on the rear half of the house.



Asbestos Siding



Vinyl Insert Window



Porch Gable Roof with Wide Bargeboards



Wood Brackets

The house next door, at 1033 Cornwall Street, was also constructed in 1926 in a very similar style and size, but by a different person (S. F. Mark).



Image Courtesy of Google Maps, 2020. 1033 on the left, 1031 (subject house) on the right.

Heritage Value and Evaluation

Heritage Value

First Owner/Developer

City documents show that the house is attributed to “J. Percy”. He was likely the builder and may have been William J. Percy, a carpenter who lived at 311 Seventh Avenue in New Westminster during this time period.⁵ Between the year the house was constructed (1926) and 1955, there were three owners:

1927-35	William and Barbara Haverson
1936	Cleveland and Barbara Brownlee
1937-55+ ⁶	Albert and Mary Tucker

William Haverson (1862-1933) was a “hostler” (someone who looks after horses) for Shelly’s Bakery, according to the 1927 BC Directory. In 1930, he was listed as a “barnman” for Canadian Bakeries Ltd. (which owned Shelley’s Bakery). Interestingly, the first owner of the house next door at 1033 Cornwall Street, W. Boulter, also worked at Shelly’s Bakery at the same time as Mr. Haverson. In 1927. Shelly’s Bakery had a few stores throughout the Lower Mainland. The one in New Westminster was at 231 Tenth Street, just down the road from the subject house.

Second owner, C. Brownlee was a longshoreman.

⁵ BC Directory for 1927, p. 1211.

⁶ The on-line City Directories only go as far as 1955. It is possible that the Tuckers lived in the subject house beyond 1955.

Third owner, Albert Tucker, was a millworker with “C.W. Lbr.”⁷ in 1940 and then a Machinist with the Brunette Machine Works in 1945.

In order to discover if there is more information about any of these owners, more time than is available for the writing of a Heritage Assessment would be required.

Heritage Value – Standards and Guidelines for the Conservation of Historic Places in Canada

The heritage value of the subject house has been assessed based on possible aesthetic, historic/cultural, scientific, social and/or spiritual importance or significance for past, present and future generations, as per the “Standards and Guidelines”. *See the definitions of these values in Appendix A.* As noted above, a more detailed listing of values, if present, would form part of a Statement of Significance.

For this Heritage Assessment, the following summary is provided:

The house has some historic value for its age (1926) and for retaining elements of its original style (overall massing and design, fenestration pattern, wood brackets). Not much information could be found on the builders or on the first three sets of owners; therefore, the house has no identifiable cultural value.

There is some social value for its contribution to the community’s sense of identity, and some scientific value for its contribution to the understanding and/or appreciation of the time when the house was constructed. There is no known spiritual value associated with the structure, but to determine if there is spiritual value associated with it or with the land upon which it sits would require consultation with First Nations and other cultural groups.

The character-defining elements for this house would include the overall design and massing, the fenestration pattern and the wood brackets.

Conclusion

After assessing the heritage value of the building, it is the recommendation of this heritage professional that the property has some heritage value for its age and original design. However, the original windows are gone, and it is unknown if the original siding is extant under the asbestos siding. If the original siding is present, there is no way to know what condition it is in without removing all of the outer layer of siding. Restoring the exterior of the house is possible but would be very costly. The house is not an unusual or rare example of this design nor do the original occupants have high cultural significance beyond being representative of hardworking families. There is a house of the same era and design next door (1033 Cornwall St) that appears to be in excellent condition. Given its very low floor space ratio and the small size of the lot, as well as the designation of the property in the Official Community Plan as ‘Residential – Ground Oriented Infill Housing’, there is significant pressure to develop the subject property to its fullest potential.

⁷ Definition of the abbreviation unknown. Used in the Directory 1940.

The owner and the City are encouraged to discuss retention options through the use of a Heritage Revitalization Agreement that would provide non-financial incentives (keeping in mind the likely cost of restoration); however, given the location of the house amidst multi-family buildings and newer houses, the loss of original cladding and windows, the high cost to restore the house, and because it is not rare or unusual, it would be reasonable to allow redevelopment of the site.

JSchueck

Julie Schueck, CAHP Professional Member
Principal, Schueck Heritage Consulting
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778-838-7440

Appendix A: Definitions

The following definitions of heritage value are quoted directly from the “Canadian Register of Historic Places: Writing Statements of Significance” guide:

Aesthetic value refers to the sensory qualities of a historic place (seeing, hearing, touching, smelling and tasting) in the context of broader categories of design and tradition. A place may have aesthetic significance because it evokes a positive sensory response, or because it epitomizes a defined architectural style or landscape concept. Visual aesthetic value is typically expressed through form, colour, texture or materials. It is possible for historic places to have other aesthetic values as well, such as auditory ones. Historic places with aesthetic significance may reflect a particular style or period of construction or craftsmanship, or represent the work of a well-known architect, planner, engineer or builder.

Historical and cultural values are sometimes combined and refer to the associations that a place has with past events and historical themes, as well as its capacity to evoke a way of life or a memory of the past. Historical or cultural value may lie in the age of a heritage district, its association with important events, activities, people or traditions; its role in the development of a community, region, province, territory or nation; or its patterns of use. Historical or cultural value can lie in natural or ecological features of the place, as well as in built features.

Scientific value refers to the capacity of a historic place to provide evidence that can advance our understanding and appreciation of a culture. The evidence is found in the form, materials, design and/or experience of the place. Scientific value can derive from various factors, such as age, quality, completeness, complexity or rarity. Scientific value may also be present when the place itself supplements other types of evidence such as written sources, such as in archaeological sites.

Social value considers the meanings attached to a place by a community in the present time. It differs from historical or cultural value in that the value may not have an obvious basis in history or tradition and relates almost entirely to the present time. Social value may be ascribed to places that perform a key role within communities, support community activities or traditions, or contribute to the community’s sense of identity. Places with social value include sites that bring the community together and create a sense of shared identity and belonging.

Spiritual value is ascribed to places with religious or spiritual meanings for a community or a group of people. Sacred and spiritual places could include places of mythological significance, landscape features associated with myth and legends, burial sites, rock cairns and alignments, fasting/vision quest sites etc., places representing particular belief system(s) or places associated with sacred traditions, ceremonial practices or rituals of a community/group of people.⁸

⁸ Historic Places Program Branch, “Canadian Register of Historic Places: Writing Statements of Significance,” Parks Canada, November 2006, pp. 12-13.

Appendix B: Historic Information

NEW WESTR. CITY DIRECTORIES

PERRY 1211

Pepper's Market (A M Pepper J Walters) meats 2039 Granville
—Sausage Co G Pepper mgr 850 1/2 Robson
Peppett Wm J credit mgr H B Co r 1343 Robson
Peppin John of Peppin & Lafvire r 2533 Cambridge
—(J) & Lafvire (S) bldg contrs 2533 Cambridge
Pepponi Filippo conf 402 E Hastings
Pepps Mrs Erna prop Pepps Gift Shop r 609, 1210 Jervis
—Gift Shop (Mrs E Pepps) antiques and curios 804 Robson
—Theresa nurse h 30, 840 Nelson
Perazzo Nick cigars tobac and poolrms 714 Main h 1168 E 11
Percal John ptry r Shaw PO Bby
Perceral Cyril mstr mnrr r 730 E 13
—Echlin turner Red Cross Wkshps h 730 E 13
—Francis J retired r 730 E 13
Percie Fredk E lngshmn h 902 5th st N Westr
—Mildred clk White Gro r 902 5th st N Westr
Percival Alfd E mtrmn BCER h 52 E 56
—Annie R r 4022 W 33
—Building (A G McCandless) 1150 Hamilton
—Geo of Parsons & Percival h 2345 W 7
—Geo E S carp h 1843 Robson
—Hubert E frmn Clarke & Stuart r 1086 Bute
—John L barber C D Morgan h 2135 E 5
—John N mt ctr Mullett's Sausage Fety r 1811 Pine
—J lab r 1280 Richards
—Laura r 2345 W 7
—Mary wid J sales H B Co r 1126 Barclay
—Robt H swchmn CNR h 2537 Mayne Bby
—Thos F lab City h 1811 Pine
—Thos F jr clk Mc & Me r 1811 Pine
—Thos H sales W T McArthur h 2294 W 10
—Thos M retired h 4022 W 33
—Wm r 641 Richards
Percy Arthur S carp h 1369 Robson
—Chas R atndt Prov Mental Hosp h 318 Royal N Westr
—E C A r RR2 N Westr
—Herbt H jntr Gen Hosp r 2407 Sperling Bby
—Isabel V sales B M Clarke r RR 2 N Westr
—Jane dom 2919 Alder
—Joyce B r 1967 Barclay
—Margt maid Gen Hosp r 1432 E 6
—Norah A steno McClary Mfg r 1967 Barclay
—Robt mstr mnrr h 630 Princess
—Tom ydmn CPR r 1967 Barclay
—Thos h 1967 Barclay
—Wm J carp h 311 7th av N Westr
Perdue Albt E jntr Cave & Co h 567 Hornby
—Jack logger r 208 Union Highbury
—John A agt Travelers Ins h 2889 Highbury
—Jos retired h 517 10th st N Westr
—Richd A of Arbutus S & D h 2135 W 16
—Wm H drvr Arbutus S & D r 2714 Windsor
Perelkin Wm lab h 224 10th av N Westr
Perello Jas conf r 609 W Pender
—Mike gen contr h 1663 W 4
Perepelkin Saml lab h 831 2nd st N Westr
Perepolin Mike lab r 842 E Georgia
Pereyma P r 429 Campbell
Perex Alex lab h 4332 Edward
—Priscilla sales Spencers r 4332 Howard
Perfect Constance M sales r 755 Seymour
—Florence M sch tchr r 755 Seymour
—Hannah wid H h 755 Seymour
—Ladies' Wear Ltd A Sabo mgr 976 Granville
Perfection (The) (Mrs G Knull) hair-drsrs 521 Lonsdale N Van

Perfection Products Co Ltd F Dymont mgr janitors' supplies 1624 Albert
Perfitt Arthur lab h 4404 E Hastings N Bby
—Arthur jr plstr r 4404 E Hastings N Bby
—Birt lab r 658 Union
Perie Rae baker r 736 W 15
Perinuts Michl lab h 4, 638 Prior
Perioux Mrs Marie r 506 W 7
Periton John clk V M & G Co h 4, 1620 Coml
—P V lab V M & G Co r 4, 1620 Coml
Perkett Susan wid E O h 12 E 4
Perkin Francis R prop Vets Rotary Bread Shopp h 4464 W 12
—Willfrid J civil eng h 4138 W 14
—Wm F mtrmn BCER h 2636 Burns
Perkins Albt tmstr h 214 8th av N Westr
—Alice G sch tchr r 4850 Granville
—Alvin E piano tuner h 1873 Nelson
—Arthur W pdlr h 2565 W 14
—Chas H golf prof h Austin rd N Westr
—Earl M sales Woodward's r 3840 Venables N Bby
—Edgar E sch tchr S Van r 2113 Kway
—Ella D sch tchr Van r 4850 Granville
—E Jean r 1850 Granville
—Francis T grdnr h 278 Manor
—Fredk retired h 4850 Granville
—Fredk emp Can S I Wks r 2141 Pandora
—Fredk A elec r 632 E 26
—Fredk B drvr F V Dairies h 632 E 26
—Geo agt Prud Ins r 3721 Windsor
—Geo A mtrmn BCER h 1114 E 23
—Harriet wid E H h 2667 E 45
—Harry F carp h 2636 Trinity
—Harry M carp h 3840 Venables N Bby
—Hugh E M mach Am Can h 3537 W 6
—Ina G r 3840 Venables N Bby
—Katie waitress r 1125 Granville
—Lindsay W mach r 915 Granville
—Mervyn G sales h 6, 621 Jervis
—Raymond A sales Clamans h 1, 1873 Nelson
—Russell L clk B C Perm Loan r 3840 Venables N Bby
—Saml lab h 2042 E 49
—Sarah wid W D h 2843 Alma
—Wm boommn r 103 Columbia
—Wm C firmn h 1068 E 62
—Wm P bldg contr 3714 W 12
—Wm T mtrmn BCER h 126 E 26
—Winifred sales Woodward's r 126 E 26
—Winifred steno r 4850 Granville
Perkis A lab Van Harb Bd r 845 E Pender
Perks Florence L hairdrrs H B Co r 2655 Turner
—Richd C sales Van Music r 2655 Turner
—Wm W shpr h 2655 Turner
—Walter W sch tchr Conchord Conserv r 2655 Turner
Perley Rev Danl M pastor Six Ave Un Ch h 1019 5th av N Westr
Perlstrom Louise W hairdrrs Violet Beauty Parlor r 2507 E 41
—Wm L glazier Carlton S & D Fety h 2507 E 41
Perman Arthur E custodian Van Safety Deposit Vaults h 6437 Angus
—Barbara I C r 6437 Angus
Permanent Dye Works Ltd H L James mgr 1656 W 4
Pernell John W mlwrt h 1414 Alberni
Pernevowsky John fl lyr h 1806 E 34
—Saml hlpr Morrison Steel r 1806 E 34
Pero Felix lab h 1652 E 42
—Geo mech Can Liq Air h 2129 Yukon
Peroni John lab r 552 E Hastings
—J waitress White Lunch r 636 Prior
Perosino Sophia wid C h ns Thorley Pk
Perowne Geo T J h 180 E Kings N Van
Perras Arsene waitr London Hotel Beer Parlor r 710 Main
Perraton Percy R of Perraton & McLaren h 4988 Arbutus

Perraton Vera M prop Vera's Beaute Salon r 4988 Arbutus
—(PR) & McLaren (GR) ins adjusters 301, 615 W Pender
Perrault Alderic J resawmn B C Mfg r 1008 Queens N Westr
—Annie wid N P h 430 Helmcken
—Denis mech r 430 Helmcken
Perreault Ernest A carp h 5552 Wales
Perrett Henry log scaler h 5225 Wales
—Morris br mgr Wallace Marketeria h 3875 Parker N Bby
—Roy mach Van Mill Machy h 666 E 32
Perrie Georgina wid — Indy wkr r 2028 Wall
Perrigo John J prop Viola Court r 773 Seymour
Perrin Alfd putr Can Bag h 37, 884 Bute
—Elmer clk Western Gro r 425 E 23
—Emma drsmkr 2720 Columbia
—E wid — r 1049 Robson
—Felix lab r 634 E Georgia
—Gladys steno Work Comp Bd r 425 E 23
—Harry mach CPR h 2350 Cornwall
—Harry opten Standard Jewly r 19th & Waterfront W Van
—Mrs Isabella of Perrin & Co r 425 E 23
—John mlwkr Rat P Lbr h 1912 W 1
—Josephine E steno Newman & Fyfe r 1049 Robson
—J Wordsworth asst dir Dorchester Institute h 1625 W 11
—Kath S hlth supr B C Tel r 3629 W 2
—Lester r 307 W Pender
—Rodk of Perrin & Co h 425 E 23
—Sarah wid W h 3629 W 2
—Thos lngshmn r 769 E Hastings
—Wm clk Western Gro r 425 E 23
—& Co (R and Mrs I Perrin) tailors 2148 Main
Perrins Regd J lab h 4825 Lanark

Percy Arthur S carp h 1369 Robson
—Chas R atndt Prov Mental Hosp h 318 Royal N Westr
—E C A r RR2 N Westr
—Herbt H jntr Gen Hosp r 2407 Sperling Bby
—Isabel V sales B M Clarke r RR 2 N Westr
—Jane dom 2919 Alder
—Joyce B r 1967 Barclay
—Margt maid Gen Hosp r 1432 E 6
—Norah A steno McClary Mfg r 1967 Barclay
—Robt mstr mnrr h 630 Princess
—Tom ydmn CPR r 1967 Barclay
—Thos h 1967 Barclay
—Wm J carp h 311 7th av N Westr
Perdue Albt E jntr Cave & Co h 567 Hornby

—Chas r 300 Union
—Chas H clk CPR h 3573 Quebec
—Chas L clk PO h 3962 W 12
—Chas W dectr h 2, 1349 E 2
—Chris P chkr CPR h 785 E 16 N Van
—Clara wid G H r 2875 Balaclava
—C Albt carp h 2428 Birch
—C Clifton Indian agt Can Govt 1 2649 W 3
—Dallas G phys 211, 718 Granvill h 3330 W 25
—Darragh M steno BCER r 30 E 12
—David W limnn BCER h 1791 E 6:
—Della B r 1758 W 49
—Dorothy A sch tchr N Van r 324 1 10 N Van
—Edw B of Olympic Cafe h 2742 P Grey rd

Wrigley's BC Directory 1927, p. 441

SHELLY'S BAKERY.

**(Canadian Bakeries Ltd.)
W. C. Shelly, Mng. Dir.
Bread and Cake Manufac-
turers, 601 West 10th, cor.
Ash. Phone Fair. 44. Also
North Vancouver Plant, 123
East 13th, Phone N. 244.
N. West., 231 Tenth St.,
Phone West. 14.**

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MEMO

Climate Action, Planning and Development

To: Community Heritage Commission **Date:** October 6, 2021

From: Britney Dack,
Senior Heritage Planner **File:** 13.2605.40

Item #: [Report Number]

Subject: Heritage Revitalization Agreement Refresh: Timeline and Work Plan

PURPOSE

To provide information on the status of this Development Services policy project, including timeline and workplan overview.

OVERVIEW

On August 30, 2021 Council directed staff to proceed with the HRA Refresh project. The proposed project would update the City's existing HRA policy, with the goal of providing clarity to applicants and the community on both the requirements (heritage protection and restoration) and the benefits (development incentives) of an HRA application. In addition, the new policy would:

- refine and update the policy to today's standards while also maintaining the strong and long-standing policy framework that exists for the use of HRAs;
- build on lessons learned from near 40 small-scale HRAs completed in the past ten years, including identifying successes and patterns from those earlier projects; and
- address the project goals including; increasing clarity, certainty, and expectations for applicants and the community, providing equitable incentives and requirements city-wide, and integrating with current City programs, policies, and Council priorities

It is anticipated that the policy will be presented to Council for endorsement in spring 2022. An Implementation Program would be launched in the summer of 2022.

ATTACHMENTS

Appendix A: Staff Report to Council, August 30, 2021

This report was prepared by: Nazanin Esmaeili, Planning Assistant

This report was reviewed by: Britney Dack, Senior Heritage Planner

REPORT

Engineering Services

To: Community Heritage Commission **Date:** October 6, 2021

From: Karen Campbell,
Project Manager, Civic Buildings &
Properties with
Rob McCullough, Manager, Museums &
Heritage Services **File:** 1925482

Item #: 2021-402

Subject: Feasibility Study for 302 Royal Avenue (Museum & Archives Annex Building)

PURPOSE

To inform on a potential future redevelopment of the City-owned building adjacent to the Irving House, a protected heritage property.

SUMMARY

This memo provides information to the Community Heritage Commission (CHC) on a Feasibility Study for the site at 302 Royal Avenue, which is anticipated to begin in the fall of 2021. 302 Royal Avenue currently includes the City's Museum & Archives Annex Building (Annex) that was built in 1964 along with Irving House, one of the oldest surviving buildings in the province (built 1865). Irving House is protected by a Heritage Designation Bylaw and is listed on the City's Heritage Register.

The Annex Building no longer serves a functional purpose for the City, as most of the City's museum collections have been, or are in the process of being, removed from the building. Most of the City's museum collections are now located within the City's Anvil Centre. The Annex Building is not considered to have heritage value and is in poor condition with failing components that require costly repairs. The Feasibility Study would explore opportunities and identify a recommended approach for the future of the Annex Building.

This memo is for information only and a recommendation from the Community Heritage Commission is not required at this time.

BACKGROUND INFORMATION

Site Characteristics

302 Royal Avenue is a sloping corner site downtown. The property is double fronting with Royal Avenue at the front and Cunningham Street at the rear. The slope is down towards Cunningham. These two streets intersect with Merivale Street on the side of the property, across which is Qayqayt Elementary School. There are two buildings on site, both described below. Also on the site are gardens and a small collection of significant trees. A site context map is included as Appendix A.

Museum & Archives Annex Building

The Annex Building is two storeys (upper floor and basement) with a flat roof, and is at the rear of the property along Cunningham Street. The main entrance is located at grade level facing towards Royal Avenue (north/west). Due to the slope, the basement is at grade level at Cunningham Street (south/east). The building is approximately 474 square metres (5, 100 square feet) with a foot print of approximately 246 square meters (2, 650 square feet).

The building's structure is primarily composed of concrete block construction and the building was erected in 1964. It is not considered to have heritage value and is in poor condition with failing components that require costly repairs and annual maintenance. Current photographs of the building are in Appendix A.

Irving House Heritage Value

Irving House was built in 1865 and is one of the oldest buildings in the province. Irving House has a direct link to the earliest pioneer development of New Westminster, and has been evaluated as having very high heritage value for the city and region. For further details on its historic value and photographs, see the site's Statement of Significance in Appendix B.

The house faces Royal Avenue though is very close, but not attached, to the Annex at the rear. This project does not contemplate any interventions to Irving House itself.

Heritage Protection

The property is protected by a Heritage Designation Bylaw, and the Irving House is listed on the City and Canadian Heritage Registers. As such, changes to the property, if any, would require a Heritage Alteration Permit (HAP) issued by Council or the Director of Development Services. Through the HAP process, any changes proposed would be evaluated against the *Standards and Guidelines for the Conservation of Historic Places in Canada* which Council endorsed for these application types in 2008. The HAP process does not typically include public consultation or review by the Community Heritage Commission, unless the Director or Council provide this instruction.

FEASIBILITY STUDY

Most of the City's museum collections have been, or are in the process of being, removed from the Annex Building. Primarily, the City's museum collections are now located within the City's Anvil Centre. Given that the Annex Building is no longer being used in its intended manner and that the annual maintenance requirements are costly, the City is engaging in a Feasibility Study to explore opportunities for the future of the site. Specifically, the Study would recommend an approach on redevelopment, which could include renovation, demolition, new construction, or a combination thereof.

Maintaining the integrity of Irving House will be a key consideration through the Feasibility Study. The Statement of Significance and the list of the Character Defining Elements (CDEs) for the site will be continually referenced and considered through the process. The Feasibility Study will also use a reconciliation or decolonizing lens, as per Council's Strategic Priorities (#5 of the 2019-2022 Strategic Plan).

FEEDBACK FROM THE COMMISSION

The purpose of this memo is to notify the members of the Community Heritage Commission (CHC) that a Feasibility Study of the site is anticipated to begin in the fall of 2021. This memo is for information only and a recommendation from the CHC is not required at this time.

The CHC will be engaged on the progress of this work at a later date, as appropriate or as directed by Council and City management.

ATTACHMENTS

Appendix A: Site Context Map and Photographs

Appendix B: Statement of Significance (SOS) – 302 Royal Avenue

APPROVALS

This report was prepared by:

Karen Campbell, Project Manager, Civic Buildings & Properties

This report was reviewed by:

Rob McCullough, Manager, Museums & Heritage Services, and

Britney Dack, Senior Heritage Planner



Attachment A

Site Context Map and Photographs

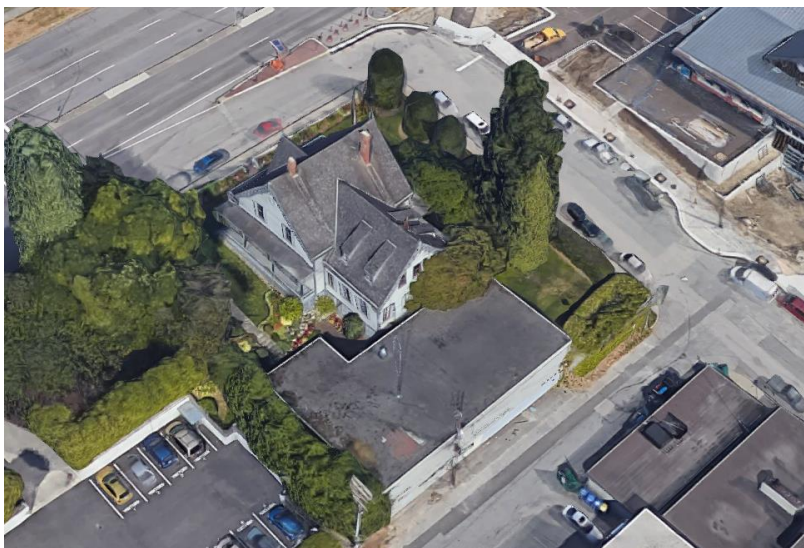


0.1
 0
 0.03
 0.1 Kilometers
 NAD, 1983 UTM, Zone_10N
 CNW GIS Services

This map is a user generated static output from an internet mapping site and
 is for reference only. Data layers that appear on this map may or may not be
 accurate, current, or otherwise reliable.

1:1,000





Images:

- (Top) Irving House [from Google Street view]
- (Middle) Museum & Archives Annex Building
- (Bottom) Aerial view of the site [from Google 3D view]

Attachment *B*
Statement of Significance



Canada's
Historic Places

Lieux patrimoniaux
du Canada

1.0 Irving House

302 Royal Avenue, New Westminster, British Columbia

2.0 Image(s)



Front elevation



Oblique view

3.0 Statement of Significance

Description of Historic Place

Irving House is a large, one and one-half storey plus basement wood-frame residence, designed in the Gothic Revival style, located on its original site at the corner of Royal Avenue and Merivale Street in the New Westminster neighbourhood of Albert Crescent. Irving House is remarkable for the extent to which its original exterior and interior elements have survived. Operated as an historic house museum, it also includes a collection of many original furnishings from the Irving family.

Heritage Value

Irving House is a direct link to the earliest pioneer development of New Westminster. The city was founded by the Royal Engineers as the colonial capital of the Mainland colony of British Columbia in 1859. After the Royal Engineers were disbanded in 1863, many of them stayed to help build New Westminster as a center of trade and commerce. Irving House dates from the time of the first development of civilian structures in the new community. Completed in April, 1865, it is one of the oldest extant buildings in the province.

Irving House is valued for its association with Captain William and Elizabeth Jane Irving and their family. Captain Irving arrived in New Westminster in 1859 and established a successful riverboat trading business on the Lower Fraser River where he became known as "King of the River." Irving invested in the B.C. and Victoria Steam Navigation Company, which later became the Canadian Pacific Navigation Company, and was a leading citizen in New Westminster, a Mason, a founding member of the St. Andrew's Society, an honorary member of the Hyack Fire Company, a member of the committee to study the terms of B.C.'s union with the Dominion of Canada, and a city councillor. Ownership passed through three generations of the Irving family before the house was acquired by the City of New Westminster in 1950.

This house is of architectural importance as a fine example of Gothic Revival architecture and as an example of Mid-Victorian era domestic taste, and reflects the status attained by the Irvings in the early days of the city. It is a testament to the skill of architect James Syme (1832-1881), who appears to have adapted the design from a pattern book, and the abilities of its builder, Thomas W. Graham. The interior retains many original features, including wallpaper, plasterwork, furnishings and carpets, that are important as a demonstration of the high degree of design and craftsmanship that was available in New Westminster in the 1860s.

The heritage value of this house also lies in its interpretive value, as the oldest historic house museum in B.C. The museum was established in 1950 and is an important cultural feature for the interpretation of New Westminster's heritage to the public. On display in the house is a collection of period furniture, including a number of original pieces from the Irving family. The City of New Westminster continues to own the house and operates it as part of the civic museum and archives. It represents an important period in the growth of the City and demonstrates to visitors the lifestyle, possessions, and aspirations of the pioneers who helped to establish the City of New Westminster.

Character-Defining Elements

Key elements that define the heritage character of the Irving House include its:

- location on Royal Avenue at the corner of Merivale Street, on a site sloping towards the Fraser River, with the basement exposed at the rear
- form and scale as expressed in the rectangular plan, one and one-half storey plus basement height and symmetrical massing
- side gable roof with a front gable wall dormer over the central door to the second floor balcony
- wooden construction, including wooden framing, wide lapped redwood weatherboard siding and wooden trim
- elements of the Gothic Revival style including extensive carpenter ornamentation, decorative scroll-cut bargeboards and balustrades, lathe-turned finials at the roof edges, and trefoil attic windows
- wraparound verandah, incorporating the original full open front verandah with later additions around the sides of the house, including square chamfered columns with brackets

-
- Palladian window and door assembly on the second-floor front facade
 - fenestration, including: 2-over-2 double-hung wooden-sash windows with external shutters; ground floor French doors that open onto the verandah from the two front rooms; and stained glass insets in the side door on the north facade
 - original front door with glass sidelights and transoms
 - internal brick chimneys with corbelled tops
 - brick foundation walls
 - interior features that date to the time of construction, including original plasterwork (such as ceiling medallions, cornices and rope mouldings), wallpaper (such as the foil wallpaper in the front two rooms that dates from 1865), woodwork (such as doors, floors and trim), fireplaces, staircases and gas lighting fixtures
 - other interior features as adapted or added by the Irving family, such as the bronze newel post statue and electric lighting fixtures
 - collection of period furniture, including a number of original pieces from the Irving family
 - setting within a manicured garden with mature holly and cedar trees and a replicated wooden

MEMO

Climate Action, Planning and Development

To: Community Heritage Commission **Date:** October 6, 2021

From: Priya Bal **File:** n/a

Item #: [Report Number]

Subject: Demolition Permit Applications Issued from August 26, 2021 to September 24, 2021:

PURPOSE

To inform the Commission of demolition permits issued from August 26, 2021 to September 24, 2021:

ADDRESS	YEAR BUILT	NEIGHBOURHOOD
217 QUEENS AVENUE	1950	QUEENS PARK
1731 EDINBURGH STREET	1926	WESTEND
1815 LONDON STREET	1931	WESTEND
1105 DUBLIN STREET	1924	KELVIN
1108 EIGHTH AVENUE	1909	KELVIN
325 E EIGHTH AVE	1947	VICTORY HEIGHTS